

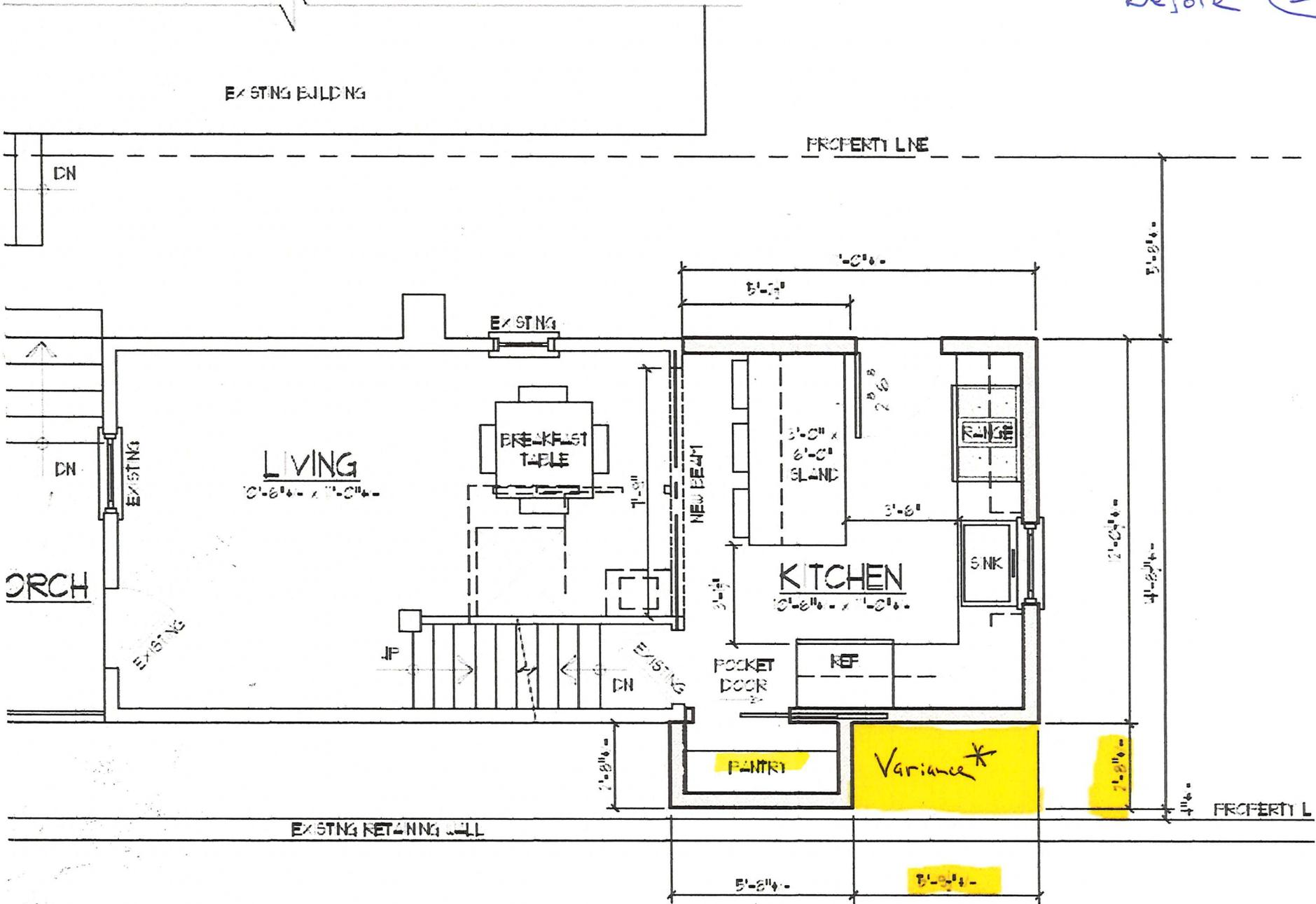
EXISTING FENCE



PROPERTY LINE

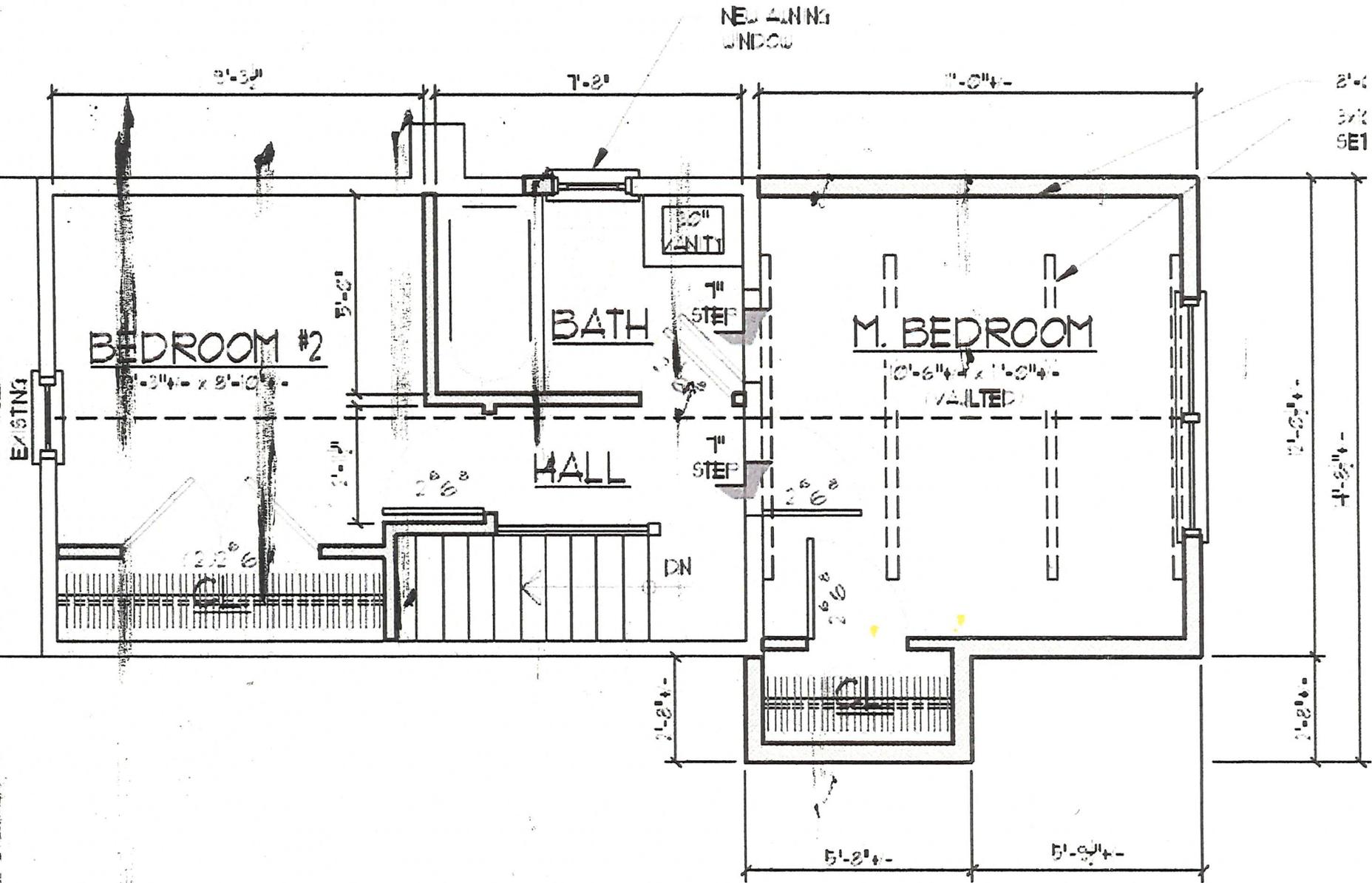
5'-9 1/2 +/-
11'-0 +/-

Before 1



1 FIRST FLOOR PLAN - OPTION 2
A-1 1/4" = 1'-0"

Before (2)



SECOND FLOOR PLAN

1/4" = 1'-0"

After 3

EXISTING ADJACENT BUILDING

PROPOSED PERIMETER TO EXTEND 1'-2" BEYOND EXISTING BUILDING
 PROPOSED STRUCTURE TO REMAIN WITHIN ALLOWABLE BUILDING ENVELOPE
 MAINTAINING 4'-0" SETBACK TO PROPERTY LINE

PROPERTY LINE

MIN 36" x 36" LANDING

REMOVE EXISTING POWDER ROOM IN THIS ENTRY

LIVING

KITCHEN

DRAFT STOP ALL SCOFFS

PANTRY

3" x 3" HDR SET ICE FLUSH SECOND FLOOR JOISTS

3" x 3" x 16" OC

3" x 3" HDR 1'-0" x 3'-0" CABINET

EXISTING PERIMETER

PROPERTY LINE

EXISTING STAIRS TO REAR

EXISTING RETAINING WALL

- METALS 6061 T5
- TEMPERED

FLOOR PLAN

NOTE: VERIFY ALL DIMENSIONS IN FIELD. NOTIFY ARCHITECT OF ANY DISCREPANCIES

FIRST FLOOR AREA	394 SQ. FT.
SECOND FLOOR AREA	30 SQ. FT.
TOTAL FLOOR AREA	424 SQ. FT.



EXTENTS OF PROPOSED RENOVATIONS TO STAY IN THE PROPERTY BOUNDS AS OPPOSED TO FOOTPRINT OF EXISTING DWELLING WHICH VIOLATES THE PROPERTY LINE

JACKSON STREET (20' PUBLIC RIGHT-OF-WAY)

PARD P05E2D 9 16 0204
LANDS N/F
513 SELFIDGE LLC
SR 2016-1 PG 272056
513 SELFIDGE STREET

PARD P05E2D 9 17 0204
LANDS N/F
JUNGA YEON
DB 2017-1 PG 7309
511 SELFIDGE STREET

PARD P05E2D 9 18 0204
LANDS N/F
JOSE L MUZ
DB 2001-1 PG 190710
INSTRUMENT 2001036983
509 SELFIDGE STREET

PARD P05E2D 9 19A 0204
LANDS N/F
JEFFREY A. FREDERICK
DB 2024-1 PG 14414
INSTRUMENT 20240015187

PARD P05E2D 9 19 0204
LANDS N/F
MICHAEL L & BETH S. SCHONBERGER
DB 2017-1 PG 91177
INSTRUMENT 201701720
507 SELFIDGE STREET

PARD P05E2D 9 20 0204
LANDS N/F
MICHAEL L & BETH S. SCHONBERGER
DB 2017-1 PG 106108
INSTRUMENT 201702475
615 HILLSIDE AVENUE

PARD P05E2D 9 21 0204
LANDS N/F
MIK & JENNIFER'S LLC
DB 2020-1 PG 241217
INSTRUMENT 202002148
617 HILLSIDE AVENUE

PARD P05E2D 9 22 0204
LANDS N/F
DAVID & SIOBHAN E. WAINSBY
DB 2023-1 PG 252647
INSTRUMENT 202304951
617 HILLSIDE AVENUE

PARD P05E2D 9 23 0204
LANDS N/F
AJ LARSEN, LLC
DB 2024-1 PG 105896
INSTRUMENT 202402775
619 HILLSIDE AVENUE

PARD P05E2D 9 24 0204
LANDS N/F
JOSE A. GONZALEZ
DB 2023-1 PG 141454
621 HILLSIDE AVENUE

2 STORY BUILDING
(192 S.F. EQUIPMENT)
508 JACKSON STREET
ADDRESS TAKEN FROM
RECORD DOCUMENTS

GARAGE

SHED

4' PRIVATE ALLEY

ADJACENT

ADJACENT

20'

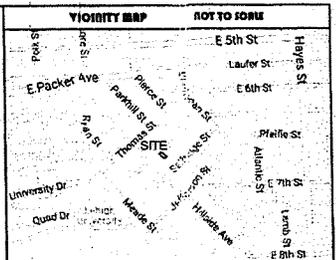
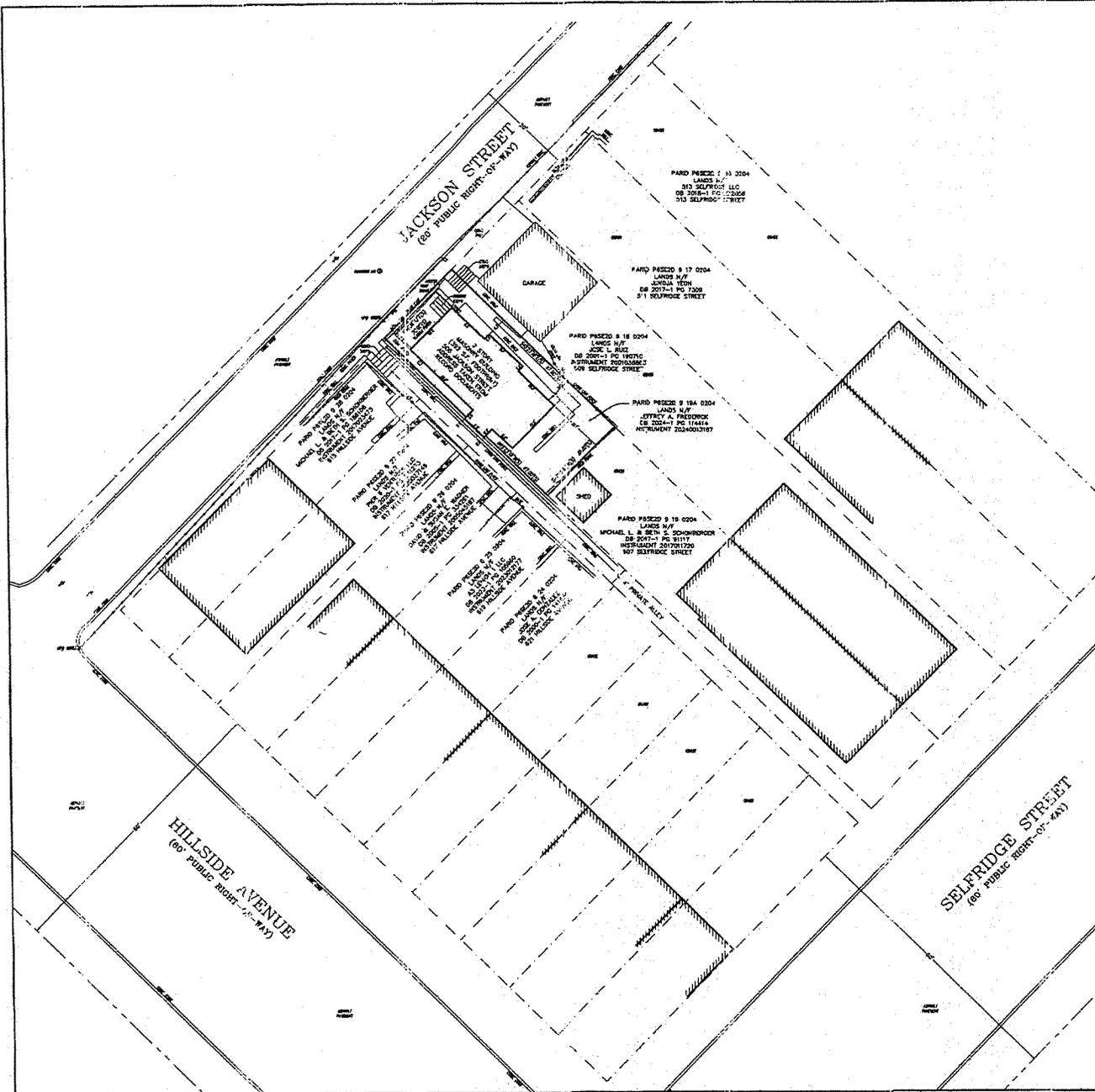
20'

20'

20'

20'

20'



SITE DATA

- PROPERTY IS KNOWN AS PARCEL 13 0204 IN THE CITY OF BETHLEHEM CITY, NORTHAMPTON COUNTY PENNSYLVANIA.
- LOT AREA = 640 S.F. OR 0.0216 A.C.
- NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED KNOWN TO THIS SURVEYOR - NO RESERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON 3" LITTLE MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLY ACCESSIBLE IN THE FIELD, AND THE MAPS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUTS DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BE MADE, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPERTY UTILITY COMPANIES.
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THIS SURVEY.
- LOCATION INFORMATION SHOWN HEREON TAKEN FROM GROUND SURVEY PERFORMED BY VALLEY LAND SERVICES, LLC. DATE OF FIELD SURVEY = DECEMBER 31, 2024.
- THIS PLAN IS VALID ONLY WHEN PRINTED IN COLORED INK AND EMBOSSED WITH AN ORIGINAL SEAL AND WAS PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARD OF ACCURACY OF THE STATE IN WHICH THE PROJECT IS LOCATED.
- THE WORD "CERTIFY" OR "CERTIFIED" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THIS SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
- COPYRIGHT © 2025, VALLEY LAND SERVICES, LLC. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED, OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF THE SURVEYOR. COPIES OF THIS PLAN WITHOUT AN ORIGINAL SEAL ARE NOT VALID.

SYMBOL

(THIS IS A SUMMARY LISTED NOT ALL ITEMS ARE ON THIS SURVEY)

● MONUMENT FOUND	4' DUCT LIGHT	○ WATER MANHOLE
○ MONUMENT TO BE SET	▲ POLEPOLE	○ WATER METER
○ BENCHMARK TOP	— CUI WIRE	○ METER / REC.
○ RECORD DATA	○ LAST POLE	○ GAS MANHOLE
○ SURVEY DATA	— STREET LIGHT POLE	○ GAS MANHOLE
R/W RIGHT OF WAY	○ ELEC. TRANSFORMER	○ GAS VALVE
SEL SET BACK LINE	○ AIR CONDENSER	○ GAS METER
POP REINFORCED CONCRETE	○ ELEC. MANHOLE	○ UNDERGROUND GAS MARKER
COMP. CORRUGATED METAL PIPE	○ ELECTRIC METER	○ TELEPHONE MANHOLE
PIPE PLASTIC PIPE	○ CABLE BOX	○ TELEPHONE BOX
PIPE HIGH DENSITY POLYETHYLENE PIPE	○ CABLE MARKER	○ TELEPHONE BOX
CP CAST IRON PIPE	○ UNDERGROUND CABLE MARKER	○ UNDERGROUND TELEPHONE MANHOLE
DUPLICATE IRON PIPE	○ TRAFFIC SIGNAL	○ FLAG POLE
1/2" LAMPSHINE	○ TRAFFIC MANHOLE	○ BOLLARD
○ DECORATIVE TREE	○ TRAFFIC SIGNAL BOX	○ MAIL BOX
○ DECORATIVE TREE	○ SIGN MANHOLE	○ SIGN
○ UNDER GROUND	○ CLEAN OUT	○ METAL TRAP CHOC.
○ CABLE TELEVISION LINE	○ STORM DRAIN MANHOLE	○ AIR COMPRESSOR
○ ELECTRICAL LINE	○ STORM SILET	
○ GAS LINE	○ CURB SILET	
○ TELEPHONE LINE	○ ROAD STORM SILET	
○ WATER LINE	○ LAMPHOUSE MANHOLE	
○ UNDERGROUND ELECTRIC WIRE		

FLOOD NOTE

BY GRAPHICAL REPRESENTATION ONLY THE PROPERTY IS LOCATED IN FLOOD HAZARD ZONE (SHADED) AS SHOWN 24 HOUR INSURANCE RATE MAP (COMMERCIAL) COUNTY PANEL NO. 24718 0204 E WHICH HAS AN EFFECTIVE DATE OF JULY 15, 2014. THE SURVEYOR HAS NOT DETERMINED THE ZONE AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS INFORMATION OR APPLY FOR AN AMENDMENT FROM THE LOCAL AGENCY MANAGEMENT AGENCY (LOCAL).

VALLEY LAND SERVICES, LLC
 4383 HICK TOWN ROAD
 BETHLEHEM, PA 18020
 Phone (610) 343-2907 Fax (610) 343-2256
 No. Certificate of Authorization 2462827300

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN PERFORMED BY ME OR UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE, BELIEF AND INFORMATION THAT THE REPORT HAS BEEN PREPARED AND SUBMITTED TO YOU IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF THE SURVEYING AND MAPPING INDUSTRY AND THAT I AM A LICENSED SURVEYOR IN THE STATE OF PENNSYLVANIA.

NO OTHER WORK WAS DONE TO BE SHOWN ON THIS SURVEY.

FIELD DATE: 12/31/2024

GREGORY C. NOLL
 PROFESSIONAL SURVEYOR

CLIENT: JEFFREY FLECKNER

JOB NO: V240308 DRAWN BY: BLD APPROVED BY: GCH

DATE: JANUARY 06, 2025

REVISIONS:

NO.	DATE	DESCRIPTION

SCALE: 1" = 40'

SHEET 1 OF 1



NO PARKING
THIS BLOCK

50

12016

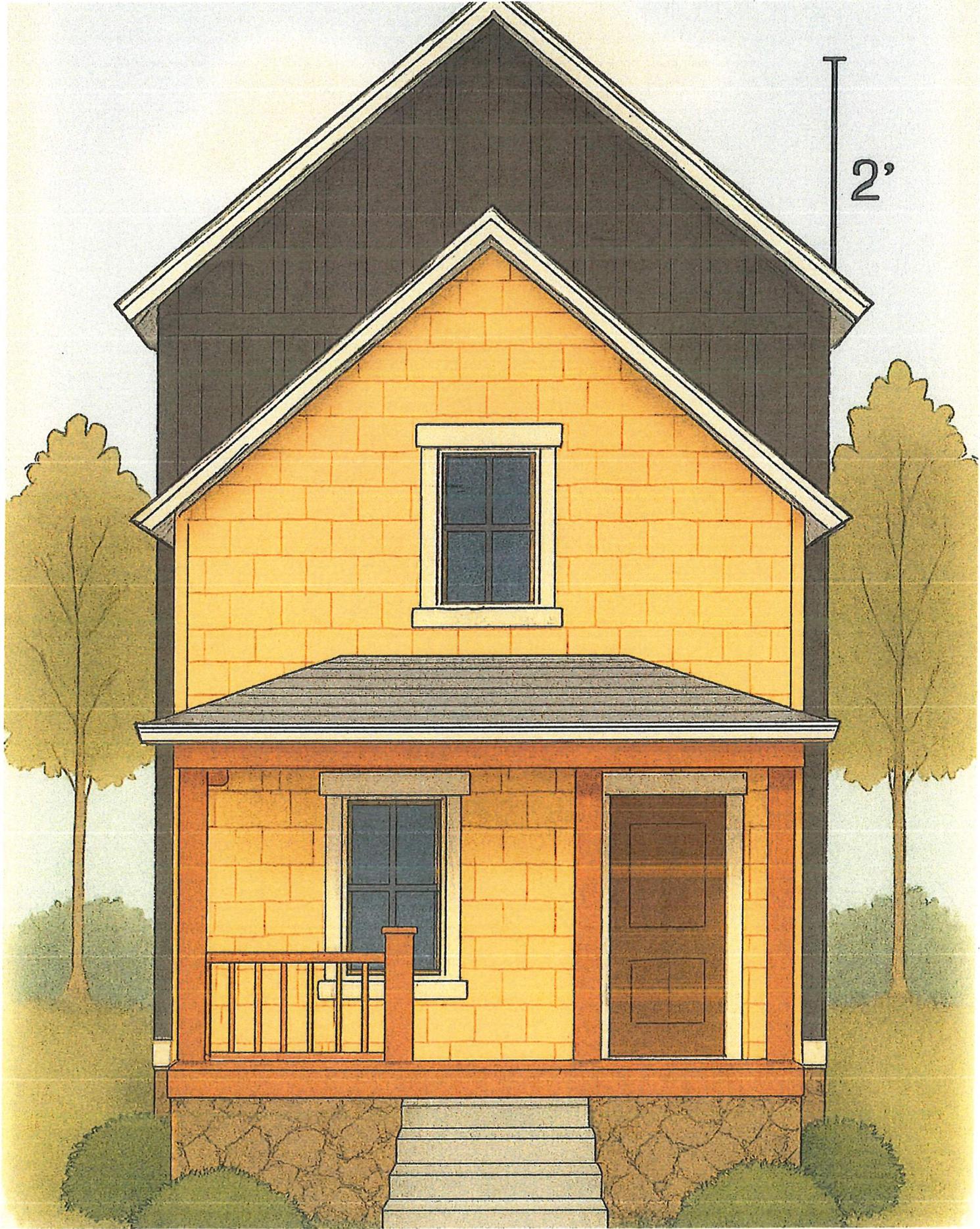












2'

