



CITY OF BETHLEHEM

10 East Church Street, Bethlehem, Pennsylvania 18018-6025

BUREAU OF PLANNING AND ZONING

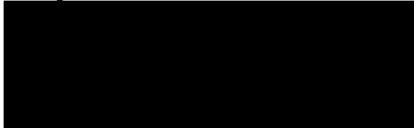
Phone: 610-865-7088

Fax: 610-865-7330

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June 26, 2026

Kelly Yan



RE: **(26-004 LD&S) – 26020009 – 1400 EAST 4TH STREET (Eastern Gateway aka Gateway on 4th) – LAND DEVELOPMENT AND SUBDIVISION PLAN (LOT CONSOLIDATION AND RE-SUBDIVISION) – Ward 17, Zoned CL, plans dated February 20, 2026, last revised June 1, 2026, and June 18, 2026, for Fire Comments.**

Dear Ms. Yan:

The above-referenced plan has been reviewed by the appropriate City offices. We offer the following comments:

PUBLIC WORKS

Sanitary Engineering

1. In accordance with Ordinance No. 4342, at the time of execution of the developer's agreement, a sanitary sewer tapping fee of \$221,982.91 shall be paid. This amount shall be paid in two installments at the execution of the developer's agreements for each Phase 1 & 2. The Phase 1 tapping fee shall be \$120,866.41; the Phase 2 tapping fee shall be \$101,116.50.
2. Identify on the plans the locations of pavement restorations required for capping existing sanitary sewer laterals.
3. Applicants have acknowledged that building permits may not be issued until the submitted sewer facilities planning module is approved by PADEP.

Stormwater Engineering

1. Existing impervious coverage shall be shown in square feet.
2. Revise the plans to reflect the As-Built from the construction of the South Bethlehem Greenway; whereas there is an existing type E-S end wall at the end of the swale with an 18" RCP connecting to an M-Top Inlet along the wall.
3. Due to the existing flow of the swale along the South Bethlehem Greenway, it is not permitted to replace the existing end wall with an inlet. Revise the plans to illustrate how the existing system along the Greenway will be able to handle any additional flow.
4. The proposed 8ft wide paved trail connection shall be revised to address any impact from potential additional stormwater flow onto the South Bethlehem Greenway.

Miscellaneous Engineering

1. The LVPC response letter has been provided; a copy of their final approval shall be provided upon receipt.
2. Applicants have acknowledged that a copy of the NPDES permit must be provided when completed.
3. Per further conversation with the developer's engineer, the following street addresses are assigned for each of the (4) buildings:
 - a. Building A: 401 William St.
 - b. Building B: 1423-1453 E 5th St.
 - c. Building C: 451 William St.

d. Building D: 1459-1489 E 5th St.

4. As it pertains to the opinion of probable cost estimate, separate out which public and site improvements shall be completed during each phase of the project.
5. All existing depressed curbs and driveway aprons shall be removed and replaced with standard height curbs and sidewalk respectively. Indicate on the Record Plan these locations along E 4th St, William St, and E 5th St.
6. Provide a note on the Record Plan stating that all improvements within the public right-of-way shall be constructed according to city standards.

ZONING

1. The northeast-most run of parking spaces is in excess of 24 consecutive parking stalls broken by a landscaped island. Per Zoning Ordinance section 1319.02(j)(2), this area shall include a deciduous tree.

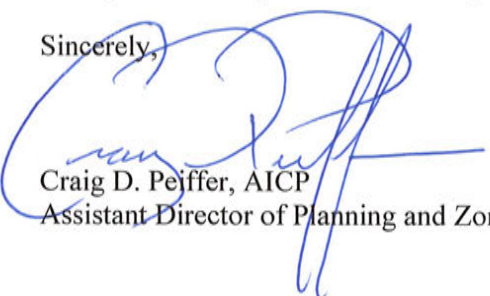
GENERAL

1. Applicants shall submit a legal description and exhibit for the access easement for review by the city and subsequent recording by the applicant. This shall be included under Additional Special Provisions within the Developer's Agreement and recorded prior to the release of final security.
2. The following note, "All landscaping, as approved on final site plans, shall be completed and maintained, including the replacement of dead plantings by the applicant or their successors and assigns," added to Sheet 20 of 29, Landscaping Plan, shall also be added to Sheet 02 of 24, Legend and General Notes.
3. Sheet 20 of 29, Landscaping Plan, Landscape Requirements – SALDO, No 1, Proposed, Correct the number from 30 to 31 to reflect the number drawn on the plan.
4. Sheet 1 of 1, Subdivision Plan, Provide (separately) legal descriptions (metes and bounds) for both Proposed Lot 1 and Lot 2.

When these comments are addressed, please submit two (2) full set of revised plans, an electronic plan, and a comment/response letter for further review.

This plan will be placed on the July 9, 2026, Planning Commission Agenda.

Sincerely,



Craig D. Peiffer, AICP
Assistant Director of Planning and Zoning

C. Geoffrey Karanja
Adam Herbold
David Taylor
Cathy Fletcher

Craig Baer
Michael Halbforester
Robert Taylor

Greg Cryder
Ryan Knause

Kris Reiss, T&M Associates

Enc.



April 1, 2026

Craig Peiffer, Assistant Director of Planning and Zoning
City of Bethlehem
10 E. Church Street
Bethlehem, PA 18018

Dear Mr. Peiffer,

We appreciate the opportunity to comment on the proposed development on 1400 E. 4th street. Our recommendations are in support of Bethlehem City's Climate Action Plan (CAP), which aims to reduce our carbon footprint, increase sustainability and utilize alternative energy sources.

New construction projects provide opportunities to employ energy saving strategies that will lower energy costs and at the same time reduce pollution from traditional energy sources.

Acknowledgements

- We appreciate the thought resulting in the diversity in trees used, especially the use of oak trees, serviceberry trees and blueberry bushes.
- The paved trail connection to the Greenway is a nice addition. Consider including covered bicycle parking in a storage shed, accessible to residents, or indoor bicycle parking with a separate entrance within one or more of the buildings. The CAP recommends "easily-accessible, secure, sheltered bicycle parking" (Transportation Strategies T1.2 and T1.9).

Strong recommendations

- Install Level 2 Electric Vehicle (EV) Charging stations to allow for a minimum of 4 cars to charge simultaneously. As gas prices surge, EV technology becomes less expensive, and lower cost used EV's come to market, EV's will become more popular. Offering on-site charging stations will increase the attractiveness for tenants while helping us reduce greenhouse gas emissions from tailpipes.
- To reduce vehicle parking requirements, you can commit to subsidizing public transit service. See Bethlehem Zoning Ordinance Article 1319.02.6.d (page 136). A reduction will reduce impervious surface

coverage, reducing stormwater runoff. Across from the site there is a bus stop with two local lines, 101 and 105, and a 9 minute walk away leads to the EBS green line stop.

- In addition, a reduction in impervious surface for parking could yield space for raised bed gardening for tenants.
- Rather than a green lawn surrounding the buildings, consideration could be given to using native plants/grasses that will retain soil, provide pollinator habitat and do not need to be mowed. This low maintenance measure would provide a savings on landscape services and reduce greenhouse gas emissions from mowing.
- Consider LEED guidelines in the building structures. Adopting LEED guidelines will lower utility costs, provide healthier air, and yield higher asset value.
- We recommend that the developer utilize sustainable building materials and energy efficiency measures beyond the building code, such as passive solar design features, advanced lighting controls, high efficiency HVAC equipment like Heat Pumps, increased insulation and water conservation and indoor air quality measures.
- If an abundance of windows is planned, we note the potential for bird impacts. Birds are not capable of seeing glass, which is either clear (see-through) or reflective. When windows in a building line-up with one another, birds often see habitat on the far side and try to fly through to it, often hitting with a terrible and fatal force. According to Dr. Daniel Klem Jr., "Every year up to one billion birds are killed or fatally injured colliding with glass windows in North America alone." Should the building incorporate large areas of glass, we suggest that the design, location and lighting of the building be evaluated for potential collision risk. It is possible to purchase glass made specifically to reduce bird flight impacts and bird kills, known as bird friendly glass. Please let us know if you would like more information.

Additional Considerations

- Northampton County adopted the Commercial Property Assessed Clean Energy (C-PACE) program. C-PACE is an innovative financial tool that allows financing for solar, increased energy efficiency, water conservation and indoor air quality measures to be attached to the property instead of the owner. This can free up developers' finances by placing the assessment on the property and structuring repayment through property taxes. The Sustainable Energy Fund (SEF) administers the C-PACE program for Northampton County and can provide information on the program (www.theSEF.org). In addition, there are currently tax credits for new solar energy systems.
- Loading zones are required for package delivery, resident drop-off, and resident moving. Use of the loading zones should not interfere with resident parking. No loading zones are apparent for the 2 main buildings in the plans reviewed.

- Ensure pet waste stations are available at entrances of the apartment building. Pet waste stations will help reduce unhealthy waste in the neighborhood.
- Consider installation of a green roof for the 2 large buildings. A green roof would contribute to lessening the heat island effect, help lower the temperature inside the building and aid stormwater management. An example is pictured below.
- If the builder decides against a 'green roof', consider installing Solar Panels on the roofs of the 2 main buildings. Make the 16-unit low rise buildings capable of supporting solar panels.

Green roof example:



Thank you for your consideration.

Sincerely,

Steve Olshevski, Chair

On behalf of the Bethlehem EAC:

Ben Felzer, Vice Chair

Ben Guthrie, Secretary

Vibhur Kumar

Megan Lysowski

Mandy Tolino

Katie Trembler

cc: Bethlehem City Council

Mayor J. William Reynolds



CHRISTINA "TORI" MORGAN
Chair

ARMANDO MORITZ-CHAPELLIQUEN
Vice Chair

PHILLIPS ARMSTRONG
Treasurer

BECKY A. BRADLEY, AICP
Executive Director

April 3, 2026

Mr. Craig Peiffer, Assistant Planning Director
City of Bethlehem
10 E Church St
Bethlehem, PA 18018

**Re: Gateway on Fourth
City of Bethlehem
Northampton County**

Dear Mr. Peiffer,

The application proposes constructing 120 units at 1400 & 1414 East Fourth Street (PIN: P7SW1A 7 1 & P7SW1A 7 2). Lot 1 will serve as phase one of the project developing 44 units in a midrise apartment building and 16 low-rise multifamily units on 1.56 acres, and lot 2 will serve as the second phase developing 44 units in a midrise apartment building and 16 low-rise multifamily units on a 2.10-acre lot. Both phases have planned infrastructure improvements on the site with sidewalks, ADA improvements, and electric vehicle charging. Phase one will be accessed via William Street and phase two will connect and expand that parking lot, adding another access road on East Fifth Street. The properties are within an area identified in *FutureLV: The Regional Plan* as a Development Area. The project achieves many of the goals and policies of *FutureLV: The Regional Plan* by 'encouraging reuse and redevelopment in urban areas' (of Policy 1.1).

Housing

The proposed development supports efforts to alleviate the regional housing shortage. According to the Lehigh Valley Housing Dashboard, the City of Bethlehem is experiencing a shortage of 1,168 housing units today, and an additional 5,406 units are needed by the year 2050 to keep up with the City's anticipated population growth. The proposal helps meet the City's housing demand while increasing attainable housing opportunities (of Policy 4.5).

The proposal also supports a core strategy of *FutureLV: The Regional Plan* to increase density using infill development and concentrating development in already developed areas to prevent sprawl and the churning up of farmland and open space to accommodate growth (Density Special Section, page 71). More information about housing in the City of Bethlehem and throughout the Lehigh Valley is available at lvpc.org/housing.

Transportation

A bicycle rack is recommended to be included to support a safe, healthy, inclusive and livable community (FutureLV: The Regional Plan Goal 5). The addition of a bicycle rack helps to 'ensure transportation accessibility for all persons, integrates mixed transportation into public space design', and it 'improves connections between bus stops and pedestrian and bicycle infrastructure' (of Policy 5.2). Many residents who rely on public transportation use their bicycles for 'last mile' commutes. The site is also near Lehigh and Northampton Transportation Authority (LANTA) bus stops so residents and customers are likely to utilize multiple forms of transportation to and from the site.

The LVPC commends the inclusion of a connection to the South Bethlehem Greenway and the above sidewalk, helping 'encourage an interconnected street, sidewalk, and trail network' and 'create community spaces that promote physical and mental health' (of Policies 2.2 & 5.3).

Environment

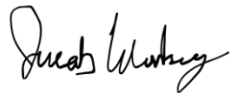
The LVPC encourages the developer to consider opportunities for incorporating sustainable energy systems that reduce overhead operational costs and 'reduce climate change impacts through mitigation and adaptation' (of Policy 3.4), such as geothermal energy systems, solar panels and greywater reuse for irrigation and plumbing.

Additionally, the LVPC recommends the inclusion of native, climate adaptive shade trees in the center islands along both phases of the parking lot to reduce the heat island effect and 'minimize the environmental impacts of development' (of Policy 3.2).

The project site is located within the Bushkill Creek watershed. This watershed has a fully implemented Act 167 Stormwater Management Ordinance. Comments related to our review of the project's stormwater management plan are included as attachment 1.

Municipalities, when considering subdivision/land developments, should reasonably attempt to be consistent with *FutureLV: The Regional Plan*, as required by the Pennsylvania Municipalities Planning Code (MPC) [Article I§105, Article III§303, §304 & §306(a), Article VI§603(j)]. The LVPC review does not include an in-depth examination of plans relative to subdivision design standards or ordinance requirements since these items are covered in the municipal review.

Sincerely,



Jacob Weinberg
Community and Regional Planner

cc:

Michael Alkhal, Township Engineer;
Gateway on Fourth Phase I LLC, Applicant;
Kris Reiss, Project Engineer
Lehigh Valley Industrial Park Inc., Record Property Owner.

ATTACHMENT 1

Act 167 Drainage Plan Review

April 3, 2026

Re: Gateway on 4th
Plans Dated February 20, 2026
City of Bethlehem
Northampton County

The proposed storm drainage concept presented in the plans dated February 20, 2026 and calculations dated February 19, 2025 has been reviewed for consistency with the *Catasauqua Creek Watershed and Lehigh River Sub-Basin 4 Act 167 Storm Water Management Ordinance, February 1997*. A checklist of the Act 167 review items is attached for your information. As indicated on the checklist, each item of the Drainage Plan has been reviewed for consistency with the Act 167 Ordinance. A brief narrative of the review findings is as follows:

The proposed development is located within drainage district 56 of Lehigh River Sub-Basin 4 as delineated in the Act 167 Plan. As such, the runoff control criterion for the site is Conditional No Detention II. If downstream capacity exists or is provided from the site to the Lehigh River, increased runoff may be discharged without detention. If downstream capacity does not exist, a 100% Release Rate may be applied to the 2-, 10-, 25- and 100-year return period storms at each point of discharge. Based on the review of the plans and calculations, the following deficiencies are noted. A soil map should be provided in the narrative, and soil boundaries need to be shown on the drainage area maps. Phase 1 release rates are not met. Pre- and post-development drainage area total acreages need to be the same. The existing dwellings on the western portion of the property are included in the pre-development drainage boundaries but are not in the post-development drainage boundaries. Offsite disturbance areas in the street shown on the post-development drainage area map are not included within the drainage boundaries. All drainage areas shown in the hydrographs need to be on the pre- or post-development drainage areas maps. Roof drains need to be shown on the plans. The 2-year storm event rainfall needs to be used for calculating time of concentration. Pre-development time of concentration is underestimated. The maximum length of sheet flow using the soil-cover-complex method is 150 feet. The minimum time of concentration is 6 minutes when using this method. Infiltration testing needs to be provided. An apparent above ground basin is shown on the Phase 2 plans but is not included in the calculations. Footprint dimensions of the subsurface basin should be clearly labeled in the details. Therefore, the Drainage Plan has been found to be inconsistent with the Act 167 requirements.

Note that only those details of the Drainage Plan included on the checklist have been covered by this review. Therefore, notable portions of the Drainage Plan not reviewed include any aspect of the post-construction storm water management plan concerning water quality, the details and design of any proposed water quality BMPs, the Erosion and Sedimentation Control Plan and the details of the runoff collection system (piping). These items are reviewed by the municipal engineer and/or others, as applicable.

Once the outlined issues have been addressed, the revised plans and calculations, completed application form and appropriate review fee will need to be resubmitted to our office. Please call with any questions regarding these comments.

Sincerely yours,

A handwritten signature in blue ink, reading "Geoffrey A. Reese". The signature is fluid and cursive, with the first name "Geoffrey" and last name "Reese" clearly distinguishable.

Geoffrey A. Reese, PE
Master Planner and Engineer

Attachment

LVPC ACT 167 REVIEW CHECKLIST

Development Name: Gateway on 4th
Municipality: City of Bethlehem
Date: April 3, 2026

Watershed: Lehigh River Sub-Basin 4
Reviewer: Peter G. Lantz
Checked by: Geoffrey A. Reese, PE

Ordinance Reference	Item	Consistency w/Ordinance			Comment
		Yes	No	N/A	
301.A-G.	General storm water management requirements.....	X	/	/	
	H. Consideration of volume controls.....	/	X	/	See Attachment 1 for details.
302.A,B.	Applicable Storm Water Management Provisions				
	Subarea(s)	56			
	Criteria	CND II			
	Criteria Key: RR = release rate; CND I = conditional no detention I; CND II = conditional no detention II				
303.A.	Design consistency with applicable management provisions from 302.A. and B	/	X	/	See Attachment 1 for details.
B.	Mapping of Storm Water Management District Boundaries	/	/	X	
C.	Downstream capacity analysis.....	/	/	X	
D.	Multiple discharge points within a single subarea	/	X	/	See Attachment 1 for details.
E,F.	Multiple discharge points within multiple subareas	/	/	X	
J.	Documentation of no increase in peak or volume	/	/	X	
K.	Documentation of "no harm" downstream.....	/	/	X	
L.	Regional or subregional detention analysis	/	/	X	
M.	Capacity improvements analysis.....	/	/	X	
304.A.	Computation method (rational or soil-cover-complex)	X	/	/	Soil-cover-complex method used.
B.	Verification of detention design by routing	/	X	/	See Attachment 1 for details.
C.	Minimum detention pond freeboard specifications.....	/	/	X	
E.	Soil-cover-complex method design rainfall	X	/	/	
F.	Rainfall intensities for rational method	/	/	X	
G.	Curve Numbers for soil-cover-complex method.....	X	/	/	
H.	Runoff coefficients for the rational method.....	/	/	X	
I.	Volume control storage volume.....	/	/	X	
J.	Common time of concentration	/	/	X	
K.	Manning equation to calculate watercourse capacity.....	/	/	X	
403.	Drainage Plan Contents	/	X	/	See Attachment 1 for details.