

LOCATION MAP

1" = 2000'

APPLICANT / RECORD OWNER

NICHOLAS BOZAKIS
822 MAIN STREET
BETHLEHEM, PA 18017
610-428-5060

STATEMENT OF INTENT

THE APPLICANT INTENDS TO RAZE TWO (2) EXISTING SINGLE-FAMILY DETACHED DWELLINGS ON THE SUBJECT PROPERTY AND CONSTRUCT A 3-STORY, 8-UNIT APARTMENT BUILDING, OFF-STREET PARKING (13 VEHICLES), UTILITY SERVICE CONNECTIONS, SITE LANDSCAPING, AND RELATED PUBLIC AND PRIVATE IMPROVEMENTS, ALL AS DEPICTED HEREIN.

SITE DATA

RECORD OWNER: NICHOLAS BOZAKIS
PROPERTY ADDRESS: 62-88 UNION BLVD W
TAX MAP REFERENCE: PARCEL ID: PINE1A-12-5
DEED REFERENCE: D.B.V. 2022-1, PG. 301983
EX. LOT AREA (BY DEED): 17,136 S.F./.0393 AC.
CITY/WARD/BLOCK: 8/1A
ZONING CLASSIFICATION: HIGH-DENSITY RESIDENTIAL (RT)
WATER: CITY OF BETHLEHEM
SANITARY SEWER: CITY OF BETHLEHEM
NO. EXISTING/PROPOSED LOTS: 1/1

ZONING DATA

HIGH-DENSITY RESIDENTIAL (RT) ZONING DISTRICT
(MULTI-FAMILY DWELLING, MORE THAN 2-1/2 STORIES USE)
PER ORD. PER PLAN
MIN. TRACT AREA: 9,000 S.F. 17.1K S.F.
MIN. LOT AREA PER D.U.: 1,200 S.F. 2,142 S.F.
MIN. LOT WIDTH: 90 FEET 102 FEET
FRONT YARD SETBACK (UNION BLVD.): 10 FEET 10 FEET (1)
SIDE YARD SETBACK (ONE): 15 FEET 15 FEET
SIDE YARD SETBACK (BOTH): 30 FEET 30 FEET
REAR YARD SETBACK (SPRUCE ST.): 20 FEET 20 FEET
MAX. BUILDING HEIGHT: 40 FEET 30 FEET (2)
MAX. STORIES: 3.5 STRY. 3.5 STRY.
MAX. BUILDING COVER: 80% 16%
MAX. IMPERVIOUS COVER: --- 46%

NOTES:

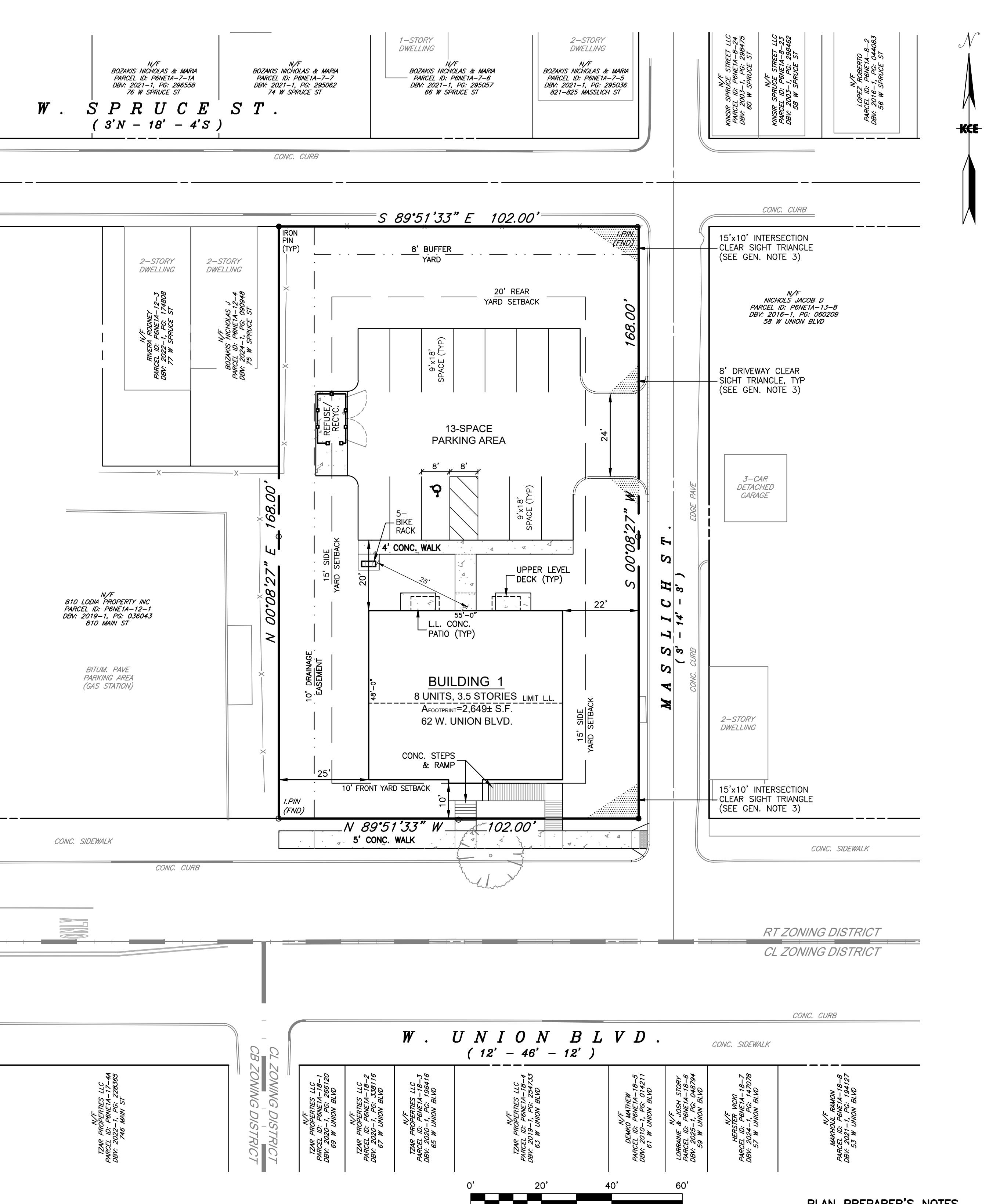
- BUILD-TO LINES FOR WEST UNION BOULEVARD AND WEST SPRUCE STREET VARY FROM 0 TO 5 FEET (REFER TO ZO SECTION 1306.05).
- HEIGHT OF A STRUCTURE IS DEFINED AS THE VERTICAL DISTANCE MEASURED FROM THE AVERAGE ELEVATION OF THE PROPOSED FINISHED GRADE AT THE FRONT OF THE BUILDING (ELEV. 275.5) TO THE AVERAGE TOP OF FASCIA HEIGHT (ELEV. 275.5) OF THE PROPOSED BUILDING, PROVIDED THAT THERE IS NO LIP SURFACE ABOVE THE FASCIA HEIGHT (REFER TO ZO SECTION 1302.53).
- NO NEW VEHICLE PARKING SPACES SHALL BE LOCATED BETWEEN THE FRONT LOT LINE ALONG A PUBLIC STREET AND THE FRONT OF A PRINCIPAL BUILDING.
- ADDITIONAL STANDARDS APPLICABLE TO THE RT ZONING DISTRICT (REFER TO ZO SECTION 1311, EXCLUDING 1311.05 AND .06)

81
DIAL 8-1-1 OR 1-800-242-1776 NOT
LESS THAN 3 BUSINESS DAYS NOR
MORE THAN 10 BUSINESS DAYS
PRIOR TO THE START OF EXCAVATION
PRELIM. DESIGN SERIAL NUMBER:
000000000000-000
FINAL DESIGN SERIAL NUMBER:
000000000000-000

KEYSTONE CONSULTING ENGINEERS, INC., PREPARED THE DESIGN FOR THE PURPOSE OF THE DESIGN OF THE SUBDIVISION OR LAND DEVELOPMENT IMPROVEMENTS SHOWN, PURSUANT TO THE REQUIREMENTS OF PA ACT 287 OF 1974, AS AMENDED, KEYSTONE CONSULTING ENGINEERS, INC. HAS:

- REQUESTED LINE AND FACILITY INFORMATION FROM A ONE CALL SYSTEM, NOT LESS THAN TEN NOR MORE THAN NINETY DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED.
- SHOWN UPON THE DRAWINGS THE POSITION AND TYPE OF EACH FACILITY LINE, DERIVED PURSUANT TO THE REQUEST MADE, INCLUDING THE FACILITY OWNER'S NAME, OFFICE ADDRESS AND TELEPHONE NUMBER AS SHOWN ON THE LIST MAINTAINED BY THE ONE-CALL SYSTEM;
- MADE A REASONABLE EFFORT IN PREPARATION OF THE DRAWINGS TO MINIMIZE CONSTRUCTION DISTURBANCE AND MINIMIZE INTERFERENCE WITH THE FACILITY OWNER'S FACILITIES IN THE CONSTRUCTION AREA BY MAINTAINING AN EIGHTEEN-INCH CLEARANCE OF THE FACILITY OWNER'S FACILITIES;
- SHOWN UPON THE DRAWINGS THE SERIAL NUMBER AND DATE OF THE ONE CALL NOTICE.

KEYSTONE CONSULTING ENGINEERS, INC., MAKES NO REPRESENTATION, ASSURANCE, OR GUARANTEE THAT THE INFORMATION CONTAINED IN THE DRAWINGS OR ASPIRED HEREIN ACCURATELY DEPICTS FIELD CONDITIONS. ALL CONTRACTORS PERFORMING ACTUAL EXCAVATION OR DEMOLITION WORK ON THIS SITE ARE HEREBY ALERTED TO THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE ONE-CALL SYSTEM AS REQUIRED BY ACT 287, AS AMENDED.



OFF-STREET PARKING SPACE TABULATION

MULTI-FAMILY DWELLINGS
REQUIRED:
1.5 SPACES PER DWELLING UNIT.
1.5 SPACES = 8 UNITS = 12 SPACES
TOTAL:
TOTAL SPACES REQUIRED: 12
TOTAL SPACES PROPOSED: 13
EXCESS(DEFICIT): 1 SPACE
ADA SPACES REQUIRED: 1

BICYCLE PARKING
REQUIRED: GREATER THAN OR EQUAL TO 5% OF THE REQUIRED NUMBER OF OFF-STREET PARKING SPACES, WITH A MINIMUM OF 2 BICYCLE PARKING SPACES.
12 OFF-STREET PARKING SPACES * 0.05 = 0.6 SPACES
TOTAL:
TOTAL SPACES REQUIRED: 2
TOTAL SPACES PROPOSED: 5
EXCESS(DEFICIT): 3 SPACE

LEGEND

SUBJECT PROPERTY LINE
ADJACENT PROPERTY LINE OR RIGHT-OF-WAY LINE
ADJACENT PROPERTY OWNER I.D.
EX. ROADWAY CENTERLINE
REQUIRED LINE
EX. SAN. SEWER EASEMENT LINE
EX. FLOODWAY/FLOODPLAIN LIMIT
EX. CONCRETE CURB
EX. EDGE OF PAVE
EX. WOOD FENCE
EX. CHAIN LINK FENCE
EX. IRON PIN (OR AS NOTED)
EX. CONCRETE MONUMENT
PROPOSED BUILDING FOOTPRINT (AT GROUND LEVEL)
PROPOSED IMPROVEMENT
PROPOSED CONCRETE CURB
PROPOSED DEPRESSED CONC. CURB
PROPOSED FENCE/RAILING (AS NOTED)
PROPOSED PROPERTY CORNER MARKER (IRON PIN OR AS NOTED)

NOTE:
ITALIC TEXT IN PLAN VIEW DENOTES EXISTING FEATURES
WHILE UPRIGHT TEXT DENOTES PROPOSED FEATURES.

PLAN SHEET INDEX

LD1 OF 6	EXISTING CONDITIONS & DEMOLITION PLAN
LD3 OF 6	SITE GRADING & EASEMENT PLAN
LD4 OF 6	SITE LANDSCAPING & SIGNAGE PLAN
LD5 OF 6	STREET LIGHTING PLAN
LD6 OF 6	CONSTRUCTION DETAILS & SPECS PLAN
ES1 OF 2	EROSION & SEDIMENT POLLUTION CONTROL (ESPC) PLAN
ES2 OF 2	ESPC BMP DETAILS & SPECIFICATIONS PLAN

* DENOTES PLAN TO BE RECORDED IN NORTHAMPTON COUNTY RECORDER OF DEEDS OFFICE UPON APPROVAL BY CITY OF BETHLEHEM.

PLAN OF RECORD

RECORDED THIS 20 DAY OF 20
IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR THE
COUNTY OF NORTHAMPTON, PENNSYLVANIA, IN PLAN

BOOK NO. , PAGE .

RECORDER OF DEEDS

PLANNING COMMISSION REVIEW

REVIEWED AND ACCEPTED FOR RECORDING BY THE CITY OF
BETHLEHEM PLANNING COMMISSION THIS

DAY OF , 20.

CHAIRMAN

SECRETARY

L.V.P.C. REVIEW

REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION

L.V.P.C. STAFF PERSON
RESPONSIBLE FOR REVIEW

DATE

OWNER'S STATEMENT

I, THE UNDERSIGNED, NICHOLAS BOZAKIS, DEPOSE AND SAY THAT THE PROPERTY OWNED BY ME, THE PROPERTY HEREIN SUBDIVIDED OR DEVELOPED, THAT NO LITIGATION OR LIEU HAS BEEN PROSECUTED, OWNERSHIP IS FREE AND THAT THIS PLAN HAS BEEN PREPARED, OWNERSHIP IS FREE AND THAT THIS PLAN BE RECORDED ACCORDING TO LAW.

NAME TITLE

SIGNATURE

SWORN AND SUBSCRIBED BEFORE ME THIS DAY OF
 , 20.

IN WITNESS WHEREOF, I HEREBUTO SET MY HAND AND OFFICIAL

NOTARY PUBLIC

ENGINEER'S CERTIFICATION

I, KEVIN J. HORVATH, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THESE PLANS AND THE ACCOMPANYING APPLICATION AND SUPPORTING DOCUMENTATION ARE TRUE AND CORRECT, TO THE BEST OF MY KNOWLEDGE.

KEYSTONE CONSULTING ENGINEERS, INC. DATE
BY KEVIN J. HORVATH, P.E. (AGENT)
REGISTRATION NO. PE-060641

THIS PLAN IS NULL AND VOID UNLESS IT CONTAINS AN ORIGINAL SIGNATURE, DATE, AND PROFESSIONAL SEAL.

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT: THE SURVEY DEPICTED ON THIS PLAN WAS CONDUCTED UNDER MY SUPERVISION TO THIS DOCUMENT AND THAT THE SURVEY WAS CONDUCTED IN A FIELD SURVEY COMPLETED AS OF THE DATE(S) INDICATED IN PLAN PREPARED'S NOTE 1 HEREIN. THE SURVEY REPRESENTS A RETRACEMENT OF LANDS AS DESCRIBED IN THE DEEDS OF RECORDS, AS INDICATED IN THE SURVEY. THE SURVEY DIMENSIONS ARE CORRECT IN THE FIELD AS INDICATED HEREIN AND CONFORM WITH THE SURVEYING STANDARDS FOR A SUBURBAN SURVEY AS PUBLISHED BY THE AMERICAN CONGRESS ON SURVEYING AND MAPPING IN 1992. THE SURVEY AND PLAN HAVE BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH AND ARE THEREFORE SUBJECT TO ANY EASEMENTS, ENCUMBRANCES, OR OTHER PERTINENT FACTS WHICH A TITLE SEARCH MAY DISCLOSE.

KEYSTONE CONSULTING ENGINEERS, INC. DATE:
BY KEVIN J. HORVATH, P.E. (AGENT)
REGISTRATION NO. SU075503

THIS PLAN IS NULL AND VOID UNLESS IT CONTAINS AN ORIGINAL SIGNATURE, DATE, AND PROFESSIONAL SEAL.

KEYSTONE CONSULTING ENGINEERS, INC.
Engineering firm of choice since 1972

2870 EMLICK BOULEVARD, BETHLEHEM, PA 18020 610-865-4555
East Office: Bethlehem, West Office: Allentown, North Office: Kresgeville
www.KCEinc.com

KEYSTONE CONSULTING ENGINEERS
LAND DEVELOPMENT
62-68 WEST UNION BOULEVARD
NORTHAMPTON COUNTY, PENNSYLVANIA

RECORD PLAN

LAND DEVELOPMENT

MULTI-FAMILY RESIDENTIAL DEVELOPMENT

62-68 WEST UNION BOULEVARD

NORTHAMPTON COUNTY, PENNSYLVANIA

REVISIONS

BY

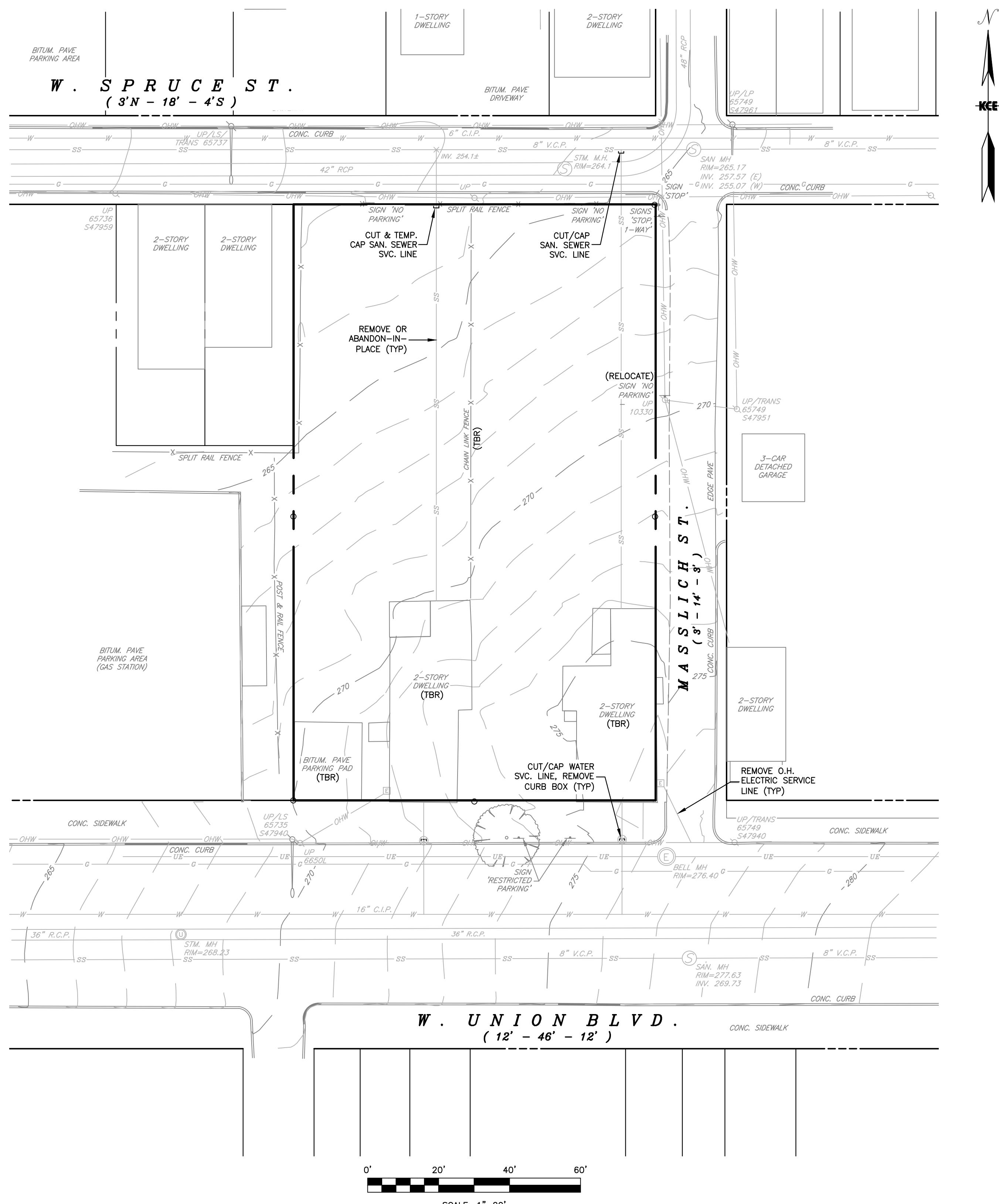
DATE

KJH

10/31/2025

DEMOLITION NOTES

1. CONTRACTOR SHALL REMOVE OR ABANDON-IN-PLACE AS APPLICABLE ALL ABOVE AND BELOW-GRADE STRUCTURES, SITE IMPROVEMENTS, AND TREES ON THE PROJECT SITE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
2. CONTRACTOR SHALL FIELD-LOCATE AND CUT/CAP, REMOVE, AND/OR ABANDON-IN-PLACE ANY ABOVE AND BELOW-GRADE UTILITY LINES AND APPURTENANCES ON THE PROJECT SITE (THAT ARE NOT IDENTIFIED HEREIN AS TO BE REUSED) IN ACCORDANCE WITH RESPECTIVE FACILITY OWNERS STANDARDS AND SPECIFICATIONS.
3. CONTRACTOR SHALL FIELD-LOCATE AND REMOVE ANY ABOVE OR BELOW-GRADE STORAGE TANKS AND RELATED APPURTENANCES ON THE PROJECT SITE IN ACCORDANCE WITH PennDEP REGULATIONS.
4. CONTRACTOR SHALL REMOVE FROM THE PROJECT SITE, RECYCLE OR DISPOSE OF ALL CONSTRUCTION MATERIALS AND WASTE IN ACCORDANCE WITH PennDEP SOLID WASTE MANAGEMENT REGULATIONS CONTAINED IN CHAPTER 25 PA CODE 260.1 ET. SEQ., 271.1 ET. SEQ. AND 287.1 ET. SEQ. CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY CONSTRUCTION MATERIALS OR WASTE ON THE PROJECT SITE.
5. CONTRACTOR SHALL BE RESPONSIBLE TO IMPLEMENT ANY AND ALL MEASURES NECESSARY, INCLUDING BUT NOT LIMITED TO FENCING, BARRICADES, SHEETING AND SHORING, TEMPORARY SIGNAGE AND TRAFFIC CONTROLS, TEMPORARY PEDESTRIAN ACCOMMODATIONS, SECURITY PERSONNEL OR DEVICES, ETC., TO ADEQUATELY SECURE THE SITE, MAINTAIN A SAFE AND CLEAN WORK AREA, MAINTAIN ROADWAYS AND WALKWAYS IN A SAFE AND PASSABLE CONDITION, PREVENT INJURY TO PEDESTRIANS AND MOTORISTS, AND AVOID DAMAGE TO SURROUNDING PUBLIC AND PRIVATE PROPERTY FOR THE DURATION OF THE PROJECT.



SOIL TYPES, LIMITATIONS & RESOLUTIONS

SOIL TYPES AND LIMITATIONS:

1. URBAN LAND - DUFFIELD COMPLEX

B. UoD, 8 TO 25 PERCENT SLOPES

MODERATE

RESOLUTIONS:

1. IF ENCOUNTERED DURING CONSTRUCTION, CONTRACTOR SHALL REMOVE AND REPLACE OR REMEDIATE WET OR OTHERWISE UNSUITABLE SOILS AS DIRECTED BY THE PROJECT GEOTECHNICAL ENGINEER.
2. IF ENCOUNTERED DURING CONSTRUCTION, CONTRACTOR SHALL EXCAVATE ROCK TO A SUFFICIENT DEPTH AND REPLACE SAME WITH SUITABLE MATERIAL, AS DIRECTED BY THE PROJECT GEOTECHNICAL ENGINEER.
3. CONSTRUCTION ACTIVITIES WILL BE SEQUENCED TO MINIMIZE THE EXTENT AND DURATION OF EARTH DISTURBANCE.
4. CONSTRUCTION ACTIVITIES WILL BE SEQUENCED TO AVOID THE CREATION OF LOW SPOTS AND STANDING WATER.
5. CONTRACTOR SHALL DEWATER OR OTHERWISE MAINTAIN ALL EXCAVATIONS AND TRENCHES FREE OF WATER FOR THE DURATION OF THE PROJECT.

END

- SUBJECT PROPERTY LINE
- ADJOINER PROPERTY LINE
- LEGAL R/W LINE
- EX. ROADWAY CENTERLINE
- EX. SAN. SEWER EASEMENT LINE
- EX. FLOODWAY/FLOODPLAIN LIMIT
- SOIL TYPE BOUNDARY LINE
- EX. CONTOUR LINE
- EX. CONCRETE CURB
- EX. EDGE OF PAVE
- EX. OVERHEAD UTILITY LINES
- EX. NATURAL GAS MAIN
- EX. STORM SEWER
- EX. WATER MAIN
- EX. SANITARY SEWER MAIN
- EX. WOOD FENCE
- EX. CHAIN LINK FENCE
- EX. TREE ROW OR EDGE OF WOODS
- EX. CONIFEROUS TREE
- EX. DECIDUOUS TREE
- EX. IRON PIN (OR AS NOTED)
- EX. CONCRETE MONUMENT
- EX. FEATURE TO BE REMOVED

VIEW DENOTES EXISTING FEATURES
DENOTES PROPOSED FEATURES.

EXISTING CONDITIONS & DEMOLITION PLAN

LAND DEVELOPMENT MULTI-FAMILY RESIDENTIAL DEVELOPMENT

62-68 WEST UNION BOULEVARD
DETROIT, MICHIGAN CITY

BETHELEM CITY
NORTHAMPTON COUNTY, PENNSYLVANIA

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GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF BETHLEHEM, PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND PENNSYLVANIA DEPARTMENT OF TRANSPORTATION STANDARDS AND REGULATION AS APPLICABLE.
2. CONTRACTOR SHALL LOCATE OR CAUSE TO HAVE LOCATED ANY AND ALL UNDERGROUND UTILITIES IN ACCORDANCE WITH PA ACT 121 PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER IN THE EVENT THAT A CONFLICT IS DISCOVERED.
3. PROPOSED ELEVATION CONTOUR LINES DEPICTED ON THIS PLAN REPRESENT FINAL GRADES AT THE COMPLETION OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AT ALL TIMES DURING CONSTRUCTION TO PREVENT THE PONDING OF WATER ON THE SITE.
4. CONTRACTOR SHALL DEWATER AND OTHERWISE MAINTAIN UTILITY TRENCHES AND OTHER EXCAVATIONS FREE OF WATER (GROUND WATER AND SURFACE WATER) AT ALL TIMES USING A PUMPED WATER FILTER BAG OR OTHER APPROVED METHODS (REFER TO PUMPED WATER FILTER BAG DETAIL ON E&S POLLUTION CONTROL DETAILS PLAN). ADDITIONALLY, CONTRACTOR SHALL PROPERLY GRADE ADJACENT AREAS AND TAKE ANY OTHER REASONABLE PRECAUTIONS NECESSARY TO PREVENT WATER FROM ENTERING EXCAVATIONS.
5. IF CONTRACTOR ENCOUNTERS SOFT OR SATURATED SOILS DEEMED UNSUITABLE BY THE PROJECT ENGINEER DURING CONSTRUCTION, CONTRACTOR SHALL EXCAVATE, REMOVE, AND REPLACE ANY SUCH UNSUITABLE MATERIAL WITH COMPAKTED CLEAN FILL OR AGGREGATE MATERIAL AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
6. WHERE PLACEMENT OF FILL BENEATH SETTLEMENT SENSITIVE STRUCTURES (E.G. BUILDING PADS, PARKING LOTS, UTILITY AND STORM SEWERS LINES, AND RELATED STRUCTURES) IS NECESSARY TO ACHIEVE DESIRED SUBGRADE, CONTRACTOR SHALL PLACE AND COMPACT APPROPRIATE FILL MATERIAL IN MAXIMUM 8-INCH LIFTS TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR DENSITY OF THE MATERIAL (98% FOR BUILDING PADS) OR AS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER.
7. SPOT ELEVATIONS AND CONTOUR LINES CONTAINED HEREIN ARE BASED ON GPS OBSERVATIONS USING A TRIMBLE R-8 GPS WITH KEYNET AND ARE ACCURATE WITHIN 0.15' OF THE U.S.G.S. NORTH AMERICAN VERTICAL DATUM OF 1988.
8. LOCATIONS OF PROPOSED WATER AND SANITARY SEWER SERVICE LINES AS DEPICTED HEREIN ARE APPROXIMATE AND COULD BE SUBJECT TO FIELD ADJUSTMENT.
9. LOCATIONS, SIZES, AND SPECIFICATIONS FOR PROPOSED NATURAL GAS, ELECTRIC, AND COMMUNICATIONS SERVICE LINES SHALL BE AS DETERMINED BY THE FACILITY OWNER AT THE TIME OF APPLICATION FOR SERVICE.
10. PERMITS PRIOR TO ANY WORK WITHIN PUBLIC RIGHTS-OF-WAY, PERMITS MUST BE OBTAINED FROM THE CITY OF BETHLEHEM ENGINEERING OFFICE.
11. A WARRANT OF SURVEY IS REQUIRED FOR ANY CURB REPLACEMENT OR INSTALLATION IN EXCESS OF 20 LINEAR FEET.
12. CURB RAMPS DESIGN OF CONCRETE CURB RAMPS SHALL BE IN STRICT ACCORDANCE WITH PENNDOT PUBLICATION 72M, STANDARDS FOR ROADWAY CONSTRUCTION, RC-67M. MATERIALS AND CONSTRUCTION SHALL MEET PENNDOT PUBLICATION 408, SECTIONS 350, 409, 630, 676, 694, AND 695 STANDARDS, AS APPLICABLE. DETECTABLE WARNING SURFACES SHALL BE BRICK RED IN COLOR.
13. SIDEWALK DEVELOPER SHALL REPLACE CONCRETE SIDEWALK ALONG THE ENTIRE FRONTAGE OF THE SUBJECT PROPERTY ON GUETTER STREET TO INCLUDE INLAYERED BRICK OR PATTERNED CONCRETE AND PROVIDE A FINISHED SURFACE APPEARANCE SIMILAR TO THAT OF THE EXISTING CONCRETE SIDEWALK ALONG THE WEST BROAD STREET FRONTAGE. PATTERNS AND COLORS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE ENGINEERING BUREAU PRIOR TO SIDEWALK CONSTRUCTION.
14. THE SITE/PLAN BENCHMARK IS THE TOP OF THE IRON PIN FOUND AT THE SOUTHWESTERLY CORNER OF THE SUBJECT PROPERTY AND HAVING AN ELEVATION OF 270.11 FEET (ACCURATE WITHIN 0.15' OF THE U.S.G.S. NORTH AMERICAN VERTICAL DATUM OF 1988).

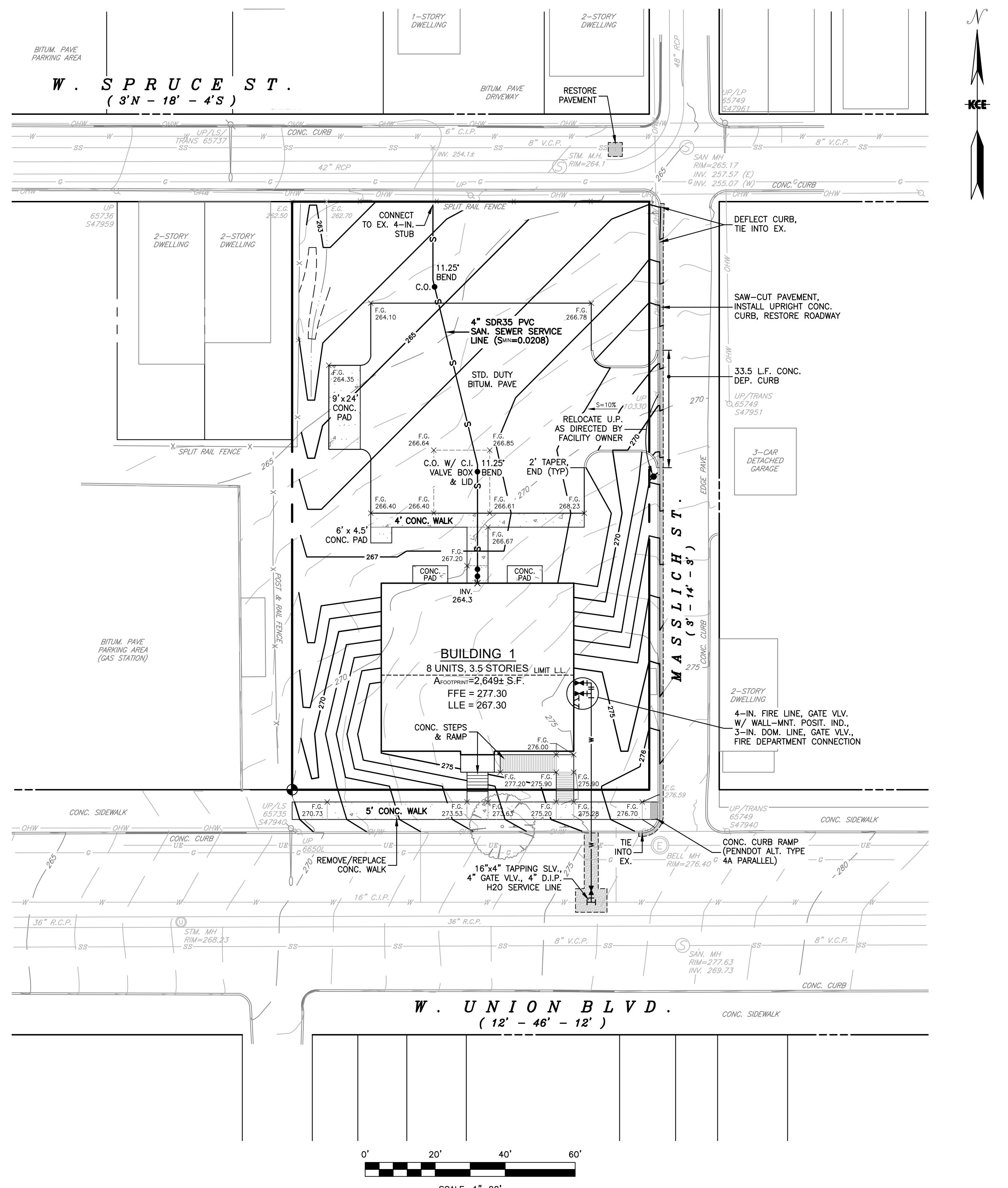
WATER SYSTEM NOTES

WATER SYSTEM NOTES

1. WATER DISTRIBUTION SYSTEM SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH CITY OF BETHLEHEM, PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, AND AMERICAN WATER WORKS ASSOCIATION STANDARDS AND REGULATION AS APPLICABLE.
2. PIPING FOR INDIVIDUAL SERVICE LINES SHALL BE CLASS 52 DUCTILE IRON PIPE OF THE SIZES INDICATED HEREIN. WATER SYSTEM PIPING AND APPURTENANCES SHALL COMPLY WITH AMERICAN WATER WORKS ASSOCIATION STANDARDS.
3. PROVIDE A MINIMUM 10-FOOT HORIZONTAL SEPARATION OR 18-INCH CLEAR VERTICAL SEPARATION BETWEEN WATERLINES AND SANITARY OR STORM SEWERS WHERE PRACTICABLE.
4. INSTALL WATER LINES AT LEAST FOUR FEET BELOW FINAL GRADE.

SANITARY SEWER SYSTEM NOTES

1. SANITARY SEWERAGE SYSTEM SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH CITY OF BETHLEHEM AND PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION STANDARDS AND REGULATION AS APPLICABLE.
2. PIPING FOR INDIVIDUAL SERVICE LINE SHALL BE 8-INCH DIAMETER SDR-35 PVC PIPE.
3. PIPING, STRUCTURES, AND APPURTENANCES SHALL BE DESIGNED TO WITHSTAND HS-25 HIGHWAY LOADING AND SHALL MEET OR EXCEED APPLICABLE PennDOT AND ASTM STANDARDS.



SEND

- SUBJECT PROPERTY LINE
- ADJOINER PROPERTY LINE
- EX. ROADWAY CENTERLINE
- EX. SAN. SEWER EASEMENT LINE
- EX. CONTOUR LINE
- EX. CONCRETE CURB
- EX. EDGE OF PAVE
- EX. OVERHEAD UTILITY LINES
- EX. NATURAL GAS MAIN
- EX. STORM SEWER
- EX. WATER MAIN
(H.P. DENOTES HIGH PRESSURE)
- EX. SANITARY SEWER MAIN
- EX. WOOD FENCE
- EX. CHAIN LINK FENCE
- EX. TREE ROW OR EDGE OF WOODS
- EX. CONIFEROUS TREE
- EX. DECIDUOUS TREE
- EX. IRON PIN (OR AS NOTED)
- EX. CONCRETE MONUMENT
- PROPOSED BUILDING FOOTPRINT
(AT GROUND LEVEL)
- PROPOSED IMPROVEMENT
- PROPOSED CONCRETE CURB
- PROPOSED DEPRESSED CONC. CURB
- PROPOSED FULL-DEPTH PAVEMENT RESTORATION
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONTOUR LINE
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER GRAVITY LINE
- PROPOSED STORM SEWER

VIEW DENOTES EXISTING FEATURES
DENOTES PROPOSED FEATURES

KEYSTONE CONSULTING ENGINEERS, INC.

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EVARD BETHE PA 1802

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ENGINEERS

LEHIGH VALLEY
ELECTRICAL
CONTRACTORS
AND
ENGINEERS
BETHLEHEM, PENNSYLVANIA

SITE GRADING & UTILITIES PLAN		
DRAWN BY:	KJH	BY
DATE:	AUG. 18, 2025	DATE
SCALE:	1" = 20'	
KCE JOB NO.:	CB-25-054	
SHEET:	LD3 OF 6	
LAND DEVELOPMENT		
MULTI-FAMILY RESIDENTIAL DEVELOPMENT		
62-68 WEST UNION BOULEVARD		
BETHLEHEM CITY		
NORTHAMPTON COUNTY, PENNSYLVANIA		

LANDSCAPING NOTES

- CONTRACTOR SHALL VERIFY THE PRESENCE, LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO BEGINNING LANDSCAPE CONSTRUCTION. CALL PA ONE CALL (800) 242-1776.
- CONTRACTOR SHALL LAYOUT AND REVIEW ALL PLANT MATERIAL AND PLANT LOCATIONS WITH LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION.
- CONTRACTOR SHALL LOCATE PLANTINGS TO AVOID PLACEMENT WITHIN SWALE CENTERLINES.
- MULCH FOR ALL PLANTINGS SHALL BE DOUBLE SHREDDED HARDWOOD BARK MULCH, DARK BROWN IN COLOR, AGED AT LEAST ONE YEAR AND CLEAN AND FREE OF WEEDS.
- ALL PLANT GROUPINGS AND HEDGES SHALL BE COMpletely ENCOMPASSED WITH A LARGE MULCH BED AT EACH PLANT GROUPING LOCATION.
- CONTRACTOR SHALL APPLY A PRE-EMERGENT WEED PREVENTATIVE, SUCH AS TREFLAN, TO TOPSOIL PRIOR TO MULCHING ACTIVITIES.
- CONTRACTOR SHALL MAINTAIN ALL NEW PLANTINGS FOR A PERIOD OF THIRTY DAYS. THIS SHALL INCLUDE WATERING, FERTILIZING, MULCHING, CULTIVATING, ETC. FOR A WEED FREE HEALTHY LANDSCAPE.
- CONTRACTOR SHALL PERMANENTLY RESTORE ALL NON-PAVED AREAS ON THE SUBJECT PROPERTY TO A GRASSED CONDITION.
- CONTRACTOR SHALL TEST EXISTING TOPSOIL TO DETERMINE THE PRESENCE OF OVERHEAD UTILITY LINES. THE PERMANENT LAWN ESTABLISHMENT SHALL INCLUDE FINE GRADING OF TOPSOIL, SEEDING, FERTILIZER, MULCH, AND ADEQUATE 60-DAY MAINTENANCE IN ORDER TO ACHIEVE A 95% COVERAGE. THE 95% COVERAGE AREA SHALL BE DEFINED AS A WEED FREE LAWN WITH 95% COVERAGE UPON CLOSE EXAMINATION OF ANY GIVEN FOUR SQUARE FOOT AREA.
- CONTRACTOR SHALL GUARANTEE ALL REQUIRED PLANTINGS FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF PLANTING. PLANTINGS SHALL BE ALIVE AND HEALTHY AS DETERMINED BY THE ARCHITECT, OWNER, OR HIS AGENT AT THE END OF THE GUARANTEE PERIOD. PLANT DEATH SHALL BE REPORTED TO THE ARCHITECT AND CONSTRUCTION COMPANY WITHIN 30 DAYS OF THE END OF THE PERIOD.
- NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBANCE IS ALLOWED IN THE TREE PROTECTION ZONE UNLESS INDICATED ON THE PLAN.
- TREE PROTECTION BARRICADES MUST BE INSTALLED PRIOR TO ANY DEMOLITION AND/OR CONSTRUCTION ACTIVITY.
- THE ROOT PROTECTION ZONE SHALL BE DEFINED AS THE AREA ENCOMPASSED BY A CIRCLE WITH A RADIUS EXTENDING 1.25 FT. FROM THE TRUNK OF THE TREE (OR 1 INCH DBH (DIAMETER AT BREAST HEIGHT) OF THE TREE).
- VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO PENALTY PER CITY ORDINANCE.
- ALL TREES ON PUBLIC PROPERTY ARE PROTECTED AND NO PREMISES SHALL BE PLANTED OVER ONE INCH IN DIAMETER, AND/OR TREE REMOVAL IS TO BE PERFORMED WITHOUT A PERMIT AND WORK MUST BE PERFORMED BY A CITY LICENSED TREE CONTRACTOR.
- ALL PLANT MATERIALS ARE TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- STREET AND PARKING LOT TREES SHALL BE A MINIMUM OF 14 FT. IN HEIGHT AND HAVE A SINGLE STRAIGHT TRUNK WITH THE FIRST LATERAL BRANCH AT 7 FT. ABOVE THE ROOT BALL. TREES WITH UPRIGHT BRANCHING HABIT, SUCH AS ZELKOVA, MAY HAVE THE FIRST LATERAL BRANCH AT 6 FT. ABOVE THE ROOT BALL.
- ALL LANDSCAPING SHALL CONFORM TO THE CURRENT EDITION OF THE ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE OF THE CITY OF BETHLEHEM.
- A ROOT CONTROL SYSTEM IS REQUIRED WHEN INSTALLING STREET TREES. THE ROOT BARRIER SHALL BE OF THE BIO-BARRIER TYPE AND A MINIMUM OF EIGHTEEN (18) INCHES IN WIDTH. THE SYSTEM SHALL BE APPROVED BY THE CITY FORESTER. THE ROOT-CONTROL SYSTEM IS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. THE OPEN SIDE OF THE BARRIER SHALL FACING THE BIO-BARRIER INSTALLED ALONG THE FACE OF THE TREE OPENING WHICH IS PARALLEL TO THE STREET AND CLOSEST TO THE PROPERTY LINE, OVERLAPPING THE PROPERTY LINE BY A MINIMUM OF FOUR (4) INCHES. WHERE TREES ARE TO BE PLANTED IN A PARKWAY OR PLANTING STRIP BETWEEN CURB AND SIDEWALK, THE BARRIER SHALL BE PLANTED ALONG THE SIDEWALK EDGE CLOSEST TO THE CURB AND CENTERED ON THE ROOT SOURCE. THE LENGTH OF THE BARRIER SHALL BE A MINIMUM LENGTH EQUAL TO THE SPREAD OF THE TREE CANOPY AT Maturity PLUS TEN (10) FEET.
- ALL AREAS NOT SPECIFICALLY IDENTIFIED HEREIN AS PLANTING OR PAVEMENT AREAS OR MULCHED PLANTING BEDS SHALL BE PERMANENTLY STABILIZED WITH TURF GRASS.

PLANT SCHEDULE						
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COND.	CLASS.
STREET TREES						
ST.AG	7	AMELANCHIER x GRANDIFLORA AUTUMN BRILLIANCE®	SERVICEBERRY	2 ¹ / ₂ " CAL.	B&B	SMALL
GENERAL PLANTINGS						
P.BM	14	BUXUS MICROPHYLLA VAR. JAPONICA "WINTER GEM"	JAPANESE HOLLY	#5	CONT.	SHRUB
P.CA	81	CALAMAGROSTIS x ACUTIFOLIA "KAN FOERSTER"	FEATHER REED GRASS	#1	CONT.	GRNDCVR. 24" O.C.
P.IG	7	ILEX GLABRA "SHAMROCK"	SHAMROCK INKBERRY HOLLY	#7	CONT.	SHRUB
P.IV	8	ITEA VIRGINICA "HENRY'S GARNET"	COMPACT VIRGINIA SWEETSPIRE	#5	CONT.	SHRUB
P.KP	4	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	2 ¹ / ₂ " CAL.	B&B	MEDIUM
P.VD	2	VIBURNUM DENTATUM "BLUE MUFFIN"	ARROWWOOD VIBURNUM	#5	CONT.	SHRUB
P.ZS	4	ZELKOVA SERRATA "GREEN VASE"	JAPANESE ZELKOVA	2 ¹ / ₂ " CAL.	B&B	LARGE
PARKING AREA BUFFER SCREEN PLANTINGS						
BP.IG	21	ILEX GLABRA "SHAMROCK"	SHAMROCK INKBERRY HOLLY	#7	CONT.	SHRUB 4" O.C.
BP.TM	20	TAXUS x MEDIUM "DENSIFORMIS"	JAPANESE YEW	24" HT.	B&B	SHRUB 4" O.C.
OPTIONAL PLANTINGS (NON-CREDITED)						
O.JV	16	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	5' HT.	B&B	EVERGRN. 4" O.C.

LANDSCAPE TABULATION

STREET TREES:
UNION BLVD.: 102 LF. FRONTRAGE: 1 TREE REQ'D. PER 25 LF.
SPRUCE ST.: 102 LF. FRONTRAGE: 1 TREE REQ'D. PER 25 LF.
8 STREET TREES REQ'D.; 7 PROPOSED, 1 EXISTING

GENERAL SITE LANDSCAPING

FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS, PROVIDE LANDSCAPING CREDITS EQUIV. TO 10% OF THE AREA

AREA: 17,136 S.F.; CREDITS REQUIRED: 1,714 S.F.

SM. TREES: (O) 100 S.F. EA. 0 S.F.

LG. TREES: (4) 100 S.F. EA. 600 S.F.

EVERGREEN TREES: (O) 100 S.F. EA. 0 S.F.

PLANTING BEDS: 510 S.F.

TOTAL CREDITS PROPOSED: 1,910 S.F.

(INCLUDED IN ABOVE CREDITS) 1 SHADE TREE REQ'D. PER 15 PARKING SPACES; 13 PARKING SPACES PROPOSED

1 SHADE TREE REQ'D.; 8 SHADE TREES PROPOSED

NOTE:

(1) DUE TO THE PRESENCE OF OVERHEAD UTILITY LINES,

ALLOWABLE STREET TREE SPECIES SHALL BE LIMITED TO THOSE APPEARING IN GROUP 1 OF APPROVED STREET TREES

FOR THE CITY OF BETHLEHEM, LATEST EDITION, OR AS OTHERWISE APPROVED BY THE CITY FORESTER.

NOTES

- MATERIALS (INCLUDING PLANT TYPE, QUANTITIES, QUALITY, ETC.) AND INSTALLATION FOR SITE LANDSCAPING SHALL BE IN ACCORDANCE WITH CITY OF BETHLEHEM SALDO SECTION 1349.08 STANDARDS AND REGULATIONS, AS APPLICABLE.
- STREET AND PARKING LOT TREES SHALL BE A MINIMUM OF 14" IN HEIGHT AND HAVE A SINGLE STRAIGHT TRUNK WITH THE FIRST LATERAL BRANCH AT 7' ABOVE THE ROOT BALL. TREES WITH AN UPRIGHT BRANCHING HABIT, SUCH AS ZELKOVA, MAY HAVE THE FIRST LATERAL BRANCH AT 6' ABOVE THE ROOT BALL.

- IN THE EVENT OF ANY DISCREPANCIES BETWEEN THE PLANT SCHEDULE AND PLAN, THE PLAN SHALL PREVAIL.

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FOR THE CITY OF BETHLEHEM, LATEST EDITION, OR AS OTHERWISE APPROVED BY THE CITY FORESTER.

SIGNAGE NOTES

- TRAFFIC CONTROL SIGNS SHALL COMPLY WITH PennDOT PUBLICATION 236, HANDBOOK OF APPROVED SIGNS AND INDICATORS, AND LOCAL BUILDING CODE STANDARDS, AS APPLICABLE.
- TRAFFIC CONTROL SIGNS SHALL BE MOUNTED ON PennDOT APPROVED BREAKAWAY POSTS IN ACCORDANCE WITH PennDOT PUBLICATION 236.
- STOP SIGNS SHALL BE PLACED TEN FEET BEHIND THE EDGE OF PAVEMENT AT A HEIGHT OF NINE FEET TO THE TOP OF SIGN.

1. TRAFFIC CONTROL SIGNS SHALL BE OF WATERBORNE TRAFFIC PAINT. LOCATIONS, SIZES, TYPES, AND COLORS OF PAVEMENT MARKINGS SHALL BE AS INDICATED HEREIN. MATERIALS AND WORKMANSHIP FOR WATERBORNE PAINTING SHALL BE APPROVED BY PennDOT PUBLICATION 408 SECTION 962.

2. PAVEMENT MARKINGS IN PUBLIC ROADWAYS SHALL BE HOT THERMOPLASTIC PAVEMENT MARKINGS, EXCEPT FOR CENTERLINE STRIPING, WHICH IS MADE OF WATERBORNE TRAFFIC PAINT.

3. LOCATIONS, SIZES, TYPES, AND COLORS OF PAVEMENT MARKINGS SHALL BE AS INDICATED HEREIN FOR MUNICIPAL ROADWAYS OR IN THE APPROVED HIGHWAY OCCUPANCY PERMIT PLANS FOR THE PROJECT FOR STATE HIGHWAYS. MATERIALS AND WORKMANSHIP FOR HOT THERMOPLASTIC PAVEMENT MARKINGS SHALL CONFORM TO PennDOT PUBLICATION 408 SECTION 962.

4. PRIOR TO APPLICATION OF PAVEMENT MARKINGS CLEAN PAVEMENT SURFACES OF DIRT, DEBRIS, AND OTHER CONTAMINANTS. PAVEMENT MARKINGS SHALL BE APPLIED BY PRESSURE WASHER, COMPRESSED AIR OR OTHER APPROPRIATE METHOD.

5. APPLY PAVEMENT MARKINGS TO CLEAN, DRY PAVEMENT WITH MINIMUM AIR AND PAVEMENT TEMPERATURES OF 50 DEGREES FAHRENHEIT AND A MAXIMUM RELATIVE HUMIDITY OF 80%.

6. WHERE BITUMINOUS SEALANT RENDER THE EXTENSION OF PAVEMENT MARKINGS TO THE FACE OF CURB IMPRACTICAL, MARKINGS SHALL EXTEND TO THE EDGE OF SEALANT OR, WITHIN 1 FOOT OF THE FACE OF CURB, WHICHEVER IS LESS.

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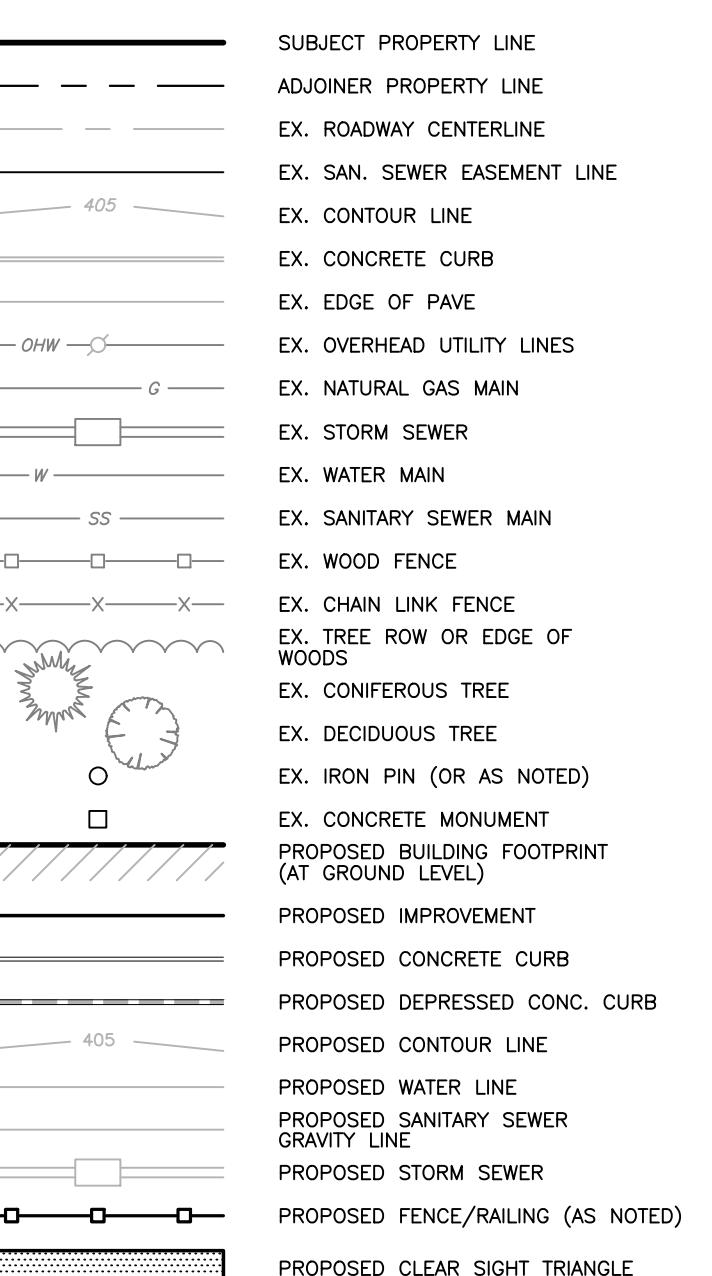
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LEGEND



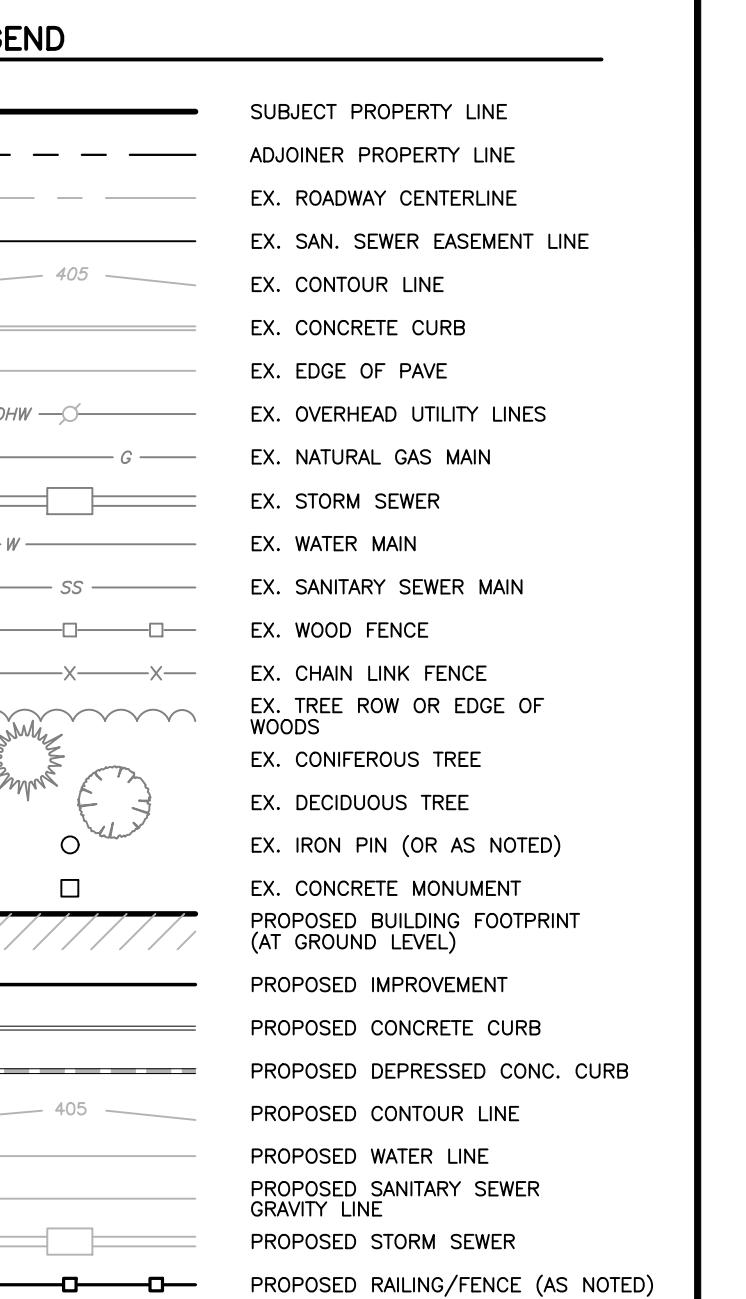
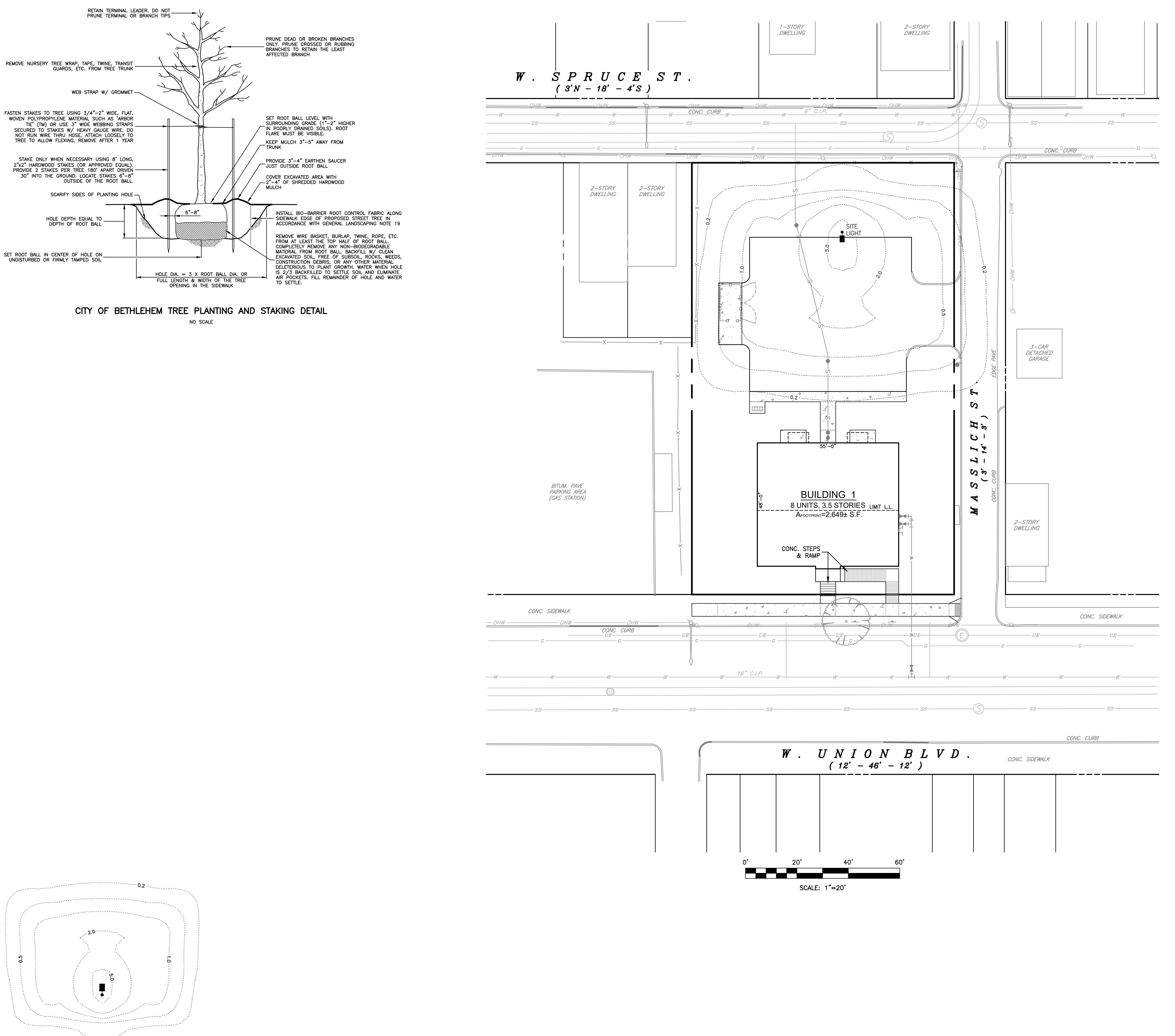
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Engineering firm of choice since 1972



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610-865-4555
East Office: Allentown, West Office: Bethlehem, Pennsylvania

KEYSTONE CONSULTING ENGINEERS
DESIGNED BY: KJH
DRAWN BY: KJH
CHECKED BY: KJH
DATE: 10/31/2025
KCE JOB NO.: CB-25-054
SCALE: 1" = 20'
SHEET: LD4 OF 6



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SITE LIGHTING PLAN

LAND DEVELOPMENT

MULTI-FAMILY RESIDENTIAL DEVELOPMENT

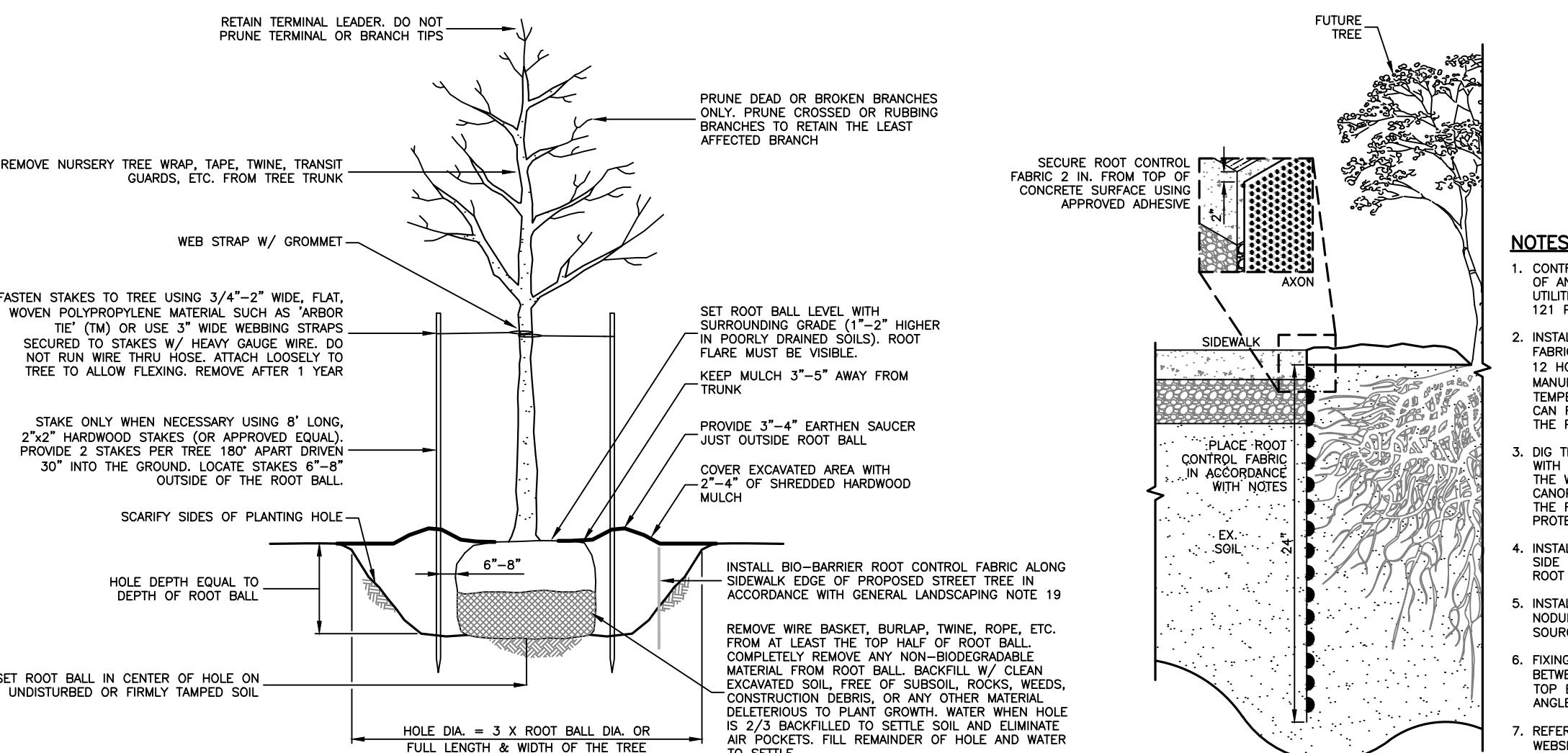
62-68 WEST UNION BOULEVARD
BETHLEHEM CITY
NORTHAMPTON COUNTY, PENNSYLVANIA

DESIGNED BY: KJH	REVISIONS
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CHECKED BY: KJH	10.31.2025
DATE: AUG 18, 2025	1" = 20'
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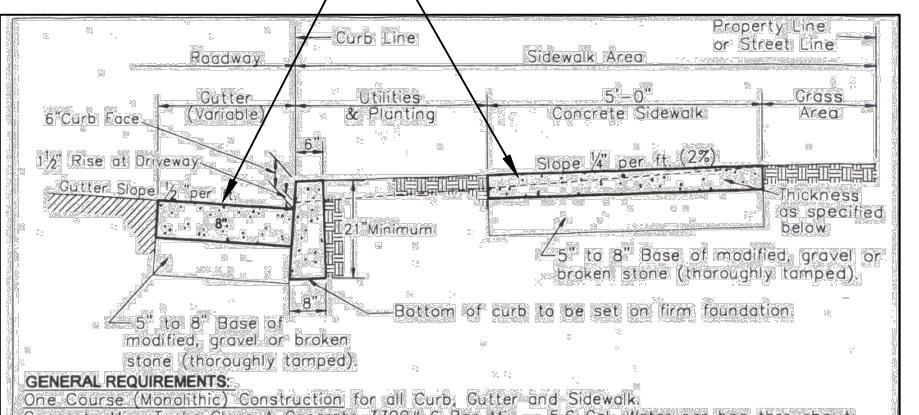
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CITY OF BETHLEHEM TREE PLANTING AND STAKING DETAIL

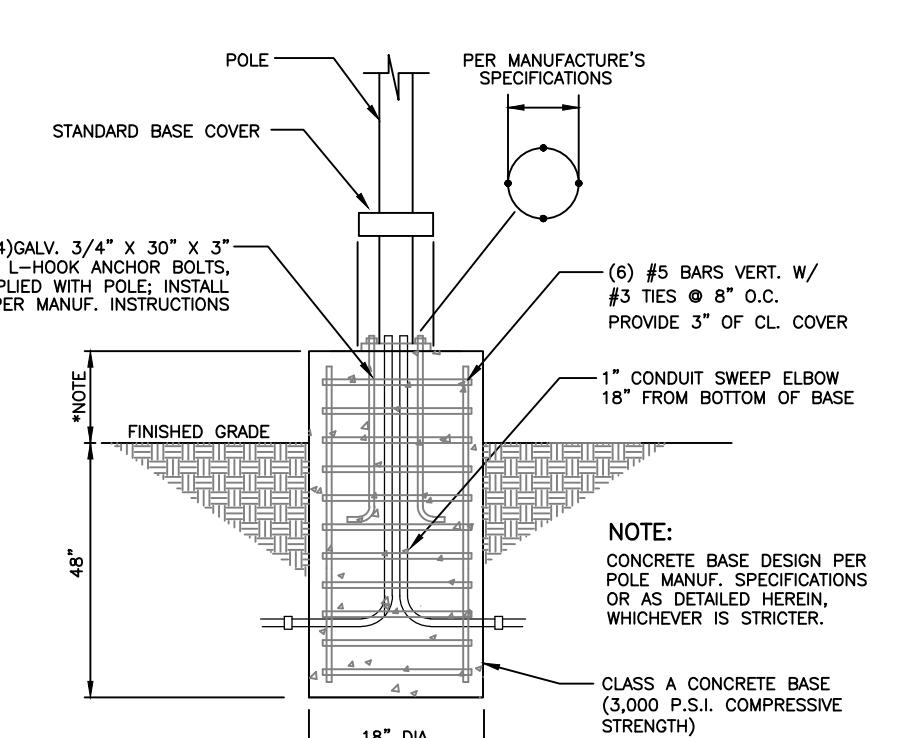
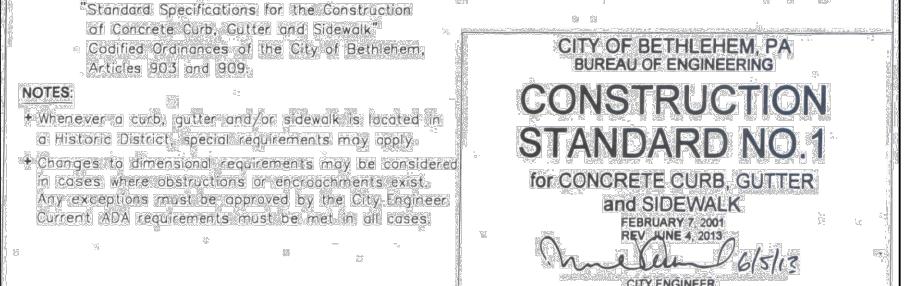
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NO CURB CUTTER OR SIDEWALK
REQ'D. IN MASSLITSCH ST.



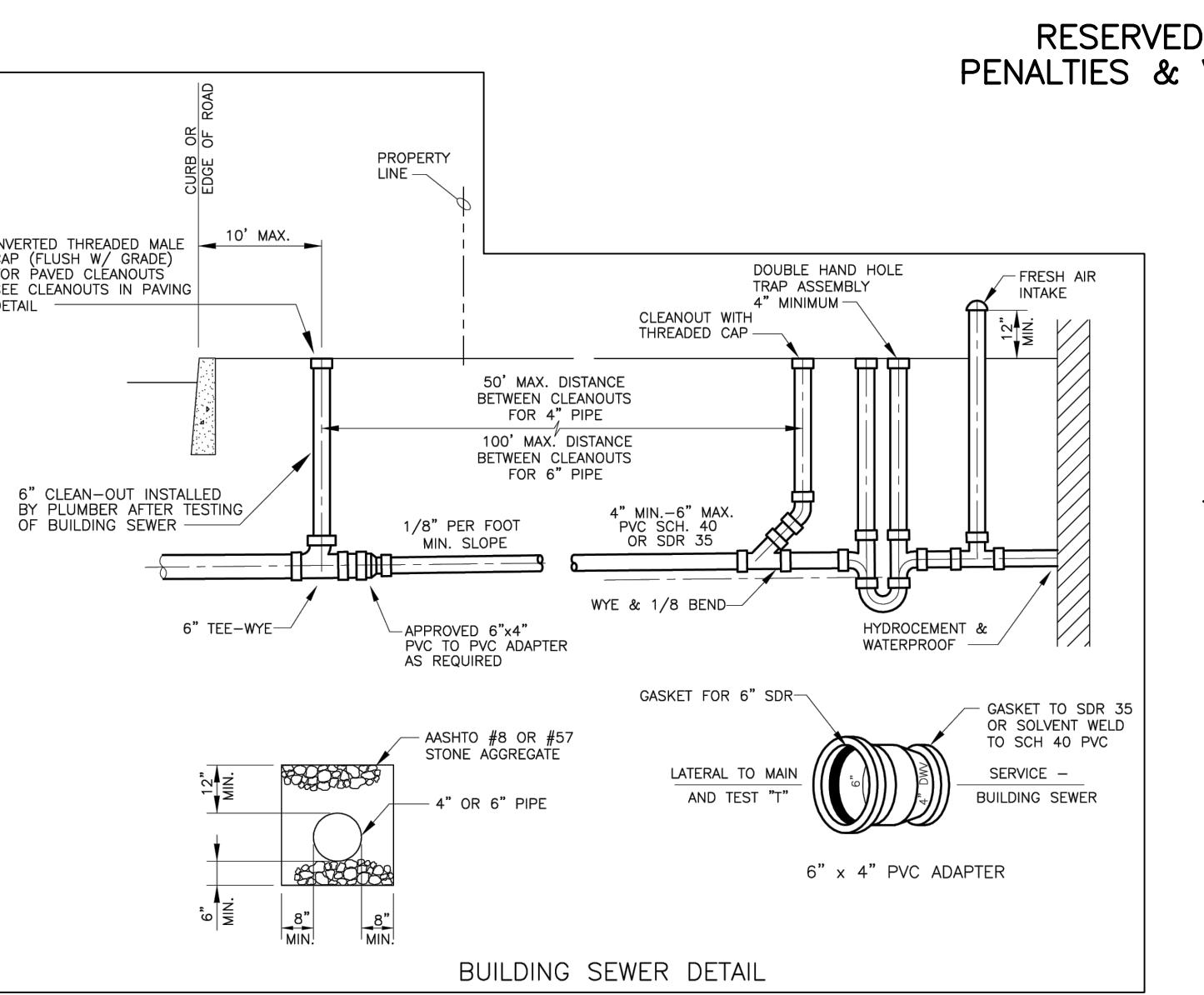
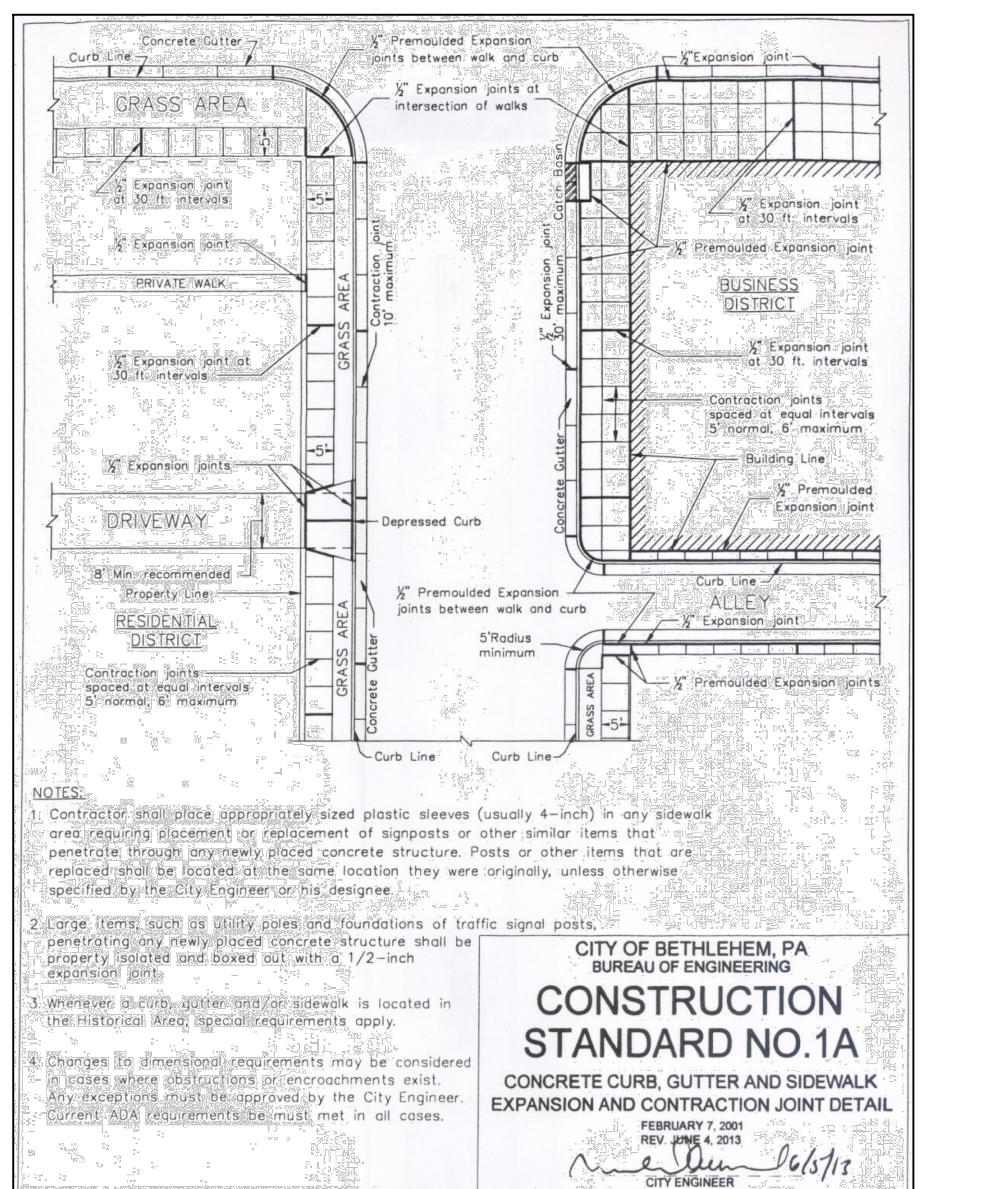
GENERAL REQUIREMENTS:
Concrete Mix: To be Class A Concrete 3300# & Bag Mix - 8.6 Cols. Water per bag throughout
Curb: 8" Depth with approved finish on top and exposed face
Gutter: 8" Depth - Slope of Gutter 1/2" rise per foot over curb
Driveway: At Residential Areas = 18", At Business and Industrial Areas = 18", On Grades = 1/2" rise per foot over curb
Side Walk: 8" Depth - Slope of 1/2" rise per foot over curb
Expansion and Contraction Joints: See City Construction Standard No.1
Driveway: See City Standard Driveway Standard and Approval Sheet
Excavation: When excavating in the curbline of a City street, digging full depth cut by jack hammering or excavating shall be made in that area between the affected jointed or unjointed curb areas. The cut shall be 12" beyond the edge of any affected jointed or unjointed curb, backfilling with PennDOT 2A material, and the curb shall be replaced with a new curb. The new curb shall be set back 12" from the original curb as required to provide reasonable temporary access to driveways.

ORDNANCE REQUIREMENTS:
Survey: Prepared from City Engineer's Office profiles for establishing line & grades. Stakes to be Class A Concrete 3300# & Bag Mix - 8.6 Cols. Water per bag throughout
Excavation Permit: Prepared from the City Engineer's Office for all major construction
DETAILS REQUIREMENTS:
For further detailed other requirements see the following documents on file in the Office of all the City Engineers:
Standard Specifications for the construction of roads, streets, and alleys
Standard Specifications for the construction of curbs, gutters, and sidewalks
Standard Specifications for the construction of drainage
Standard Specifications for the construction of waterworks
Standard Specifications for the construction of sewerage
Standard Specifications for the construction of public buildings
NOTES:
1. Wherever curb, gutter and sidewalk located in a major street, specifications may apply.
2. Wherever curb, gutter and sidewalk located in a minor street, specifications may apply.
3. Any exception may be granted by the City Engineer. Consent and agreement must be obtained.



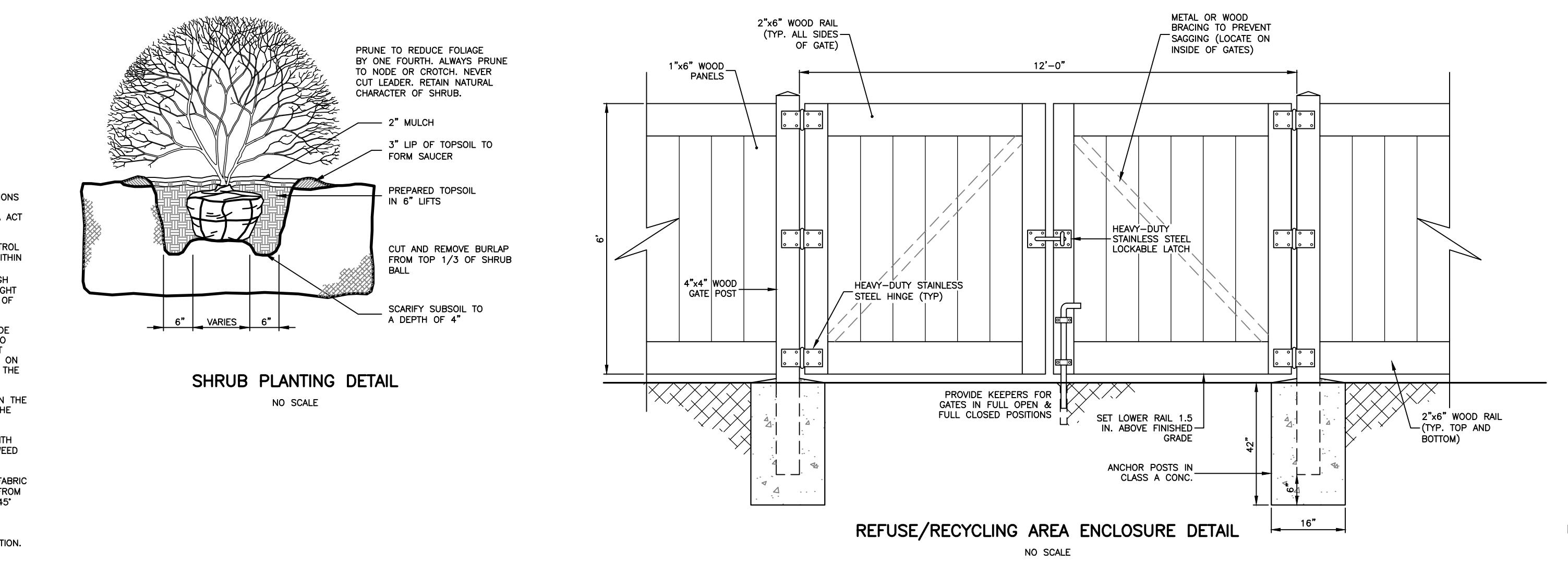
SITE LIGHT POLE BASE FOUNDATION DETAIL

NO SCALE



RESERVED PARKING SPACE W/ PENALTIES & VAN ACCESSIBLE SIGNAGE N.T.S.

NO SCALE



SHRUB PLANTING DETAIL

NO SCALE

NOTES:

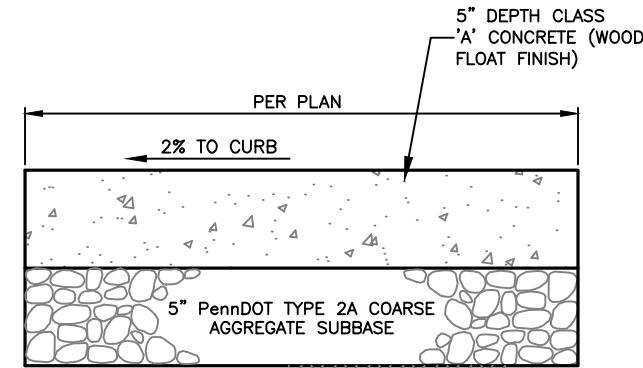
1. CONTRACTOR SHALL VERIFY LOCATIONS OF ANY AND ALL UNDERGROUND UTILITIES IN ACCORDANCE WITH PA ACT 123, PENNSYLVANIA'S EASEMENT EXPLORATION.
2. INSTALL AND BACKFILL 2" WIDE CONTROL FABRIC AS SOON AS POSSIBLE (WITHIN 12 HOURS) AFTER OPENING MANUFACTURER'S PACKAGE. HIGH TEMPERATURES AND DIRECT SUNLIGHT CAN REDUCE THE EFFECTIVE LIFE OF THE PRODUCT.
3. DIG TRENCH AT LEAST 4" IN. WIDE AND A MINIMUM LENGTH EQUAL TO THE WIDTH OF THE MATURE PLANT. CANTER TRENCHES ARE TO BE CENTERED ON THE ROOT SOURCE, ADJACENT TO THE PROTECTION AREA.
4. INSTALL ROOT CONTROL FABRIC ON THE SIDEWALK TRENCH OPPOSITE THE ROOT SOURCE.
5. INSTALL ROOT CONTROL FABRIC WITH NODULES FACING TOWARD ROOT/WEED SOURCE.
6. FIXING PINS SHOULD PENETRATE FABRIC BETTER THE NODULES 1/4" FROM TOP EDGE OF FABRIC AND AT A 45° ANGLE TO THE FRENCH WALL.
7. REFER TO THE MANUFACTURER'S WEBSITE FOR ADDITIONAL INFORMATION.

NOTES:

1. SUPERPAVE WEARING COURSE
2. SUPERPAVE BINDER COURSE
3. 4" PENNDOT TYPE 2A COARSE AGGREGATE SUBBASE

BITUMINOUS PAVEMENT SECTION DETAIL (PRIVATE PROPERTY - STANDARD-DUTY)

NO SCALE



REFUSE/RECYCLING AREA ENCLOSURE DETAIL

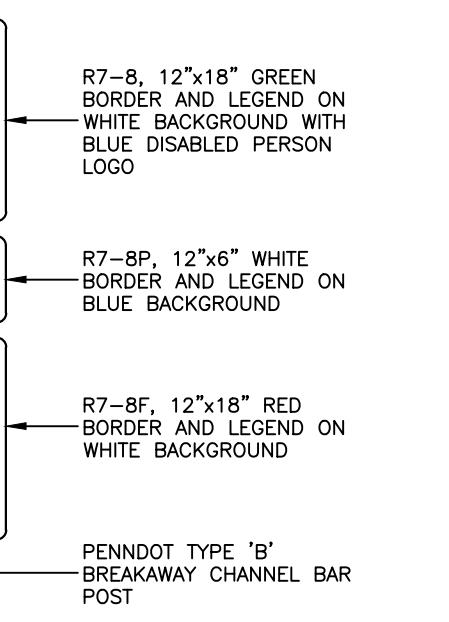
NO SCALE

NOTES:

1. MATERIALS AND CONSTRUCTION IN ACCORDANCE WITH SECTIONS 704 AND 1001 OF PENNDOT PUBLICATION 408.
2. SIDEWALK SECTIONS SHALL HAVE AN AVERAGE AREA OF W X W SQUARE FEET.
3. SIDEWALK SECTIONS SHALL BE FORMED USING MAXIMUM ONE-QUARTER (1/4) INCH THICK DIVISION PLATES OR EXPANSION JOINT MATERIAL THAT EXTENDS THE FULL DEPTH OF THE SLAB.
4. NOSING ON ALL EDGES SHALL BE FINISHED TO A RADIUS OF NOT MORE THAN ONE-HALF (1/2) INCH.
5. PLACE 1/2-INCH PREMOULDED BITUM. EXPANSION JOINT MATERIAL AT STRUCTURAL JOINTS, EXISTING JOINTS, AND MATERIAL TO CONFORM TO FINISHED SIDEWALK CROSS-SECTION.

CONCRETE SIDEWALK SECTION DETAIL (TYPICAL)

NO SCALE



NOTES:

1. POST MOUNTED SIGNS SHALL BE TYPE B CHANNEL BAR POSTS AND PENNDOT SIGNING STANDARDS TC-8702B SHEET 8 THRU 11 OF 11. APPROPRIATE POSTS SHALL BE SELECTED BASED ON THE SIZE OF THE SIGN USING THE SELECTION TABLES CONTAINED THEREIN.
2. SIGN INSTALLATION SHALL BE IN ACCORDANCE WITH PENNDOT "TRAFFIC CONTROL SIGNING STANDARDS" TC-8702B SHEET 8 THRU 11 OF 11 AS AMENDED.
3. SEE CIVIL PLANS FOR EXACT LOCATION, TYPE AND SIZE OF SIGNS. ALL REGULATORY (R SERIES) SIGNS SHALL CONFORM TO THE PENNDOT "HANDBOOK OF APPROVED SIGNAGE", PUBLICATION 236M, AS AMENDED UNLESS OTHERWISE SPECIFIED.
4. SIGNS SHALL BE SETBACK 2' FROM CURBLINES OR OTHER OBSTRUCTIONS AS MEASURED FROM THE FACE/EDGE OF THE SIGN.
5. RESERVED PARKING SPACE SIGNS SHALL CONFORM TO DEPARTMENT OF JUSTICE "ADA STANDARDS FOR ACCESSIBLE DESIGN" AS AMENDED.
6. ALL SIGNS SHALL BE INSTALLED WITH ACORN NUT FASTENERS.

NOTES:

ROADWAY RESTORATION SHALL BE IN STRICT ACCORDANCE WITH CITY OF BETHLEHEM CONSTRUCTION STANDARDS, PENNDOT PUBLICATION 72M, STANDARDS FOR ROADWAY CONSTRUCTION, AND PENNDOT PUBLICATION 408, SPECIFICATIONS, STANDARDS, AS APPLICABLE.

RESERVED PARKING SPACE W/ PENALTIES & VAN ACCESSIBLE SIGNAGE N.T.S.

NOTES:

1. CONSTRUCTION OF CURB, GUTTER, AND SIDEWALKS

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