

210 W BROAD ST RENOVATIONS

210 W Broad St, Bethlehem, PA 18018

SITE LOCATION MAP



GENERAL NOTES

- Drawings are not to be scaled. Actual written dimensions shall take precedence.
- Dimensions to new partitions are to rough framing.
- The contractor shall check and verify all dimensions before proceeding with construction. All discrepancies shall be brought to the attention of the Architect and/or Construction Manager.
- All framing shall be firestopped according to all applicable codes, including but not limited to IBC 2018 as amended locally.
- The contractor is responsible to review all fire rated assemblies and to strictly adhere to the UL and GA assemblies as noted on the drawings. All construction shall be in strict accordance with these required assemblies.
- The contractor is solely responsible for the design and construction of all mechanical, electrical, and plumbing systems, and the integration of those systems into the design and drawings.
- The contractor shall review the drawings prior to foundation construction to verify that all systems coordinate with the plans and all exhaust flues have the required clearances available. All systems shall conform to all applicable codes and loads including but not limited to IBC 2018, as amended locally.
- Structural headers shall receive a solid post each end. For example 4 - 2x10 header shall have 4 - 2x solid post and 3 1/2-in headers to have 3 - 2x4 post.
- It is the contractor's responsibility to confirm the location of any utilities in the immediate vicinity of construction to prevent damage to them. Should any damage occur to such utility, the contractor shall be required to repair such damage at his own expense and to the satisfaction of the owner.
- All wood framing shall be fabricated and erected in accordance with the "National design specification for Wood Construction", latest edition, as published by the National Forest Products Association.
- Nailing of all framing shall meet the recommended fastening schedule contained in the 2018 International Building Code.
- Cutting and notching of wood framing shall only be permitted within the limits prescribed by the 2018 International Building Code.
- All stud walls shall be braced as required, until the roof and floor decks have been completely installed, including all floor and wall sheathing.
- All construction shall adhere to IBC 2018, and all local building codes and ordinances. These codes and ordinances shall take precedence over the information contained in these drawings.
- The contractor shall carefully review all fabricated items and manufactured items to be installed. The contractor shall verify that the conditions on site, and dimensions there-in, are acceptable for the installation of these fabricated items.
- It shall be noted that Site safety and Personnel safety is solely the responsibility of the contractor. To that end, the contractor shall provide all fencing, lighting, bracing, etc., as required for proper safety.
- For Commercial applications, the maximum stair riser height shall be 7" and the minimum riser height shall be 4". The minimum tread depth shall be 11", measured horizontally between the face of adjacent nosings.
- For Residential applications, the maximum stair riser height shall be 7 3/4" and the minimum riser height shall be 4". The minimum tread depth shall be 10", measured horizontally between the face of adjacent nosings.
- The maximum slope of accessible ramps shall be 1:12 slope. Ramps shall not have a vertical rise greater than 30 in between landings. Cross slopes shall not exceed a 1:48 slope. The contractor shall consult ADA and ANSI guidelines for additional information.

MEP NOTES

PLUMBING

SCOPE OF WORK:

- ADD 1 WATER HEATER IN BASEMENT
- THE PLUMBING CONTRACTOR ON THIS PROJECT IS SOLELY RESPONSIBLE FOR ALL PLUMBING WORK AS REQUIRED. AS SUCH, THE PLUMBER SHALL DESIGN AND LAYOUT ALL PIPING, PIPE SIZING AND ROUTING, EQUIPMENT, AND LOCATIONS AS REQUIRED TO CONFORM TO THE 2018 INTERNATIONAL PLUMBING AND ENERGY CONSERVATION CODES (AS APPLICABLE), STATE CODES, AND ANY REQUIREMENTS OF THE LOCAL AUTHORITIES HAVING JURISDICTION, AND ACCORDING TO EQUIPMENT MANUFACTURERS REQUIREMENTS.
- PLUMBING CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS TO EQUIPMENT FURNISHED AND/OR INSTALLED BY OTHERS. THIS CONTRACTOR SHALL COORDINATE EXACT LOCATIONS AND LAYOUT OF ALL PIPING WITH THE GENERAL CONTRACTOR PRIOR TO INSTALLATION. PIPING INSTALLED WITHOUT PRIOR COORDINATION AND APPROVAL SHALL BE RELOCATED AT THE PLUMBING CONTRACTOR'S EXPENSE IF REQUIRED.
- PLUMBING CONTRACTOR SHALL TEST ALL INSTALLED FIXTURES TO DEMONSTRATE PROPER OPERATION UPON COMPLETION OF WORK, AND REPLACED AS REQUIRED. ANY SUCH EQUIPMENT SHALL BE RE-TESTED.
- CONTRACTOR TO FASTEN AND SECURE PIPING LOCATED WITHIN WALLS AND/OR CHASES FOR A RIGID INSTALLATION, AND IN STRICT ACCORDANCE WITH APPLICABLE CODES.
- PROVIDE WATER HAMMER ARRESTERS WHERE REQUIRED.
- ALL DOMESTIC WATER LINES SHALL BE CONTINUOUSLY INSULATED.
- ALL PEX DOMESTIC AND PROCESS PIPING SHALL BE A PRODUCT APPROVED BY THE LOCAL AHJ, AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL PEX WATER DISTRIBUTION SYSTEMS SHALL BE INSTALLED SUCH THAT FITTINGS ARE KEPT TO A MINIMUM.
- ALL PEX DISTRIBUTION SHALL UTILIZE A COLOR CODED CONVENTION:
 - A. HOT DOMESTIC WATER SHALL BE INSTALLED USING RED PEX
 - B. COLD DOMESTIC WATER SHALL BE INSTALLED USING BLUE PEX
 - C. PROCESS (HEATING) PIPING SHALL BE INSTALLED USING CLEAR (WHITE) PEX
- ALL DRAIN WASTE AND VENT (DWV) SYSTEMS SHALL BE INSTALLED USING SCHEDULE 40 PVC. ALL JOINTS SHALL BE PRIMED USING PURPLE PRIMER SUCH THAT PRIMER IS VISIBLE FOR INSPECTION.

ELECTRICAL

SCOPE OF WORK:

USE THE EXISTING (2) FIRST FLOOR PANELS AND REVISE TO FEED EACH UNIT SEPARATELY. THE COMMERCIAL SPACE WILL ALSO HANDLE THE HOUSE PANEL. ADD 1 STOVE RECEPTACLE AND LOWER 2 RECEPTACLES AS NOTED TO 18" A.F.F.

- THE ELECTRICAL CONTRACTOR ON THIS PROJECT IS SOLELY RESPONSIBLE FOR ALL ELECTRICAL WORK AS REQUIRED. AS SUCH, ELECTRICIAN SHALL DESIGN AND LAYOUT ALL EQUIPMENT, QUANTITIES, AND LOCATIONS TO CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES AND SHALL BE RESPONSIBLE FOR INSTALLATION OF ELECTRICAL SYSTEM ACCORDING TO CODE AND ACCORDING TO EQUIPMENT MANUFACTURERS REQUIREMENTS.
- IF REQUIRED BY THE LOCAL AUTHORITY HAVING JURISDICTION, (AHJ), THE ELECTRICAL CONTRACTOR SHALL SUBMIT REQUIRED INFO SUCH AS PANEL SCHEDULES, WIRE SIZING, ETC.
- UNLESS OTHERWISE NOTED, INSTALL WALL BOXES AT THESE HEIGHTS ABOVE SUBFLOOR:
 - DUPLEX RECEPTACLE AND PHONE JACKS @ 18" AFF.
 - DUPLEX RECEPTACLES AT COUNTERTOPS AND BEHIND REFRIGERATORS @ 44" AFF.
 - SWITCHES, THERMOSTATS AND OTHER WALL MOUNTED CONTROLS @ 44" AFF.
 - LIGHT FIXTURES OVER VANITIES @ 80" AFF.
- PROVIDE G.F.C.I. CIRCUITS IN KITCHEN, BATHROOMS, GARAGE, EXTERIOR LOCATIONS, AND OTHER WET AREAS WHERE REQUIRED BY CODE. KITCHEN G.F.C.I. RECEPTACLES SHALL NOT BE WIRED IN SERIES WITH OTHER G.F.C.I. LOCATIONS
- ALL EXTERIOR OUTLETS SHALL BE WATERPROOF, WITH NEMA 3R FOAM LINERS PROVIDED AND INSTALLED BY SUBCONTRACTOR AT ALL EXTERIOR WALL LOCATIONS.
- PROVIDE ELECTRICAL SERVICE TO FIXTURES AND EQUIPMENT PROVIDED BY OTHERS, SUCH AS, BUT NOT LIMITED TO, WASHERS AND DRYERS, WATER HEATERS, WELL AND PUMPS, DISHWASHERS, HVAC UNITS, ETC.
- ALL ELECTRICAL WIRING DEVICES SHALL BE PROVIDED AND INSTALLED IN STRICT ACCORDANCE WITH 2017 NEC, AS AMENDED LOCALLY.

SCOPE OF WORK:

INSTALL A NEW HVAC UNIT FOR THE UNIT COMMERCIAL SPACE. REMOVE AND PROVIDE A NEW 'X' COIL FOR THE EXISTING HVAC UNIT SIZED FOR THE SMALLER SPACE.

- THE HVAC CONTRACTOR ON THIS PROJECT IS SOLELY RESPONSIBLE FOR THE SIZING, ROUTING, AND PLACEMENT OF ALL HVAC SYSTEM COMPONENTS SUCH AS CONDENSING UNITS AND AIR HANDLERS, DUCTWORK, GRILLES AND DIFFUSERS, THERMOSTATS, ALL AS REQUIRED FOR A COMPLETE AND OPERATING SYSTEM. COORDINATE WITH THE ARCHITECT AND OWNER FOR THE PLACEMENT OF THE THERMOSTAT.
- THE SIZE AND INSTALLATION OF ALL EQUIPMENT, DUCTWORK, AND GRILLES/DIFFUSERS SHALL BE IN STRICT CONFORMANCE WITH ALL APPLICABLE CODES AND LOADS, INCLUDING BUT NOT LIMITED TO ASHRAE, 2018 IBC, AND IEBC 2018, AND 2018 IMC.
- THE HVAC CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL ALL BATHROOM EXHAUST FANS AND PIPE TO EXTERIOR. EXTERIOR GRILLES BY G.C.

1 HOUR RATED WALL ASSEMBLY	
GA FILE NO. FC 3644	1 HOUR FIRE RATED
EPS/PM WALL BOARD, WOOD STUDS, MINER, FIBER INSULATION	
ONE LAYER 5/8" TYPE 1 GYPSUM WALLBOARD APPLIED AT 90° TO EACH FACE OF 2x4 WOOD STUDS 16" O.C. WITH 1/2" TYPE 5 OR 8 CRITICAL SCREWS 12" O.C. 3 1/2" MINER, FIBER INSULATION, NOMINAL 2x4 PEX, PROTECTIVE INSULATION. VERTICAL JOINTS STAGGERED 18" O.C. HORIZONTAL JOINTS STAGGERED 24" O.C. ON OPPOSITE SIDES. TESTED AT 2578 LB PER FOOT ON 100 PERCENT OF DESIGN LOADS (LOAD BEARING)	THICKNESS 4-1/2"
	APPROX. WGT: 7.1 LB/PSF
	FIRE TEST: IBC 2006 703.1.4.00

ELECTRICAL LEGEND

	CEILING MOUNTED FAN/LIGHT FEATURE		CEILING MOUNTED FEATURE
	EXIT SIGN WITH DUAL HEAD EMERGENCY LIGHT, MOUNTED HIGH ON WALL		EXTERIOR RECESSED CAN FEATURE
	DUPLEX RECEPTACLE		WALL MOUNTED FEATURE
	GROUND FAULT INTERRUPTED RECEPTACLE		FAN / LIGHT FEATURE
	DATA POINT		SMOKE, HEAT & CARBON - MONOXIDE DETECTORS HARD WIRED & INTERCONNECTED BY BATTERY BACK-UP
	4-POLE RECEPTACLES		SMOKE & HEAT DETECTORS HARD WIRED & INTERCONNECTED W/ BATTERY BACK-UP
	SINGLE POLE SWITCH		
	3 WAY SWITCH		
	EXISTING FIXTURE, SWITCH, OR RECEPTACLE		

ELECTRICAL NOTE:
 • ELECTRICAL CIRCUITING & PANELING BY OTHERS. OUTLETS, FIXTURES & SWITCHES ARE SHOWN FOR LOCATION AND INTENT PURPOSES ONLY.
 • ALL ELECTRICAL WORK IS TO COMPLY IN STRICT ACCORDANCE WITH 2018 IBC & 2017 NEC REQUIREMENTS.

DRAWING LIST

SHEET NO.	DRAWING TITLE	ISSUED	REV1	REV2	REV3	REV4
CS	COVER SHEET	5-19-2025	8-4-2025	9-12-2025	10-30-2025	1-16-2026
A-1	FLOOR PLANS	5-19-2025	8-4-2025	9-12-2025	10-30-2025	1-16-2026
A-2	FLOOR PLANS		8-4-2025	9-12-2025		1-16-2026

PROJECT OVERVIEW

THIS PROJECT INVOLVES THE RENOVATIONS OF AN EXISTING FIRST FLOOR COMMERCIAL TO (1) NEW 1-BEDROOM APARTMENT UNIT AND 1 COMMERCIAL SPACE.

WORK INVOLVES ALL GENERAL CONSTRUCTION TO ADD A STOVE TO THE EXISTING KITCHEN, AS WELL AS REVISING THE ELECTRICAL SERVICES, (1) FOR THE APARTMENT AND (1) FOR THE COMMERCIAL SPACE AND HOUSE PANEL.

BUILDING INFORMATION

CODES: 2018 IBC, ANSI 117.1 - 2009 FOR ACCESSIBILITY
 2018 IECC, 2018 IPC, 2018 IMC, 2017 NEC
 2018 IEBC CHANGE OF USE

Existing Occupancy Group	R-2/B
New Occupancy Group	R-2/B
Construction Type	3B

Building Square Footage	
Maximum per code	PER R-2 7,000 SQ. FT.
Total Maximum S.F.	7,000 SQ. FT.
Project S.F. Footprint	1,094 +/- SQ. FT.

FIRE PROTECTION DEVICES

Smoke Detector System per NFPA 13 (section 903)	NOT Required per PCM
Manual Fire Alarm System (section 907)	NOT Required per PCM
Automatic Fire Alarm System (section 907)	Required (Interconnected)
Emergency Lighting (section 1008)	Required

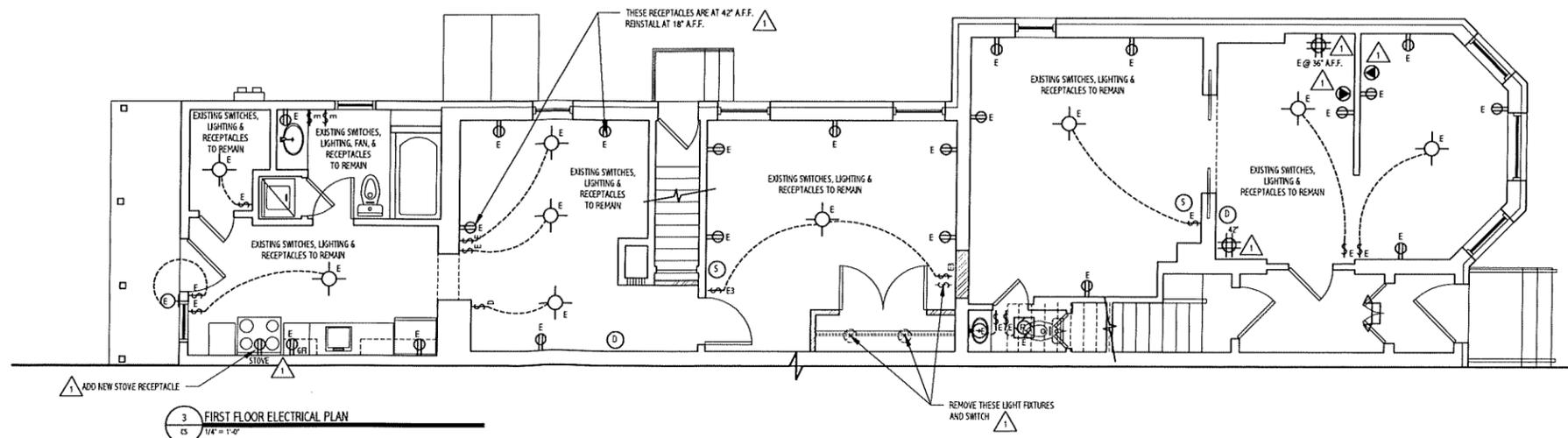
Allowable Building Height

Maximum stories allowed	3 stories
Stories Provided	3 stories

OCCUPANCY LOAD

1ST FLOOR			
APT. 1-R	674 S.F.	/200 S.F.	2 OCCUPANTS
COMMERCIAL	398 S.F.	/200 S.F.	2 OCCUPANTS
2ND FLOOR & 3RD FLOOR			
APT. 2-R	449 S.F. +/-	/200 S.F.	2 OCCUPANTS
APT. 2-F	1,203 S.F. +/-	/200 S.F.	4 OCCUPANTS

WE RESPECTFULLY REQUEST DELAYED SUBMITTAL FOR THE PLUMBING AND ELECTRICAL SYSTEMS VIA THE CITY'S THIRD PARTY INSPECTOR.



3 FIRST FLOOR ELECTRICAL PLAN
 CS 1/4" = 1'-0"



COVER SHEET	8-4-25	9-12-25	10-30-25	1-16-26
BCO REQ. REV.				
BCO REQ. REV.				
BCO REQ. REV.				
BCO REQ. REV.				

5-21-25

LEE
 ARCHITECTURAL
 ASSOCIATES
 127 NANTIC RD, BARTO, PA 19504

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CS



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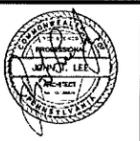
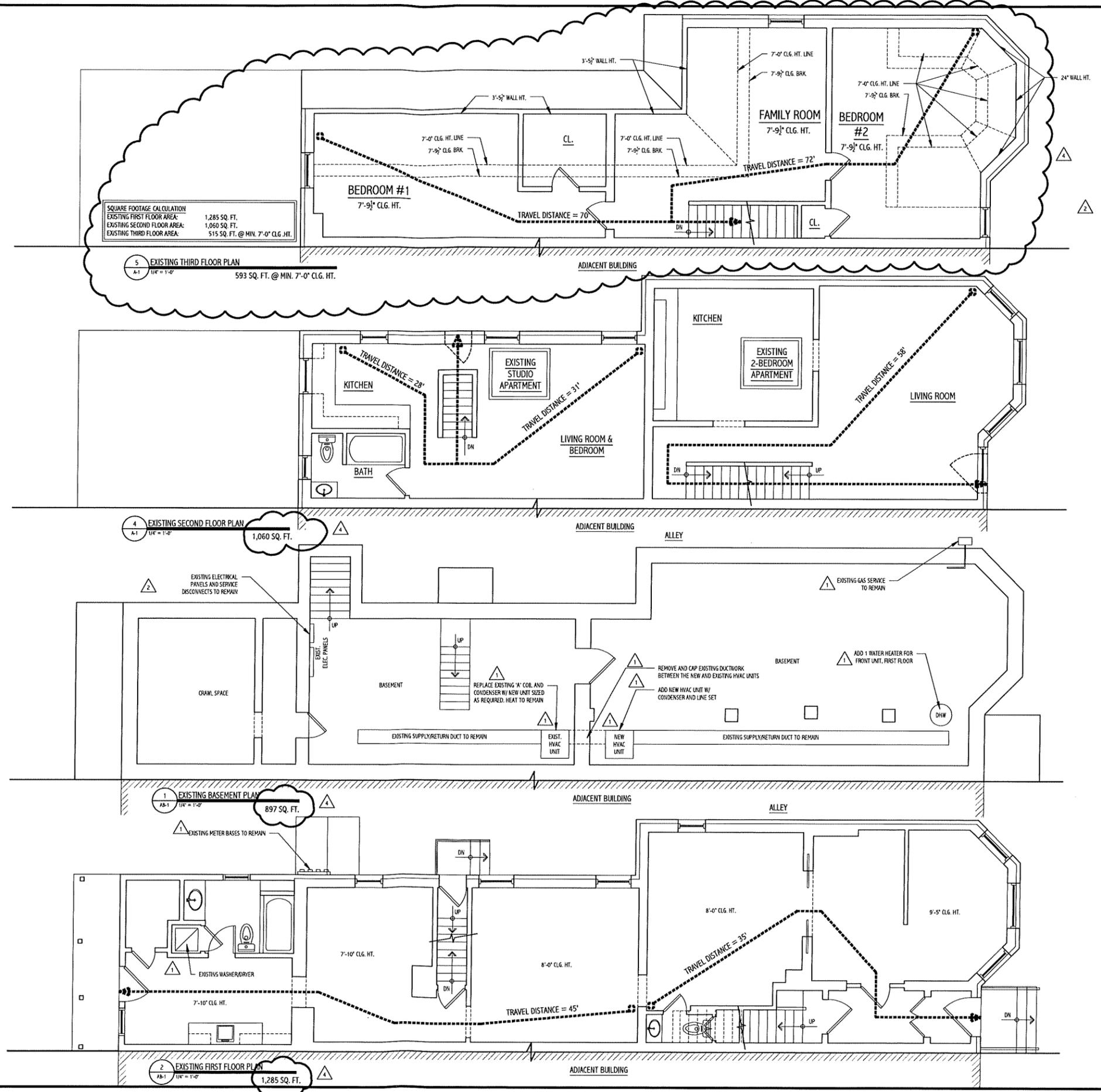
BUILDING USE	EXISTING	PROPOSED
BASEMENT	UTILITIES	UTILITIES
FIRST FLOOR	1 COMMERCIAL	1 COMMERCIAL & (1) 1-BEDROOM APT.
SECOND FLOOR	1 STUDIO APT. & (1) 2 BDRM APT.	1 STUDIO APT. & (1) 2 BDRM APT.
THIRD FLOOR	BEDROOMS FOR 2 FLOOR APT.	BEDROOMS FOR 2 FLOOR APT.

ZONING SUMMARY: CITY OF BETHLEHEM, PA
ZONING DISTRICT: CL ZONING DISTRICT
 ANALYSIS PER RT ZONING DISTRICT
 Multi-Family Dwelling (2-1/2 Stories or Less)

LOT SIZE: 0.077 ACRES (3,375 S.F.)

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MIN. LOT WIDTH	90'-0"	22'-6"	EXISTING TO REMAIN
MIN. LOT AREA	9,000 S.F.	3,375 S.F.	EXISTING TO REMAIN
MIN. LOT AREA (PER DWELLING UNIT)	2,500 S.F.	1,687.5 S.F.	843.75
MAX. BUILDING HEIGHT	2.5 STORIES / 35 FT	2.5 STORIES / 32 FT +/-	EXISTING TO REMAIN
FRONT YARD	-	0'	EXISTING TO REMAIN
SIDE YARD	4'-0"	4'-0"	EXISTING TO REMAIN
REAR YARD	20'-0"	65'-0" +/-	EXISTING TO REMAIN
MAX. LOT COVERAGE	80.0%	42.00% +/-	EXISTING TO REMAIN

PARKING CALCULATION	REQUIRED	PROVIDED
1 STUDIO APT.	1.75 SPACES	
1 1-BEDROOM APT.	1.75 SPACES	
1 2-BEDROOM APT.	1.75 SPACES	
1 398 S.F. OFFICE	2 SPACES	
TOTAL	7.25 SPACES	6 SPACES



FLOOR PLANS

BCO REQ. REV.	8-4-25
BCO REQ. REV.	9-12-25
BCO REQ. REV.	10-30-25
BCO REQ. REV.	1-16-26

5-21-25

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A-1

