

SITE DATA
 OWNER: NABILA YOUSSEF
 PARID: P65E1B 23 6 0204
 DEED BOOK: 2024-1, 075080
 ADDRESS: 330 E 4TH STREET
 AREA: 7,183 S.F. (0.1649 A.C.)
 NUMBER OF LOTS -
 EXISTING: 1
 PROPOSED: 1
 LINEAL FEET OF NEW STREETS - 0 LF.
 WATER SUPPLY - PROPOSED PUBLIC
 SEWER - PROPOSED PUBLIC

ZONING DATA

| | | | |
|------------------------------|--|----------------------|-----------------------|
| ZONING DISTRICT: | CL LIMITED COMMERCIAL (RESIDENTIAL USE) | | |
| SOUTH-SIDE HISTORIC DISTRICT | | | |
| MINIMUM LOT SIZE: | REQUIRED 2000 SF | EXISTING 7,183 SF | PROPOSED 7,183 SF |
| MINIMUM LOT WIDTH: | 20 FT | 40 FT | 40 FT |
| MINIMUM YARDS: | FRONT: 0 FT SIDE: 4 FT REAR: 10 FT | NA NA NA | 0 FT 4 FT 10 FT |
| MAX. LOT COVERAGE: | 90% | 50% | 81% |
| MAX. BLDG COVERAGE: | 90% | 44% | 25% |
| MAX. BUILDING HEIGHT: | 60 FT | NA | <60 FT |

SURVEY NOTES:
 1. THIS PLAN IS BASED ON A FIELD SURVEY MARCH 2024 BY BLACK FOREST ENGINEERING LLC USING A TOTAL STATION AND GPS RTK UNIT.
 2. BEARINGS BASED ON PA STATE PLANE SOUTH, NAD83.
 3. ELEVATIONS BASED ON NAVD83.
 4. UTILITY LOCATIONS SHOULD BE CONSIDERED APPROXIMATE AND HAVE BEEN BASED ON VISIBLE ABOVE-GROUND EVIDENCE. A CONTRACTOR SHALL DETERMINE THE ACTUAL LOCATION OF ALL UTILITIES SHOWN ON THIS PLAN AND ANY ADDITIONAL EXISTING UTILITIES NOT SHOWN ON THIS PLAN.
 5. BOUNDARY LINES SHOWN WITH BEARINGS AND DISTANCES OR CURVE INFORMATION HAVE BEEN FIELD VERIFIED BY THIS SURVEY.
 6. STREET DIMENSIONS BASED ON CITY OF BETHLEHEM BLOCK PLAN W3B7A.

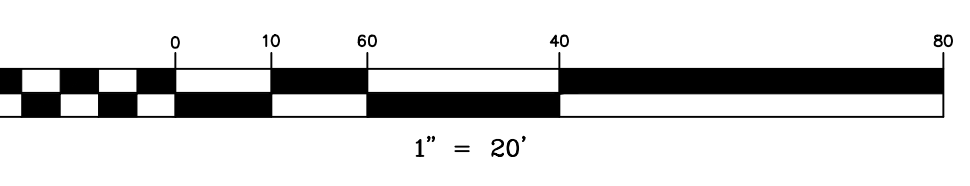
BENCHMARK FOR THIS PLAN
 VERTICAL CONTROL IS BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). BEARING SYSTEM BASED UPON THE PENNSYLVANIA NORTH AMERICAN DATUM OF 1983, SOUTH ZONE, US FOOT (PA-NAD83).
 1. EXISTING MH RIM ELEV.=271.62

EXISTING Legend

| | |
|--|-------------------------|
| | PROPERTY LINE |
| | EXISTING RIGHT-OF-WAY |
| | EXISTING EDGE OF PAVE |
| | EXISTING VEGETATION |
| | EXISTING CENTERLINE |
| | EXISTING ROAD PAVEMENT |
| | EXISTING SIDEWALK |
| | EXISTING STRUCTURE |
| | EXISTING ADJOINER |
| | EXISTING MINOR CONTOUR |
| | EXISTING MAJOR CONTOUR |
| | EXISTING ELECTRIC POLE |
| | EXISTING IRON PIN |
| | EXISTING CONTROL POINT |
| | EXISTING TEST PIT/PROBE |

PROPOSED Legend

| | |
|--|---------------------------------|
| | PROP. PROPERTY LINE |
| | PROP. TRACT LINE |
| | PROP. RIGHT-OF-WAY |
| | PROP. EASEMENT |
| | PROP. BUILDING RESTRICTION LINE |
| | PROP. FENCE |
| | PROP. TREE LINE |
| | PROP. CENTERLINE |
| | PROP. SIDEWALK |
| | PROP. CURB |
| | PROP. DRIVEWAY |
| | PROP. CONTOUR MAJOR |
| | PROP. CONTOUR MINOR |
| | PROP. IRON PIN |
| | PROP. CONCRETE MONUMENT |
| | PROP. SIGN |
| | PROP. TREE |
| | PROP. BENCHMARK |
| | PROP. BUILDING/STRUCTURE |
| | PROP. DRIVEWAY |

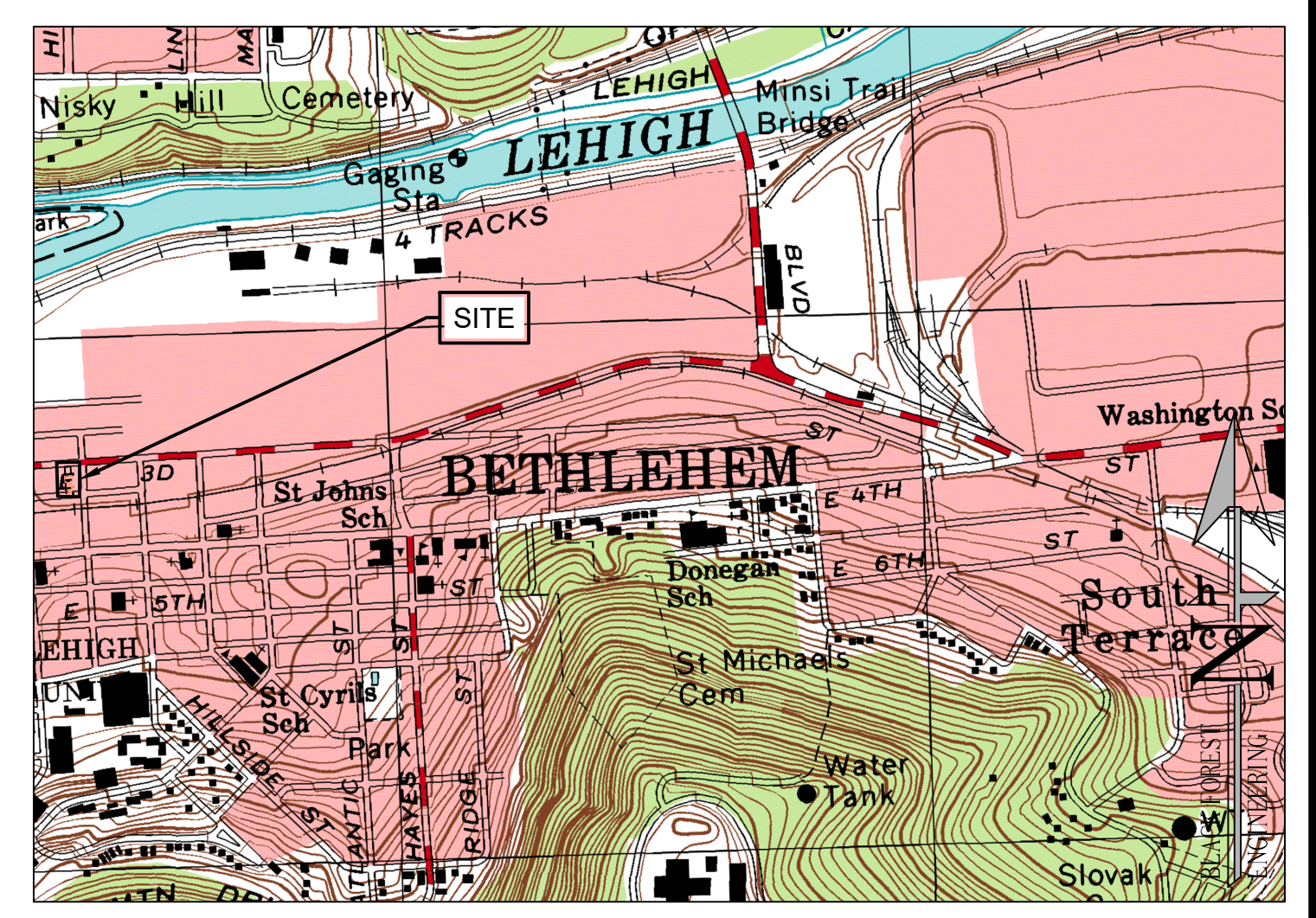


PLAN INTENT

THE APPLICANT WISHES TO RAZE EXISTING HOUSE, GARAGE AND SHED IN ORDER TO CONSTRUCT A 4-UNIT MULTI FAMILY HOME AND 1,800 FIRST FLOOR COMMERCIAL SPACE WITH OFFSTREET PARKING, LANDSCAPING AND PUBLIC UTILITIES.

LAND DEVELOPMENT LOCATED IN THE
 CITY OF BETHLEHEM
 WARD 3 BLOCK 7A
 NORTHAMPTON COUNTY
 COMMONWEALTH OF PENNSYLVANIA

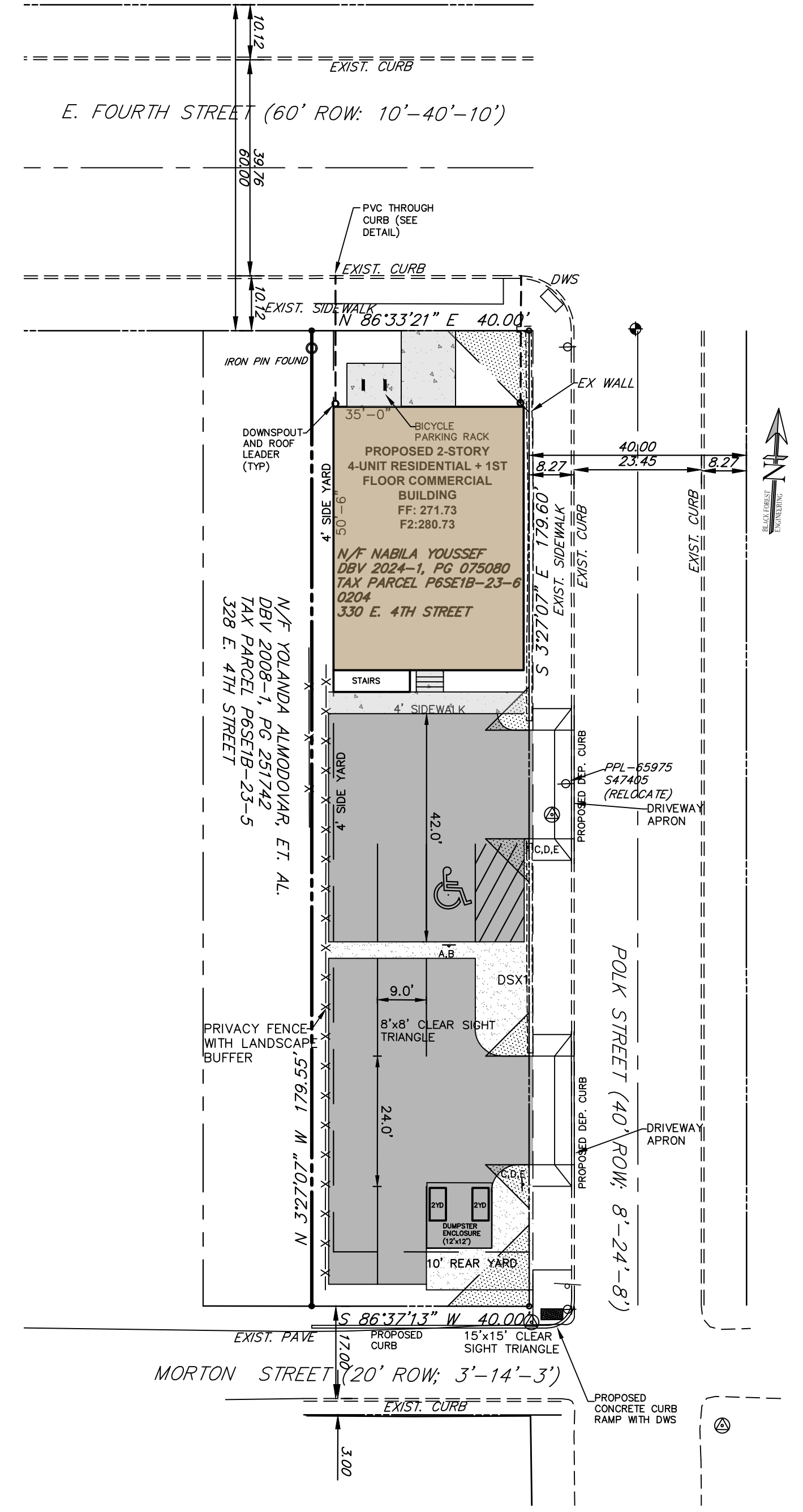
INVOLVING PARCELS LOCATED AT
 330 EAST 4TH STREET
 PRELIMINARY/FINAL PLAN



LOCATION MAP
 USGS HELLERTOWN QUADRANGLE
 SCALE: 1"=1000'

PROPOSED ADDRESSES

| | |
|---------------------------|---|
| 1ST FLOOR COMMERCIAL UNIT | 330 E 4TH STREET BETHLEHEM PA 18015 |
| APARTMENT #1 | 405 POLK ST. APT. 201, BETHLEHEM PA 18015 |
| APARTMENT #2 | 405 POLK ST. APT. 202, BETHLEHEM PA 18015 |
| APARTMENT #3 | 405 POLK ST. APT. 301, BETHLEHEM PA 18015 |
| APARTMENT #4 | 405 POLK ST. APT. 302, BETHLEHEM PA 18015 |



PARKING REQUIREMENT

RESIDENTIAL USE
 1.5 SPACES PER UNIT
 4 UNITS x 1.5 = 6 SPACES REQ'D
 (6 SPACES PROVIDED)

COMMERCIAL USE (FLEX)
 (2 SPACES PROVIDED)

BICYCLE:
 1 SPACE PER 20 VEHICLE SPACES
 10 SPACES X 5% = 1 SPACES REQ'D (4 PROVIDED)

IMPERVIOUS COVER
 EXISTING CONDITION=3,194 SF
 PROPOSED CONDITION=5,596 SF

NOTE: AN INCREASE OF 2,402 SF IS PROPOSED AND THEREFORE ACT 167 APPROVAL IS NOT REQUIRED.

RECORD NOTES

- EACH LOT SHOWN IS SUBJECT TO ALL EASEMENTS VISIBLE, OR ON RECORD, OR AS REQUIRED BY A UTILITY TO SERVE SAID LOT AT SUCH TIME AS THE UTILITY IS INSTALLED.
- ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL COMPLY WITH THE CITY OF BETHLEHEM STANDARDS AND SPECIFICATIONS AND THE APPROPRIATE PUBLIC UTILITY AUTHORITIES.
- THE SITE WAS EVALUATED FOR WETLANDS AND WATERCOURSES AND IT WAS DETERMINED THAT WETLANDS AND WATERCOURSES DO NOT EXIST ON THE SITE.
- THERE ARE NO FEMA DELINEATED 100-YR FLOODPLAINS OR WATERCOURSES ON OR NEAR THIS PROPERTY.
- ACTUAL UTILITY CONNECTION POINTS SHALL BE VERIFIED PRIOR TO CONSTRUCTION.
- ALL LOTS SHALL BE LAID OUT AND GRADED TO PREVENT CROSS LOT DRAINAGE AND TO PROVIDE POSITIVE DRAINAGE AWAY FROM PROPOSED BUILDING AREAS.
- ALL CITY PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- RUNOFF FROM ALL ON-SITE IMPERVIOUS AREAS SHALL NOT BE DIRECTED INTO THE PUBLIC SANITARY SEWER, ACROSS THE SIDEWALK AREA WITHIN THE PUBLIC RIGHT-OF-WAY, OR ONTO ADJOINING PROPERTIES, SECTION 1753.08 B.4 OF THE CITY PROPERTY REHABILITATION & MAINTENANCE CODE.
- ALL LATERAL SANITARY SEWER PIPING IS TO BE SCH 40 OR SDR-26 PVC PIPING UNLESS OTHERWISE NOTED..
- WORK TO BE PERFORMED ONSITE, SHALL BE DONE IN ACCORDANCE WITH THE IBC.
- ALL PAVEMENT MARKINGS MUST BE THERMOPLASTIC PAVEMENT MARKINGS.
- THE PROJECT WILL REQUIRE AN APPROVED PLANNING MODULE FOR XX-UNITS, SEE DEP CODE# (xxxxxxxx).
- THE CITY OF BETHLEHEM FIRE DEPARTMENT SHALL APPROVE THE FINAL LOCATION OF THE FOLLOWING REQUIRED ITEMS: KNOX BOX, FIRE DEPARTMENT CONNECTION (FDC), AND POST INDICATING VALVE (PIV).
- IN ORDER TO MAINTAIN CONTINUITY BETWEEN PLAN REVISIONS, ANY CHANGES TO A PREVIOUS PLAN SUBMISSION SHALL BE FLAGGED WITH A TRIANGLE. ANY CHANGES NOT FLAGGED MAY BE CONSIDERED NOT APPROVED. FLAGGED CHANGES SHALL BE REFERENCED TO THE APPROPRIATE REVISION DATE DATE IN THE REVISION BLOCK.
- ACCURATE AS-BUILT PLANS SHALL BE KEPT UP TO DATE DURING THE CONSTRUCTION PROCESS. AT THE COMPLETION OF THE PROJECT RECORD DRAWINGS SHALL BE DEVELOPED FROM THE AS-BUILT PLANS AND SUBMITTED TO THE CITY ENGINEER'S OFFICE. ALL FINAL DRAWINGS SHALL SHOW NORTH AMERICAN DATUM (NAD) 1983 STATE PLANE COORDINATES IN FEET (PA SOUTH, FIPS ZONE 3702) AND THE DIGITAL FILE SHALL BE IN STATE PLANE FEET COORDINATES AS APPLICABLE. THE HARD COPY OF THE RECORD DRAWINGS SHALL BE IN THE FORM OF MYLAR COPY. THE ENGINEER OF RECORD SHALL CERTIFY (IE PE STAMPED AND SIGNED) THAT THE RECORD DRAWINGS COMPLY SUBSTANTIALLY WITH THE APPROVED PLAN AND THAT THEY CONFORM TO INDUSTRY STANDARDS. ALL DIGITAL FILES RESIDE ON PC COMPATIBLE CD ROM CONTAINING THE DIGITAL REPRESENTATION OF THE FINAL PLANAS PRESENTED ON THE TWENTY-FOUR (24) INCH BY THIRTY-SIX (36) INCH SHEETS. THE DIGITAL MAP SHALL BE AUTOCAD COMPATIBLE. ALL LAYERS INCLUDED IN THE DIGITAL MAPS SHALL BE THE STANDARDIZED LAYERS PREPARED AND UTILIZED BY THE CITY OF BETHLEHEM TO ENSURE COMPATIBILITY WITH THE CITY'S EXISTING CAD STANDARDS AND AS DESCRIBED IN THE APPENDIX A OF THE CITY'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.
- THE CURRENT AND ANY SUBSEQUENT LAND OWNER SHALL BE RESPONSIBLE TO ENSURE THAT THE HIT, RACK OR LOCKER CONTINUES TO BE AVAILABLE AN IS WELL MAINTAINED AND IS REPLACED IF DAMAGED OR REMOVED.
- THE DOMESTIC WATER METER SHALL BE PLACED INSIDE THE BUILDING.
- CHAPTER 33 OF THE IFC "FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION" WILL BE ENFORCED FOR THE DURATION OF THE CONSTRUCTION PROJECT.
- TWO (2) 2 YD ROLLOUT DUMPSTER CONTAINERS SHALL BE PROVIDED, ONE FOR TRASH AND ONE FOR RECYCLING. PICKUP SCHEDULE SHALL BE DETERMINED BASED UPON TENANT USAGE.

FINAL PLAN SHEET INDEX

| PLAN TITLE | SHEET NO. |
|--|-----------|
| * RECORD PLAN | 1 OF 7 |
| EXISTING FEATURES & GRADING & UTILITY PLAN | 2 OF 7 |
| LANDSCAPE AND LIGHTING PLAN | 3 OF 7 |
| ESPC PLAN | 4 OF 7 |
| CONSTRUCTION DETAILS | 5 OF 7 |
| CONSTRUCTION DETAILS | 6 OF 7 |
| CONSTRUCTION DETAILS | 7 OF 7 |
| * DENOTES PLAN TO BE RECORDED | |

SIGN SCHEDULE

| KEY | DESC. | PENNDOT CODE | QTY | SIZE |
|-----|----------------------------|--------------|-----|-----------|
| A | HANDICAP PRKNG | R7-8 | 1 | 12' X 18" |
| B | VAN ACCESSIBLE | R7-BP | 1 | 12' X 18" |
| C | STOP SIGN | RI-1 | 2 | 30" X 30" |
| D | NO RIGHT TURN | R3-1 | 2 | 24" X 24" |
| E | ALL TRAFFIC MUST TURN LEFT | R3-7-1L | 2 | 24" X 24" |

SIGNATURE BLOCKS

CERTIFICATION OF OWNERSHIP
 I (WE) THE OWNER(S) OF _____ BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT I (WE) AM (ARE) THE SOLE OWNER(S) OF THE ABOVE PROPERTY IN PEACEFUL POSSESSION OF THE SAME AND THAT THERE ARE NO SUITS OR LIENS PENDING AFFECTING THE TITLE THEREOF.

SIGNATURE OF OWNER _____ PRINTED NAME OF OWNER _____

NOTARIZATION
 SWORN AND SUBSCRIBED BEFORE ME THIS _____ DAY OF _____ A.D.
 (LEGIBLE IMPRESSION OF NOTARY SEAL)
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: _____

PLANNING COMMISSION APPROVAL
 THE WITHIN PLOT OR PLAN OF LAND LOCATED IN BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA, WAS APPROVED BY THE BETHLEHEM CITY PLANNING COMMISSION.

CHAIRMAN _____ DATE _____
 PLANNING DIRECTOR _____ DATE _____

ENGINEER'S CERTIFICATION
 I HEREBY CERTIFY THAT THIS PLAN CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND, WHERE APPLICABLE, THE LOTS, BUILDINGS, STREETS, PARKING AREAS, WALKWAYS, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN THEREON.

JOSEPH EDWARD RENTKO
 REGISTRATION NO. PE085609

PROOF OF RECORDING
 PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF NORTHAMPTON COUNTY.

PENNSYLVANIA, UNDER DOCKET ID # _____

ON THE _____ DAY OF _____ 20____

WITNESS MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____ 20____

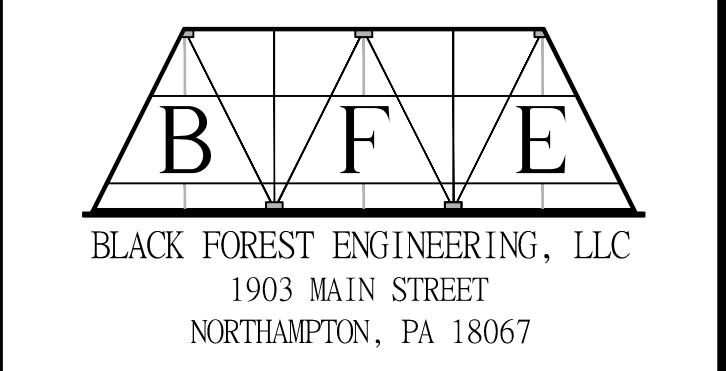
RECORDER OF DEEDS _____

WITNESS: _____

L.V.P.C REVIEW
 REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION

PLANNING _____ DATE _____

"CALL BEFORE YOU DIG"
 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL
 PENNSYLVANIA ONE CALL SYSTEM, INC.
 1-800-242-1776
 SN: 20241645279



BLACK FOREST ENGINEERING, LLC
 1903 MAIN STREET
 NORTHAMPTON, PA 18067



JOSEPH E. RENTKO, P.E. #PE085609
 2455 BLACK FOREST DRIVE
 COPLAY, PA 18037
 610-339-4499

SEAL:

| | | | |
|------|------------------------------|-----|---------|
| 02 | ADDRESS CITY REVIEW COMMENTS | JER | 9/30/25 |
| 01 | ADDRESS ZONING COMMENTS | JER | 2/6/25 |
| REV: | DESCRIPTION: | BY | DATE |

PROJECT TITLE:
330 EAST 4TH STREET

DEVELOPER INFORMATION:
 NICHOLAS YOUSSEF
 610-703-6838

PROJECT LOCATION:
 CITY OF BETHLEHEM
 WARD 3 BLOCK 7A
 NORTHAMPTON COUNTY
 PENNSYLVANIA

PLAN TITLE:
RECORD

SCALE: 1"=20' DATE: 6/13/24 DRAWN: JER CHECKED: JER

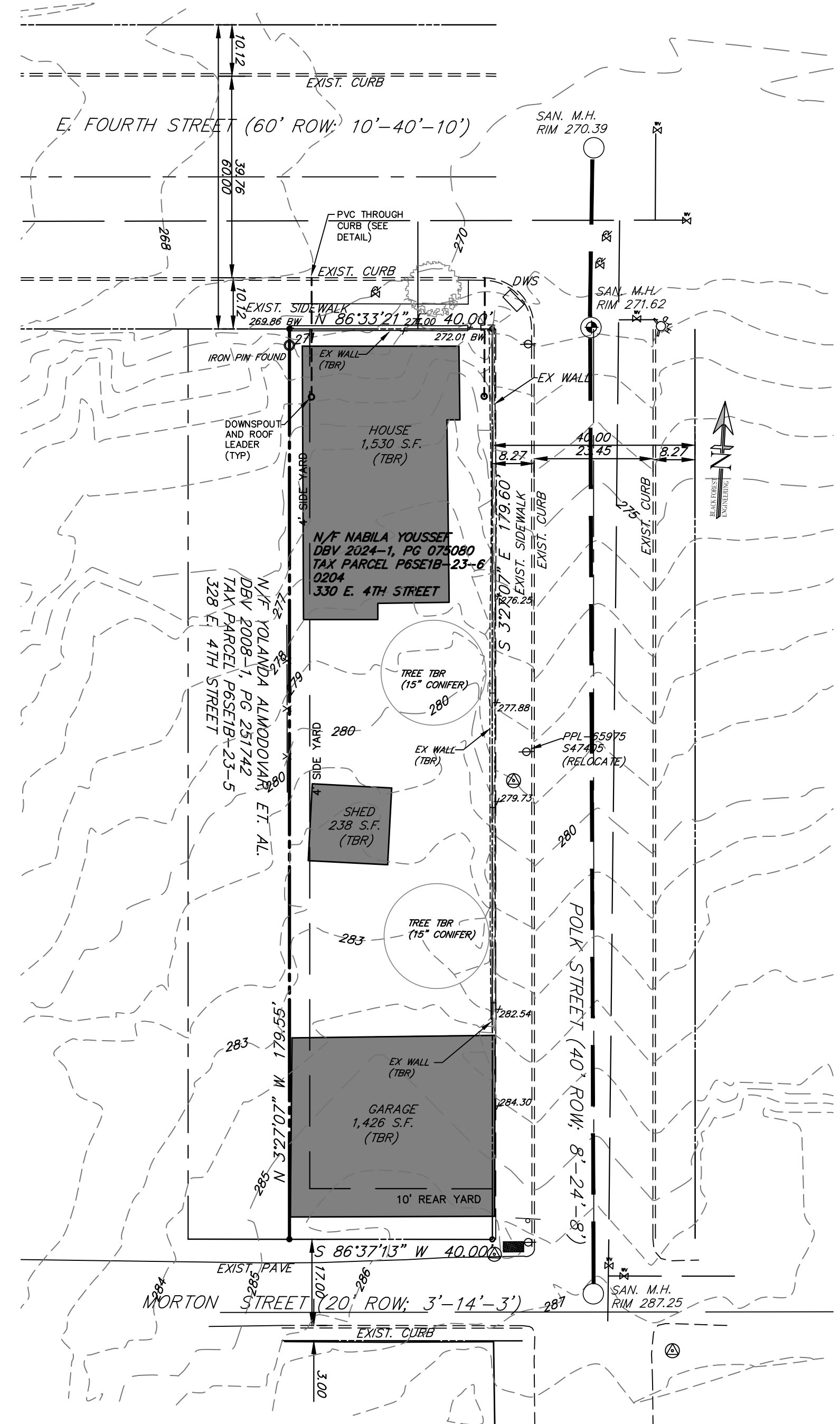
PROJECT NO. 2401 DRAWING NO. 1 OF 7 REVISION: 02

EXISTING Legend

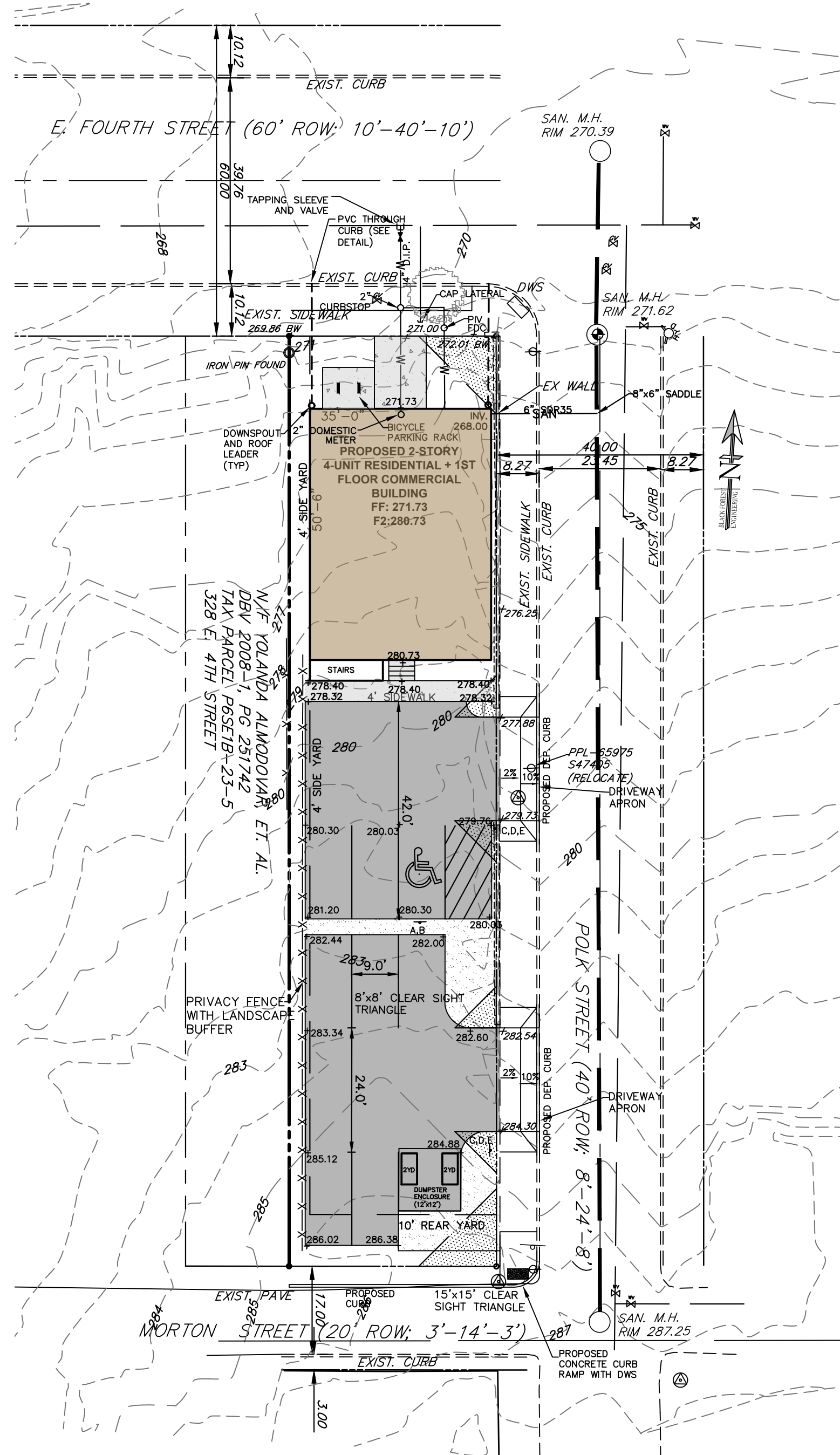
- PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- BUILDING RESTRICTION LINE
- EXISTING EDGE OF PAVE
- EXISTING VEGETATION
- EXISTING CENTERLINE
- EXISTING ROAD PAVEMENT
- EXISTING SIDEWALK
- EXISTING STRUCTURE
- EXISTING ADJONER
- EXISTING GAS LINE
- EXISTING SANITARY LINE
- EXISTING STORM SEWER
- EXISTING WATER LINE
- EXISTING CURB
- EXISTING FENCE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING ELECTRIC POLE
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING IRON PIN
- EXISTING CONTROL POINT
- EXISTING TEST PIT/PROBE
- EXISTING INLET

PROPOSED Legend

- PROP. PROPERTY LINE
- PROP. TRACT LINE
- PROP. RIGHT-OF-WAY
- PROP. EASEMENT
- PROP. BUILDING RESTRICTION LINE
- PROP. FENCE
- PROP. TREE LINE
- PROP. CENTERLINE
- PROP. SIDEWALK
- PROP. CURB
- PROP. DRIVEWAY
- PROP. CONTOUR MAJOR
- PROP. CONTOUR MINOR
- PROP. GAS LINE
- PROP. GAS LATERAL LINE
- PROP. SANITARY LINE
- PROP. SANITARY LATERAL LINE
- PROP. STORM LINE
- PROP. WATER LINE
- PROP. WATER LATERAL LINE
- PROP. DRAINAGE PATH
- PROP. IRON PIN
- PROP. CONCRETE MONUMENT
- PROP. UTILITY POLE
- PROP. SANITARY MANHOLE
- PROP. CLEANOUT
- PROP. VENT
- PROP. STORM MANHOLE
- PROP. INLET
- PROP. SIGN
- PROP. FIRE HYDRANT
- PROP. WATER VALVE
- PROP. WELL
- PROP. GAS VALVE
- PROP. TREE
- PROP. BENCHMARK
- PROP. CONCRETE WHEELSTOP
- PROP. BUILDING/STRUCTURE
- PROP. DRIVEWAY



EXISTING FEATURES PLAN



GRADING & UTILITY PLAN

| PROPOSED ADDRESSES | |
|---------------------------|---|
| 1ST FLOOR COMMERCIAL UNIT | 330 E. 4TH STREET BETHLEHEM PA 18015 |
| APARTMENT #1 | 405 POLK ST. APT. 201, BETHLEHEM PA 18015 |
| APARTMENT #2 | 405 POLK ST. APT. 202, BETHLEHEM PA 18015 |
| APARTMENT #3 | 405 POLK ST. APT. 301, BETHLEHEM PA 18015 |
| APARTMENT #4 | 405 POLK ST. APT. 302, BETHLEHEM PA 18015 |

- SANITARY SEWER NOTES**
- ALL SANITARY SEWER MATERIAL AND APPURTENANCES TO BE DEDICATED TO THE CITY MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF BETHLEHEM CONSTRUCTION SPECIFICATIONS, AS AMENDED AND THE PA DEP DOMESTIC WASTEWATER FACILITIES MANUAL, LATEST REVISION.
 - ALL SANITARY SEWER PIPE, FITTINGS, AND APPURTENANCES MUST BE SDR-26 OR 35 PVC, UNLESS NOTED OTHERWISE.
 - CONNECTION TO EXISTING SANITARY SEWER MANHOLE MUST BE MADE USING WATERTIGHT CONNECTION.
 - EXISTING SANITARY SEWER CONNECTIONS SHALL BE CAPPED AT THE MAIN PRIOR TO DEMOLITION. CAPPING PERMITS SHALL BE OBTAINED FROM THE CITY OF BETHLEHEM ENGINEERING BUREAU.

- GENERAL UTILITY NOTES**
- THE DEVELOPER IS RESPONSIBLE TO SECURE AND PAY FOR ALL ESTABLISHED CITY APPLICATION, ALLOCATION AND TRANSMISSION AND TREATMENT FEES OR PERMITS NECESSARY FOR THE CONNECTION OF THE WATER AND SEWER SYSTEMS TO THE CITY PUBLIC SYSTEMS.
 - ALL DEVELOPMENT CONSTRUCTION IMPROVEMENTS ARE SUBJECT TO QUALITY CONTROL INSPECTION BY THE CITY OR THEIR ASSIGNED AGENTS. ALL WORK CONSTRUCTED WITHOUT QUALITY CONTROL INSPECTION WILL BE SUBJECT TO REJECTION AND REMOVAL AND RECONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE CITY A MINIMUM OF 3 DAYS PRIOR TO ANY CONSTRUCTION OPERATIONS WITHIN THE CITY RIGHT-OF-WAY OR AFFECTING A CITY UTILITY.

- WATER UTILITY NOTES**
- ALL WATER SERVICE LATERALS MUST BE INSTALLED FROM THE MAIN. CORPORATION STOP TO THE CURB STOP AT THE CITY RIGHT-OF-WAY WITHOUT A SPLICE CONNECTION.
 - THE CONTRACTOR SHALL NOT OPERATE EXISTING VALVES, FIRE HYDRANTS, ETC., WITHIN THE CITY'S WATER SYSTEM. ARRANGEMENTS SHALL BE MADE THROUGH THE CITY FOR OPERATION.
 - ALL WATER SYSTEM MATERIALS, APPURTENANCES AND CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST BE IN COMPLIANCE WITH THE CITY OF BETHLEHEM CONSTRUCTION SPECIFICATIONS, AS AMENDED AND THE PA DEP PUBLIC WATER SUPPLY MANUAL, LATEST EDITION.
 - ALL WATER LATERALS AND APPURTENANCES MUST MAINTAIN A MINIMUM OF 4 FEET COVER FROM FINISHED GRADE AND SHALL BE DUCTILE IRON PIPE.

BLACK FOREST ENGINEERING, LLC
 1903 MAIN STREET
 NORTHAMPTON, PA 18067

THIS DOCUMENT IS THE PROPERTY OF BLACK FOREST ENGINEERING, LLC. ANY USE OF A COPY OF THIS DOCUMENT THAT DOES NOT CONTAIN AN ORIGINAL SEAL AND SIGNATURE IS STRICTLY PROHIBITED. THIS DOCUMENT IS NOT PUBLISHED AND ALL RIGHTS ARE RESERVED BY BLACK FOREST ENGINEERING, LLC. THIS PLAN HAS BEEN SEALED WITH A RED INK SEAL AND SIGNATURE. IF NEITHER APPEARS ON THIS PLAN, POSSIBLE REPRODUCTIONS OR ALTERATIONS MAY HAVE BEEN MADE WITHOUT THE APPROVAL OR KNOWLEDGE OF THE SIGNATORY.

SEAL:

JOSEPH E. RENTKO, P.E. #FE088509
 2455 BLACK FOREST DRIVE
 COPLAY, PA 18037
 717-239-4499

| NO. | DESCRIPTION | DATE | BY |
|------|------------------------------|------|---------|
| 02 | ADDRESS CITY REVIEW COMMENTS | JER | 9/30/25 |
| 01 | ADDRESS ZONING COMMENTS | JER | 2/6/25 |
| REV: | DESCRIPTION: | BY | DATE |

PROJECT TITLE:
330 EAST 4TH STREET

PROJECT OWNER:

PROJECT LOCATION:
**CITY OF BETHLEHEM
 WARD 3 BLOCK 7A
 NORTHAMPTON COUNTY
 PENNSYLVANIA**

PLAN TITLE:
EXISTING/GRADING & UTILITY

| SCALE: | DATE: | DRAWN: | CHECKED: |
|--------|---------|--------|----------|
| 1"=20' | 6/13/24 | JER | JER |

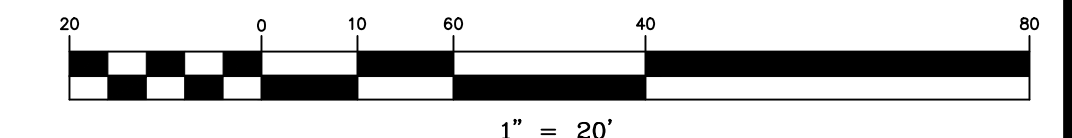
| PROJECT NO. | DRAWING NO. | REVISION: |
|-------------|-------------|-----------|
| 2401 | 2 OF 7 | 02 |

SOIL TYPES

UoD Urban land-Duffield Complex, 8 to 25 percent slopes

EXISTING TREES:

THERE ARE 2 EXISTING TREES MEETING THE REQUIREMENTS OF CITY ORDINANCE 1318.28 PLANNED FOR REMOVAL. ANY SUCH EXISTING TREE MEETING THIS REQUIREMENT SHALL BE REPLACED AS REQUIRED.

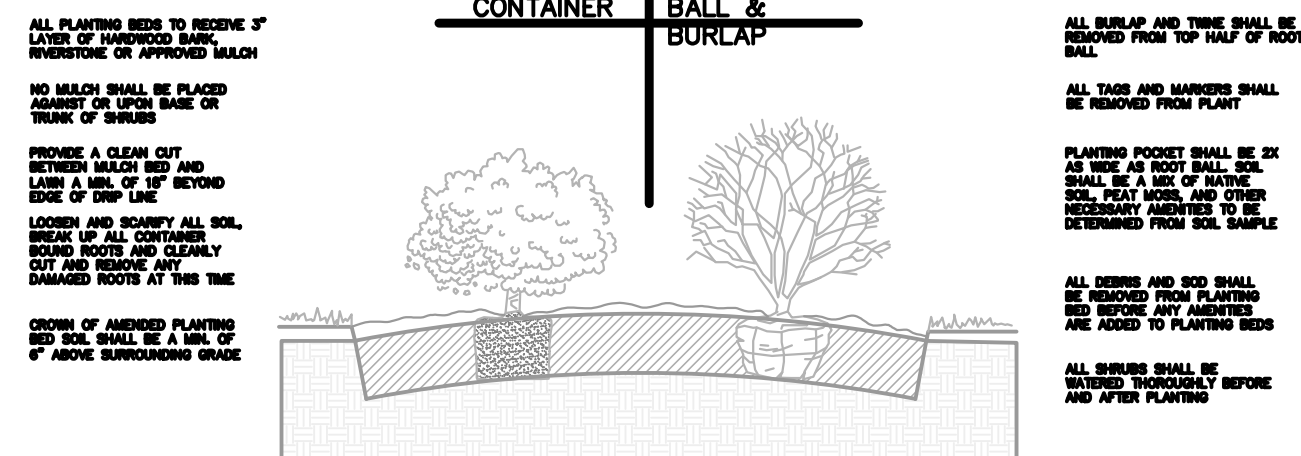
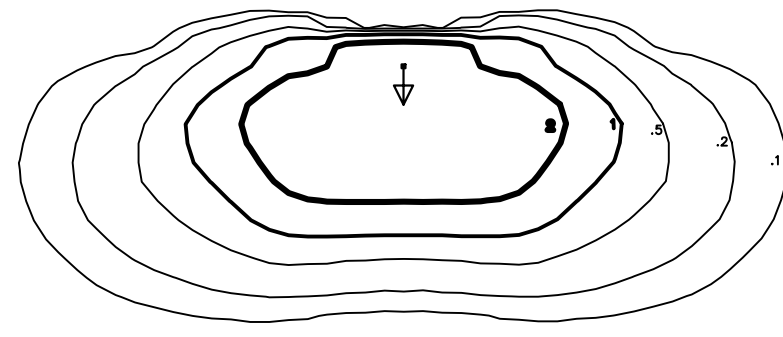


SITE LIGHTING PLAN

LIGHTING SCHEDULE

| KEY | COMPANY | PRODUCT NAME | QTY | HT |
|-----|----------|---------------------------|-----|----|
| DSX | LITHONIA | DSX1 LED P1 40K BLC MVOLT | 6 | 15 |

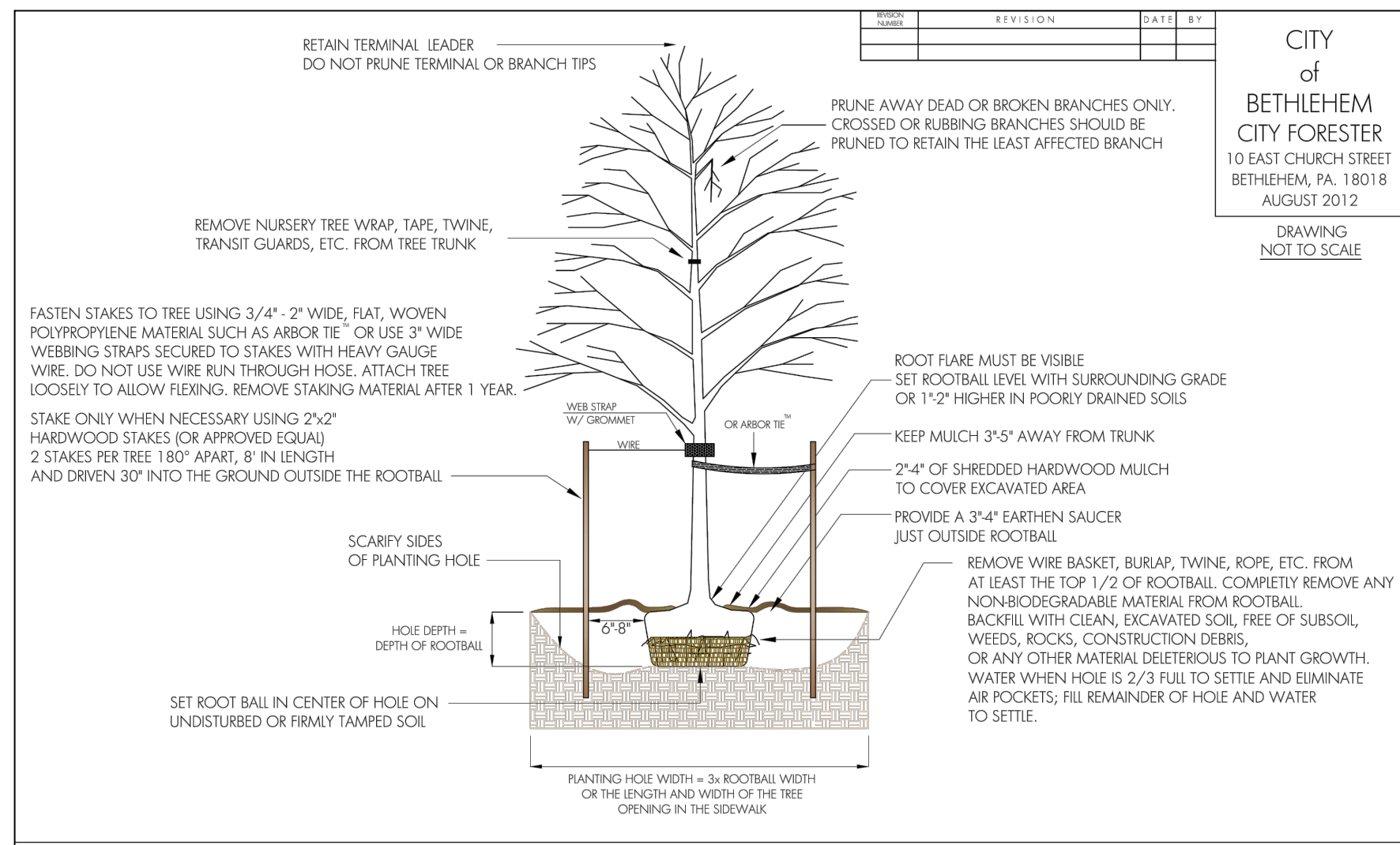
PROPOSED PARKING/STREET LIGHTS MODEL: DSX1 LED P1 40K BLC MVOLT (OR EQUAL) 15FT POLE
 *NOTE: ALL LIGHT SOURCES TO BE SHIELDED.



SHRUB PLANTING

NOTES

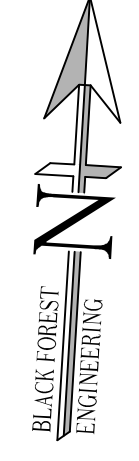
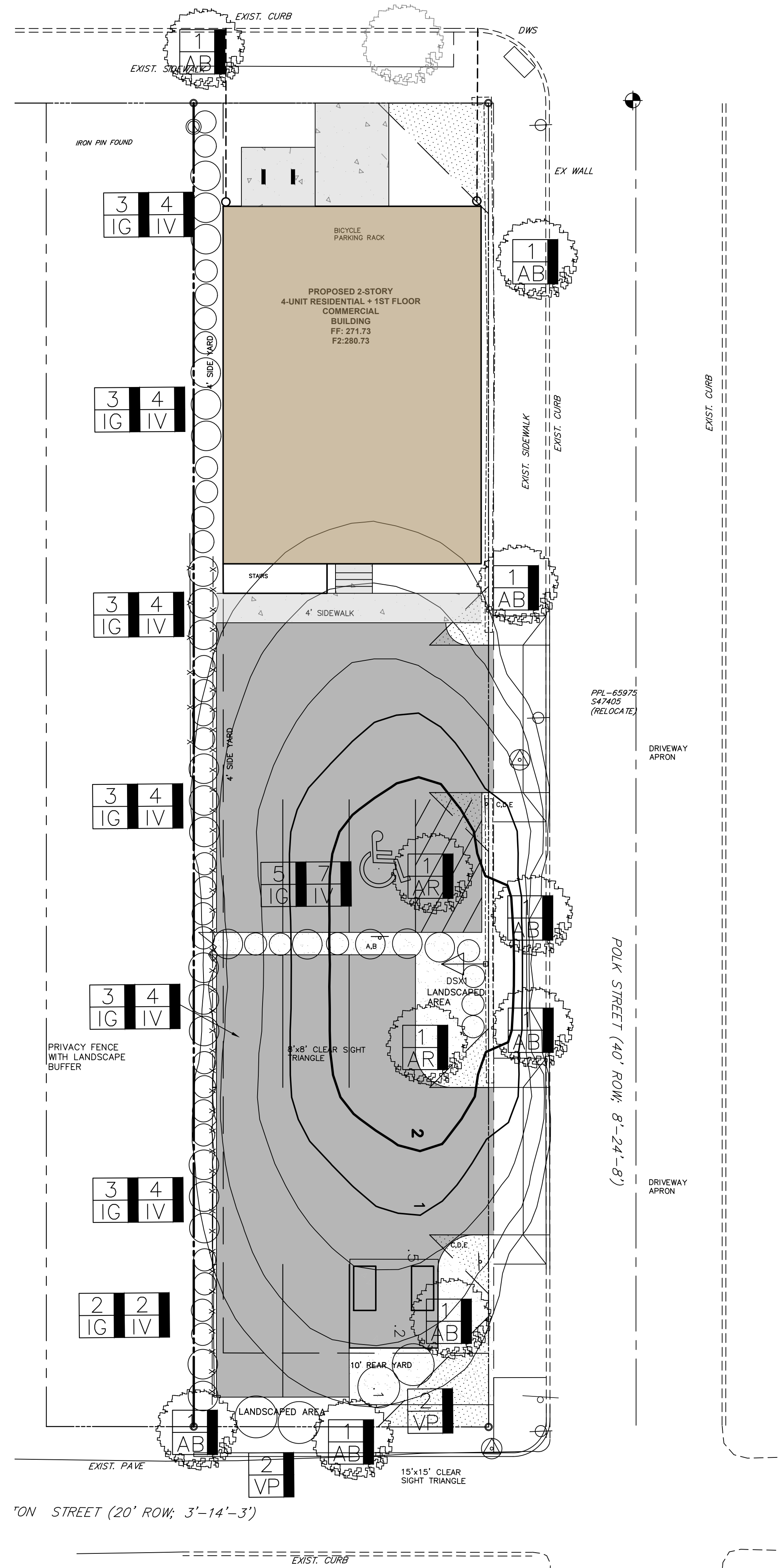
- REFER TO SITE PLAN FOR LANDSCAPED AREAS.



Notes.

Include the following notes on the site or grading plan in addition to the landscape plan when applicable:

- No soil disturbance or compaction, construction materials, traffic, burial pits, trenching or other land disturbance is allowed in the tree protection zone unless indicated on the plan.
- Barricades must be installed prior to any destruction and/or construction activity.
- The root protection zone shall be the area encompassed by a circle with a radius extending 1.25 ft. from the trunk of the tree for every inch DBH (diameter at breast height) of the tree.
- Violations of tree protection requirements are subject to penalty per City ordinance.
- All trees on public property are protected by ordinance: no pruning, root pruning of roots over one inch in diameter, and/or tree removal is to be performed without a permit and work must be performed by a City licensed tree contractor.
- All plant materials are to conform to the American Standard for Nursery Stock, Latest Edition, American Nursery and Landscape Association.
- Street and parking lot trees shall be a minimum of 14' in height and have a single straight trunk with the first lateral branch at 7' above the root ball. Trees with an upright branching habit, such as zelkova, may have the first lateral branch at 6' above the root ball.
- All landscaping shall conform to the current edition of the Arboricultural Specifications and Standards of Practice of the City of Bethlehem.



REQUIRED LANDSCAPING:

- STREET TREES:**
 4TH STREET = 40 LF FRONTAGE (1 TREE REQ'D PER 30 LF); 1 TREE PROPOSED + 1 TREE EXISTING
 POLK STREET = 180 LF FRONTAGE (1 TREE REQ'D PER 30 LF); 6 TREES REQ'D; 6 PROVIDED
- LANDSCAPE AREAS EQUAL TO 10 PERCENT OF THE OFFSTREET PARKING AREA SHALL BE PROVIDED.
 APPROX. PARKING AREA=3,607 SF
 REQ'D LANDSCAPE AREA=361 SF
 - LANDSCAPE AREAS EQUAL TO 10 PERCENT OF THE MULTIFAMILY BUILDING AREA SHALL BE PROVIDED.
 APPROX. BUILDING AREA=1,837 SF
 REQ'D LANDSCAPE AREA=184 SF
- TOTAL REQ'D LANDSCAPE AREA=545 SF
 PROVIDED LANDSCAPE AREA=839 SF
- ONE (1) TREE PER 15 PARKING SPACES; 1 TREES REQUIRED; 1 PROVIDED

PLANT LIST: STREET & PARKING LOT TREES

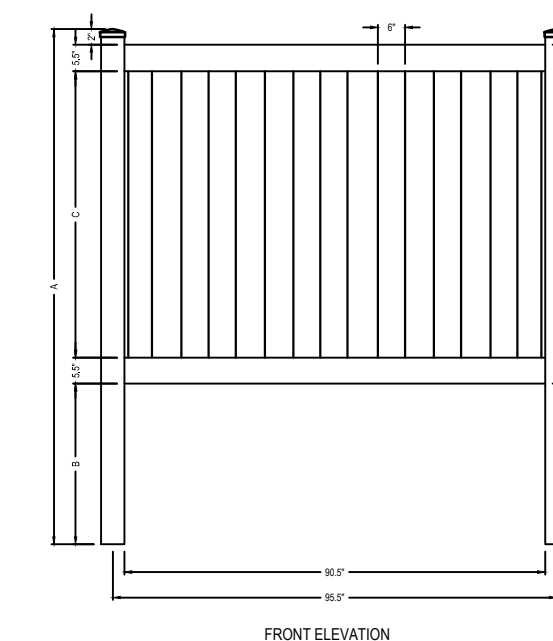
| KEY | BOTANIC / COMMON NAME | SIZE | ROOT CONDITION | QUANTITY |
|-----|----------------------------------|--------------|----------------|----------|
| AB | ACER BUERGERIAUM / TRIDENT MAPLE | 2"-2.5" CAL. | B&B | 8 |
| AR | ACER RUBRUM / OCTOBER GLORY | 2"-2.5" CAL. | B&B | 2 |

PLANT LIST: BUFFER PLANTS

| KEY | BOTANIC / COMMON NAME | SIZE | ROOT CONDITION | QUANTITY |
|-----|---------------------------------------|------|----------------|----------|
| VP | VBURNUM X PRAGENSE / PRAGENSE VBURNUM | 7 LB | B&B | 102 |

PLANT LIST: FOUNDATION PLANTS

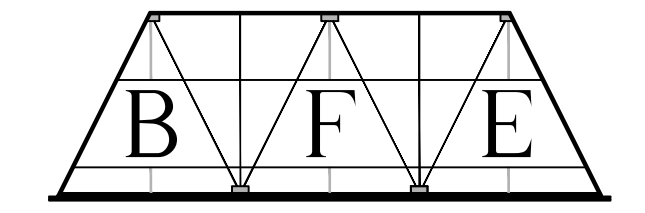
| KEY | BOTANIC / COMMON NAME | SIZE | ROOT CONDITION | QUANTITY |
|-----|-------------------------------|------|----------------|----------|
| IG | ILEX GLABRA / SHAMROCK | 5 LB | CONT. | 25 |
| IV | ITEA VIRGINICA / LITTLE HENRY | 5 LB | CONT. | 33 |



| A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R | S | T | U | V | W | X | Y | Z |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |

VINYL PRIVACY FENCE DETAIL

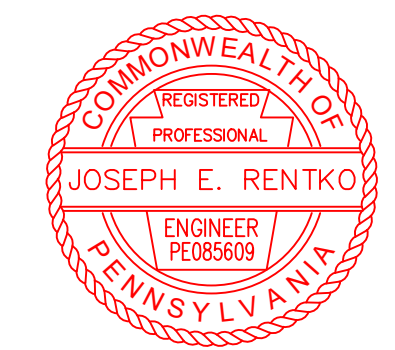
PLAN PREPARER
 BLACK FOREST ENGINEERING, LLC
 2455 BLACK FOREST DRIVE
 COPLAY, PA 18037
 (570)-239-4499



BLACK FOREST ENGINEERING, LLC
 1903 MAIN STREET
 NORTHAMPTON, PA 18067

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SEAL:



JOSEPH E. RENTKO, P.E. #PE0085609
 2455 BLACK FOREST DRIVE
 COPLAY, PA 18037
 570-239-4499

| | | | |
|------|------------------------------|-----|---------|
| 02 | ADDRESS CITY REVIEW COMMENTS | JER | 9/30/25 |
| 01 | ADDRESS ZONING COMMENTS | JER | 2/6/25 |
| REV: | DESCRIPTION: | BY | DATE |

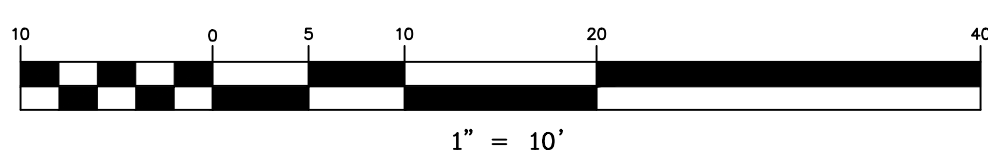
PROJECT TITLE:
330 EAST 4TH STREET

PROJECT OWNER:

PROJECT LOCATION:
 CITY OF BETHLEHEM
 WARD 3 BLOCK 7A
 NORTHAMPTON COUNTY
 PENNSYLVANIA

PLAN TITLE:
LIGHTING AND LANDSCAPE

| | | | |
|-------------|-------------|-----------|----------|
| SCALE: | DATE: | DRAWN: | CHECKED: |
| 1"=10' | 6/13/24 | JER | JER |
| PROJECT NO. | DRAWING NO. | REVISION: | |
| 2401 | 3 OF 7 | 02 | |



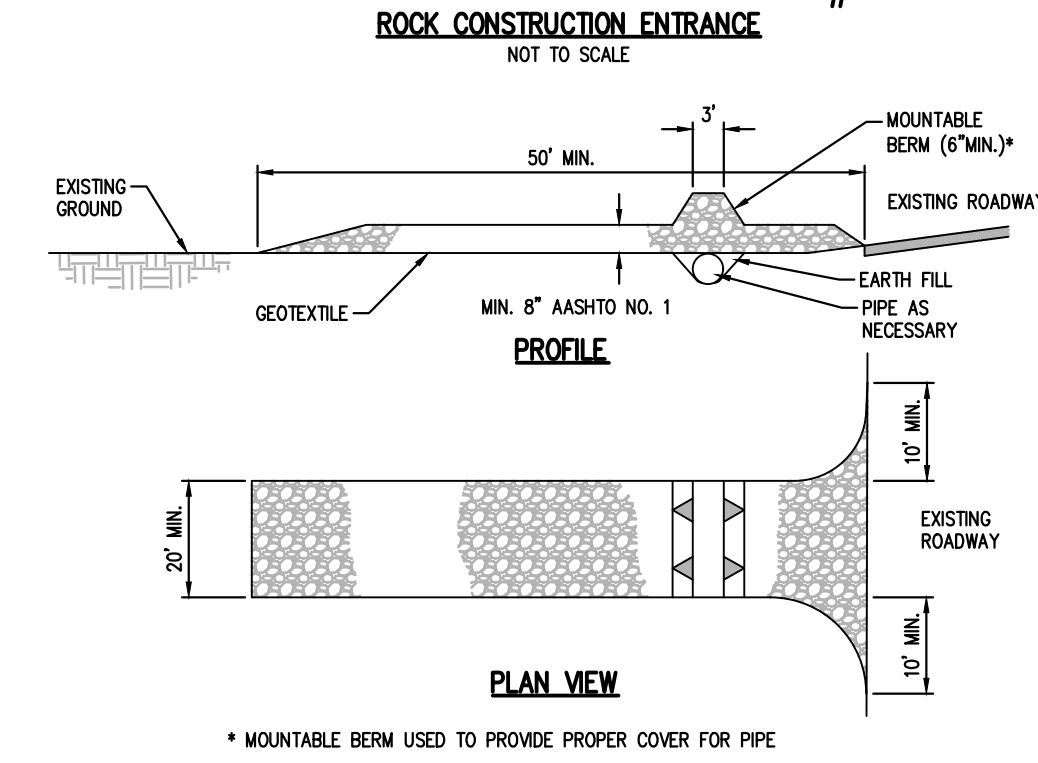
CONSTRUCTION NOTES:

- All grading shall be done in accordance with the City of Bethlehem.
 - No earthmoving or grading activities may take place until a grading permit is granted by the City of Bethlehem.
 - The City Engineer and/or staff may enter the property to inspect all grading and construction activities on the site.
 - At least 7 days prior to any earth disturbance activities, the operator shall notify the City and invite all contractors involved in those activities, and the landowner to an on-site meeting.
 - At least 7 days prior to any earth disturbance activities, the operator shall provide notice in writing to the City of Bethlehem that earth disturbance activities will be commencing.
 - Temporary and permanent seeding shall be in accordance with requirements on the details. Compost Filter Socks shall be installed downslope of all topsoil stockpiles as indicated in the Topsoil Stockpile detail.
- Topsoil pile locations may be adjusted to fit the contractor schedule as long as the silt sock is placed downslope of the pile locations.
 - Prior to any seeding and lime and fertilizer application, a soil test shall be performed to determine the pH factor. Additional lime and fertilizer may be required.
 - All disturbed areas shall be immediately stabilized if earth disturbance/construction has ceased. Disturbed slopes of 3:1 or greater shall be stabilized with erosion control matting.
 - Soil compaction and vehicle traffic shall be kept to a minimum at areas designated for sanitary absorption or stormwater infiltration BMPs.
 - Topsoil should be stripped and stockpiled prior to all earthwork. Only strip the amount of topsoil necessary to perform earthwork. All disturbed areas shall be stabilized immediately if disturbance has ceased.
 - On a daily basis, the Contractor shall inspect and clean any sediment that is tracked onto existing roads.
 - All erosion control facilities shall be inspected after every runoff event and on a weekly basis, any necessary repairs must be made immediately.
 - An area shall be considered to have achieved final stabilization when it has a minimum uniform 70% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding or other movements.
 - NAGS75 matting to be applied to all proposed 3:1 slopes.

SEQUENCE OF CONSTRUCTION

- At least 7 days before starting any earth disturbance activities, the operator provide written notification to the City of Bethlehem and shall invite all contractors involved in those activities, appropriate municipal officials, the ESPC plan preparer and the landowner to an on-site meeting.
- At least 3 days prior to starting any earth disturbance activities, or expanding into an area previously unmarked, the Pennsylvania One Call System, Inc. shall be notified at 1-800-242-1776 for the location of existing underground utilities.
- Flag and mark the Limits of Disturbance. No grading or earthmoving may take place beyond the Limits of Disturbance.
- Install Rock Construction Entrance (RCE) off of Polk Street where indicated on the Plan. This shall be the only ingress and egress from the site. Any sediment tracked onto the public roadway shall be collected and returned to the site by the end of each workday. Any sediment tracked onto the public roadway during RCE construction shall be cleaned immediately.
- Install perimeter compost filter socks at locations indicated on plan and per details.
- Remove existing buildings, structures and asphalt from the site. Immediately stabilize any disturbed areas outside of construction area. Any remaining topsoil shall be stockpiled in stockpile locations indicated on the Plan.
- Begin bulk earthwork for the building pad and driveways. Install retaining wall/curb and sidewalk. Rough grade the driveway. Fill should be compacted in layers so as to minimize sliding, slumping and erosion of soil. Erosion Control matting shall be installed on any graded slopes of 3:1 or greater.
- Begin building construction and utility connection installation. Complete final paving (wearing course).
- Upon completion of proposed improvements, any temporary staging area shall be restored to existing condition. Proposed landscaping shall be installed upon completion of building.
- After the site is stabilized, remove E&S BMPs. Immediately stabilize any areas disturbed by the removal of the erosion and sediment pollution controls and plant street trees. An area shall be considered to have achieved final stabilization when it has a minimum uniform 70% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding or other movements.

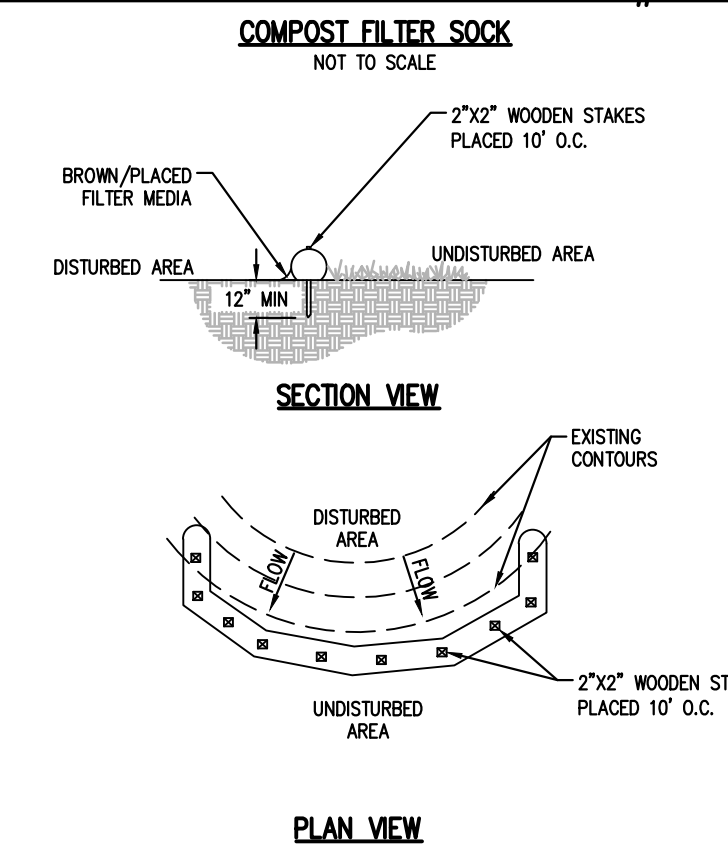
Standard Construction Detail # 3-1



General Notes:

- REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
 - RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
 - MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
- MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

Standard Construction Detail # 4-1



General Notes:

- COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT (SEE FIGURE 4.1 OF THE PA DEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL (MAR. 2012)). MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN OF FIGURE 4.2 OF THE PA DEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL (MAR. 2012). STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.
- TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
- SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
- BIODEGRADABLE FILTER SOCK SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

TABLE 4.1
COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS

| MATERIAL TYPE | 3 mil HDPE | 5 mil HDPE | 5 mil HDPE | MULTI-FILAMENT POLYPROPYLENE (MFPP) | HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HDMFPP) |
|--|--------------------|--------------------------|--------------------------|-------------------------------------|--|
| MATERIAL CHARACTERISTICS | PHOTO - DEGRADABLE | PHOTO - DEGRADABLE | BIO - DEGRADABLE | PHOTO - DEGRADABLE | PHOTO - DEGRADABLE |
| SOCK DIAMETERS | 12" 18" | 12" 18" 24" 32" | 12" 18" 24" 32" | 12" 18" 24" 32" | 12" 18" 24" 32" |
| MESH OPENING | 3/8" | 3/8" | 3/8" | 3/8" | 2/2" |
| TENSILE STRENGTH | 26 psi | 26 psi | 26 psi | 44 psi | 202 psi |
| ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155) | 23% AT 1000 HR. | 23% AT 1000 HR. | 23% AT 1000 HR. | 100% AT 1000 HR. | 100% AT 1000 HR. |
| MINIMUM FUNCTIONAL LONGEVITY | 6 MONTHS | 9 MONTHS | 6 MONTHS | 1 YEAR | 2 YEARS |

SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS.

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL (MAR. 2012). COMPOST SHALL MEET THE FOLLOWING STANDARDS:

TABLE 4.2
COMPOST STANDARDS

| ORGANIC MATTER CONTENT | 25% - 100% (DRY WEIGHT BASIS) |
|----------------------------|-----------------------------------|
| ORGANIC PORTION | FIBROUS AND ELONGATED |
| pH | 5.5 - 8.5 |
| MOISTURE CONTENT | 30% - 60% |
| PARTICLE SIZE | 30% - 50% PASS THROUGH 3/8" SIEVE |
| SOLUBLE SALT CONCENTRATION | 5.0 dS/m (mmhos/cm) MAXIMUM |

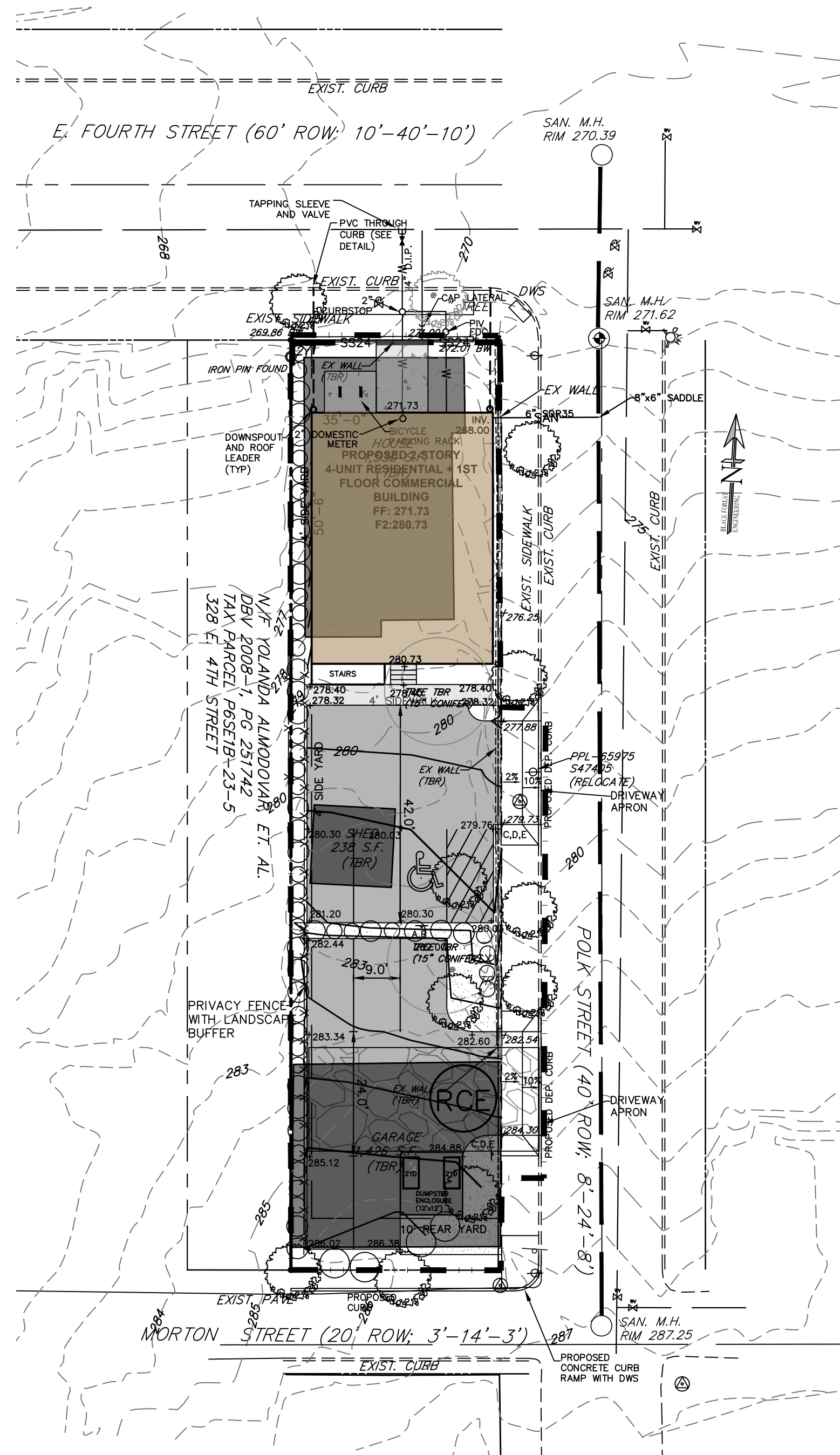
MULCHING—Mulch absorbs rainfall impact, increases the rate of infiltration, reduces soil moisture loss due to evaporation, moderates soil temperatures, provides a suitable environment for germination, and protects the seeding from intense sunlight. All seeded areas should be mulched or blanketed to minimize the potential for failure to establish an adequate vegetative cover. Mulching may also be used as a temporary stabilization of disturbed areas in non-germinating seasons.

Apply mulches at the rates shown in table 11.6

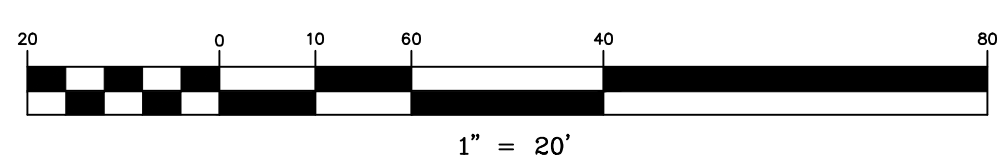
Straw and hay mulch should be anchored immediately after application to prevent being windblown. A tractor-drawn implement may be used to crimp the straw or hay into the soil (about 3 inches). This method should be limited to slopes no steeper than 3H:1V. The machinery should be operated on the contour. (Note: Crimping of hay or straw by running over it with tracked machinery is not recommended.)

Table 11.6. Mulch Application Rates

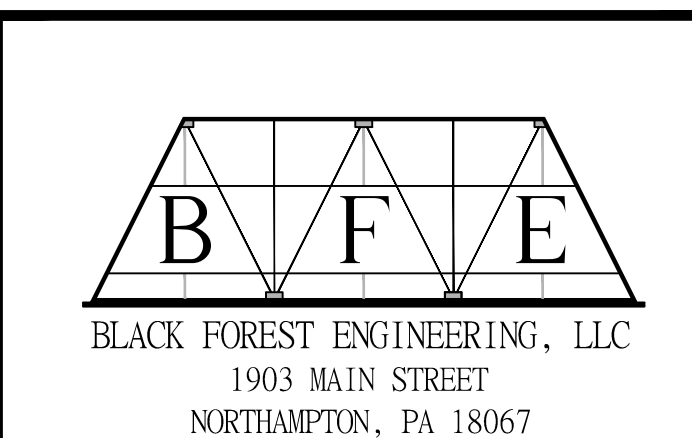
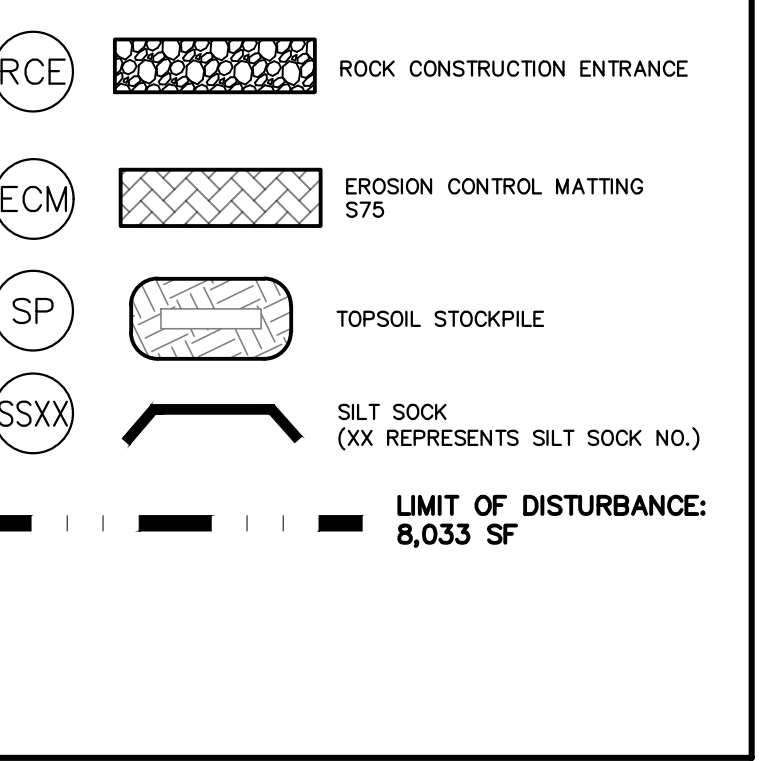
| Mulch Type | Application Rate (Min.) | | | Notes |
|------------|-------------------------|-------------------|------------------|--|
| | Per Acre | Per 1,000 sq. ft. | Per 1,000 sq.yd. | |
| Straw | 3 tons | 140 lb. | 1,240 lb. | Either wheat or oat straw, free of weeds, not chopped or finely broken |
| Hay | 3 tons | 140 lb. | 1,240 lb. | Timothy, mixed clover and timothy or other native forage grasses |
| Wood Chips | 4-6 tons | 185-275 lb. | 1,650-2,500 lb. | May prevent germination of grasses and legumes |
| Hydromulch | 1 ton | 47 lb. | 415 | See limitations above |



EROSION CONTROL PLAN



EROSION AND SEDIMENT POLLUTION CONTROL LEGEND



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2455 BLACK FOREST DRIVE
COPLAY, PA 18037
212-239-4499

| REV. | DESCRIPTION | BY | DATE |
|------|------------------------------|-----|---------|
| 02 | ADDRESS CITY REVIEW COMMENTS | JER | 9/30/25 |
| 01 | ADDRESS ZONING COMMENTS | JER | 2/6/25 |

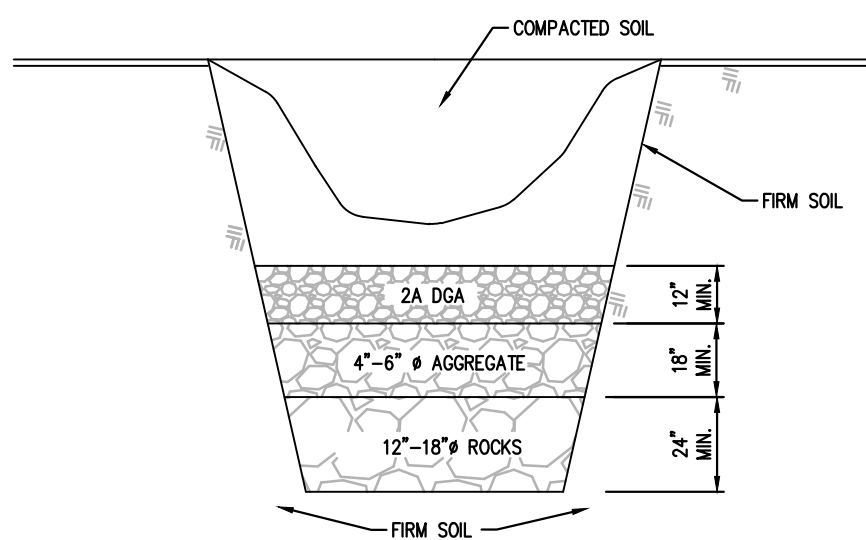
PROJECT TITLE:
330 EAST 4TH STREET

PROJECT LOCATION:
**CITY OF BETHLEHEM
WARD 3 BLOCK 7A
NORTHAMPTON COUNTY
PENNSYLVANIA**

PLAN TITLE:
ESPC

| SCALE: | DATE: | DRAWN: | CHECKED: |
|--------|---------|--------|----------|
| 1"=20' | 6/13/24 | JER | JER |

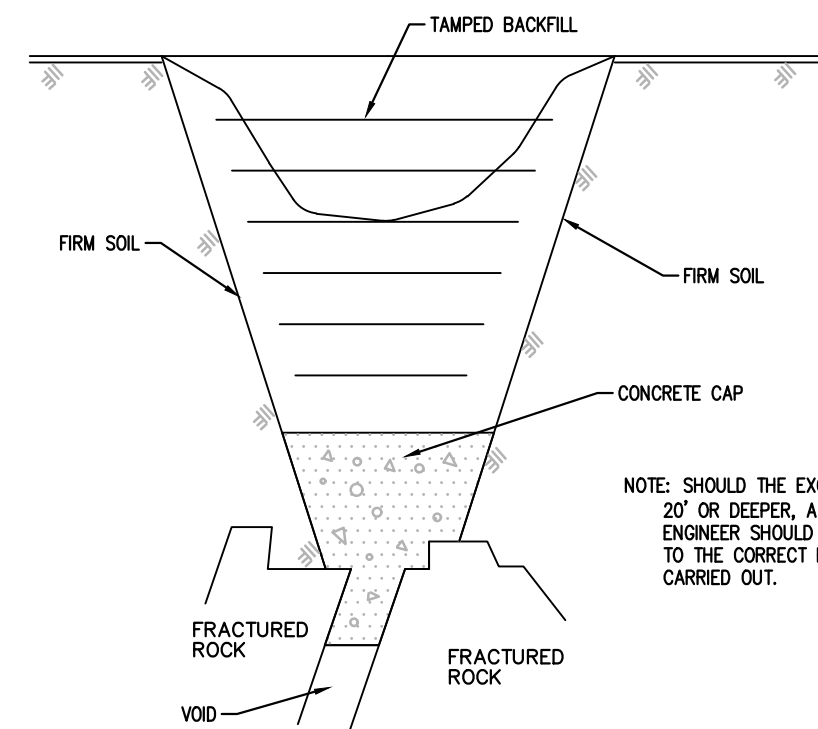
| PROJECT NO. | DRAWING NO. | REVISION: |
|-------------|-------------|-----------|
| 2401 | 4 OF 7 | 02 |



Sinkhole In Soil

NOT TO SCALE

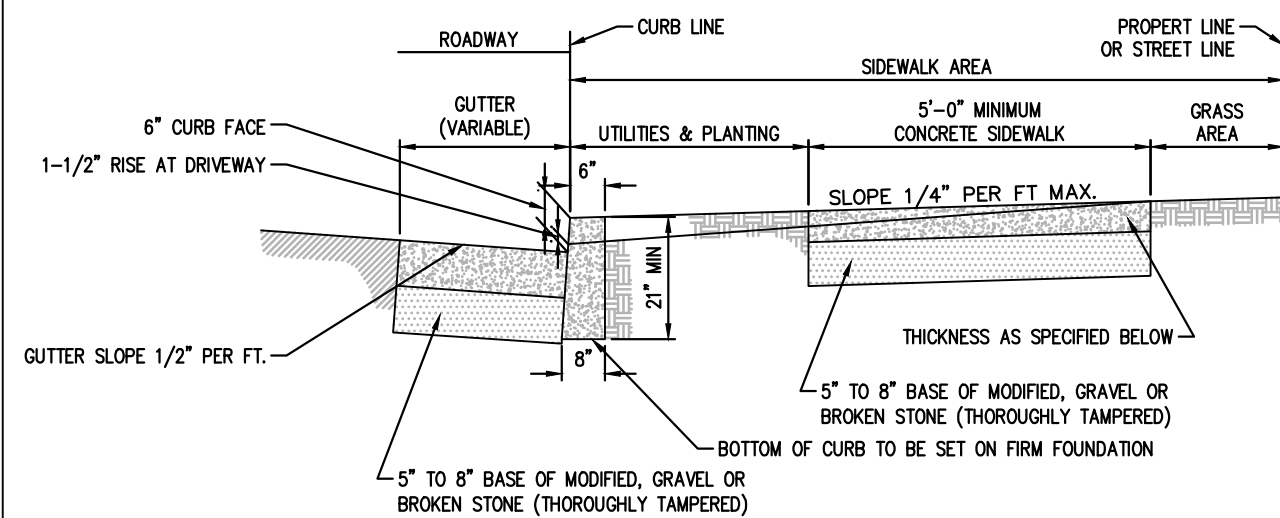
1. THE REPAIR TECHNIQUES AS DESCRIBED BELOW ARE SUITABLE ONLY IF THE SINKHOLE IS LOCATED IN AN OPEN AREA. IF THE SINKHOLE IS LOCATED UNDER OR NEAR A STRUCTURE OR A BUILDING, COMPACTION GROUTING MAY BE NECESSARY FOR FOUNDATION, AS DETERMINED BY A GEOTECHNICAL ENGINEER LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA.
2. EXCAVATE DOWN TO ROCK TO SINKHOLE THROAT OR TO A DEPTH OF 15 FEET BELOW GRADE, WHICHEVER OCCURS FIRST.
3. IF ROCK IS ENCOUNTERED WITHIN 10 FEET, STOP EXCAVATION. THE LIMIT OF EXCAVATION SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER. GENERALLY, A ZONE OF SOFT, IN-FILL MATERIAL WILL BE FOUND WHICH COVERS MOST OF THE BOTTOM OF THE EXCAVATION. COVER THIS AREA WITH A GRADED ROCK FILTER AS SHOWN ABOVE.
4. BACKFILL HOLE WITH RELATIVELY IMPERMEABLE CLAY SOIL. COMPACT SOIL IN 6" LIFTS WITH A POWER TAMPER OR RAMMER TO AT LEAST 95% OF THE STANDARD PROCTOR.
5. BACKFILL HOLE ABOVE EXISTING GRADE TO DIVERT SURFACE WATER.



Sinkhole In Rock

NOT TO SCALE

1. THE REPAIR TECHNIQUES AS DESCRIBED BELOW ARE SUITABLE ONLY IF THE SINKHOLE IS LOCATED IN AN OPEN AREA. IF THE SINKHOLE IS LOCATED UNDER OR NEAR A STRUCTURE OR A BUILDING, COMPACTION GROUTING MAY BE NECESSARY FOR FOUNDATION, AS DETERMINED BY A GEOTECHNICAL ENGINEER LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA.
2. EXCAVATE DOWN TO BEDROCK OR TO THE SINKHOLE THROAT.
3. EXPOSE THE ROCK SURFACE BY WASHING THE AREA WITH A SMALL HOSE WATER SPRAY AND INSTALL HIGHIMP CEMENT INTO Voids AND CRACKS UNTIL Voids ARE FILLED AND A CAP COVERS THE AREA. THE LIMIT OF EXCAVATION AND CONCRETE SHALL BE DETERMINED BY THE ENGINEER.
4. AFTER CONCRETE HAS SET OVERNIGHT, BACKFILL HOLE WITH RELATIVELY IMPERMEABLE CLAY SOIL. COMPACT SOIL IN 6" LIFTS WITH A POWER TAMPER OR RAMMER TO AT LEAST 95% OF THE STANDARD PROCTOR. THE TOP THREE(3) FEET SHALL BE BACKFILLED WITH 2% CRUSHED AGGREGATE.
5. BACKFILL HOLE ABOVE EXISTING GRADE TO DIVERT SURFACE WATER.
6. WHEN SINKHOLE IS UNDER A PROPOSED UTILITY, CONCRETE IS TO BE SET 6" BELOW THE UTILITY TO ALLOW FOR A STONE BEDDING.



General Requirements:

ONE COURSE (MONOLITHIC) CONSTRUCTION FOR ALL CURB, GUTTER AND SIDEWALK CONCRETE MIX: TO BE CLASS A CONCRETE 3500# 8 BAG MIX - 5.6 GAL. WATER PER BAG THROUGHOUT; USE POWER BATCH MIXER, NO SLAG.
CURB: 2" MINIMUM DEPTH WITH APPROVED FINISH ON TOP AND EXPOSE FACE.
GUTTER: 8" DEPTH - SLOPE OF GUTTER 1/2" PER FOOT AWAY FROM CURB.
SIDEWALK: THICKNESS - RESIDENTIAL AREA - 5", BUSINESS AND INDUSTRIAL AREAS - 6" AT RESIDENTIAL DRIVEWAYS - 6", AT BUSINESS AND INDUSTRIAL DRIVEWAYS - 8" ENSEI - USE WOOD FLOAT TO PRODUCE SKID RESISTANCE SURFACE. OVERLAP OF 2X OR MORE PROVIDE A ROUGHER FINISH.
SLOPE: - WALK AND PARKWAY AREAS 1/4" PER FOOT (2%) TOWARD CURB.
EXPANSION AND CONTRACTION JOINTS: SEE CITY CONSTRUCTION STANDARD NO. 1A.
HANDICAP RAMES: REQUIRED ON ALL RAMPS IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
DRIVEWAYS: SEE CITY STANDARD DRIVEWAY ENTRANCE AND APRON SKETCH.

EXCAVATION IN CARTRAY: WHEN EXCAVATING IN THE CARTRAY OF THE CITY STREET, A CLEAN, FULL DEPTH CUT-BY JACK HAMMERING OR SAWCUTTING SHALL BE MADE IN THE STREET BETWEEN THE AFFECTED AND THE UNAFFECTED WORK AREAS. FURTHER, FINAL RESTORATION IN THE AFFECTED AREA OF THE STREET SHALL CONSIST OF CREATING A NEW CLEAN CUT BY SAWCUTTING 12" BEYOND THE EDGE OF ANY AFFECTED WORK AREAS, BACKFILLING WITH PENNODOT 2A MODIFIED STONE, AND PROPERLY COMPACTING THIS STONE TO THE ELEVATION OF THE TOP OF THE SUBBASE (I.E. BOTTOM OF THE BASE COURSE OF MACADAM), BUT NO HIGHER THAN 3-INCHES BELOW THE FINISH GRADE-EXCEPT AS REQUIRED TO PROVIDE REASONABLE TEMPORARY ACCESS AT DRIVEWAYS.

Ordinance Requirements:

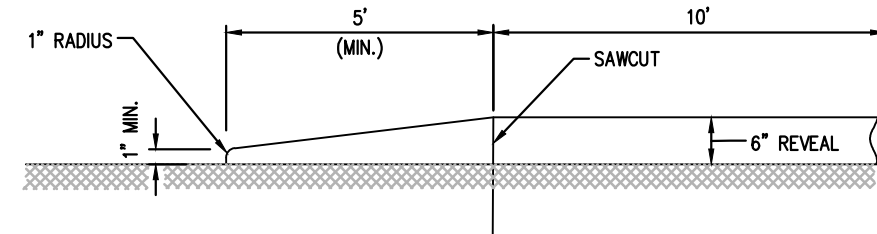
WARRANT OF SURVEY - PROCURED FROM THE CITY ENGINEER'S OFFICE; PROVIDES FOR ESTABLISHING LINE & GRADES; STAKES TO BE PROTECTED BY APPLICANT AND USED WITHIN 30 DAYS.
EXCAVATION PERMIT - PROCURED FROM THE CITY ENGINEER'S OFFICE; FOR SIDEWALK AND DRIVEWAY CONSTRUCTION

DETAIL REQUIREMENTS: FOR FURTHER DETAILS AND OTHER REQUIREMENTS SEE THE FOLLOWING DOCUMENTS ON FILE IN THE OFFICE OF THE CITY ENGINEER:
 "STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF CONCRETE CURB, GUTTER AND SIDEWALK" COORDINATED ORDINANCES OF THE CITY OF BETHLEHEM, ARTICLES 903 AND 909.

NOTE:
 • WHENEVER A CURB, GUTTER AND/OR SIDEWALK IS LOCATED IN THE HISTORIC DISTRICT, SPECIAL REQUIREMENTS MAY APPLY.
 • CHANGES TO DIMENSIONAL REQUIREMENTS MAY BE CONSIDERED IN CASES WHERE OBSTRUCTIONS OR ENCROACHMENTS EXIST. ANY EXCEPTIONS MUST BE APPROVED BY THE CITY ENGINEER. CURRENT ADA REQUIREMENTS MUST BE IN ALL CASES.

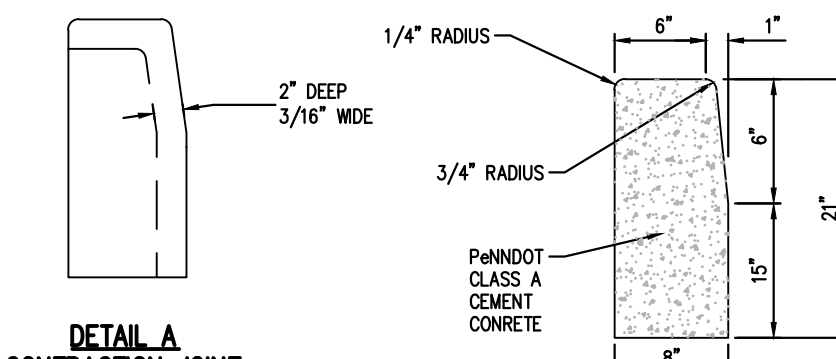
CITY OF BETHLEHEM, PA. BUREAU OF ENGINEERING Construction Standard No. 1

NOT TO SCALE



Typical Curb Taper Detail

NOT TO SCALE



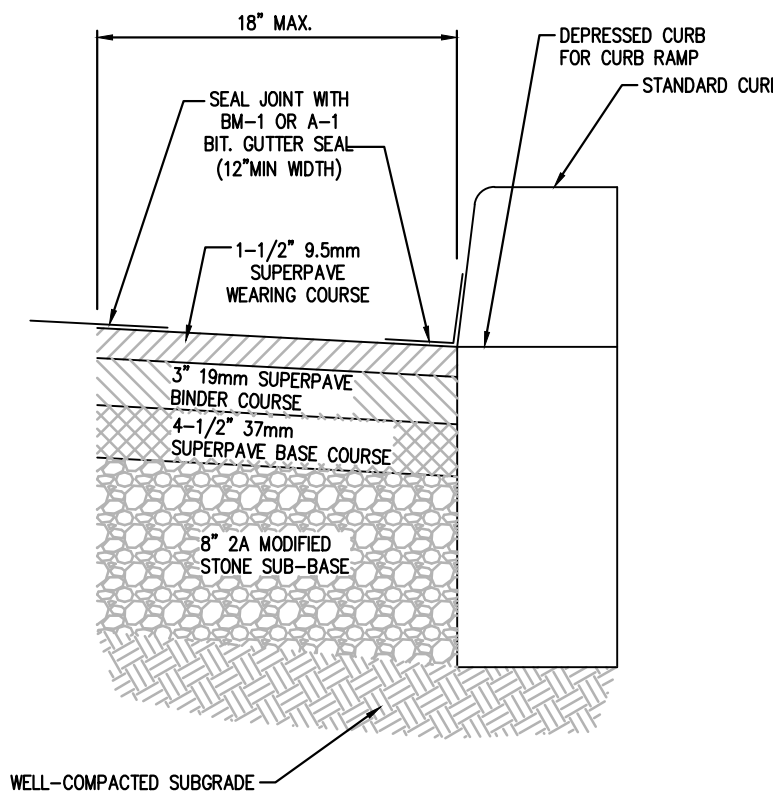
DETAIL A CONTRACTION JOINT

TYPICAL CROSS SECTION

NOTES:

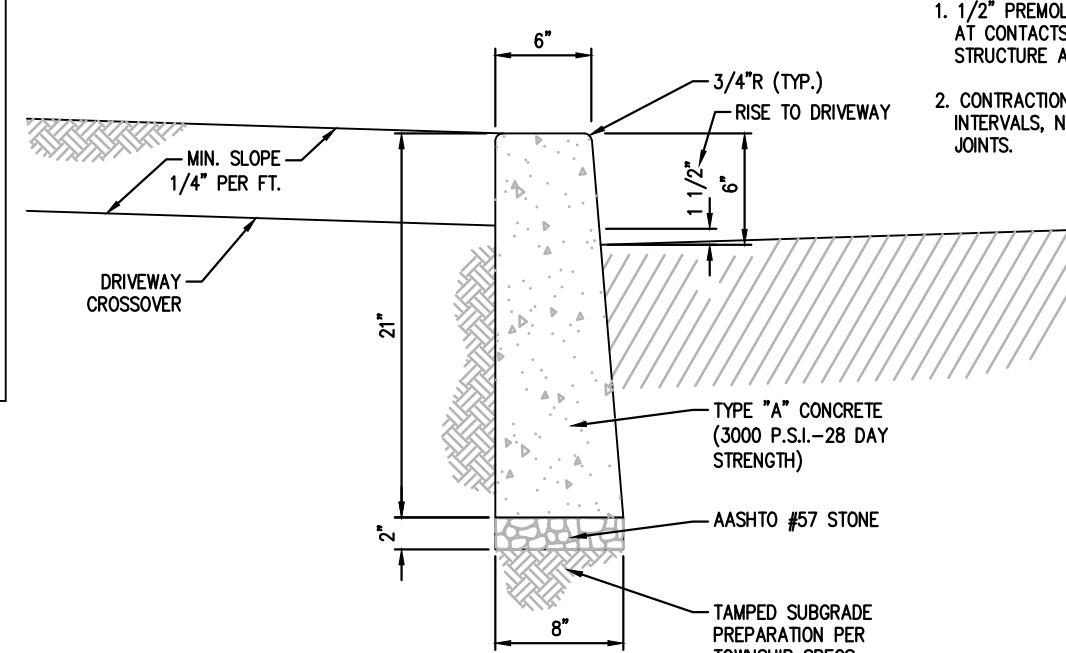
1. NO DRIVEWAY ALLOWED WITHIN 25 FEET OF THE STREET LINE INTERSECTION.
2. AN OFF STREET PARKING AREA SHALL BE AT LEAST 9' WIDE BY 19' DEEP AND PRIVATE PROPERTY.
3. ONE DRIVEWAY ENTRANCE ALLOWED FOR EACH 100 FEET OF PROPERTY FRONTAGE.
4. MAXIMUM SLOPE FOR DRIVEWAY BEHIND PUBLIC RIGHT-OF-WAY SHALL BE 10%.
5. A MONOLITHIC DRIVEWAY APRON AND CURB MAY BE PERMITTED
6. CHANGES TO DIMENSIONAL REQUIREMENTS MAY BE CONSIDERED IN CASES WHERE OBSTRUCTIONS OR ENCROACHMENTS EXIST. ANY EXCEPTIONS MUST BE APPROVED BY THE CITY ENGINEER. CURRENT ADA REQUIREMENTS MUST BE MET IN ALL CASES.

WHENEVER A CURB, GUTTER AND/OR SIDEWALK IS LOCATED IN A HISTORIC DISTRICT SPECIAL REQUIREMENTS MAY APPLY.



Pavement Restoration For Curb Replacement

NOT TO SCALE

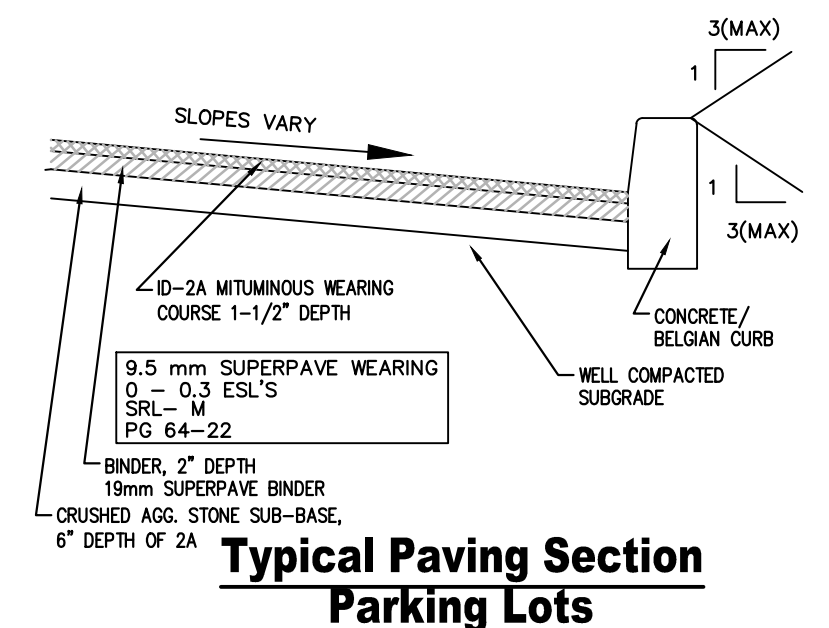


Upright Curb Detail

NOT TO SCALE

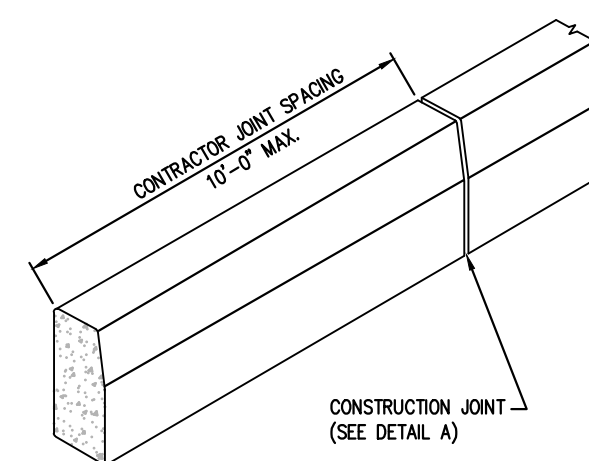
Notes:

1. MATERIALS AND CONSTRUCTION SHALL MEET THE REQUIREMENTS OF PUBLICATION 408, SECTION 630.
2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
3. PLACE 3/4" PREMOLDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.



Typical Paving Section Parking Lots

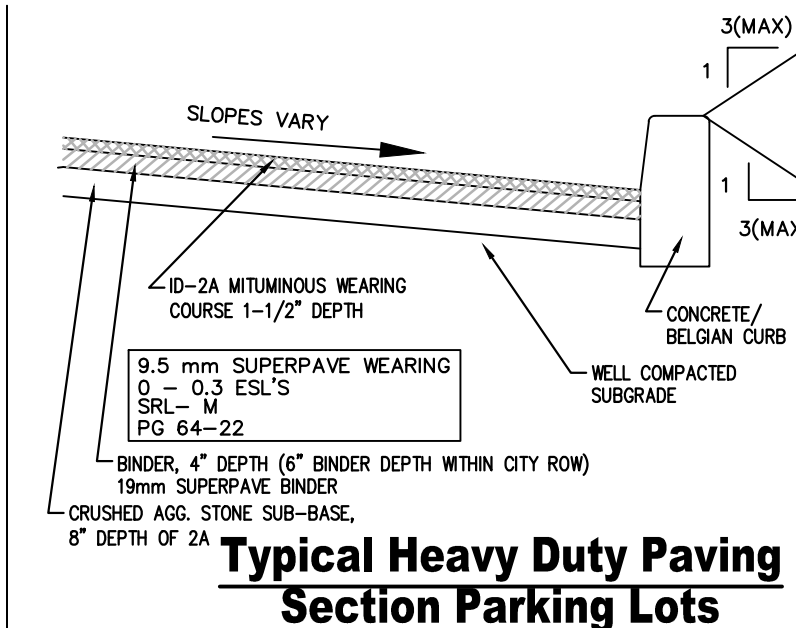
NOT TO SCALE



Concrete Curb

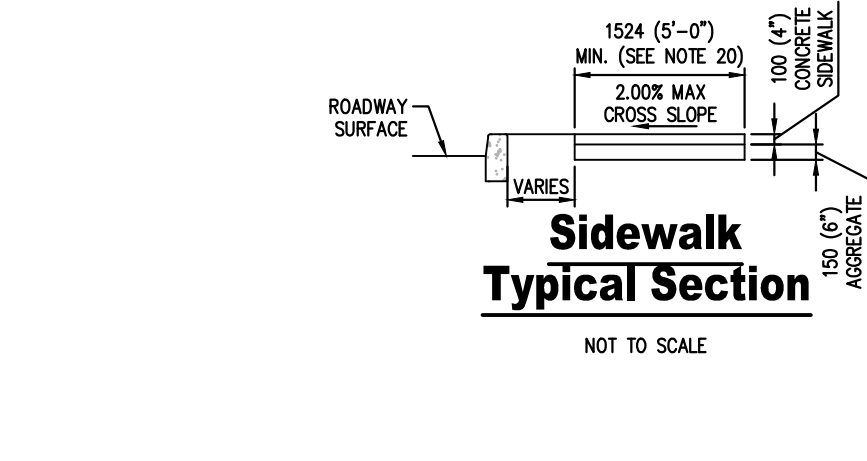
NOT TO SCALE

1. 1/2" PREMOLDED EXPANSION JOINTS SHALL BE PLACED AT CONTACTS WITH EXISTING CURB, ANY INLET STRUCTURE AND AT 30 FT. MAXIMUM INTERVALS.
2. CONTRACTION JOINTS ARE TO BE SPACED AT EQUAL INTERVALS, NOT EXCEEDING 10 FT. BETWEEN EXPANSION JOINTS.



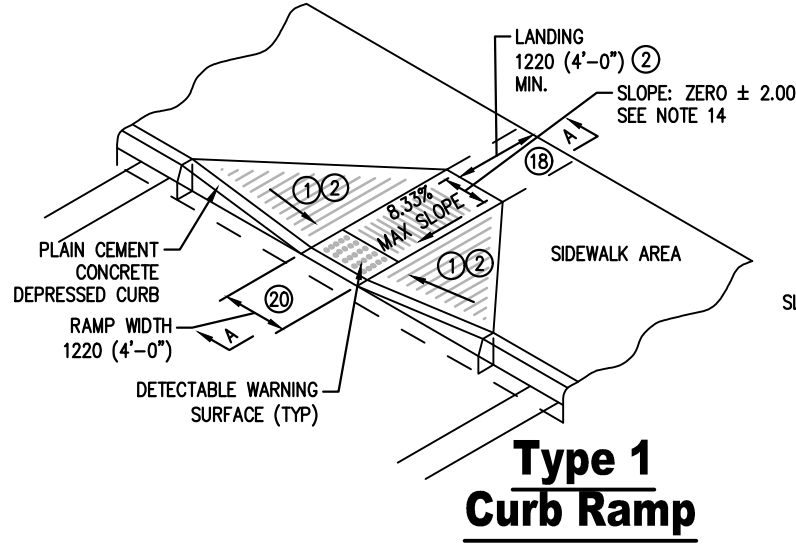
Typical Heavy Duty Paving Section Parking Lots

NOT TO SCALE



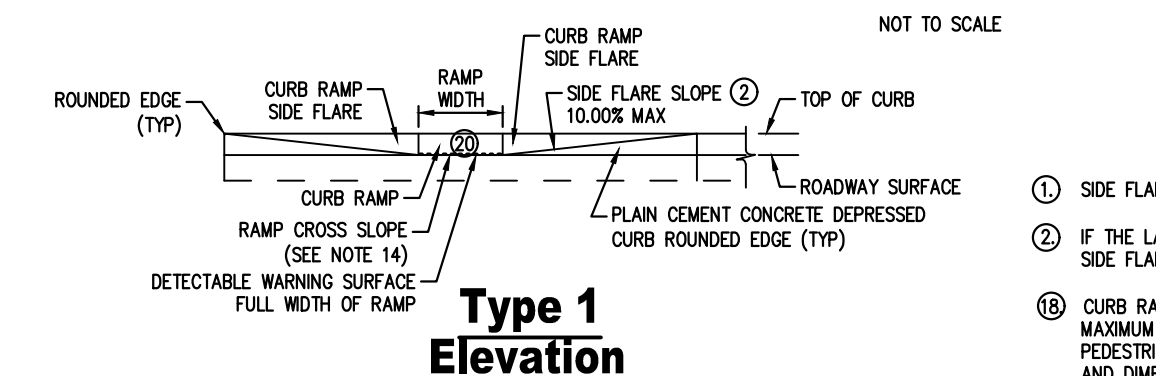
Sidewalk Typical Section

NOT TO SCALE



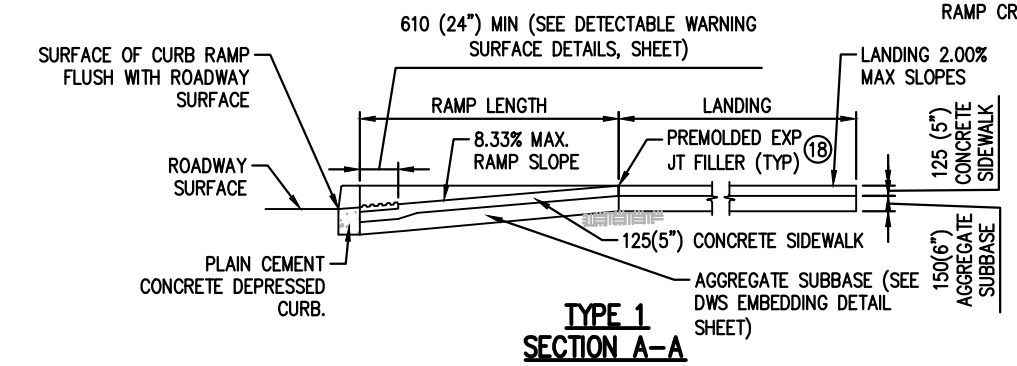
Type 1 Curb Ramp

NOT TO SCALE



Type 1 Elevation

NOT TO SCALE



Note:

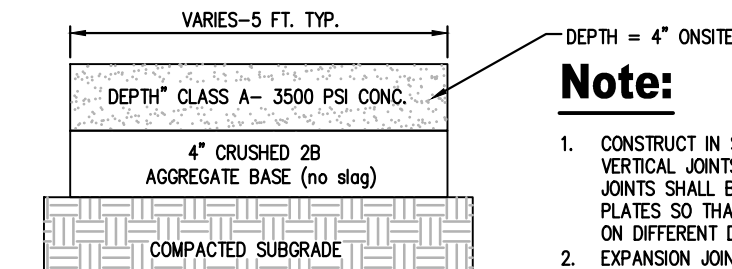
EITHER ALL METRIC OR ALL ENGLISH VALUES MUST BE USED ON PLANS. METRIC AND ENGLISH VALUES SHOWN MAY NOT BE MIXED.

Equivalent Slopes

| Percent Slope | Equivalent Slope |
|---------------|------------------|
| 10.00% | 10:1 (1:10) |
| 8.33% | 12:1 (1:12) |
| 7.14% | 14:1 (1:14) |
| 5.00% | 20:1 (1:20) |
| 2.00% | 50:1 (1:50) |
| 1.00% | 100:1 (1:100) |

Notes:

1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTIONS 350, 409, 630, 678 AND 684.
2. PROVIDE EXPANSION JOINT MATERIAL 1 1/2" (38mm) THICK WHERE CURB RAMP ADJACENT TO ROAD PAVEMENT, SIDEWALK OR STRUCTURE WITH THE TOP OF JOINT FILLER FLUSH WITH ADJACENT CONCRETE SURFACE.
3. CONSTRUCT CURB RAMPS WITH A MINIMUM 1220 X 1220 (4'-0" X 4'-0") CLEAR SPACE BEYOND THE CURB FACE, WITHIN THE WIDTH OF THE CROSSWALK AND MINIMALLY OUTSIDE THE PARALLEL VEHICLE TRAVEL LANE. SEE SHEET 7 FOR CROSSWALK DETAILS.
4. SEAL JOINTS WITH AN APPROVED SEALING MATERIAL.
5. PROVIDE SKID RESISTANT TEXTURE ON CURB RAMP BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP. EXTEND TEXTURE THE FULL WIDTH AND LENGTH OF THE CURB RAMP INCLUDING FLARED SIDE RAMPS.
6. MOODY CONSTRUCTION DETAILS TO ADAPT DIMENSIONS TO EXISTING CURB HEIGHTS WHERE THE CURB IS LESS THAN THE STANDARD 205 (8") HEIGHT.
7. CURB RAMP AND SIDE FLARE LENGTHS ARE VARIABLE AND BASED ON CURB HEIGHT AND THE SIDEWALK SLOPE.
8. TO AVOID CHASING GRADE INDEFINITELY WHEN TRAVELING THE HEIGHT OF CURB, RAMP LENGTH NOT TO EXCEED 4500 (15'-0"). ADJUST RAMP SLOPE AS NEEDED TO PROVIDE ACCESS TO THE MAXIMUM EXTENT FEASIBLE.
9. NON-WALK AREA IS AN OBSTRUCTED OR GRASS/NON-PAVED AREA ADJACENT TO THE PEDESTRIAN ACCESS ROUTE THAT IS NOT USED BY THE PEDESTRIAN FOR ACCESS.
10. THE DETAILS DEPICT PEDESTRIAN PUSHBUTTON POLES TO ILLUSTRATE THE RECOMMENDED LOCATION OF PEDESTRIAN PUSHBUTTONS. FOR ALTERATION PROJECTS, PROVIDE ACCESS TO EXISTING PEDESTRIAN PUSHBUTTONS TO THE MAXIMUM EXTENT FEASIBLE. INSTALL PEDESTRIAN PUSHBUTTON STUB POLES, WHERE APPLICABLE, 50 AS NOT TO CREATE PEDESTRIAN OBSTRUCTIONS.
11. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED. US CUSTOMARY UNITS IN () PARENTHESES.
12. ALIGN DETECTABLE WARNING SURFACE TRUNCATED DOMES ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF THE RAMP AND PERPENDICULAR TO CURB.
13. PROVIDE DETECTABLE WARNING SURFACES (DWS) 610 (24") MINIMUM (IN THE DIRECTION OF PEDESTRIAN TRAVEL) ACROSS FULL WIDTH OF RAMP AT THE GRADE BREAK NEAR STREET EDGE. PROVIDE DWS THAT CONTRAST VISUALLY WITH ADJACENT WALKWAY SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT FOR THE FULL WIDTH OF RAMP.
14. FOR NEW CONSTRUCTION, DO NOT EXCEED 2.00% CROSS SLOPE ON THE CURB RAMP OR PEDESTRIAN ACCESSIBLE ROUTE.
15. FOR NEW CONSTRUCTION AND ALTERATIONS, CONSTRUCT CURB RAMP AND FLARE SLOPE WITH THE FLATTEST SLOPE POSSIBLE. THE SLOPES INDICATED IN THE DETAILS SHOW THE MAX SLOPE ALLOWABLE. SLOPES THAT EXCEED THOSE INDICATED IN THE DETAILS, OR CONTRACT DOCUMENTS AS APPLICABLE, WILL NOT BE ACCEPTED AND WILL BE DECONSTRUCTED.
16. CONSTRUCT SIDEWALKS AT A LONGITUDINAL SLOPE NOT TO EXCEED 5.00%. FOR ROADWAY PROFILE SLOPES THAT EXCEED 5.00%, CONSTRUCT PARALLEL SIDEWALKS ADJACENT TO ROADWAY AT A LONGITUDINAL SLOPE NOT TO EXCEED ROADWAY PROFILE SLOPE.
17. THE CHANGE IN GRADE AT THE BOTTOM OF THE CURB RAMP AND ADJOINING ROAD SURFACE IS NOT TO EXCEED AN ALGEBRAIC DIFFERENCE OF 11.00%. THE COUNTER SLOPE OF THE GUTTER OR ROAD AT THE FOOT OF A CURB RAMP, LANDING OR BLENDED TRANSITION IS NOT TO EXCEED 5.00%. SEE SHEET 8 FOR DETAILS.
18. THE CONSTRUCTION STANDARDS DEPICTED ARE MOST APPROPRIATE FOR NEW CONSTRUCTION. ALL CONSTRUCTION MUST MEET THE STANDARDS CONTAINED HEREIN UNLESS OTHERWISE NOTED OR DIRECTED.
19. ALL SLOPES ARE MEASURED WITH RESPECT TO A LEVEL PLANE. THEREFORE, THE LENGTH OF RAMP IS NOT SOLELY DEPENDANT ON THE HEIGHT OF CURB. (FOR EXAMPLE, A 150 (6") CURB DOES NOT NECESSARILY MEAN A RAMP LENGTH OF 1830 (6'-0") FOR A 12:1 (1:12) SLOPE.
20. SIDEWALK WIDTH MAY BE REDUCED TO 1220 (4'-0"), WHEN PASSING AREAS 1525 X 1525 (5'-0" X 5'-0") ARE PROVIDED EVERY 61 METERS (200').
21. THE TRAVEL LANE IS DEFINED BY THE OUTSIDE EDGE OF THE WHITE PAVEMENT MARKING LINE. IF A WHITE PAVEMENT MARKING LINE DOES NOT EXIST, THE TRAVEL LANE IS DEFINED BY THE CONTRACT DOCUMENTS.
22. CONSTRUCT DEPRESSED CURB FOR CURB RAMPS FLUSH TO ADJACENT ROADWAY. GRADE EDGE OF ROAD ELEVATIONS AT THE FLOW LINE TO ENSURE POSITIVE DRAINAGE AND PREVENT POINING. FOR LEVEL LANDINGS BEHIND DEPRESSED CURB, ADJUST SLOPES TO PROVIDE POSITIVE DRAINAGE.
23. CHECK WALLS ARE PERMITTED WHEN ADJACENT TO NON-WALK AREAS OR ELEVATION DIFFERENCES CANNOT BE ACCOMMODATED BY FLARES OR GRADING. GRADE GRASS AREAS OR OTHER NON-WALK AREAS AT 3:1 (1:3) MAXIMUM. DO NOT INSTALL CHECK WALLS THAT INTERSECT THE PEDESTRIAN ACCESS ROUTE.
24. CONSTRUCT TOP OF PLAN CEMENT CONCRETE DEPRESSED CURB TO BE FLUSH WITH ADJACENT SURFACES (RAMPS, SIDEWALKS, FLARES).
25. FOR CURB RAMPS THAT LEAD TO A SINGLE CROSSWALK, THE RAMP (EXCLUDING FLARES) TO BE FULLY INSIDE OF MARKED CROSSWALK LINES. SEE SHEET 7 FOR DETAILS.
26. A 1220 (4'-0") MAXIMUM DIGITAL DISPLAY LEVEL WILL BE USED TO VERIFY THE SLOPES OF CURB RAMPS AND SIDEWALKS.



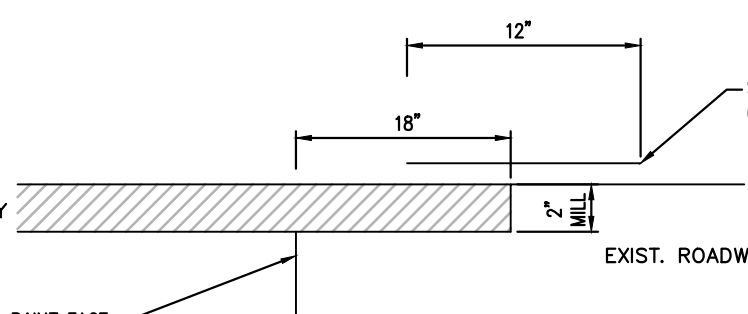
Concrete Sidewalk Detail

NOT TO SCALE

- Note:**
1. CONSTRUCT IN SECTIONS NOT OVER 10 FEET WITH VERTICAL JOINTS FOR FULL DEPTH OF PAVEMENT. THE JOINTS SHALL BE MADE BY REMOVABLE METAL PLATES SO THAT ADJACENT BLOCKS WILL BE MADE ON DIFFERENT DAYS.
 2. EXPANSION JOINTS LOCATED 30' O.C.
 3. TOILED JOINTS LOCATED 5' O.C.
 4. SIDEWALK IS TO BE LIGHT BROOM FINISHED IN THE DIRECTION OF SIDEWALK WIDTH.
 5. ALL MATERIAL AND CONSTRUCTION PROCEDURES SHALL COMPLY WITH THE CITY OF BETHLEHEM ORDINANCES.
 6. ALL SIDEWALK OUTSIDE OF THE ROW SHALL USE ABOVE DETAIL. ALL SIDEWALK WITHIN THE ROW SHALL FOLLOW THE CITY STANDARD "CONSTRUCTION STANDARD No. 1".

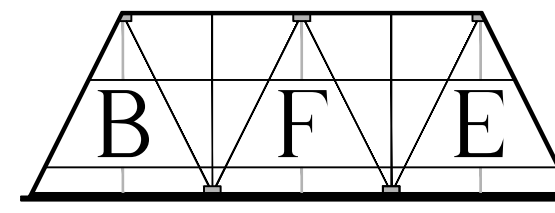
Paving Joint Detail

NOT TO SCALE



Paving Joint Detail

NOT TO SCALE



BLACK FOREST ENGINEERING, LLC
 1903 MAIN STREET
 NORTHAMPTON, PA 18067

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SEAL:

JOSEPH E. RENTKO, P.E. #PE085609
 2455 BLACK FOREST DRIVE
 COPLAY, PA 18037
 212-239-4499

| | | | |
|----|------------------------------|-----|---------|
| 02 | ADDRESS CITY REVIEW COMMENTS | JER | 9/30/25 |
| 01 | ADDRESS ZONING COMMENTS | JER | 2/6/25 |

REV: DESCRIPTION: BY DATE

PROJECT TITLE:
330 EAST 4TH STREET

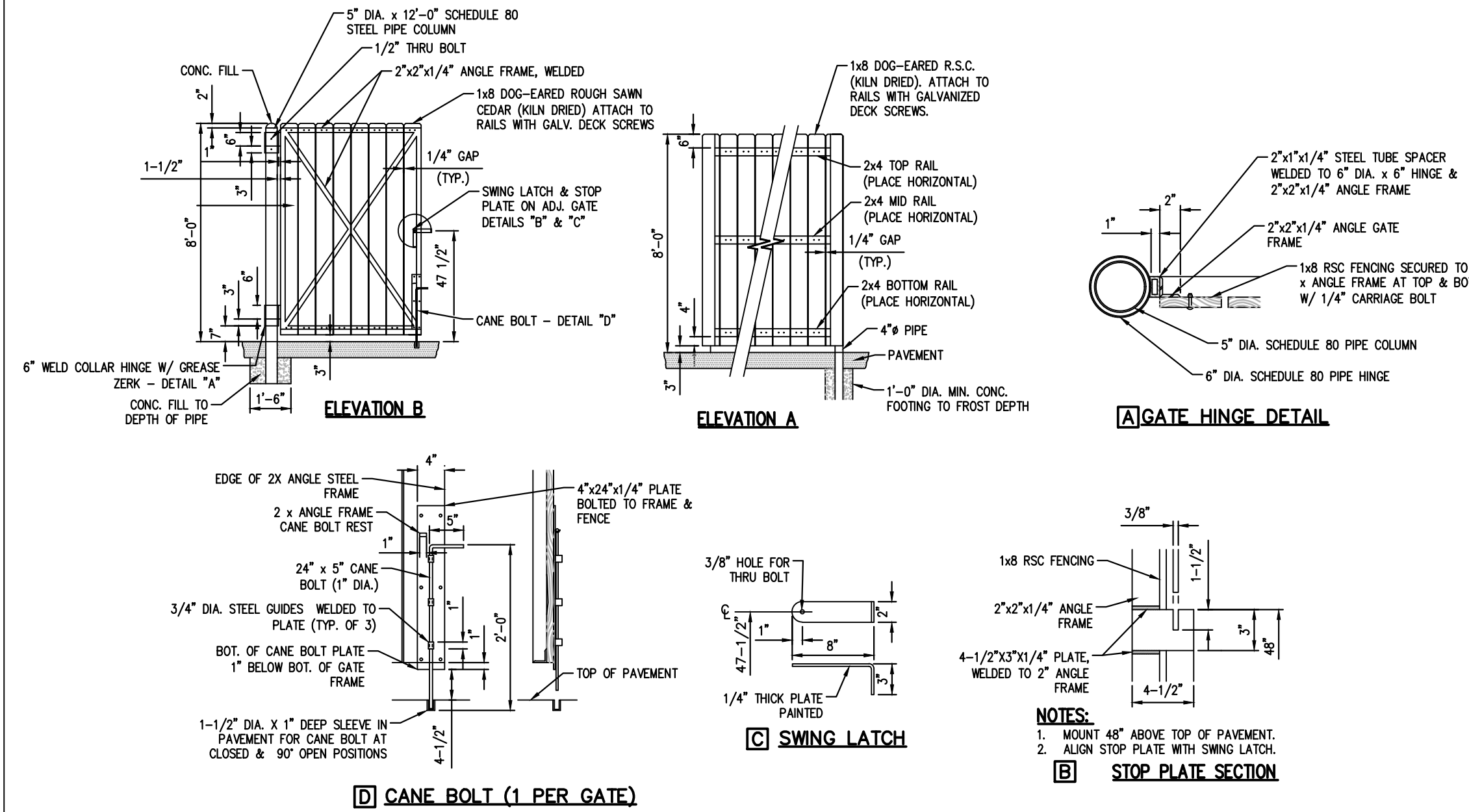
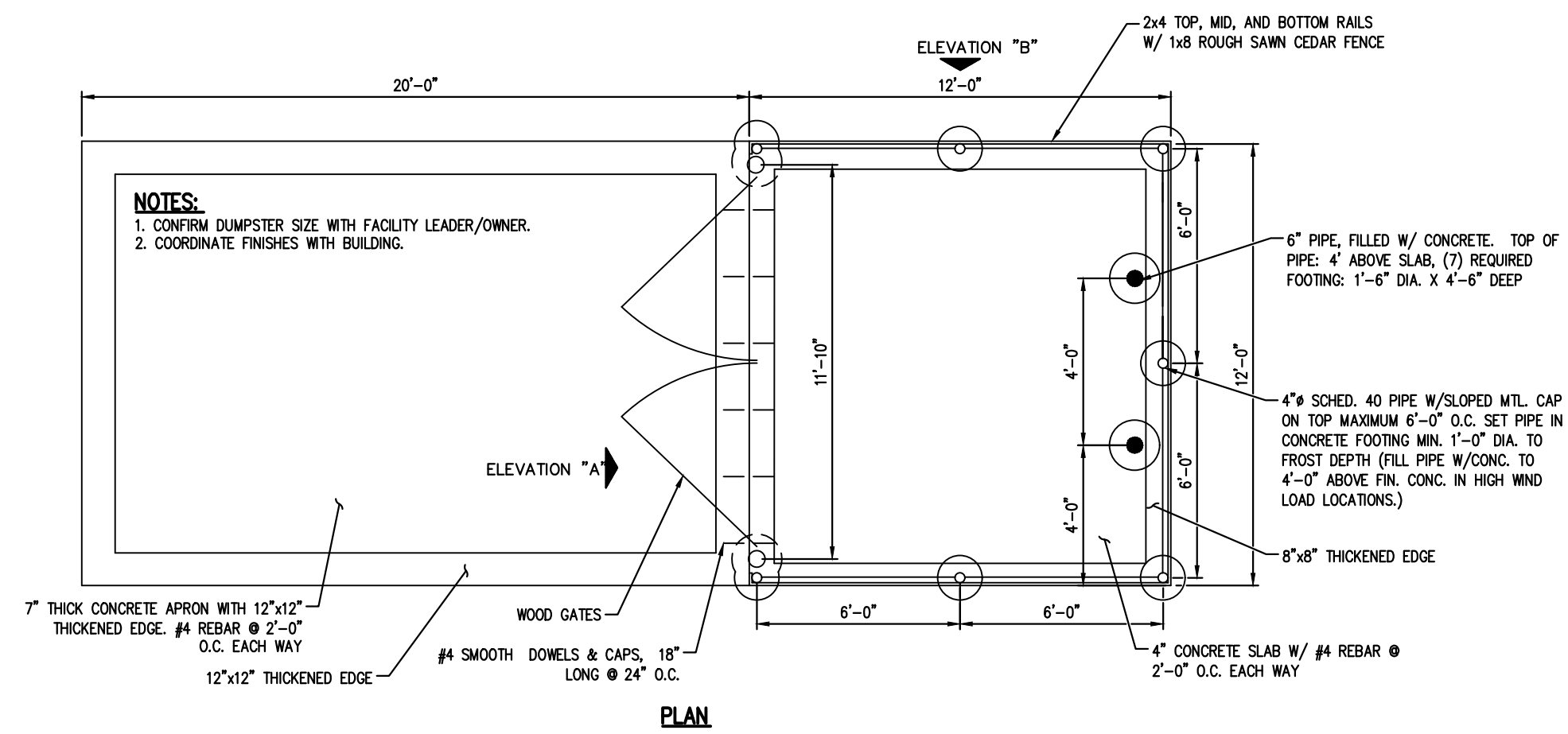
PROJECT OWNER:
 CITY OF BETHLEHEM
 WARD 3 BLOCK 7A
 NORTHAMPTON COUNTY
 PENNSYLVANIA

PROJECT LOCATION:

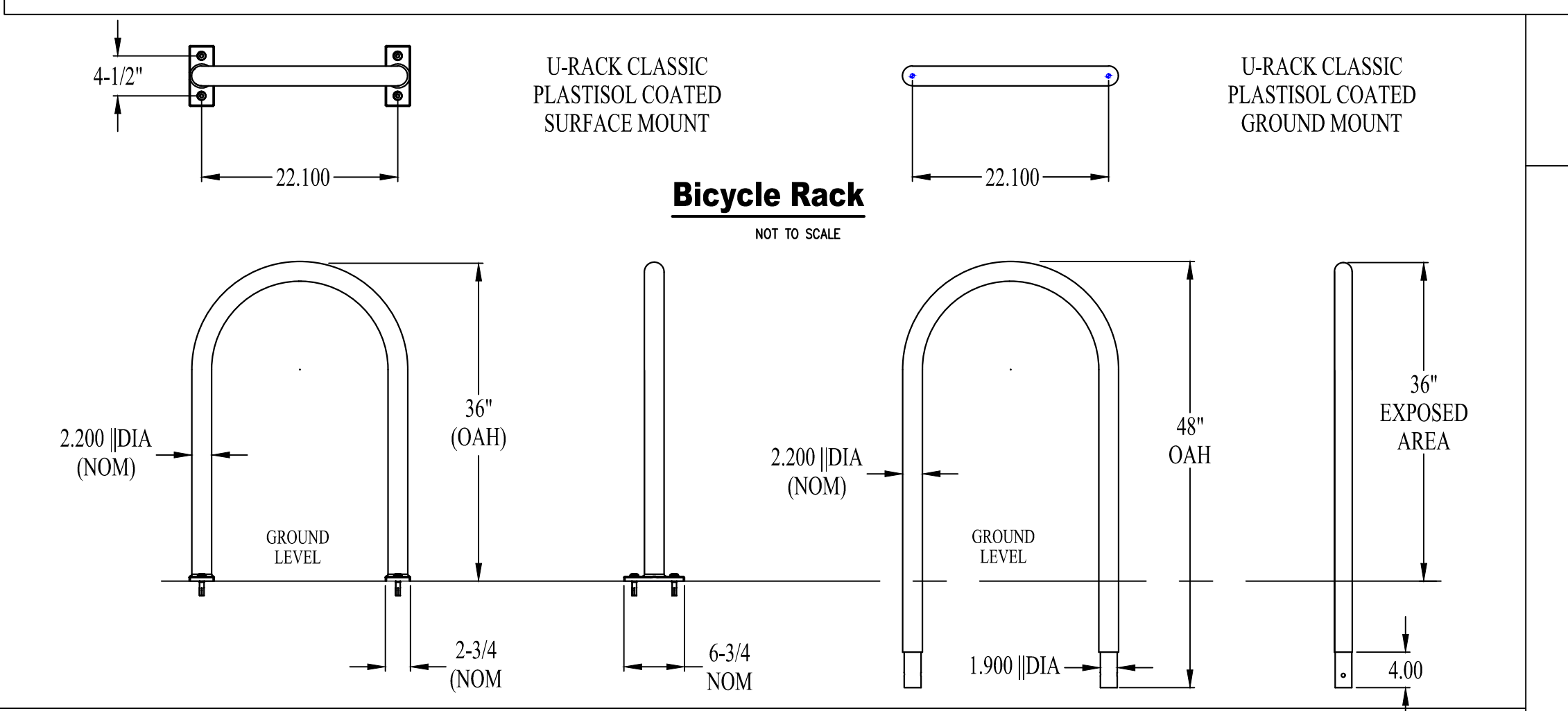
PLAN TITLE:
CONSTRUCTION DETAILS

SCALE: DATE: 6/13/24 DRAWN: JER CHECKED: JER

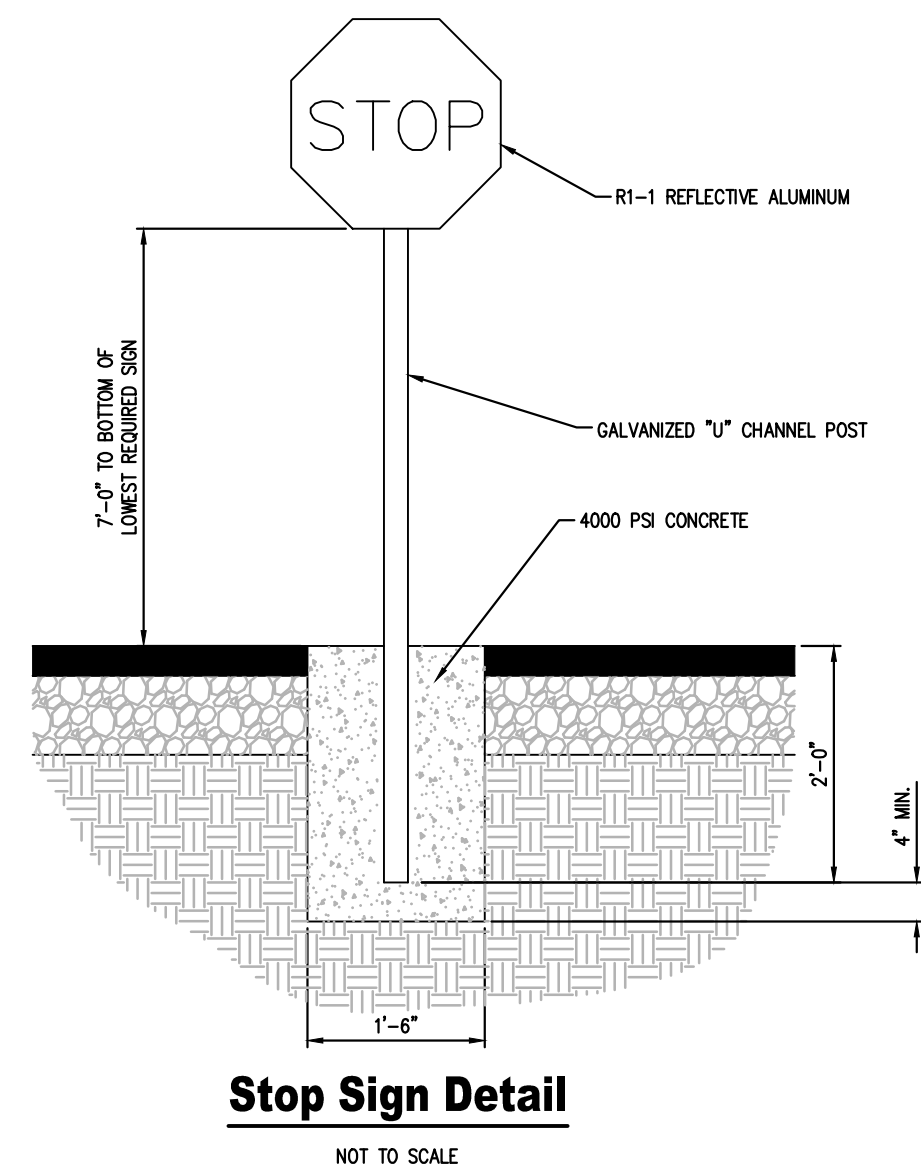
PROJECT NO. 2401 DRAWING NO. 5 OF 7 REVISION: 02



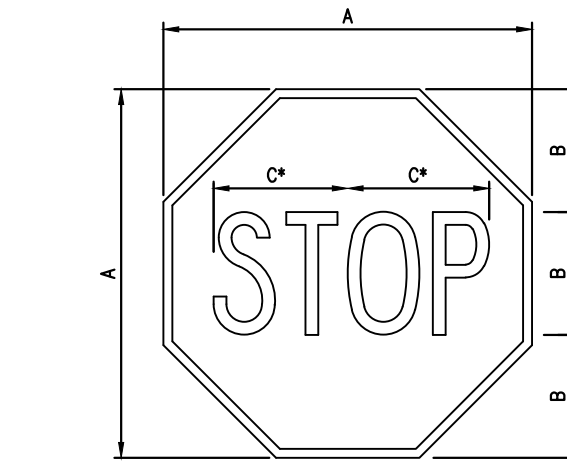
SINGLE WOODEN DUMPSTER ENCLOSURE
NOT TO SCALE



Bicycle Rack
NOT TO SCALE



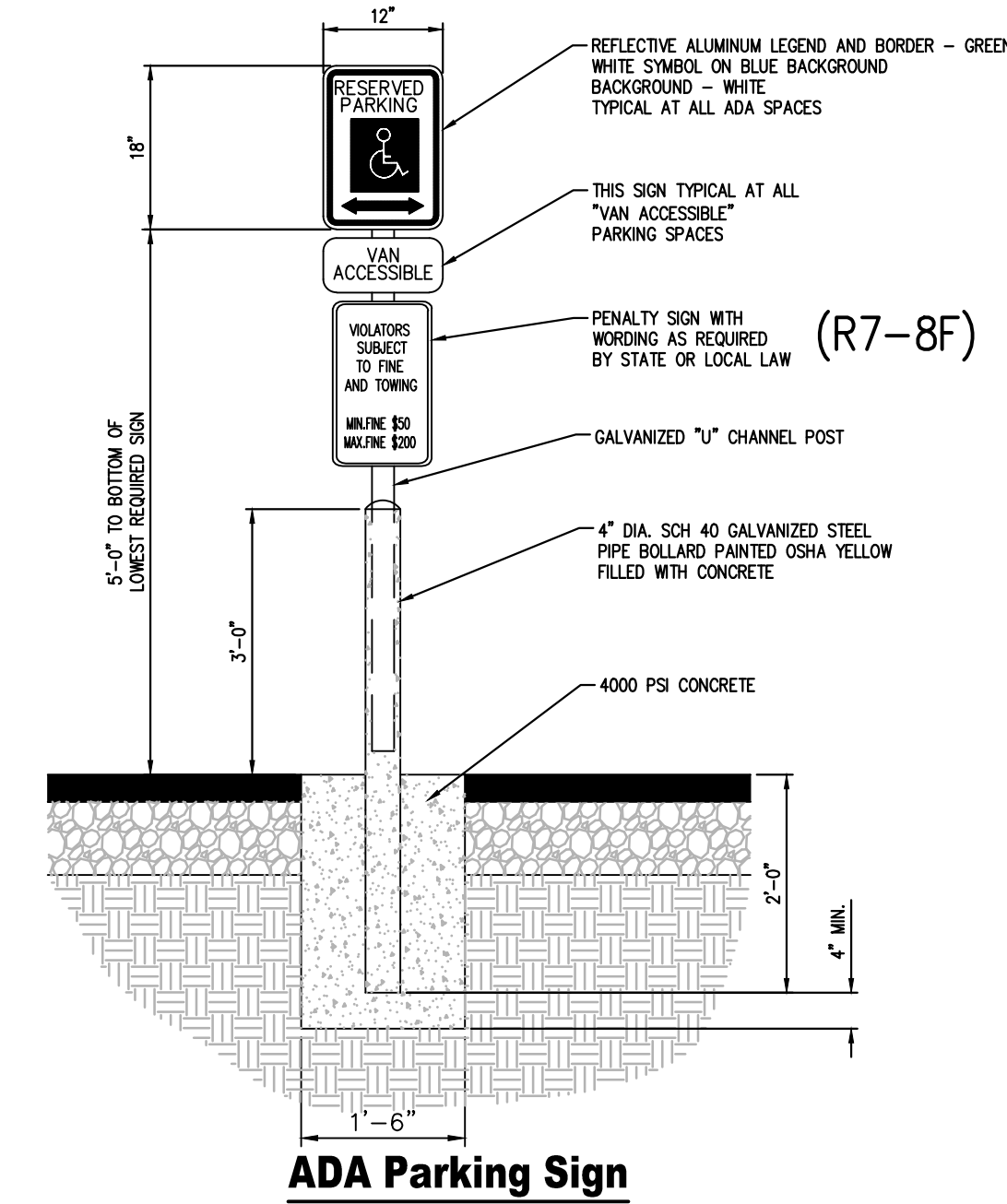
Stop Sign Detail
NOT TO SCALE



| SIGN SIZE | DIMENSIONS | | | SERIES | BOR-DER | BLANK STD. |
|-----------|------------|----|------|--------|---------|------------|
| | A | B | C | | | |
| 24x24 | 30 | 10 | 12.5 | C | 3/4 | BI-30 |

| SIGNAGE | | | |
|---------|-----------|-------|------|
| SERIES | MESSAGE | SIZE | QTY. |
| R1-1 | STOP SIGN | 30x30 | 2 |

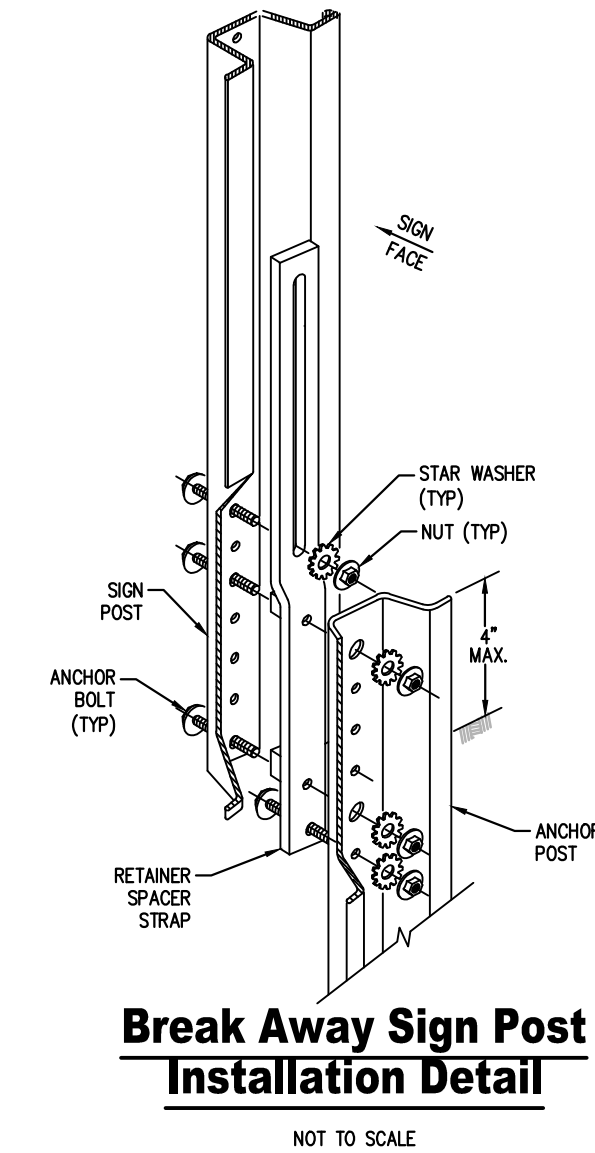
(HIGH INTENSITY SIGNS REQUIRED)



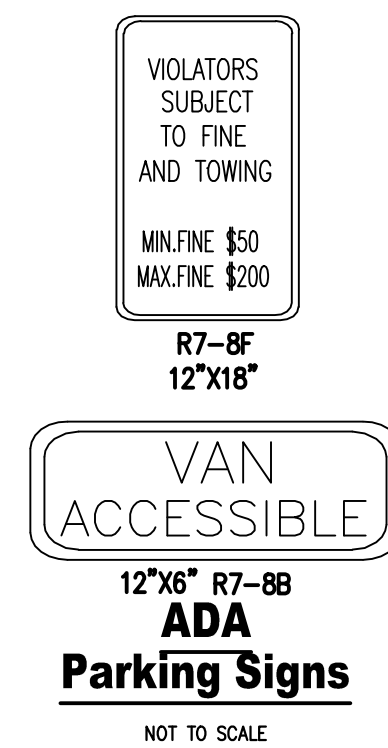
ADA Parking Sign
NOT TO SCALE

NOTE:
ONE AT EACH ADA SPACE. WHERE ADA SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES.

- MOUNT ALL SIGNS ON PENNDOT STD. 2.25 LB. BREAKAWAY CHANNEL BAR POSTS, UNLESS NOTED OTHERWISE.
- MARK ALL PARKING SPACES WITH 4" WIDE SOLID WHITE LINES.

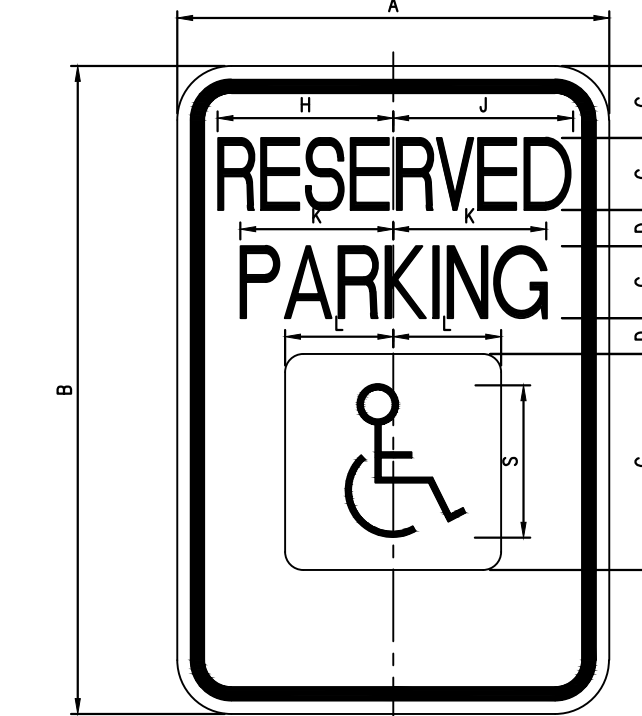


Break Away Sign Post Installation Detail
NOT TO SCALE



Van Accessible Parking Signs
NOT TO SCALE

| SIGN SIZE | DIMENSIONS | | | | | | | | | | | |
|-----------|------------|----|---|---|-------|-------|---|-------|---|-------|---|-------|
| | A | B | C | D | E | F | G | H | J | K | L | M |
| 12x18 | 12 | 18 | 2 | 1 | 1 1/4 | 2 1/4 | 6 | 4 1/4 | 5 | 4 1/4 | 3 | 1 1/2 |

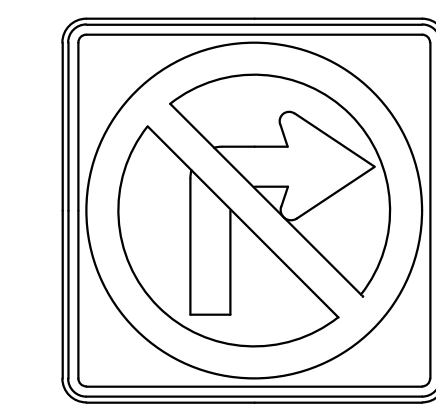


Reserved Parking Sign PennDOT R7-8
NOT TO SCALE

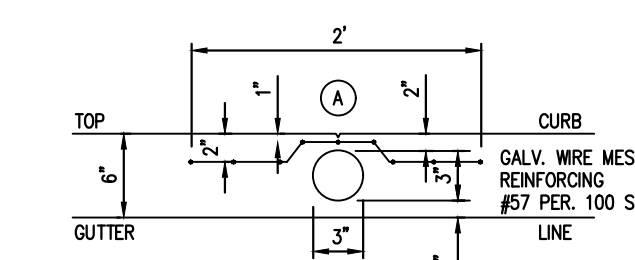
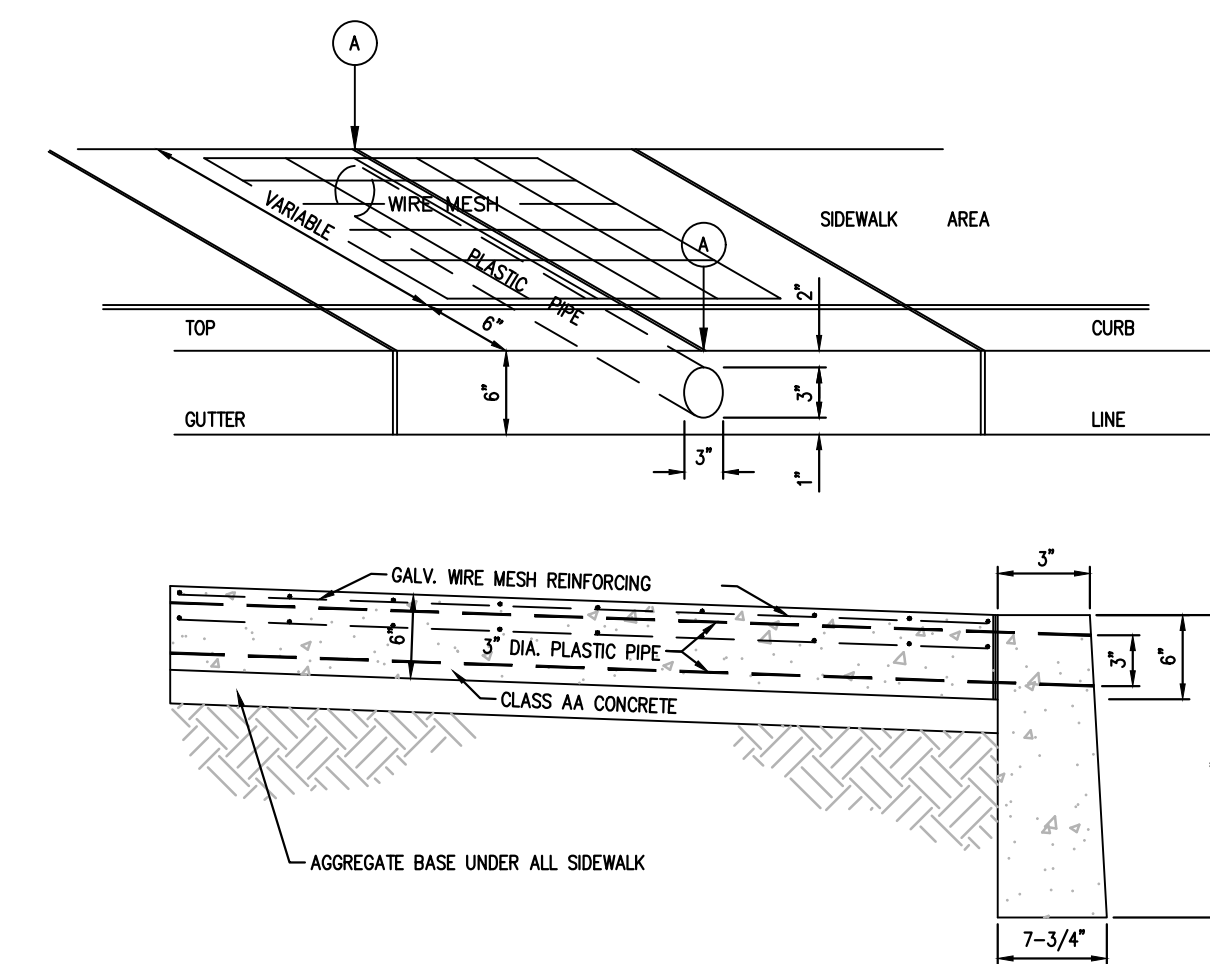
| SIGN SCHEDULE | | | | |
|---------------|----------------------------|--------------|-----|-----------|
| KEY | DESC. | PENNDOT CODE | QTY | SIZE |
| A | HANDICAP PRKNG | R7-8 | 1 | 12" X 18" |
| B | VAN ACCESSIBLE | R7-8P | 1 | 12" X 18" |
| C | STOP SIGN | R1-1 | 2 | 30" X 30" |
| D | NO RIGHT TURN | R3-1 | 2 | 24" X 24" |
| E | ALL TRAFFIC MUST TURN LEFT | R3-7-1L | 2 | 24" X 24" |



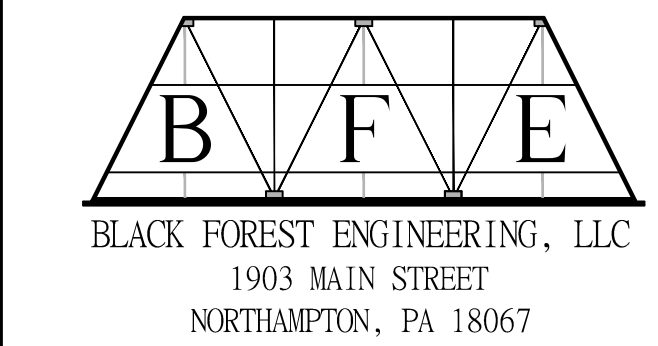
All Traffic Must Turn Left Sign PennDOT R3-7-1L
NOT TO SCALE



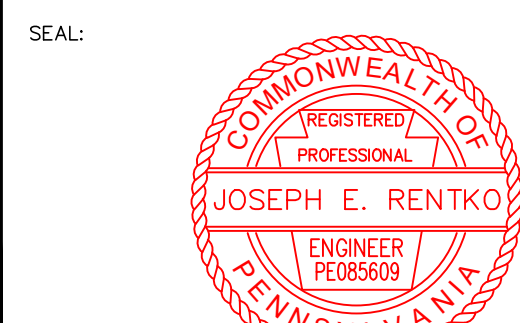
No Right Turn Sign PennDOT R3-1
NOT TO SCALE



NOTE:
A FACE JOINT SHALL BE MADE ALONG CENTER LINE OF PIPE FROM FACE OF CURB TO BACK EDGE OF SIDEWALK AND/OR BUILDING.



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2455 BLACK FOREST DRIVE
COPLAY, PA 18037
610-239-4499

| NO. | DESCRIPTION | DATE | BY |
|------|------------------------------|------|---------|
| 02 | ADDRESS CITY REVIEW COMMENTS | JER | 9/30/25 |
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| REV: | DESCRIPTION: | BY | DATE |

PROJECT TITLE:
330 EAST 4TH STREET

PROJECT LOCATION:
**CITY OF BETHLEHEM
WARD 3 BLOCK 7A
NORTHAMPTON COUNTY
PENNSYLVANIA**

PLAN TITLE:
DETAILS

| SCALE: | DATE: | DRAWN: | CHECKED: |
|-------------|-------------|-----------|----------|
| AS NOTED | 6/13/24 | JER | JER |
| PROJECT NO. | DRAWING NO. | REVISION: | |
| 2401 | 7 OF 7 | 02 | |