



CITY OF BETHLEHEM

10 East Church Street, Bethlehem, Pennsylvania 18018-6025

BUREAU OF PLANNING AND ZONING

Phone: 610-865-7088

Fax: 610-865-7330

TDD: 610-865-7086

June 30, 2026

Joseph Rentko

RE: (26-005 LD) – 26050003 – 1405 NORTH BOULEVARD – LAND DEVELOPMENT PLAN – Ward 14, Zoned RT, Plan dated May 8, 2026.

Dear Mr. Rentko:

The above-referenced plan has been reviewed by the appropriate City offices. We offer the following comments:

PUBLIC WORKS

Sanitary Engineering

1. In accordance with Ordinance No. 4342, at the time of execution of the developer's agreement, a sanitary sewer tapping fee of \$31,158.00 shall be paid.
2. The Engineering Bureau will review and submit the sewer planning documents to the Pennsylvania Department of Environmental Protection (PADEP). Please note that building permits cannot be issued until the Planning Module is reviewed and approved by PADEP.

Stormwater Engineering

1. Per Article 925 of the City Codified Ordinance, at the time of execution of the developer's agreement, a stormwater escrow charge of \$0.10 per square foot (\$928.70) shall be paid for the increase in impervious cover.
2. The proposed level spreader shall be redesigned to prevent runoff from being directed onto the City sidewalk.

Miscellaneous Engineering

1. Show the extent and location of road restoration required for in-street utility work on the plan. Provide a pavement restoration detail on the Details Sheet.
2. Show the location of the existing sewer lateral on the Existing Features Plan. The existing lateral shall be capped at the main.
3. Per Article 909, all deficient sidewalk and curbing shall be removed and replaced. If replaced curbing is greater than 20 LF, then a warrant of survey shall be required.
4. The existing driveway apron shall be removed and walkway & curb replaced with City Standard sidewalk & curb.
5. Indicate on the plan the proposed slopes for driveways and ADA ramps. The ADA ramp detail shall include a note stating that the detectable warning surface shall be "brick red" in color.
6. Modify the landscaping charts to include a legend column on the Lighting and Landscaping Sheet.
7. Existing and proposed address for this parcel shall be included in the site data and on the Existing Features Sheet and Record Sheet.
8. The Applicant shall provide floor plans of the proposed unit layout for use by the Engineering Bureau in assigning unit numbers.

Forestry

1. Provide a variety of plantings along with the Green Giants for the buffer yard around the parking lot area; Ref. SALDO section 1349.19(E).

Traffic

1. Crosswalks shall be added to the intersection of North Boulevard and East Boulevard.

Fire

The City of Bethlehem Fire Department currently enforces the 2018 Edition of the International Fire Code in its entirety including Appendices, with local amendments, as adopted in Article 1501 of the Codified Ordinances of the City of Bethlehem, Ordinance 2022-15.

A condensed version of Article 1501/Ordinance 2022-15 listing the common items that affect Land Development Projects is attached at the end of this document for reference. For a copy of the full ordinance please visit <https://www.bethlehem-pa.gov/CityOfBethlehem/media/BFDMedia/Fire-Code.pdf>

1. A Knox Box for City of Bethlehem Fire Department access shall be installed by the main entry door or other approved location. Add a note to plans indicating location TBD.
2. Indicate the proposed location of all Fire Department Connections (FDC). Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access or as otherwise *approved* by the Fire Marshal. Add a note to the plan stating, "Any change in the location of the Fire Department Connection shall be approved by the City of Bethlehem Fire Department."
3. All buildings 30 feet or greater in height shall have 26-foot-wide minimum access road(s) and must accommodate a fire apparatus weighing 84,000lbs. (Refer to International Fire Code, 2018 ed., Section 503 and Appendix D for additional information). At least one of the required access roads meeting this condition shall be located within a minimum of 15 feet (4572 mm) and a maximum of 30 feet (9144 mm) from the building and shall be positioned parallel to one entire side of the building (Refer to International Fire Code, 2018 ed., Section 503 and Appendix D for additional information).
4. The architect/engineer shall confirm Fire Department apparatus will be able to drive on all road surfaces without contacting the driving surface. Check angles of approach and departure to confirm the front or rear apparatus bumpers will not contact the driving surface. Also confirm the middle of the truck will not contact the driving surface of humps or crowns such as on speed bumps (Refer to International Fire Code, 2018 ed., Section 503 and Appendix D for additional information. Contact the Fire Department for detailed vehicle information).
5. The following drawings are required to be submitted for Fire Department Review of Land Development Plans:
 - a. Utility plan to include water supply showing fire hydrants on or near the property.
 - b. Elevations, or other documentation indicating proposed building height.
 - c. Additional drawings may be required based on the individual project.

Contact the City of Bethlehem Fire Department office at 610-865-7143 and request Fire Marshal Craig Baer (cbaer@bethlehem-pa.gov) or Chief Fire Inspector Lucas Fuller (lfuller@bethlehem-pa.gov) with any questions, referenced Fire Code requirements or to obtain any documents required to complete the submittal for review.

ZONING

1. Include a calculation for minimum required amount of bicycle parking along with the vehicle parking calculation.

GENERAL

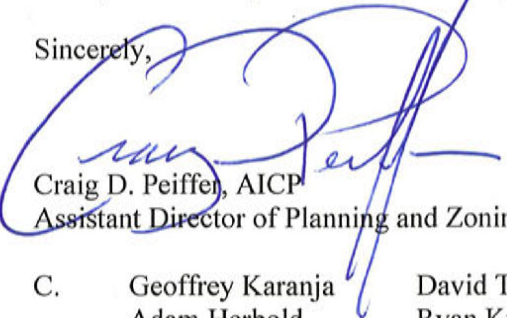
1. A Recreation Fee of \$24,000 shall be paid at the time of execution of the developer's agreement.
2. Provide architectural floor plans and label each room (these shall be submitted in paper and e-format prior to the Planning Commission Meeting).
3. Provide architectural elevations and indicate building height and label exterior finishes (these shall be submitted in paper and e-format prior to the Planning Commission Meeting).
4. Record Plan, Sheet 1 of 6, Statement of Intent, correct the statement to indicate sixteen (16) units.

5. Record Plan, Sheet 1 of 6, Record Notes, #4, add to the end of the statement, "Ref. FEMA FIRM 42095C0263E, effective on 7/16/2014."
6. Record Plan, Sheet 1 of 6, Record Notes, #5, correct the statement as follows: "... The drainage easement provides for the flow of storm water..."
7. Record Plan, Sheet 1 of 6, Record Notes, add a note to the plan, "All landscaping, as approved on final site plans, shall be completed and maintained, including the replacement of dead plantings by the applicant or his successors and assigns."
8. Lighting and Landscaping Plan, Sheet 3 of 6, Required landscaping, correct to reflect current SALDO:
 - a. An average minimum of one deciduous or evergreen tree shall be required to be planted and then maintained for every 4,000 square feet of impervious surface; Ref. 1349.19(G)
 - b. On principal commercial, industrial, institutional and multi-family apartment lots, a minimum of 10 percent of the lot area shall be landscaped in trees and shrubs, and with a vegetated ground cover; Ref. 1349.19(H)(1).
9. Lighting and Landscaping Plan, Sheet 3 of 6, indicate on the plan if there are existing trees to be removed and their caliper as measured 4.5' above ground level. If such trees exist and are to be removed as part of the development, then account for their replacement.
10. Lehigh and Northampton Transportation Authority (LANTA) currently provides public transportation directly to the project site, with an existing northbound Bus Stop ID 5074 located on East Blvd, nearside of the North Blvd intersection. LANTA had plans to relocate the existing bus stop to farside of the intersection, along the property frontage of the multifamily residential project. There is currently an existing southbound Bus Stop ID 5075 located nearside of the East Blvd and North Blvd intersection, opposite the recommended bus stop relocation. LANTA recommends relocating Bus Stop ID 5074 nearside of the entrance driveway to the project site from East Blvd, aligning with the proposed sidewalk into the project site to the main entrance of the apartment building. LANTA recommends a 5' concrete pad in between the existing sidewalk and the existing curb to allow accessible boarding and aligning at the new bus stop location. While this stop is not a suitable candidate for a LANTA funded bus shelter, any nearby seating or covered waiting areas would be welcomed. LANTA appreciates the efforts made by the developer to engage LANTA early in the design development process, and to improve multimodal access to the neighborhood, as well as in the City of Bethlehem. Contact Molly Wood at either 610-439-1376, or mwood@lantabus-pa.gov for continued engagement and coordination on bus stop details.
11. Comments from the Environmental Advisory Council are enclosed for your review and comments. Please make sure responses are provided for the letter when the revised plans are submitted.
12. The project should generally comply with the goals and objectives of the City's Climate Action Plan for new development, including energy efficient construction, provisions for safe walking and biking, green development and other various provisions.
13. Submit an engineer's opinion of probable cost estimate in MS Excel Format for the City's review, approval and subsequent inclusion in the developer's agreement.

When these comments are addressed, please submit two (2) full sets of revised plans, three (3) partial sets of revised plans for Fire, Traffic and Forestry, an electronic plan, and a comment/response letter for further review.

This plan will be placed on the July 9, 2026, Planning Commission Agenda.

Sincerely,


 Craig D. Peiffer, AICP
 Assistant Director of Planning and Zoning

C. Geoffrey Karanja
 Adam Herbold
 Cathy Fletcher

David Taylor
 Ryan Knause
 Robert Taylor

Craig Baer
 Greg Cryder
 Michael Halbforester

Domenic Villani

Enc.



June 10, 2026

Craig Peiffer, Assistant Director of Planning and Zoning
City of Bethlehem
10 E. Church Street
Bethlehem, PA 18018

Dear Mr. Peiffer,

We appreciate the opportunity to comment on the proposed development on 1405 NORTH BOULEVARD. Our recommendations are in support of Bethlehem City's Climate Action Plan (CAP), which aims to reduce our carbon footprint, increase sustainability and utilize alternative energy sources.

New construction projects provide opportunities to employ energy saving strategies that will lower energy costs and at the same time reduce pollution from traditional energy sources.

Acknowledgements

- We appreciate the inclusion of a bike rack. Use of bicycles is increasing in the city. It is not clear if the rack is covered. Making it covered would be an ideal design.

Strong recommendations

- The EAC suggests the addition of level 2 EV charging stations or wiring the parking area for EV charging stations, which is also a strategy in the CAP (Transportation Strategies T3.1 and T3.4). This is easier to accomplish during construction and supports the goal in the CAP to increase adoption of electric, alternative fuel and zero-emitting vehicles. EV's will become more popular as gas prices surge, EV technology becomes less expensive, and lower cost used EV's come to market. Offering on-site charging stations will increase the attractiveness for tenants while helping the city reduce greenhouse gas emissions from tailpipes.
- The trees planned need to be changed. The Trident Maples are not native and have shallow root structures. They should be planted at least 15 feet away from foundations and 30 feet away from overhead power lines.

- Acer Rubrum (October Glory) are not acceptable for the tree lawn. They frequently develop aggressive, shallow surface roots that can buckle sidewalks, lift driveways, and make lawn mowing difficult. Compared to hardwood standards like oaks, red maples have medium-to-weak branch strength, leaving them vulnerable to splitting during heavy ice storms or high winds. The bark is notoriously thin and easily damaged by lawnmowers or weed whackers. These wounds invite pests and disease into the tree. Young trunks are prone to rupture from winter temperature fluctuations. Better choices are:
 - Northern Red Oak (Quercus rubra): Fast-growing, large shade tree with strong branches.
 - Pin Oak (Quercus palustris): Native, fast-growing with distinctive, uniform shape.
 - Black Gum (Nyssa sylvatica): Offers spectacular fall color and high tolerance for urban soils.

Note: This assumes power lines are not over the area to plant these trees.

- To reduce vehicle parking requirements, you can commit to subsidizing public transit service. See Bethlehem Zoning Ordinance Article 1319.02.6.d (page 136). A reduction will reduce impervious surface coverage, reducing stormwater runoff. In addition, a reduction in impervious surface for parking could yield space for raised bed gardening for tenants. The three parking spots on the Northeast corner could be replaced with a community garden for residents, or more shade trees.
- Rather than a green lawn surrounding the buildings, consideration could be given to using native plants/grasses that will retain soil, provide pollinator habitat and do not need to be mowed. This low maintenance measure would provide a savings on landscape services and reduce greenhouse gas emissions from mowing.
- Consider LEED guidelines in the building structures. Adopting LEED guidelines will lower utility costs, provide healthier air, and yield higher asset value.
- We recommend that the developer utilize sustainable building materials and energy efficiency measures beyond the building code, such as passive solar design features, advanced lighting controls, high efficiency HVAC equipment like Heat Pumps, increased insulation and water conservation and indoor air quality measures.
- How will water runoff exit the parking lot? It should not exit towards 2521, 2515 or 2509 Boyd St. Likewise, exiting onto East Blvd could cause road flooding, especially at nearest intersection. A retention basin or some other structure to hold excess water runoff should be included.
- External lighting should not reflect up to avoid distracting migrating birds.

Additional Considerations

- Northampton County adopted the Commercial Property Assessed Clean Energy (C-PACE) program. C-PACE is an innovative financial tool that

allows financing for solar, increased energy efficiency, water conservation and indoor air quality measures to be attached to the property instead of the owner. This can free up developers' finances by placing the assessment on the property and structuring repayment through property taxes. The Sustainable Energy Fund (SEF) administers the C-PACE program for Northampton County and can provide information on the program (www.theSEF.org). In addition, there are currently tax credits for new solar energy systems.

- Ensure pet waste stations are available at entrances of the apartment building. Pet waste stations will help reduce unhealthy waste in the neighborhood.
- Consider designing the roof to support rooftop solar. Installing solar panels on a structure this size could return the owner a positive cash flow from PPL.

Thank you for your consideration.

Sincerely,

Steve Olshevski, Chair

On behalf of the Bethlehem EAC:

Ben Felzer, Vice Chair

Ben Guthrie, Secretary

Vibhur Kumar

Megan Lysowski

Mandy Tolino

Katie Trembler

cc: Bethlehem City Council

Mayor J. William Reynolds