

Proposed Addition & Alterations for:

436 First Terrace Student Housing
Bethlehem, PA 18015

PROJECT SUMMARY:

436 First Terrace is an existing 1 1/2 story wood frame, single family home to be used for student housing. The project entails the demolition of the existing roof and attic space to create a full second floor with (3) bedrooms and (2) bathrooms for a total of (5) bedrooms. Work on the existing first floor includes renovating the existing kitchen and bathroom. Windows will be replaced and new siding and insulation will be added to the building exterior.

1. Applicable Code(s) & Regulations For This Project.

State: Pennsylvania
2018 IRC (International Residential Code)
PA Uniform Construction Code (Regulations and Statutes)

2. Occupancy Use Classification(s):

5B R-3 Residential
2 Story Residential

3. Construction Type(s) / Classification(s):

1st Floor: - 628 sf (existing) / 200 = 4 occupants
New 2nd Floor - 628 sf / 200 = 4 occupants

4. Project Description:

5. Fire Protection Systems: Smoke Alarm and Fire Extinguisher
6. Zoning District: RT
7. Authority Having Jurisdiction: City of Bethlehem, Northampton County, Pennsylvania
8. Building Owner: Lehigh Properties GP
Contact: Austin Siboni
c: 484-273-2155
e: Austin@lehighproperties.com

1. General Notes:

- Do not scale these drawings; use written dimensions only.
- Notify Architect immediately if assumed existing conditions are other than shown.
- Labor, materials and workmanship shall be in accordance with the industry standards.

2. Insurance:

Each Contractor and subcontractor shall not commence work under the contract until he has provided proof of insurance of such character and in such amounts as will provide adequate protection for the owner, the members thereof, and their successors, all agents officers and servants of the owner, and the contractor and subcontractor against all claims, liabilities, damages and accidents. Such insurance to remain in force throughout the life of the contract.

3. Demolition/Support:

- GC shall safely remove all demolition debris from the site to the appropriate disposal facility.
- GC shall provide temporary support of existing structure to be removed.
- GC shall take precautionary measures to protect existing house during construction.

4. Landscaping:

GC shall protect existing plants and grass during construction. Reseed disturbed grass areas.

5. Temporary Service:

Owner shall be responsible for providing water and electric at the required work area.

6. Guarantees:

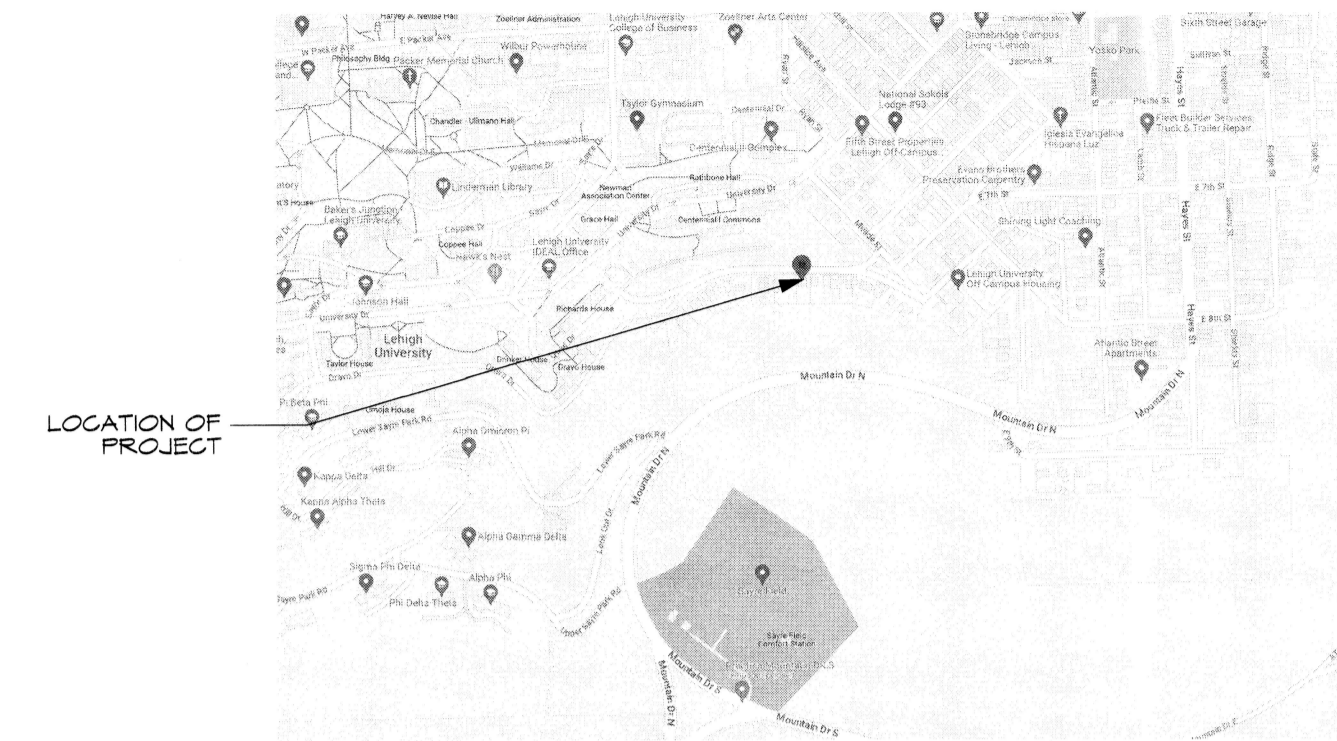
All work performed as a part of the contract is to be guaranteed by the contractor and/or subcontractor to be free from defects in material and workmanship for a period of one (1) year from the date of completion of work; the contractor and/or subcontractor agrees to return to the job and make repairs and/or replacement to such defects at no cost to the owner. Final payment shall be made at a substantial completion, less the value of the final punch list. Punch list value will be paid at the completion of work. General Contractor shall turn over to owner all documents, manuals, guarantees, etc for all devices, equipment and appliances.

7. Permits:

Each Contractor/Sub-contractor shall file for necessary building permits. The Owner shall be responsible for the cost of the permits.



Perspective
Scale: 1/4" = 1'-0"



Project Location
Not To Scale

Sheet List	
A0.1	Cover Sheet, Building Code Data & General Notes
A1.1	Floor Plans
A2.1	Building Elevations
A3.1	Building Section
A4.1	Interior Elevations & Schedules



Exist. roof to be demolished to create second floor

Existing Conditions Photo
Not To Scale

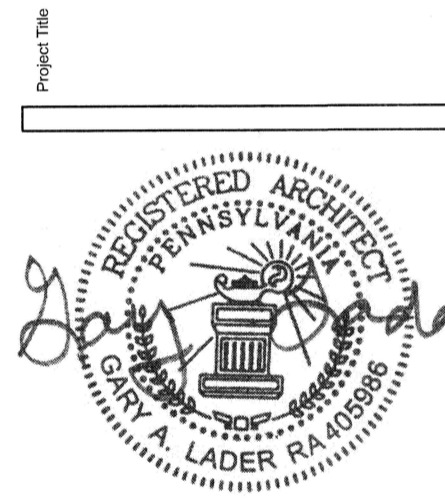
STRUCTURAL NOTES

GENERAL	
1. THE STRUCTURAL LOADING CRITERIA IS AS FOLLOWS:	
FLOOR DEAD LOAD:	10 PSF
ROOF DEAD LOAD:	15 PSF
SLEEPING AREA LIVE LOAD:	30 PSF
ROOF SNOW LOAD:	30 PSF

STRUCTURAL LUMBER	
1. PROVIDE SOLID LUMBER WHICH HAS BEEN GRADED TO THE FOLLOWING MINIMUM STRESS RATINGS: #2 HEM-FIR, #1/#2 SPF.	
2. ALL POSTS SHALL DIRECTLY BEAR ON EXISTING BEAMS OR FOUNDATION WALLS, OR HAVE SOLID BLOCKING BETWEEN THE FLOOR SHEATHING AND SUPPORTING ELEMENT.	
3. MULTIPLE-PLY MEMBERS SHALL BE FASTENED TOGETHER WITH (2) ROWS OF SCREWS SPACED AT 24" O.C., OR (2) ROWS OF NAILS SPACED AT 12" O.C. FASTENERS SHALL EXTEND THROUGH ALL PLIES.	

Proposed Addition & Alterations for:

436 First Terrace Student Housing
Bethlehem, PA 18015



Architect

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE
1	1/24/24	For Permit

Project Manager	Drawn By
GaL	AmS
Date	Reviewed By
29 April 2023	GaL
Project ID	
436 First Terrace Proposed_4-20-23	

Sheet Title
Cover Sheet, Building Code Data & General Notes

Sheet No.

A0.1

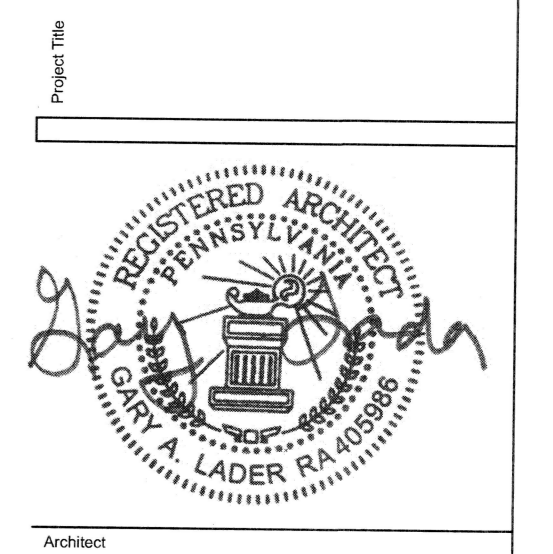
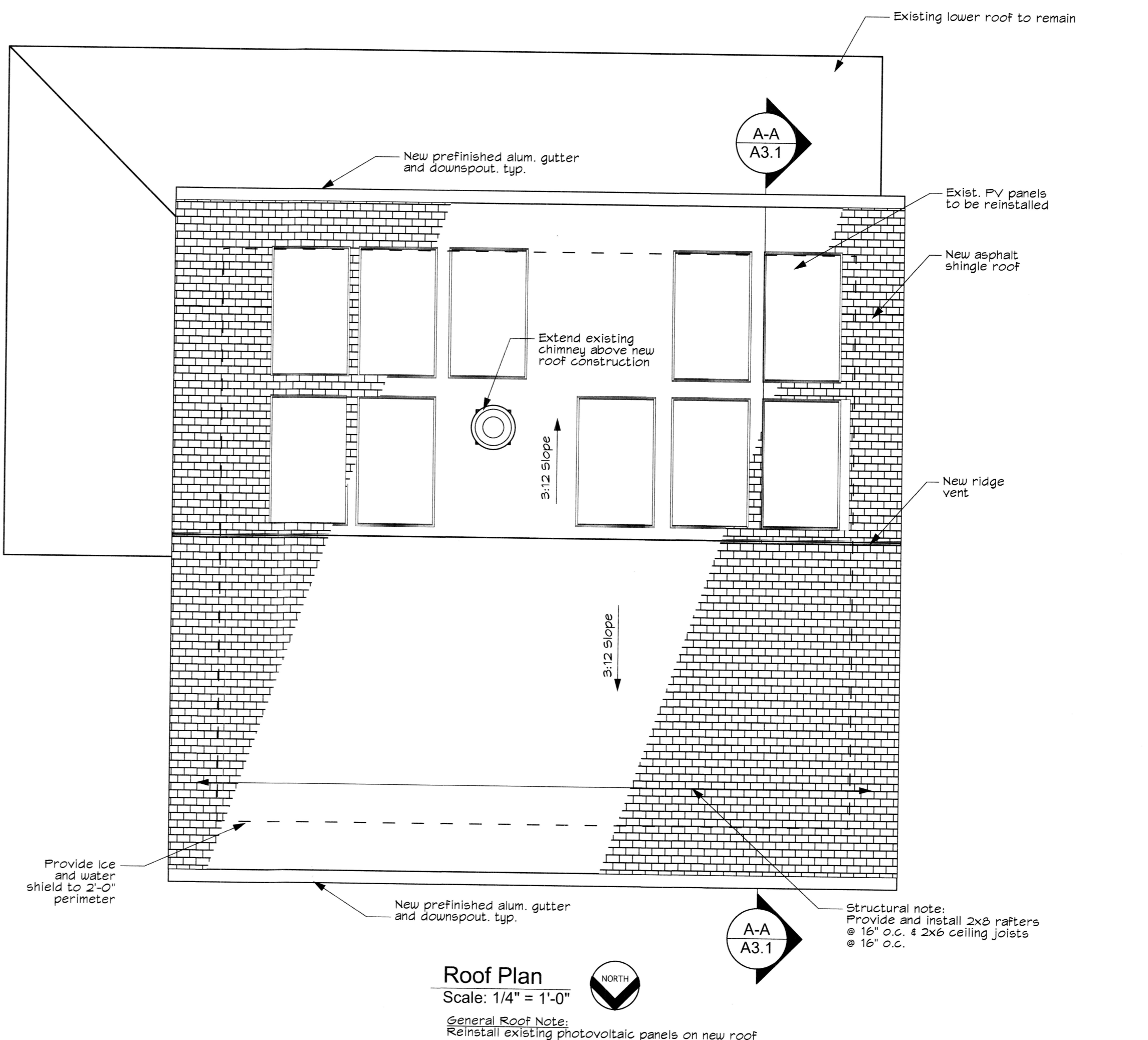
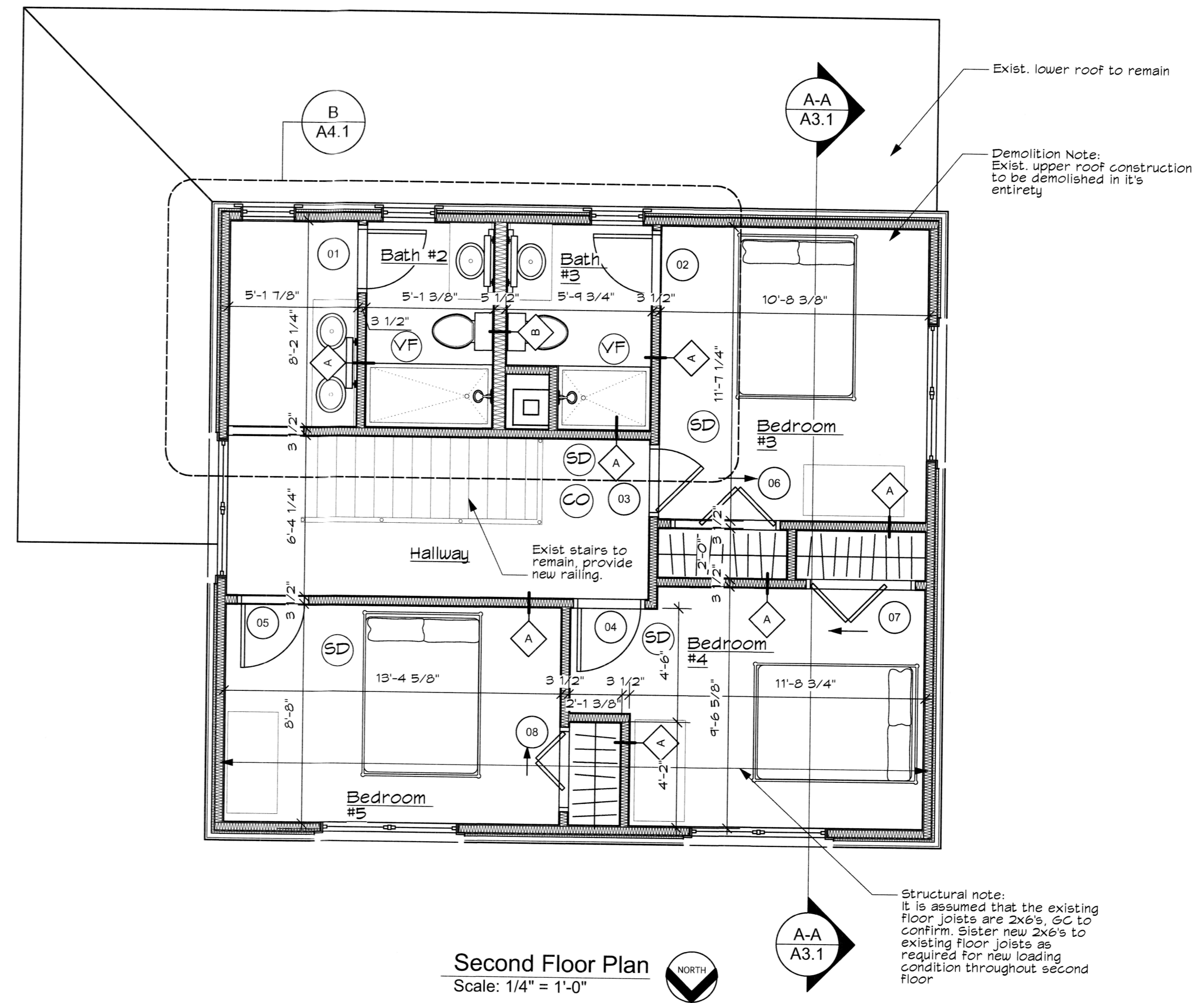
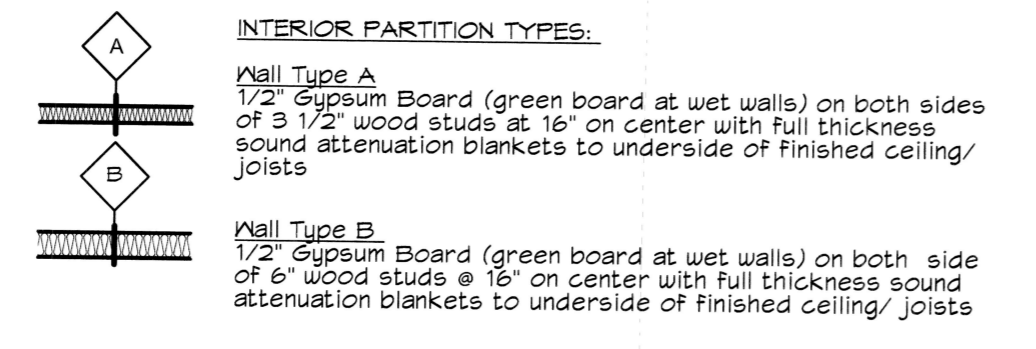
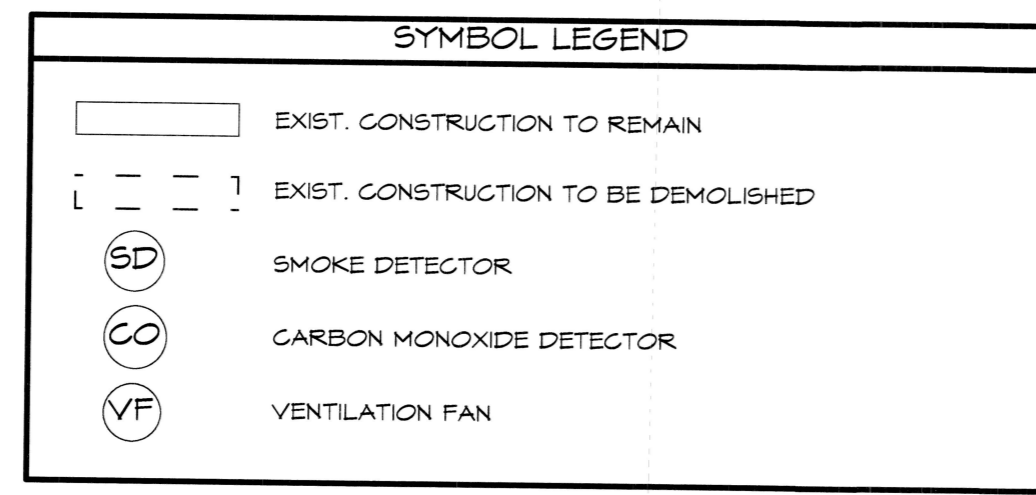
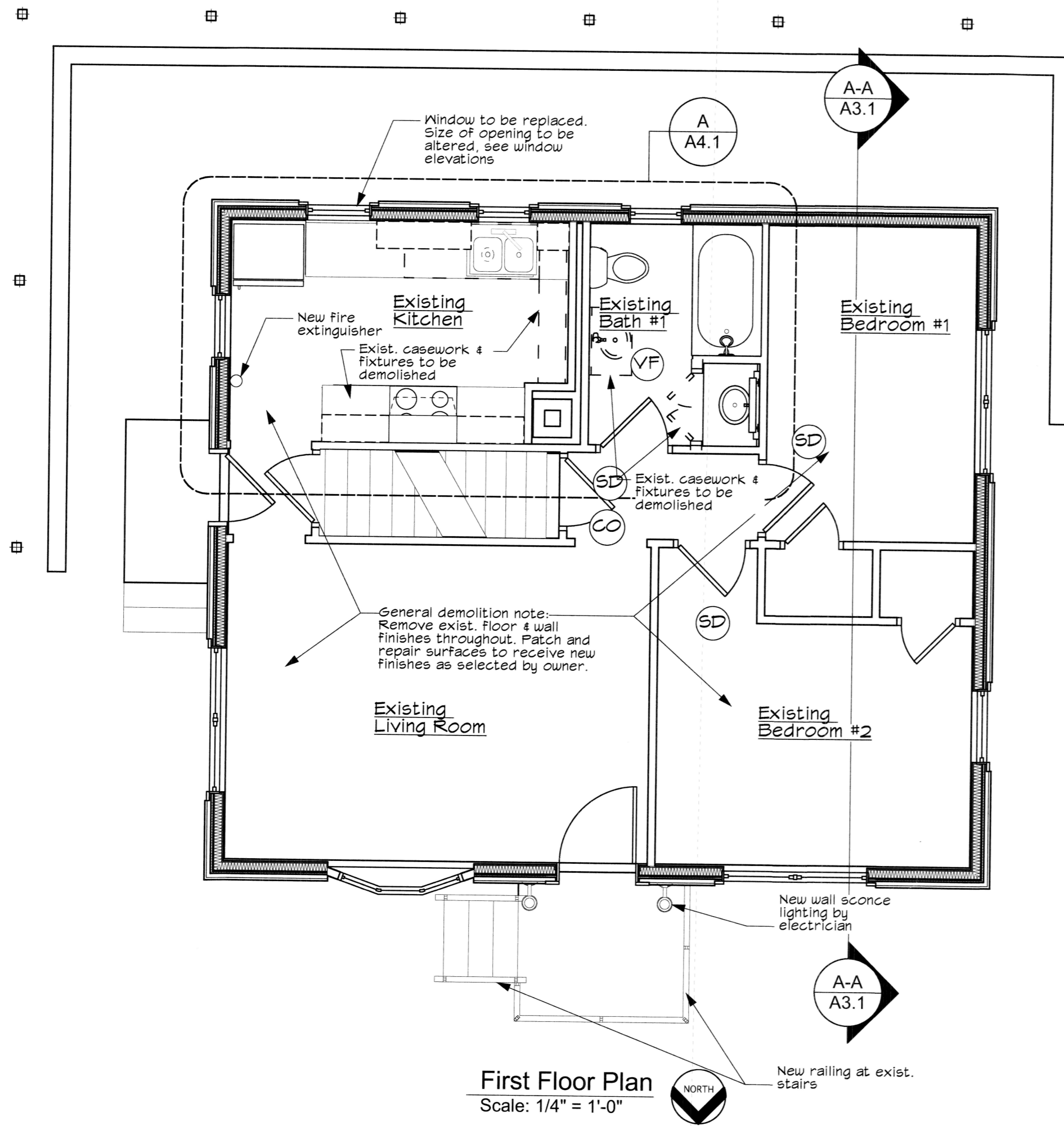
SL 1-21-24

ISSUED FOR PERMIT - 1/24/24

All drawings and written materials appearing herein constitute original and unpublished work of the architect and may not be used or disclosed without prior consent of 4/4 Architecture, LLC. Copyrighted 2023

Proposed Addition & Alterations for:

436 First Terrace Student Housing
 Bethlehem, PA 18015



REV.	DATE	DESCRIPTION
1	1/24/24	For Permit

NO.	DATE	ISSUE NOTE
Project Manager	GaL	Drawn By AmS/ GaL
Date	29 April 2023	Reviewed By GaL
Project ID	436 First Terrace Proposed_4-20-23	

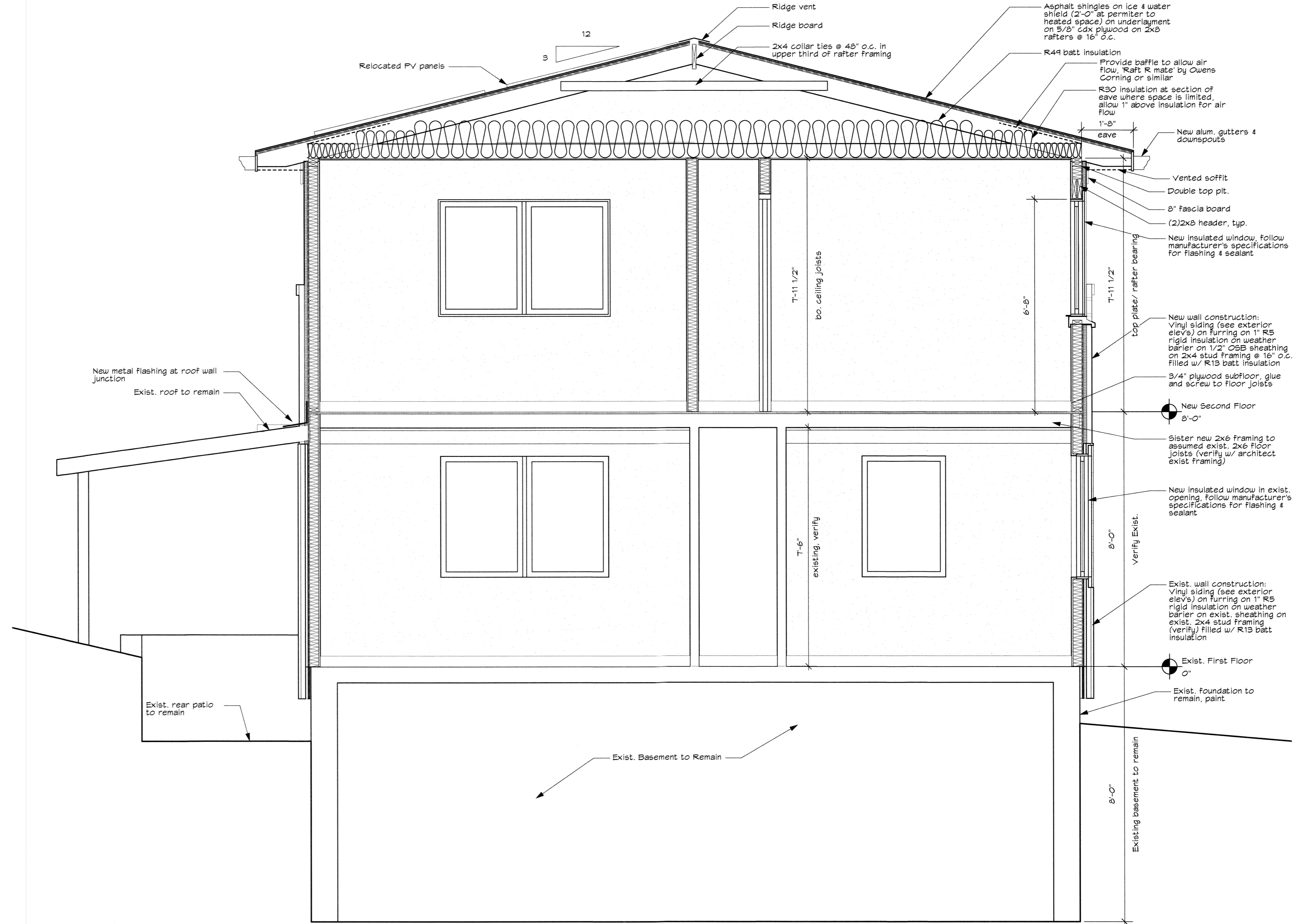
Floor Plans

Sheet No. **A1.1**

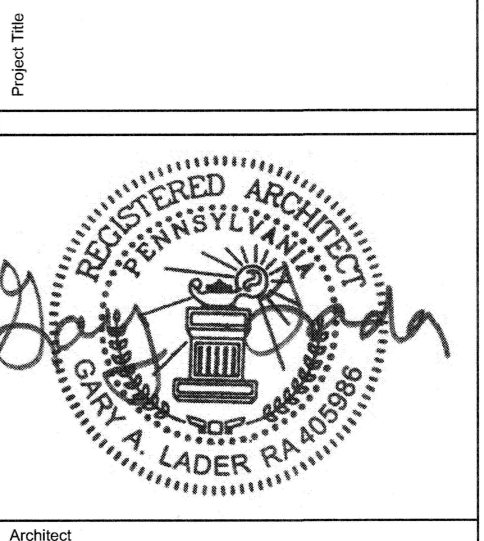
All drawings and written materials appearing herein constitute original and unpublished work of the architect and may not be used or disclosed without prior consent of 4/4 Architecture, LLC. Copyrighted 2023

Proposed Addition & Alterations for:

436 First Terrace Student Housing
Bethlehem, PA 18015



A-A Building Section
Scale: 1/2" = 1'-0"



Architect

REV.	DATE	DESCRIPTION
1	1/24/24	For Permit

NO.	DATE	ISSUE NOTE
Project Manager	GA	Drawn By
Date	29 April 2023	Reviewed By
Project ID	436 First Terrace Proposed_4-20-23	

Building Section

All drawings and written materials appearing herein constitute original and unpublished work of the architect and may not be used or disclosed without prior consent of 4/4 Architecture, LLC. Copyrighted 2023

Proposed Addition & Alterations for:

436 First Terrace Student Housing
 Bethlehem, PA 18015

Project Title



Architect

REV. DATE DESCRIPTION

1 1/24/24 For Permit

NO. DATE ISSUE NOTE

Project Manager Drawn By
 GaL AmS/ GaL

Date Reviewed By
 29 April 2023 GaL

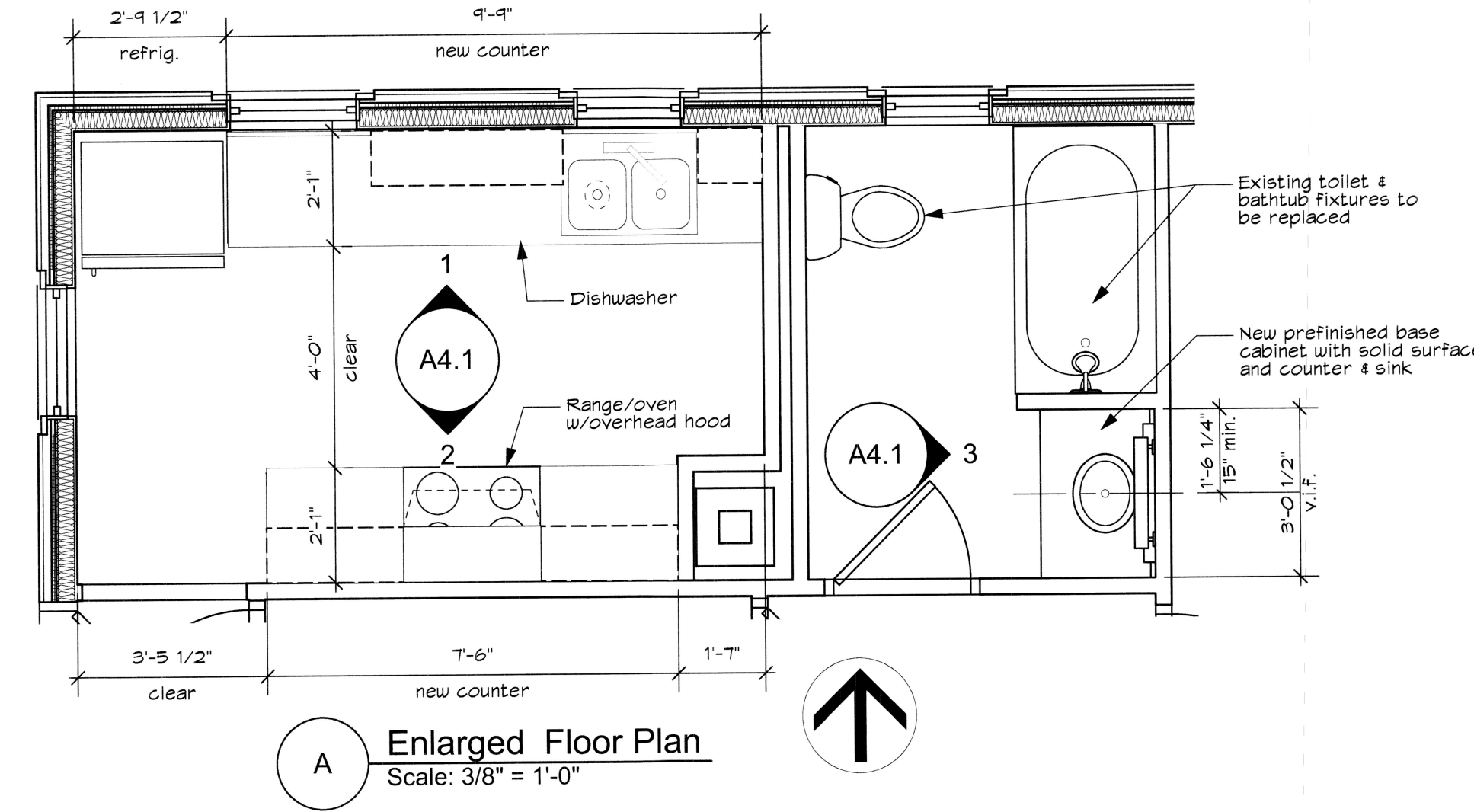
Project ID
 436 First Terrace Proposed_4-20-23

Sheet Title

Interior Elevations & Schedules

Sheet No.

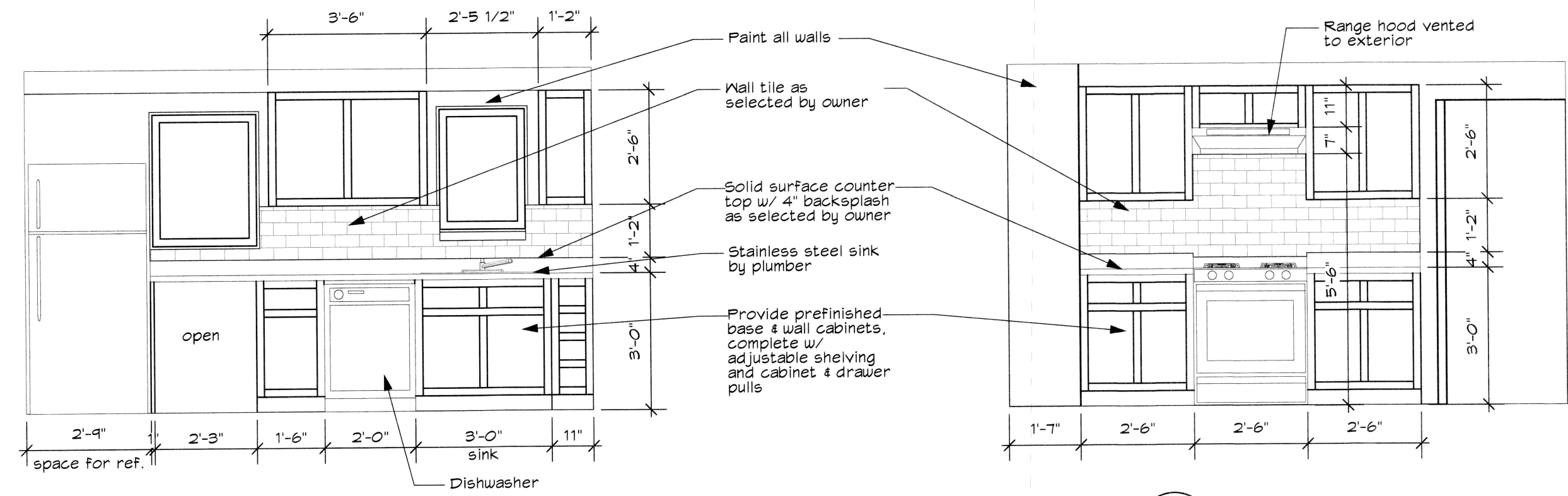
A4.1



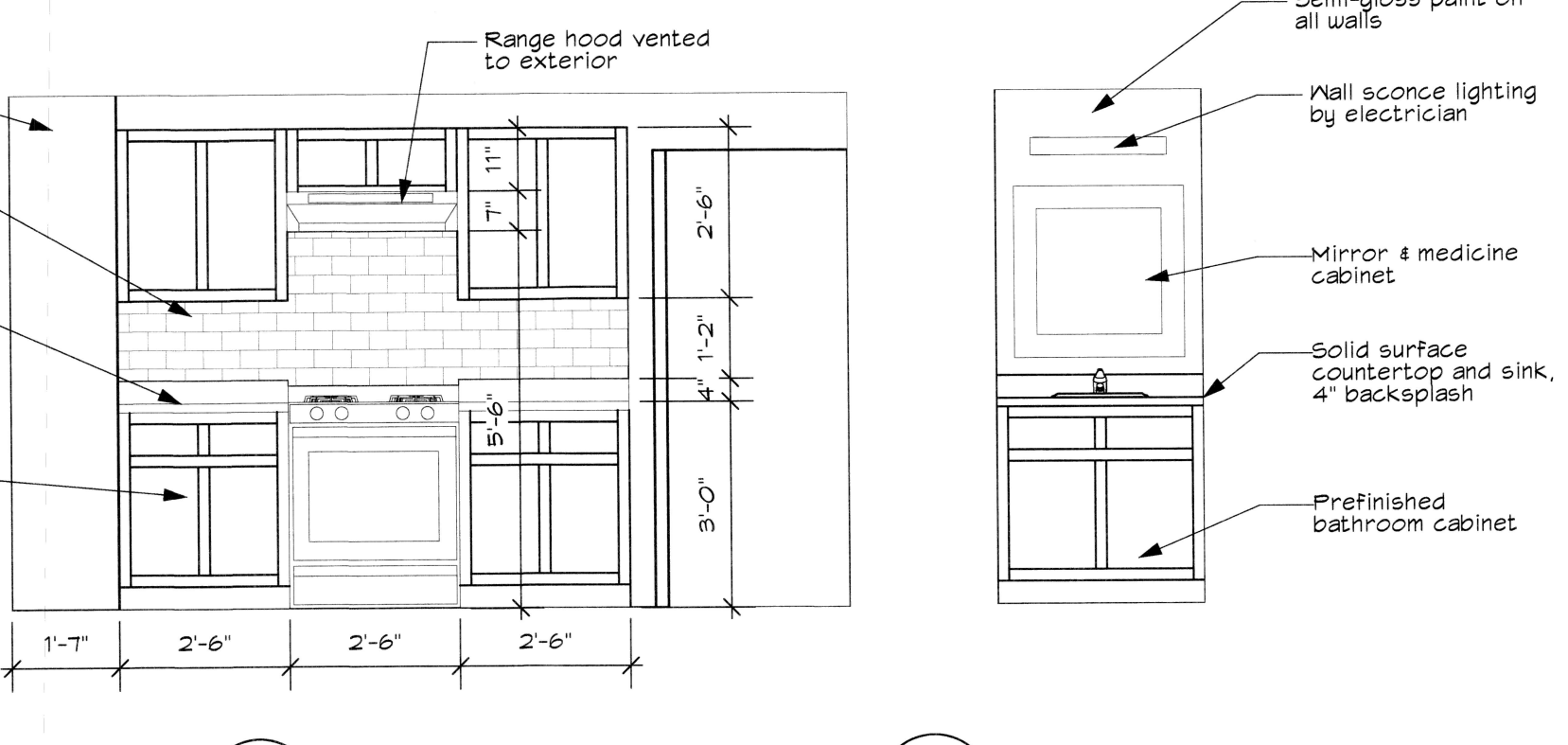
A Enlarged Floor Plan
 Scale: 3/8" = 1'-0"

Room Name	Floor				Remarks
	Matl	Base	Wall	Ceiling	
Living Room	Existing	Existing	Paint	Paint	
Kitchen	LVT	Wood	Paint	Paint	
Bedroom #1	Existing	Existing	Paint	Paint	
Bedroom #2	Existing	Existing	Paint	Paint	
Bathroom #1	Ceramic	Ceramic	Paint	Paint	Semi-gloss paint
Bedroom #3	LVT	Wood	gyp. paint	gyp. paint	
Bedroom #4	LVT	Wood	gyp. paint	gyp. paint	
Bedroom #5	LVT	Wood	gyp. paint	gyp. paint	
Bathroom #2	Ceramic	Ceramic	gyp. paint	gyp. paint	Moisture res.gyp. bd. semi-gloss paint
Bathroom #3	Ceramic	Ceramic	gyp. paint	gyp. paint	Moisture res.gyp. bd. semi-gloss paint
Hallway	LVT	Wood	gyp. paint	gyp. paint	

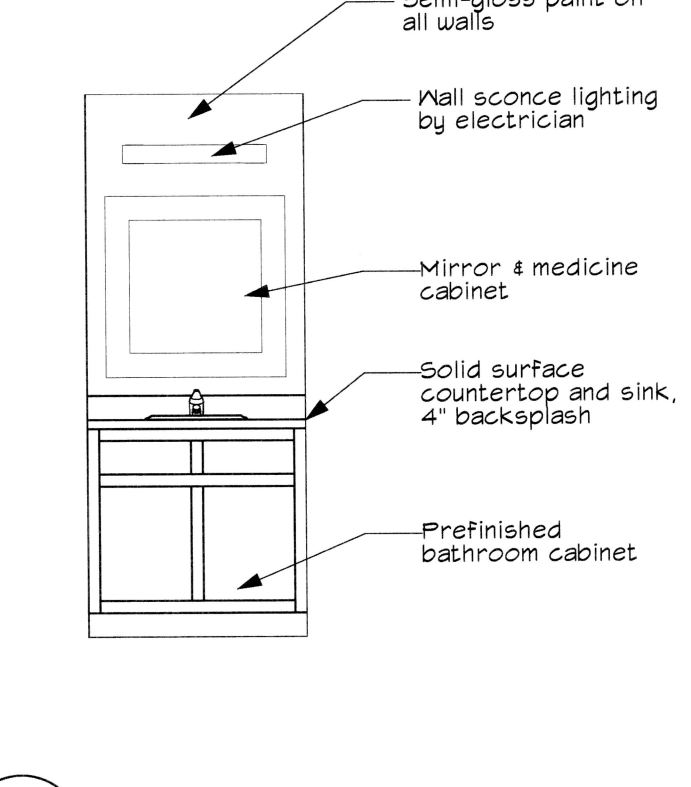
General Finish Note:
 All finishes as selected by owner



1 Interior Elevation
 Scale: 3/8" = 1'-0"



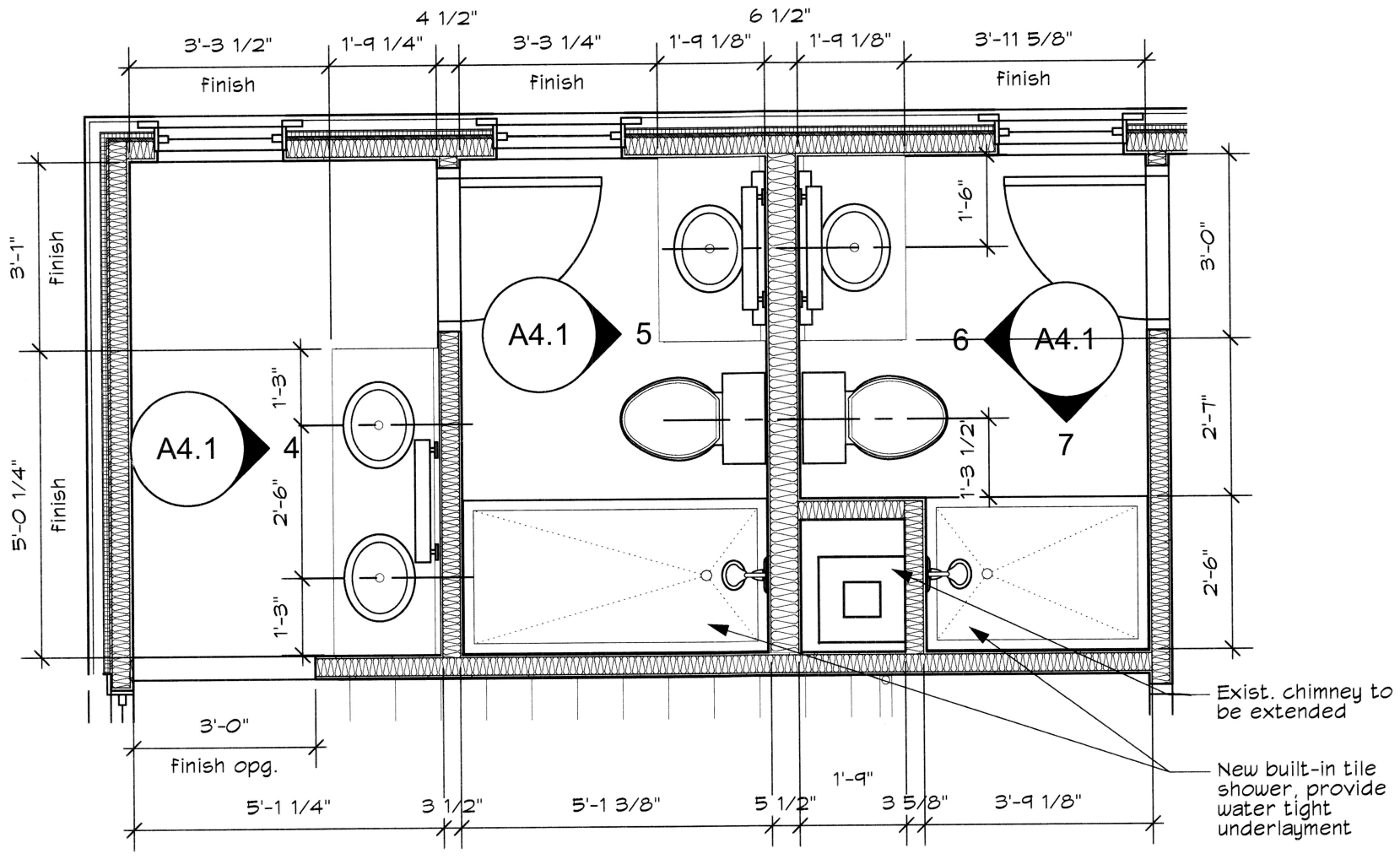
2 Interior Elevation
 Scale: 3/8" = 1'-0"



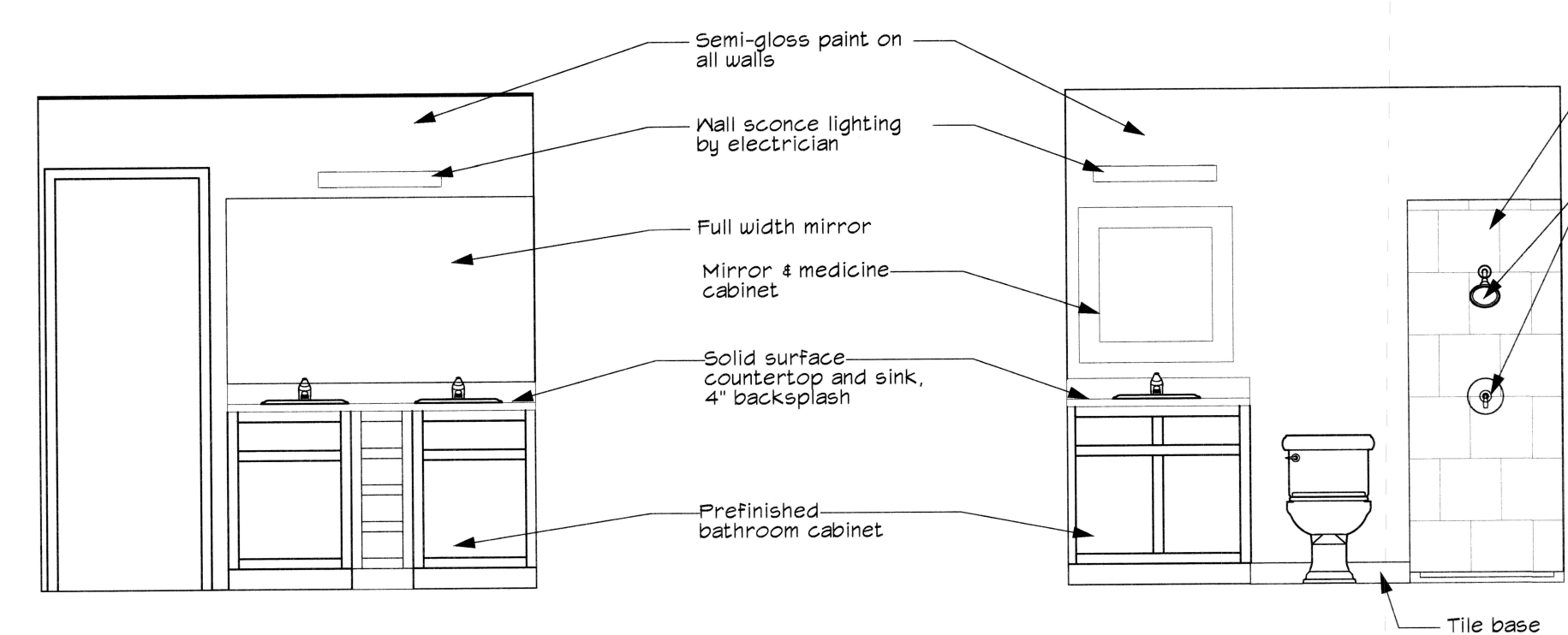
3 Interior Elevation
 Scale: 3/8" = 1'-0"

Mark	Nominal Size			Door Elevation	Door Material	Glaz. Style	Door Frame			Fire Rating	HW Set	Comments
	Width	Height	Thickness				Frame Material	Jamb Thick	Jamb Depth			
01	24"	68"	1 3/4"	Wood	None	Wood	2"	4 1/2"		Privacy		
02	24"	68"	1 3/4"	Wood	None	Wood	2"	4 1/2"		Privacy		
03	28"	68"	1 3/4"	Wood	None	Wood	2"	4 1/2"		Privacy		
04	28"	68"	1 3/4"	Wood	None	Wood	2"	4 1/2"		Privacy		
05	26"	68"	1 3/4"	Wood	None	Wood	2"	4 1/2"		Privacy		
06	40"	68"	1 3/4"	Wood	None	Wood	2"	4 1/2"		Bi-fold		
07	40"	68"	1 3/4"	Wood	None	Wood	2"	4 1/2"		Bi-fold		
08	30"	68"	1 3/4"	Wood	None	Wood	2"	4 1/2"		Bi-fold		

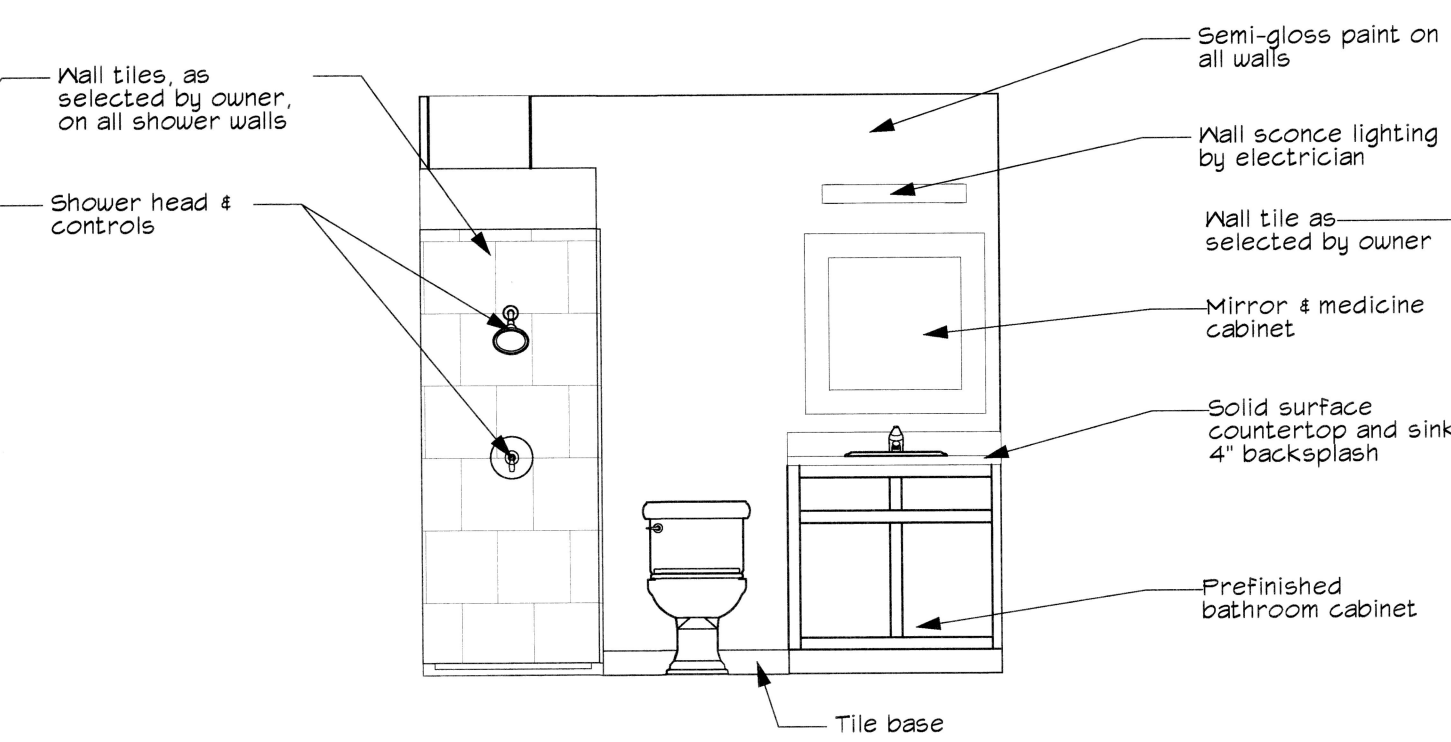
Door & Hardware Notes:
 1. Door style & finish as selected by owner
 2. Hardware style and finish as selected by owner



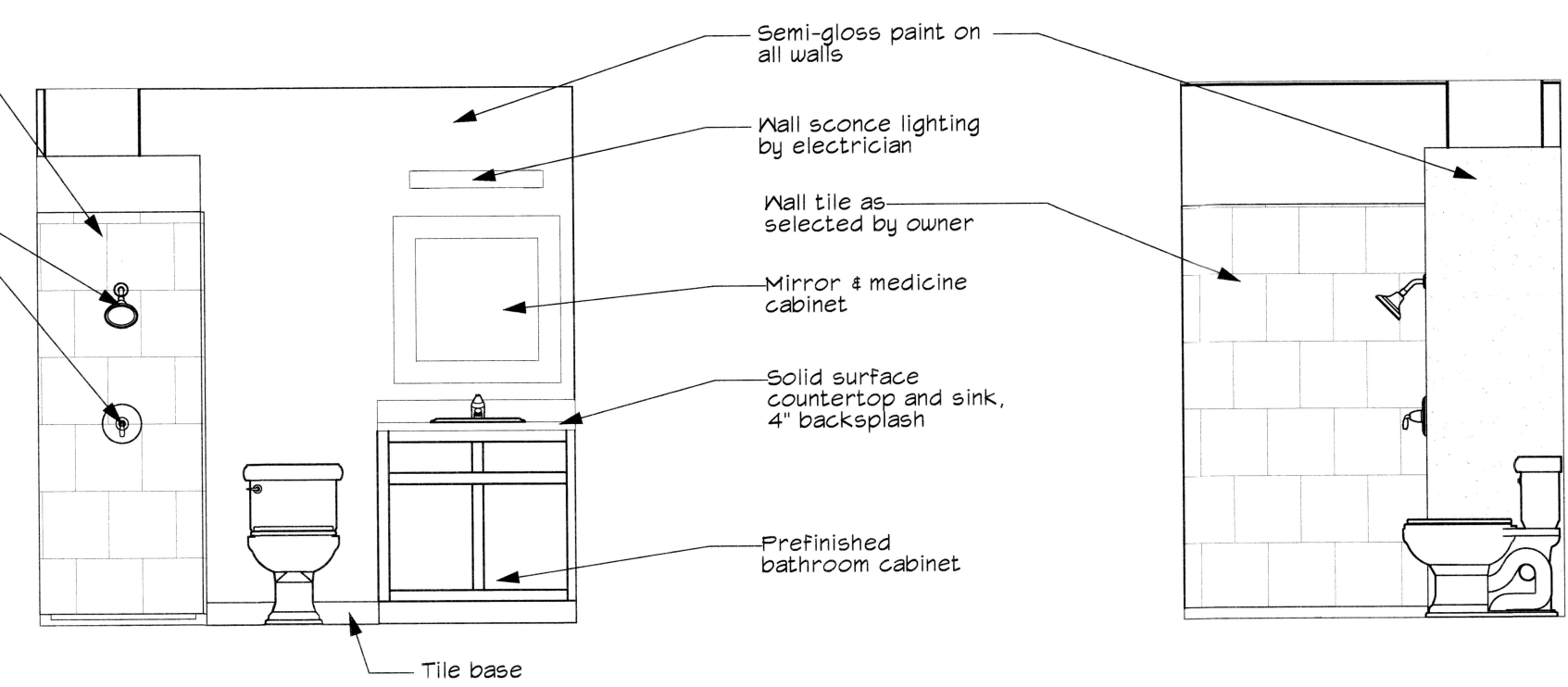
B Enlarged Floor Plan
 Scale: 3/8" = 1'-0"



4 Interior Elevation
 Scale: 3/8" = 1'-0"



5 Interior Elevation
 Scale: 3/8" = 1'-0"



6 Interior Elevation
 Scale: 3/8" = 1'-0"



7 Interior Elevation
 Scale: 3/8" = 1'-0"