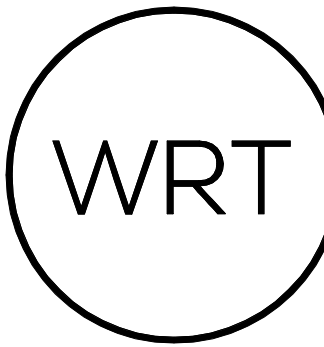




GATEWAY ON 4TH
PHASE 1 -
BUILDING A

BETHLEHEM, PA

OWNER

PENNROSE

1301 N 31ST STREET
PHILADELPHIA PA 19121
267.386.8600

ARCHITECT

WALLACE ROBERTS & TODD, LLC

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215.732.5215
WRTDESIGN.COM

CIVIL ENGINEER

T&M ASSOCIATES

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610.625.2999

STRUCTURAL ENGINEER

DCI ENGINEERS

1255 DRUMMERS LANE, SUITE 201
WAYNE, PA 19087
484.475.2190

MEP ENGINEER

MCHUGH ENGINEERING

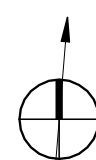
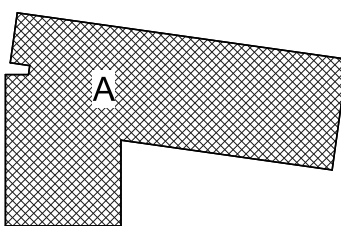
136 POPLAR STREET
AMBLER, PA 19002
215.641.1158

GEOTECHNICAL ENGINEER

TERRACON

930 HARVEST DRIVE, SUITE 430
BLUE BELL, PA 19422
267.512.7050

KEYPLAN



REV # DATE DESCRIPTION

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SCALE As indicated

1ST FLOOR PLAN

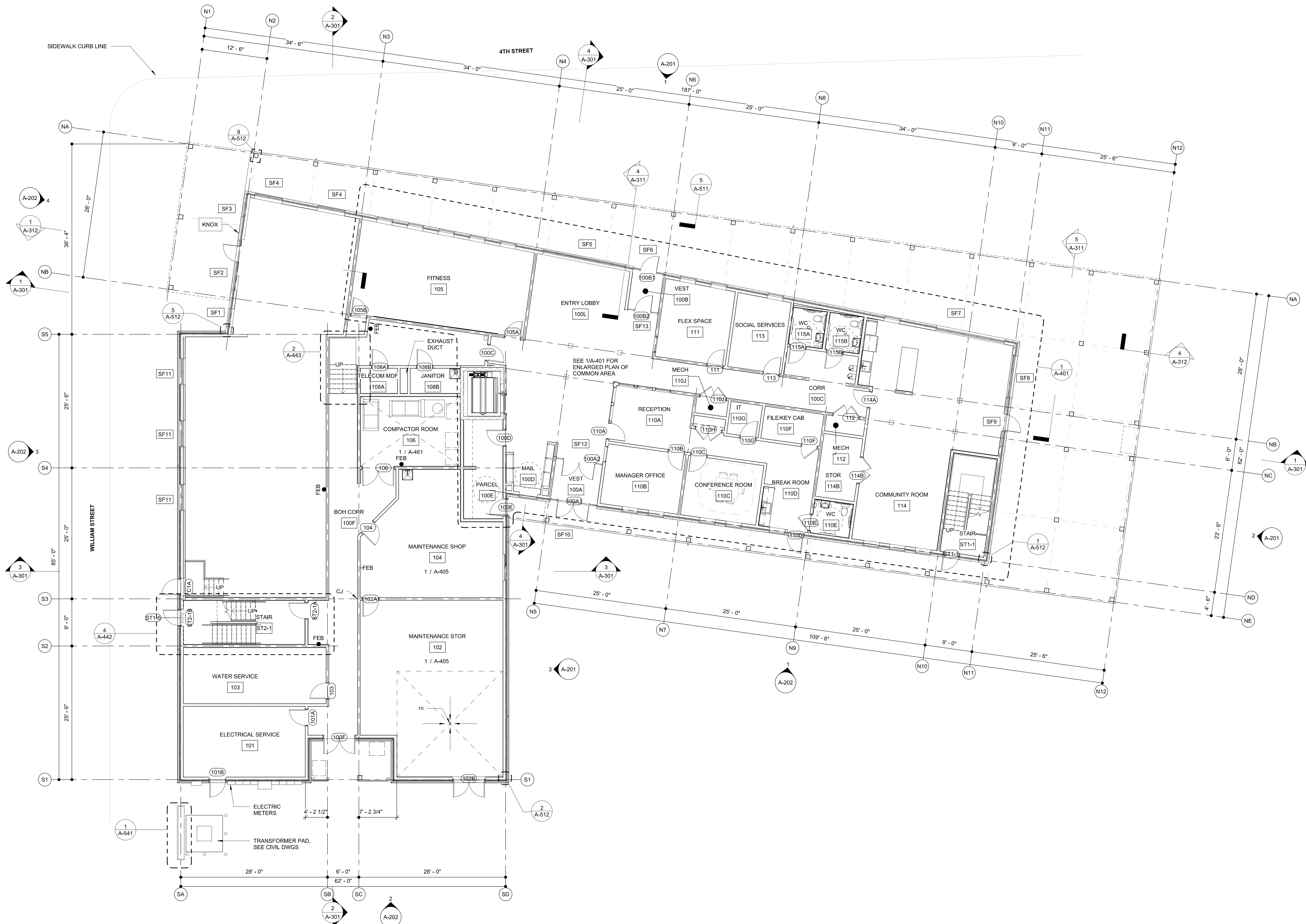
A-101

FLOOR PLAN LEGEND:

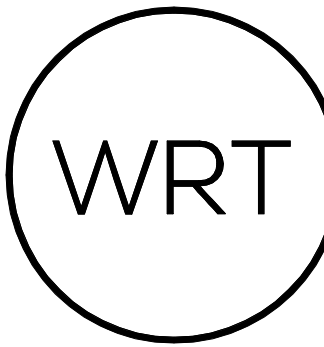
- [PW] WALL TYPE
[SF#] STOREFRONT TYPE
[#] DOOR TYPE
[CR] CARD READER
[KNOX] KNOX BOX
[ICOM] INTERCOM
CJ CONTROL JOINT
CG CORNER GUARD

FLOOR PLAN NOTES

- SEE G-SERIES FOR GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS.
- SEE CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR RELATED SCOPE OF WORK. DIMENSIONING CONVENTIONS:
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 - INTERIOR BEARING / UNITS SEPARATION WALLS ARE DIMENSIONED TO CENTER LINE OF STUD, INDICATED WITH GRID LINE ON PLANS, UNO.
 - INTERIOR STUD WALLS DIMENSIONED FROM FACE OF STUD, UNO.
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- GRADING:
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 - GRADE TO BE MIN 8" BELOW INTERIOR SLAB, UNO.
 - SLOPE ALL PORCHES, PATIOS, AND HARDSCAPE SURFACES 1/8-INCH PER FOOT AWAY FROM BUILDINGS FOR POSITIVE DRAINAGE. SEE CIVIL AND LANDSCAPE DRAWINGS FOR CONTINUATION OF ALL SIDEWALKS, TYPICAL.
- SEE LIFE SAFETY DRAWINGS FOR LOCATIONS OF RATED ASSEMBLIES, REQUIRED SEPARATIONS, FIRE EXTINGUISHER LOCATIONS, EXIT SIGNAGE LOCATIONS AND EGRESS PATHS. ANNUAL SPACE BETWEEN ANY PENETRATING ITEM AND FIRE RESISTANCE RATED ASSEMBLY PENETRATED MUST BE FILLED THE FULL THICKNESS OF THE WALL WITH AN APPROVED MATERIAL MAINTAINING THE INTEGRITY OF THE FIRE WALLS.
- FURNITURE SHOWN FOR REFERENCE, NIC. SEE OWNER'S INTERIOR DESIGN DRAWINGS FOR MORE INFORMATION. UNO.
- LAUNDRY APPLIANCES SHOWN FOR REFERENCE.
- PROVIDE CORNER GUARDS AT ALL OUTSIDE CORNERS IN "ACCESSIBLE" UNITS.



1 1ST FLOOR PLAN
1/8" = 1'-0"



GATEWAY ON 4TH
PHASE 1 -
BUILDING A

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MCHUGH ENGINEERING

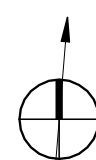
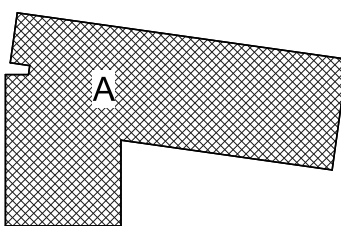
136 POPLAR STREET
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215.641.1158

GEOTECHNICAL ENGINEER

TERRACON

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BLUE BELL, PA 19422
267.512.7050

KEYPLAN



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DRAWN BY JMEW

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SCALE As indicated

2ND FLOOR PLAN

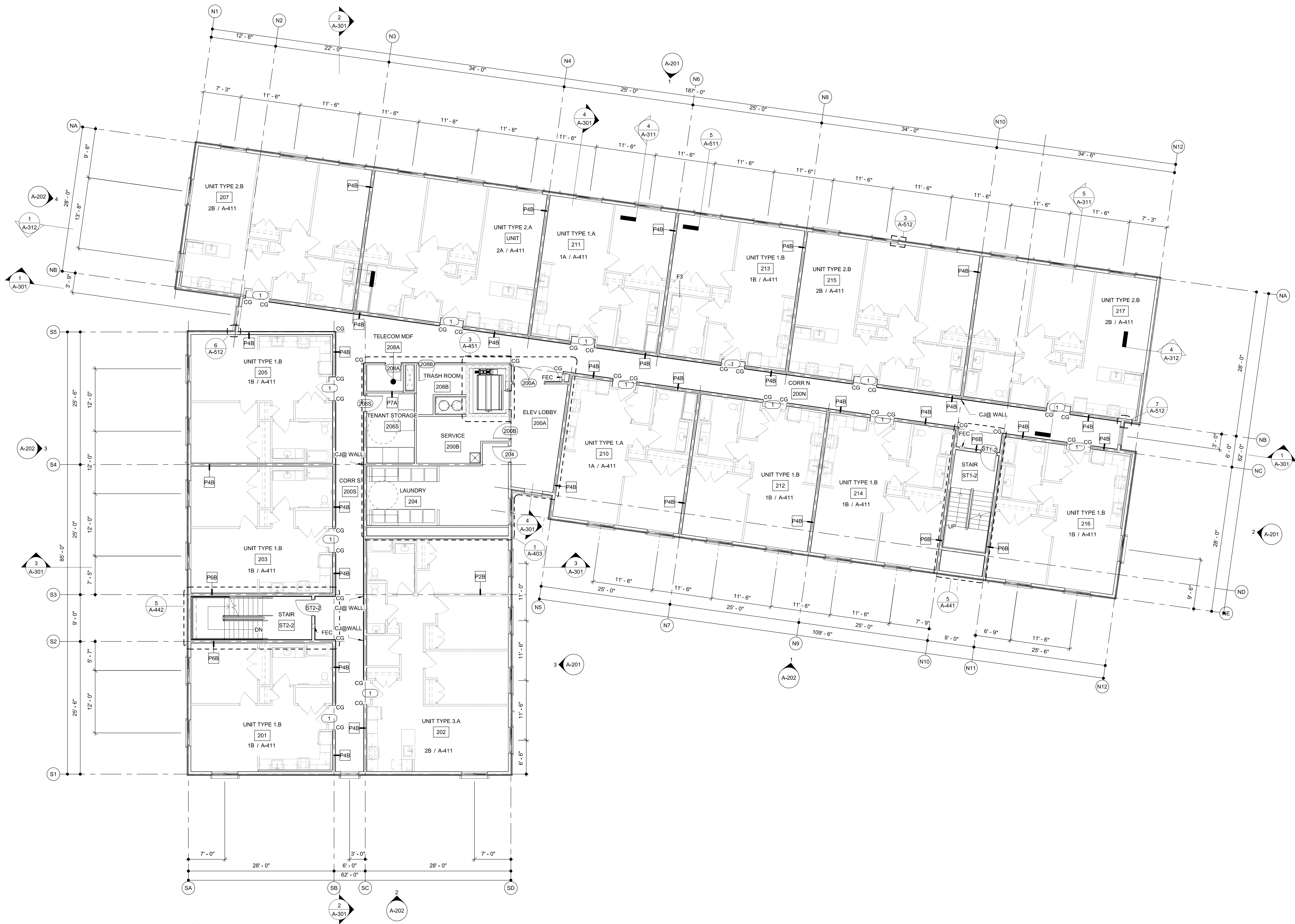
A-102

FLOOR PLAN LEGEND:

- [PW] WALL TYPE
- [SF#] STOREFRONT TYPE
- [#] DOOR TYPE
- [CR] CARD READER
- [KNOX] KNOX BOX
- [ICOM] INTERCOM
- CJ CONTROL JOINT
- CG CORNER GUARD

FLOOR PLAN NOTES

- SEE G-SERIES FOR GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS.
- SEE CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR RELATED SCOPE OF WORK. DIMENSIONING CONVENTIONS:
 - FOUNDATION WALLS ARE DIMENSIONED TO EXTERIOR FACE OF FOUNDATION.
 - EXTERIOR WALLS ARE DIMENSIONED FROM OUTSIDE FACE OF STUDS, UNO.
 - INTERIOR BEARING / UNITS SEPARATION WALLS ARE DIMENSIONED TO CENTER LINE OF STUD, INDICATED WITH GRID LINE ON PLANS, UNO.
 - INTERIOR STUD WALLS DIMENSIONED FROM FACE OF STUD, UNO.
 - EXTERIOR WINDOW AND DOOR OPENINGS ARE DIMENSIONED TO CENTER LINE OF ROUGH OPENING.
 - INTERIOR STUD OPENINGS ARE DIMENSIONED TO CENTER OF OPENING, UNO.
 - CENTER OF POST ARE DIMENSIONED ON FOUNDATION DRAWING.
- ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- GRADING:
 - GRADES AT FOUNDATIONS VARY. CONTRACTOR TO COORDINATE FINISH FLOOR ELEVATIONS, FOUNDATION DEPTHS, AND ADJACENT GRADES WITH CIVIL, STRUCTURAL, AND ARCHITECTURAL DRAWINGS.
 - GRADE TO BE MIN 8" BELOW INTERIOR SLAB, UNO.
 - SLOPE ALL PORCHES, PATIOS, AND HARDSCAPE SURFACES 1/8-INCH PER FOOT AWAY FROM BUILDINGS FOR POSITIVE DRAINAGE. SEE CIVIL AND LANDSCAPE DRAWINGS FOR CONTINUATION OF ALL SIDEWALKS, TYPICAL.
- SEE LIFE SAFETY DRAWINGS FOR LOCATIONS OF RATED ASSEMBLIES, REQUIRED SEPARATIONS, FIRE EXTINGUISHER LOCATIONS, EXIT SIGNAGE LOCATIONS AND EGRESS PATHS.
- ANNULAR SPACE BETWEEN ANY PENETRATING ITEM AND FIRE RESISTANCE RATED ASSEMBLY PENETRATED MUST BE FILLED THE FULL THICKNESS OF THE WALL WITH AN APPROVED MATERIAL MAINTAINING THE INTEGRITY OF THE FIRE WALLS.
- FURNISH AND INSTALL FIRESTOPPING MATERIALS IN ALL VOIDS AND CAVITIES IN BOTH INTERIOR AND EXTERIOR SEPARATION WALLS.
- FURNITURE SHOWN FOR REFERENCE, NIC. SEE OWNER'S INTERIOR DESIGN DRAWINGS FOR MORE INFORMATION, UNO.
- LAUNDRY APPLIANCES SHOWN FOR REFERENCE.
- PROVIDE CORNER GUARDS AT ALL OUTSIDE CORNERS IN "ACCESSIBLE" UNITS.



1 2ND FLOOR PLAN
1/8" = 1'-0"



GEOTECHNICAL ENGINEER
TERRACON
930 HARVEST DRIVE, SUITE 430
BLUE BELL, PA 19422
267.512.7050

REV #	DATE	DESCRIPTION
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SEA

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CHECKED BY	YM/CB
SCALE	As indicated

3RD FLOOR PLAN

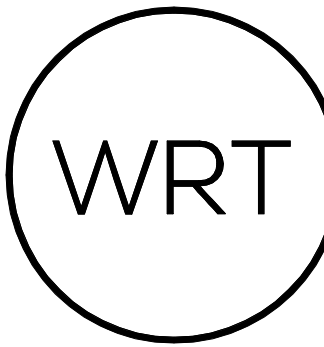
A-103

P#	WALL TYPE
SF#	STOREFRONT TYPE
#	DOOR TYPE
CR	CARD READER
KNOX	KNOX BOX
ICOM	INTERCOM
CJ	CONTROL JOINT
CG	CORNER GUARD

1. SEE G. SERIES FOR GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS.
2. SEE CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR RELATED SPECIFICATIONS.
3. DIMENSIONING CONVENTIONS:
 - A. FOUNDATION WALLS ARE DIMENSIONED TO EXTERIOR FACE OF FOUNDATION.
 - B. EXTERIOR WALLS ARE DIMENSIONED FROM OUTSIDE FACE OF STUDS, UNO.
 - C. EXTERIOR BEARING PARTITIONS SEPARATION WALLS ARE DIMENSIONED TO CENTER LINE OF STUD, INDICATED WITH GRID LINE ON PLANS, UNO.
 - D. EXTERIOR WALLS DIMENSIONED FROM FACE OF STUD, UNO.
 - E. EXTERIOR WINDOW AND DOOR OPENINGS ARE DIMENSIONED TO CENTER LINE OF ROUGH OPENING.
 - F. INTERIOR STUD OPENINGS ARE DIMENSIONED TO CENTER OF OPENING, UNO.
 - G. CENTER OF POST ARE DIMENSIONED ON FOUNDATION DRAWING.
4. ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES.
5. GRADING:
 - A. GRADES AT FOUNDATIONS VARY. CONTRACTOR TO COORDINATE FINISH FLOOR ELEVATIONS, FOUNDATION DEPTHS, AND ADJACENT GRADES WITH CIVIL, STRUCTURAL AND LANDSCAPE DRAWINGS.
 - B. GRADES TO BE MIN 8" BELOW INTERIOR SLAB, UNO.
 - C. SLOPE ALL PORCHES, PATIOS, AND HARDSCAPE SURFACES 10"PERC PER FOOT AWAY FROM BUILDINGS FOR POSITIVE DRAINAGE. SEE CIVIL AND LANDSCAPE DRAWINGS FOR CONTINUATION OF ALL SIDEWALKS, TYPICAL.



1 3RD FLOOR PLAN
1/8" = 1'-0"



GATEWAY ON 4TH
PHASE 1 -
BUILDING A

BETHLEHEM, PA

OWNER

PENNROSE

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PHILADELPHIA, PA 19121
267.386.8600

ARCHITECT

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CIVIL ENGINEER

T&M ASSOCIATES

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610.625.2999

STRUCTURAL ENGINEER

DCI ENGINEERS

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WAYNE, PA 19087
484.475.2190

MEP ENGINEER

MCHUGH ENGINEERING

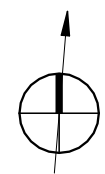
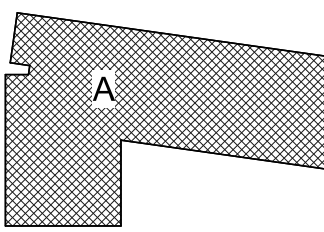
136 POPLAR STREET
AMBLER, PA 19002
215.641.1158

GEOTECHNICAL ENGINEER

TERRACON

930 HARVEST DRIVE, SUITE 430
BLUE BELL, PA 19422
267.512.7050

KEYPLAN



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SCALE As indicated

4TH FLOOR PLAN

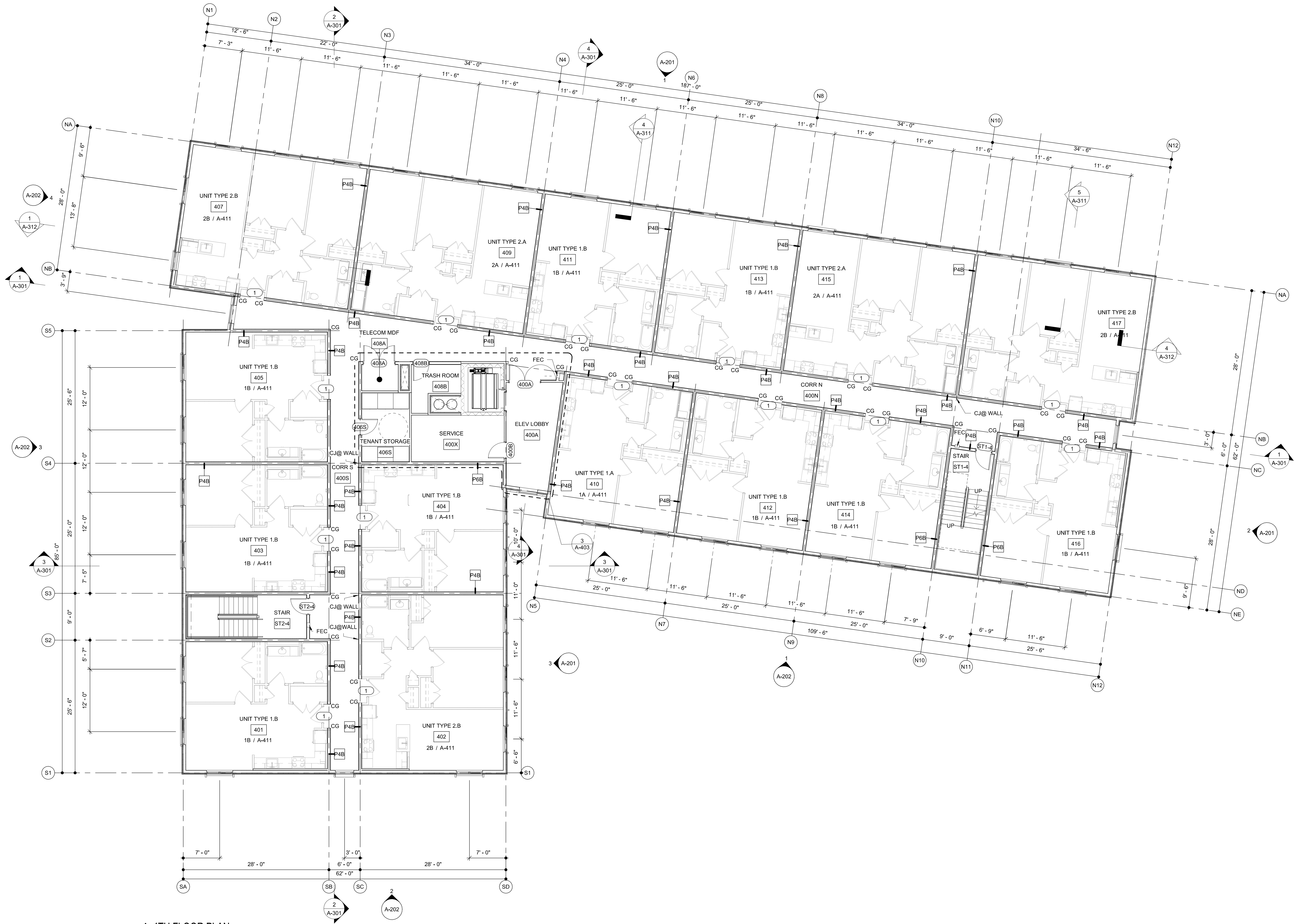
A-104

FLOOR PLAN LEGEND:

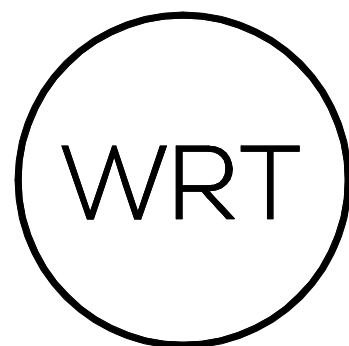
- [PW] WALL TYPE
- [SF#] STOREFRONT TYPE
- [#] DOOR TYPE
- [CR] CARD READER
- [KNOX] KNOX BOX
- [ICOM] INTERCOM
- CJ CONTROL JOINT
- CG CORNER GUARD

FLOOR PLAN NOTES

- SEE G-SERIES FOR GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS.
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1 4TH FLOOR PLAN
1/8" = 1'-0"



GATEWAY ON 4TH
PHASE 1 -
BUILDING A

BETHLEHEM, PA

OWNER

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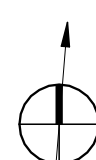
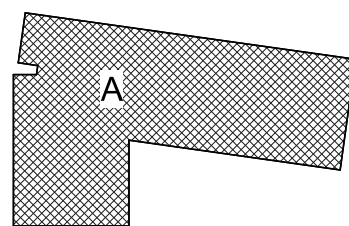
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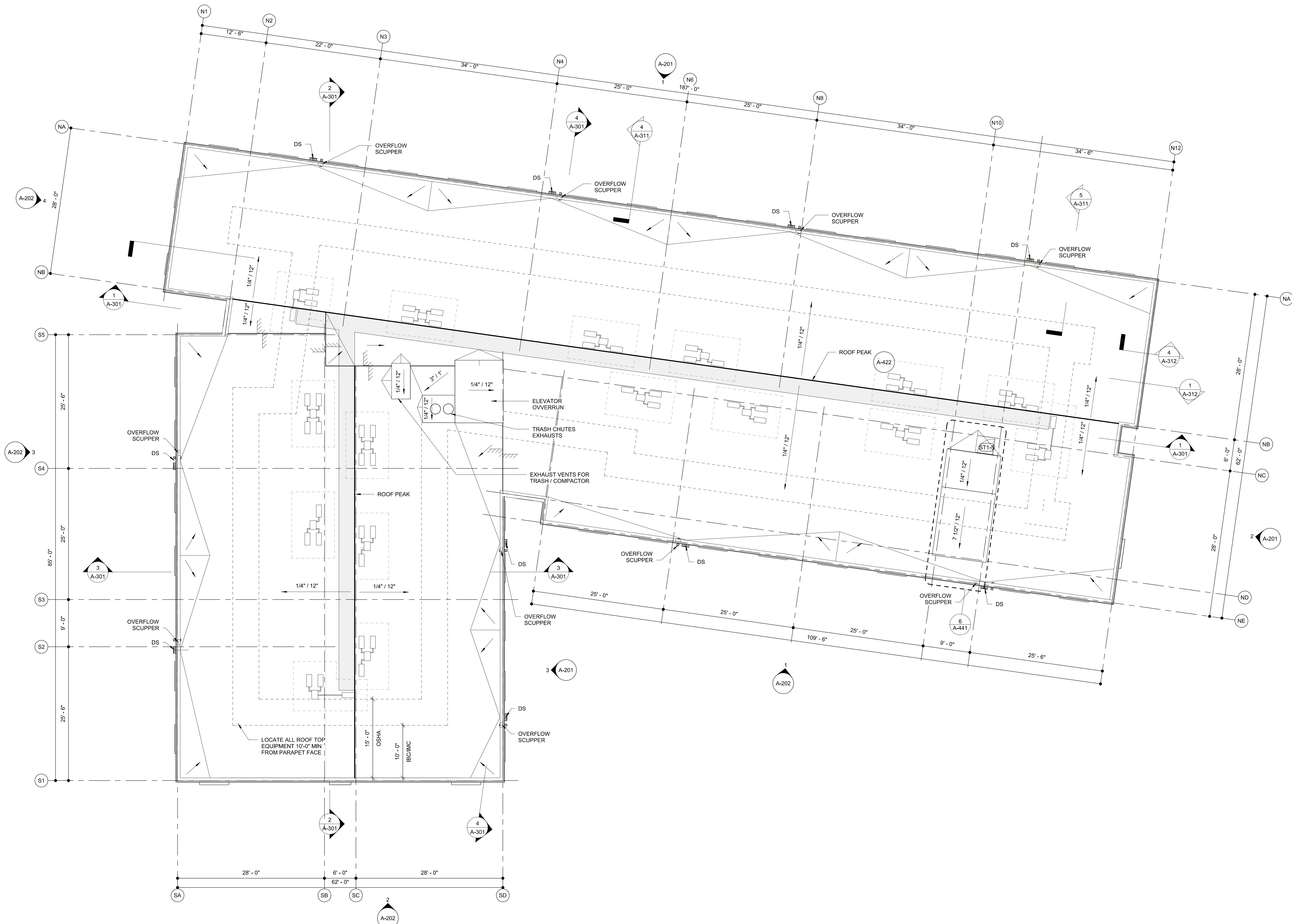
SCALE As indicated

ROOF PLAN

A-105

ROOF PLAN NOTES

1. MAINTAIN MINIMUM ROOF SLOPE OF 1/4" PER 1'-0" FOR MEMBRANE ROOFING, UNO. PROVIDE CRICKETS TO MAINTAIN POSITIVE DRAINAGE.
2. MAINTAIN POSITIVE DRAINAGE FOR GUTTERS.
3. SEE MEP DRAWINGS FOR ROOFTOP EQUIPMENT, EQUIPMENT MOUNTING REQUIREMENTS, AND PENETRATIONS.
4. ROOFTOP EQUIPMENT TO BE INSTALLED AT LEAST 10' AWAY FROM NEAREST ROOF EDGE, UNO.



1 ROOF PLAN
1/8" = 1'-0"