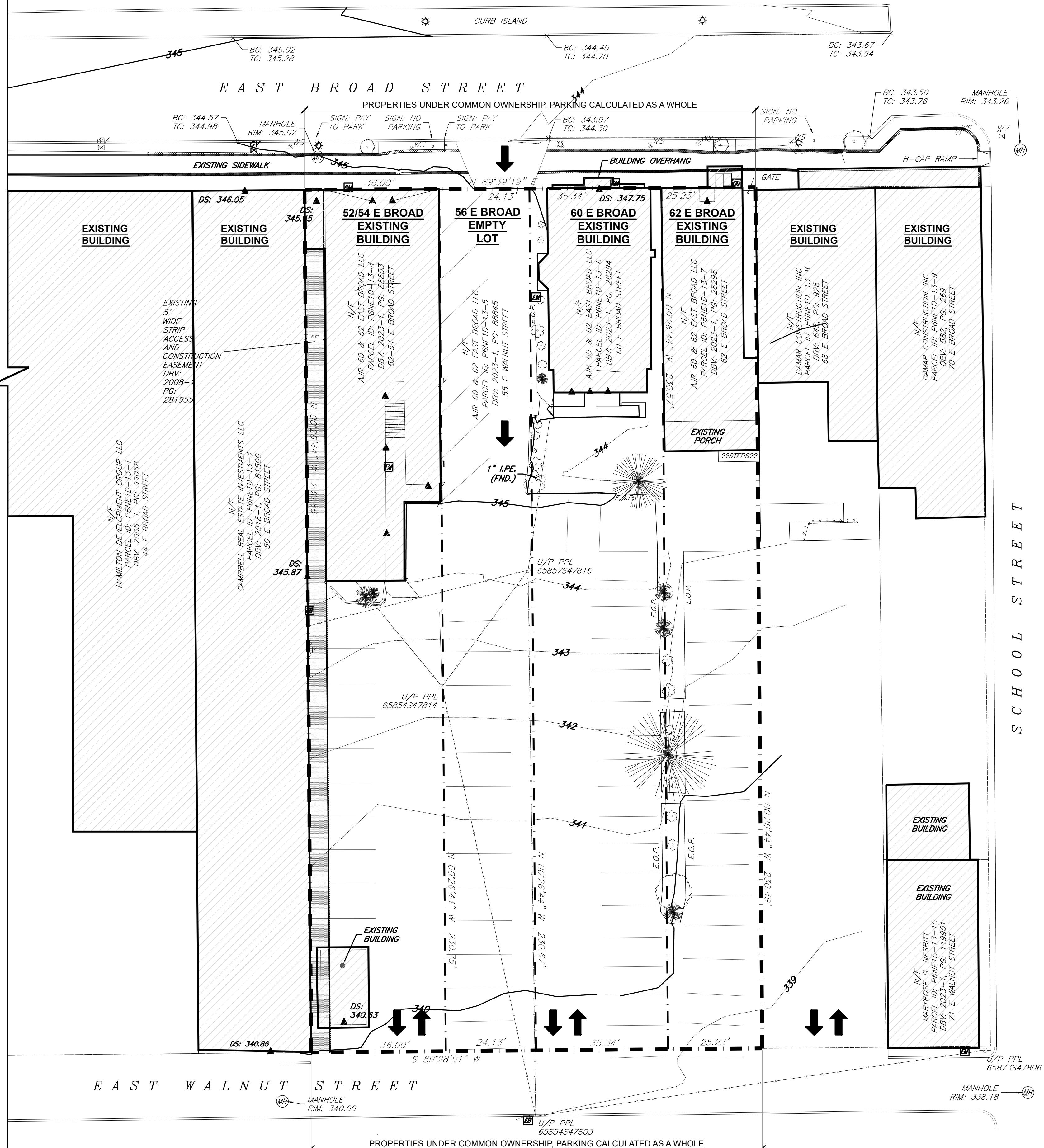
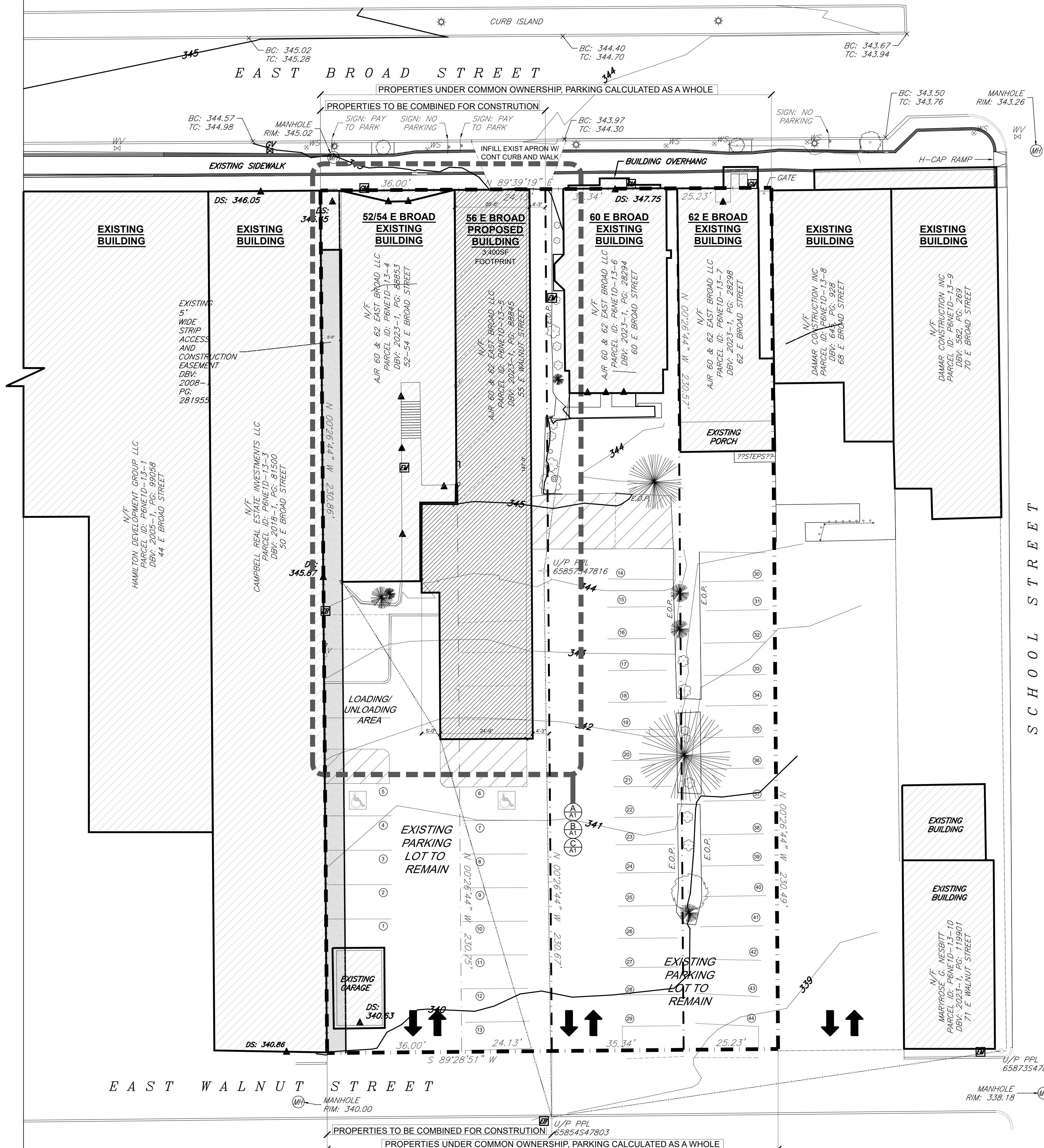




1 Existing Site Plan Scale: 1/16"=1'
SITE Survey done by Keystone Consulting Engineers, 12/9/2025

SITE AND ZONING INFO		DIMENSIONAL REQUIREMENTS - [VARIANCES REQ'D, BOXED AND BOLD]		EXISTING PARKING		PROPOSED PARKING	
52-54 E. BROAD ST. COUNTY PARCEL ID P6NE1D-13-4-0204, SITE AREA- 8,280 SF (190 ACRES)		CL DISTRICT (MORE THAN 2.5 STORIES)		52/54/56 E BROAD		52/54 E BROAD	
55 E. WALNUT ST. COUNTY PARCEL ID P6NE1D-13-5-0204, SITE AREA- 5,519 SF (127 ACRES)		MINIMUM LOT AREA		EXISTING 1ST FLOOR OFFICE COM. - 1,913 SF / 150 SF = 12.7 SPACES		EXISTING 1ST FLOOR OFFICE COM. TO REMAIN - 928 SF / 300 SF = 3.1 SPACES	
60 E. BROAD ST. COUNTY PARCEL ID P6NE1D-13-6-0204, SITE AREA- 8,049 SF (185 ACRES)		MINIMUM LOT WIDTH		EXISTING 1ST FLOOR 1BR APARTMENT - 1.5 / UNIT = 1.5 SPACES		EXISTING 1ST FLOOR GEN COM. TO REMAIN - 523 SF / 150 SF = 3.5 SPACES	
62 E. BROAD ST. COUNTY PARCEL ID P6NE1D-13-7-0204, SITE AREA- 5,749 SF (132 ACRES)		MINIMUM FRONT YARD		EXISTING SECOND/THIRD FLOOR 3BR APARTMENT - 2 / UNIT = 2 SPACES		EXISTING 1ST FLOOR 1BR APARTMENT - 1.5 / UNIT = 1.5 SPACES	
TOTAL COMBINED SITE AREA - 27,597 SF (634 ACRES)		MINIMUM SIDE YARD		TOTAL = 17 SPACES		PROPOSED 1ST FLOOR 1-BR CONVERSION (1-1BR) - 1.5 / UNIT = 1.5 SPACES	
ZONING DISTRICT - CL, LIMITED COMMERCIAL		MAX BUILDING COVER		60 E BROAD		PROPOSED 1ST FLOOR OFFICE COMMERCIAL - 730 SF / 300 SF = 2.5 SPACES	
ZONING DISTRICT OF BORDERING PROPERTIES - RT TO THE REAR (SOUTH), CL ALL OTHER BOUNDARIES		MAX IMPERVIOUS COVER		EXISTING SIX 1BR APARTMENTS - 1.5 / UNIT = 9 SPACES		PROPOSED NEW 1ST FLOOR APTS (3-1BR) - 1.5 / UNIT = 4.5 SPACES	
CL, LIMITED COMMERCIAL		LOT AREA PER DWELLING UNIT		TOTAL = 9 SPACES		PROPOSED NEW 2ND AND 3RD FLOOR APTS (6-1BR) - 1.5 / UNIT = 9 SPACES	
ALLOWED RESIDENTIAL USES - STREET LEVEL SHALL BE COMMERCIAL, FOR REMAINING MULTIFAMILY USE, THE REQUIREMENTS OF THE RT DISTRICT (MULTIFAMILY) SHALL APPLY IN CL DISTRICT, EXCEPT THAT MAX HEIGHT LISTED FOR CL SHALL APPLY.		N/A		62 E BROAD		60 E BROAD - NO CHANGES - TOTAL = 9 SPACES	
DEVELOPMENT SUMMARY:		NOTES: (B) EXCEPT 20 FT SIDE AND 20 FT REAR FOR A PRINCIPAL NON-RESIDENTIAL BUILDING OR MULTIFAMILY BUILDING ADJACENT TO A LOT IN A RESIDENTIAL DISTRICT THAT IS OCCUPIED BY ONE OR MORE EXISTING DWELLINGS.		EXISTING FIRST FLOOR COMMERCIAL - 1,500 SF / 150 SF = 10 SPACES		62 E BROAD - NO CHANGES - TOTAL = 12 SPACES	
2,181 SF COMMERCIAL - INCREASE OF NET 268 SF FIRST FLOOR COMMERCIAL		(F) FOR EACH 1 FT IN HEIGHT OVER 35 FT, SIDE AND REAR YARD SHALL BE INCREASED BY 1/2 FT.		EXISTING SECOND/THIRD FLOOR 2BR APARTMENT - 2 / UNIT = 1.5 SPACES		TOTAL = 26 SPACES	
12 APARTMENTS TOTAL - INCREASE OF NET (10) 1-BR APARTMENTS				TOTAL = 12 SPACES		PROPOSED PARKING SUMMARY FOR ALL PROPERTIES - 43 SPACES REQUIRED*	
				EXISTING PARKING SUMMARY FOR ALL PROPERTIES - 61 SPACES PROVIDED		*19 COMMERCIAL SPACES REQUIRED, X .25 REDUCTION FACTOR FOR JOINT USE PER 1319.02(E) = 5 SPACE REDUCTION	



2 Proposed Site Plan Scale: 1/16"=1'
SITE

VARIANCES/ APPROVALS	
1. DWELLING DENSITY PROPOSED APPROX 600 SF/ DWELLING, MIN PERMITTED 1,150 SF/ DWELLING	
2. SIDE YARD SETBACK OF 4 FT PROPOSED, FOR RESIDENTIAL UNITS ON 2ND AND 3RD FLOOR, 15 FT SETBACK REQUIRED	
3. PARKING LOT SPACE AND LANE DIMENSIONS, CONFIRM ACCEPTABLE EXISTING NON CONFORMITY.	
4. MAIN BUILDING ON 55 E WALNUT ST. WITH STAIR/ ELEVATOR EXTENDING ONTO 54 E BROAD. PROPERTIES TO BE JOINED.	

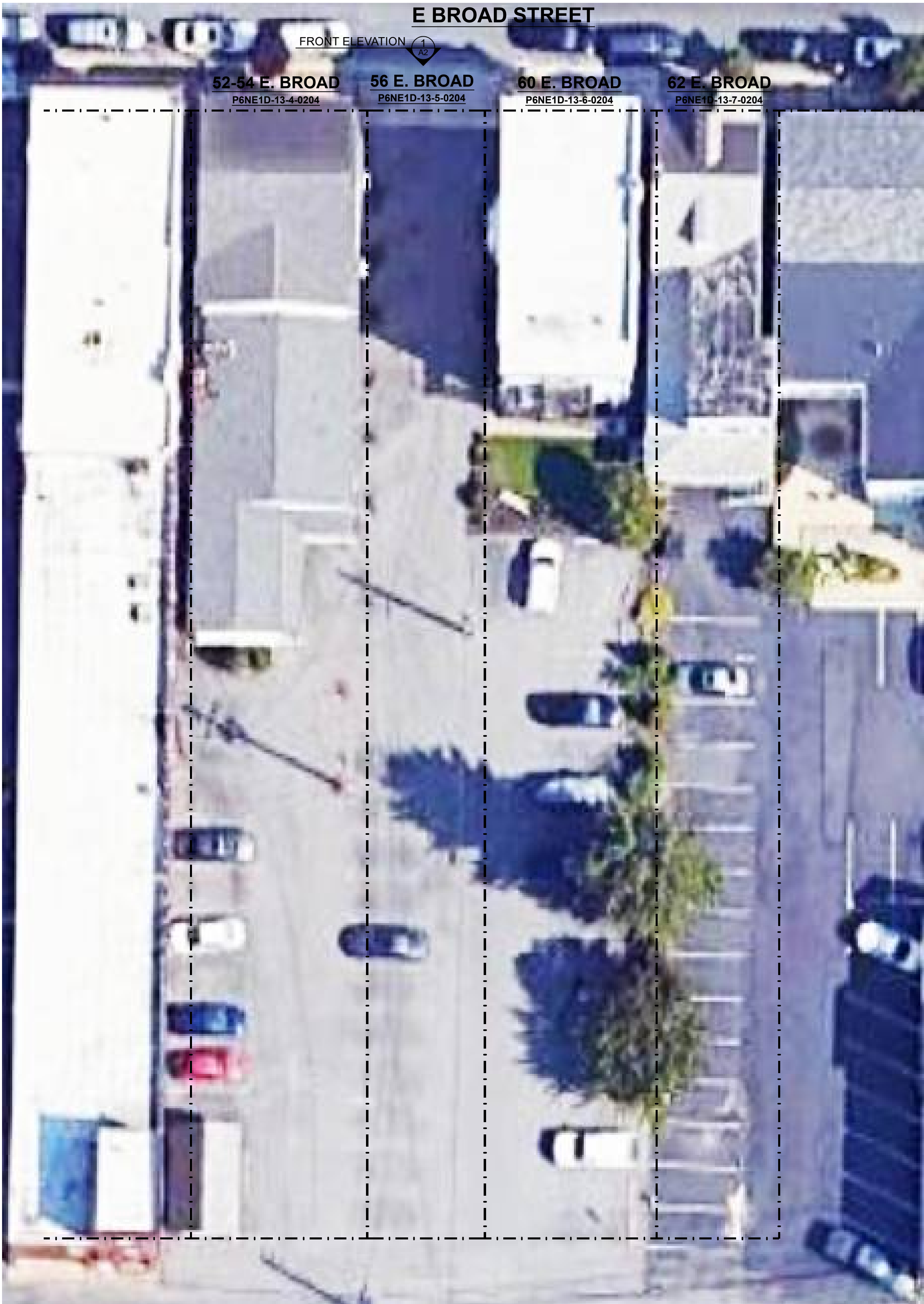
SKETCH PLAN

NOT FOR CONSTRUCTION

REVS	OWNER: AJR 60 & 62 EAST BROAD LLC	2/16/2026
4/28/2026	4514 CASEY BOULEVARD WILLIAMSBURG, VA 23188-2947	#030
	PROJECT: PROPOSED MIXED USE - 56 E BROAD ST 52-62 EAST BROAD STREET BETHLEHEM, NORTHAMPTON COUNTY, PA 18018	
	EXISTING SURVEYED SITE PLAN, PROPOSED SITE PLAN, ZONING INFORMATION	
	SITE	
	ENTROPY CONSULTING LLC	ARCHITECTURE PLANNING DESIGN
	VINCENT MARUCCI, AIA E: VMARUCCI@ENTROPYCONSULTING.NET P: 484-242-9454	1874 CATASAUQUA RD, #396 ALLENTOWN, PA 18109



SKETCH PLAN NOT FOR CONSTRUCTION	REV#S	OWNER: AJR 80 862 EAST BROAD LLC 4514 CASEY BOULEVARD WILLIAMSBURG, VA 23188-2947	2/16/2026
	4/28/2026	PROJECT: PROPOSED MIXED USE - 56 E BROAD ST 52-62 EAST BROAD STREET BETHLEHEM, NORTHAMPTON COUNTY, PA 18018	#030
		CONCEPTUAL SITE PLAN, EXISTING AERIAL IMAGE, CONCEPTUAL FLOOR PLAN SCHEMATICS, ZONING INFORMATION	A1
		ENTROPY CONSULTING, LLC	ARCHITECTURE PLANNING DESIGN
		VINCENT MARUCCI, AIA E. VIMARUCCI@ENTROPYCONSULTING.NET P. 484-242-9454	1874 CATAWAUQUA RD, #395 ALLENTOWN, PA 18109



EXISTING SITE AERIAL Scale: 1/16"=1'



Existing East Broad Street Scape Scale: 3/16"=1'



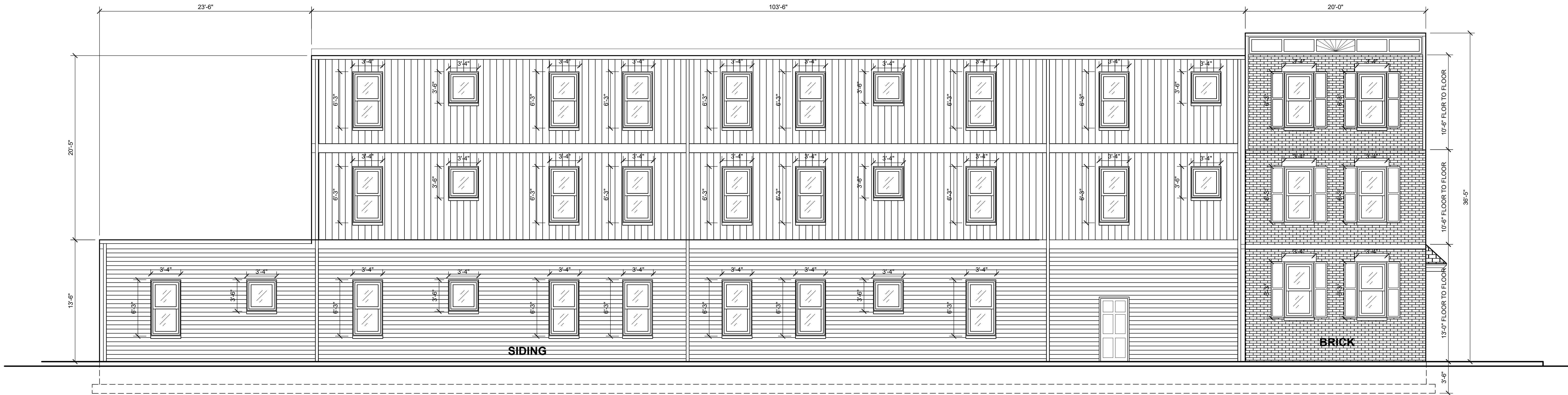
Proposed East Broad Street Scape Scale: 3/16"=1'

SKETCH PLAN
NOT FOR CONSTRUCTION

REVS	OWNER: AJR 60 &62 EAST BROAD LLC 4514 CASEY BOULEVARD WILLIAMSBURG, VA 23188-2947	2/16/2026 #030
4/28/2026	PROJECT: PROPOSED MIXED USE - 56 E BROAD ST 52-62 EAST BROAD STREET BETHLEHEM, NORTHAMPTON COUNTY, PA 18018	

EXISTING AERIAL PICTURE, EXISTING AND PROPOSED BROAD STREET SCAPES	A2
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1
A3 Proposed Side Elevation Scale: 3/16"=1'



2
A3 Proposed Front Elevation Scale: 3/16"=1'



3
A3 Proposed Rear Elevation Scale: 3/16"=1'

SKETCH PLAN
NOT FOR CONSTRUCTION

REVS	OWNER: AJR 60 &62 EAST BROAD LLC 4514 CASEY BOULEVARD WILLIAMSBURG, VA 23188-2947	2/16/2026 #030
4/28/2026	PROJECT: PROPOSED MIXED USE - 56 E BROAD ST 52-62 EAST BROAD STREET BETHLEHEM, NORTHAMPTON COUNTY, PA 18018	
	PROPOSED BUILDING ELEVATIONS	A3
ENTROPY CONSULTING LLC ARCHITECTURE PLANNING DESIGN		
VINCENT MARUCCI, AIA 1874 CATASAUQUA RD, #395 ALLENTOWN, PA 18109		
E: VMARUCCI@ENTROPYCONSULTING.NET P: 484-242-9454		

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