



# CITY OF BETHLEHEM

## AND ZONING

10 East Church Street, Bethlehem, Pennsylvania 18018-6025

BUREAU OF PLANNING

Phone: 610-865-7088

Fax: 610-865-7330

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May 21, 2025

C. David Hitzel

RE: (25-002 LD&S) – 25040001 – 934-946 and 1004 EVANS STREET – LAND  
DEVELOPMENT AND SUBDIVISION (LOT CONSOLIDATION) PLAN – Ward 5,  
Zoned RT, Plan dated March 26, 2025.

Dear Mr. Hitzel,

The above-referenced plan has been reviewed by the appropriate City offices. We offer the following comments:

### **PUBLIC WORKS**

#### **Engineering**

1. Sheet CS – Provide the following on the plan:
  - a. Engineers' phone number and email address.
  - b. Rename the drawing index from "LEGEND" to Sheet Index. Add sheet titles to each corresponding sheet.
2. Sheet EF – Existing features plan text and lines shall be light/ grayscale, use bold/heavy line weight and text for proposed features. Enlarge the plan, e.g., using 1:20 scale. Mask text on contour lines and any other text that overlap with background objects.
  - a. The proposed impervious coverage areas detailed on the Stormwater Management Analysis letter shall be included on the plans.
3. Sheet RP – Provide legal description and Exhibit (Metes and Bounds) for the three parcels proposed to be consolidated. See also General Note 2.
4. Sheet PF – Add the following to the Legend: Concrete Sidewalk, Sidewalk planting strip, iron pins/monuments.
  - a. Mask or move text to avoid overlapping, for example, Ref. State Street, the label for the 4" NDS Drain overlaps with the label for San MH.
  - b. Label iron pins/monuments to be installed at the corners of the parcels.
  - c. Show the location of the Benchmark.
  - d. Provide proposed building dimensions.
5. Sheet GP – Upload from the City's Website the Concrete Curb, Gutter and Sidewalk construction detail and Driveway Entrance and Apron construction detail and add them to the plan in lieu of scanned copies.
6. In accordance with Ordinance No. 4342, at the time of execution of the developer's agreement, a sanitary sewer tapping fee of \$2,527 per EDU will need to be paid. The total amount will be determined when a sanitary sewer facilities planning module application is submitted. A cover letter, describing the project, and a utility plan shall be included in the planning module submittal. Please note that building permits cannot be issued until the Planning Module is reviewed and approved by the Pennsylvania Department of Environmental Protection.

## **Traffic**

1. Evans Street is a one-way street heading west. A one-way sign is required on Evans Street at the exit from Lot 2.
2. Include a one-way sign at the entrance to lot 1's parking lot from Ridge Street and add a directional arrow to the plan.

## **Forestry**

1. All tree species selected must come from the City of Bethlehem approved tree list.
2. Include the deciduous tree species in the plant schedule chart.
3. Include the low growing planting buffer species in the plant schedule chart.

## **FIRE**

The City of Bethlehem Fire Department currently enforces the 2018 Edition of the International Fire Code in its entirety including Appendices, with local amendments, as adopted in Article 1501 of the Codified Ordinances of the City of Bethlehem, Ordinance 2022-15.

A condensed version of Article 1501/Ordinance 2022-15 listing the common items that affect Land Development Projects is attached at the end of this document for reference. For a copy of the full ordinance please visit: <https://www.bethlehem-a.gov/CityOfBethlehem/media/BFDMedia/Fire-Code.pdf>

1. The architect/engineer shall confirm Fire Department vehicles have the required turning space to access all areas. Submit a turning plan drawing using the BFD Ladder 2 Turning Performance PDF to show that this vehicle is able to turn travelling east on 3<sup>rd</sup> Street, to south onto State Street and east onto Evans Street. Also, submit a turning plan drawing using the BFD Engine 1 Turning Performance PDF to show that this vehicle can access the parking area/driveway on the south side of the building.
2. A Knox Box for City of Bethlehem Fire Department access shall be installed. Add a note to the plan and indicate location TBD.
3. Indicate the proposed location of all Fire Department Connections (FDC). Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access or as otherwise *approved* by the Fire Marshal. Add a note to the plan, "Any change in the location of the Fire Department Connection must be approved by the City of Bethlehem Fire Department." Note for this project, if a standpipe(s) is required for this building, then the FDC for the sprinkler/standpipe must be located within 100' of a fire hydrant.
4. All 'Fire Lanes' or "Fire Department Access Roads" shall be identified and properly marked (Refer to International Fire Code, 2018 ed., Section 503 and Appendix D for additional information. Locations for signs and markings can be determined as the project progresses). Evans Street in front of the building will be required to be marked as a fire lane.
5. All buildings 30 feet or greater in height must have 26 foot wide, minimum, access road(s) and must accommodate a fire apparatus weighing 84,000lbs. (Refer to International Fire Code, 2018 ed., Section 503 and Appendix D for additional information). At least one of the required access roads meeting this condition shall be located within a minimum of 15 feet (4572 mm) and a maximum of 30 feet (9144 mm) from the building, and shall be positioned parallel to one entire side of the building (Refer to International Fire Code, 2018 ed., Section 503 and Appendix D for additional information). As Evans Street will be considered the access road, parking on the north side of Evans Street will need to be addressed to provide the minimum requirements.
6. The architect/engineer must confirm Fire Department apparatus will be able to drive on all road surfaces without contacting the driving surface. Check angles of approach and departure to confirm the front or rear apparatus bumpers will not contact the driving surface. Also confirm the middle of the truck will not contact the driving surface of humps or crowns such as on speed bumps (Refer to International Fire Code, 2018 ed., Section 503 and Appendix D for additional information. Contact us for detailed vehicle information). Use the attached BFD Engine 1 Main Print PDF to determine if this vehicle can access the parking area/driveway on the south side of the building.
7. Add note to the plan acknowledging that Chapter 33 of the IFC "Fire Safety During Construction and Demolition" will be enforced for the duration of the construction project.



Contact the City of Bethlehem Fire Department office at: 610-865-7143, or email Fire Marshal Craig Baer ([cbaer@bethlehem-pa.gov](mailto:cbaer@bethlehem-pa.gov)), or Chief Fire Inspector Michael Reich ([mreich@bethlehem-pa.gov](mailto:mreich@bethlehem-pa.gov)), with any questions, referenced Fire Code requirements or to obtain any documents required to complete the submittal for review.

## **ZONING**

1. The Bureau of Engineering shall review and approve the width of all curb cuts/aprons at parking areas' points of ingress and egress [ZO §1319.03(c)].
2. Provide a dimensioned enlarged detail of the Bicycle Parking Area demonstrating compliance with [ZO §1319.02(o)].
3. Mounting heights for the parking lot lighting shall not exceed 20' above the average surrounding grade [ZO §1318.25(b)].
4. Locate the egress directional pavement marking closer to the egress point of Parking Lot 2.
5. Provide diagrams, calculation and/or narrative substantiating the proposed building height (35') stated on the Record Plan Zoning Table vs Building Elevations that appear to exceed that dimension.
6. Identify the proposed locations of all utilities; electric and telephone lines shall be underground where practical. Any utility installations remaining above ground shall be located so as to have a harmonious relation to neighboring properties and the site [ZO §1322.02(d)(4)].
7. Add a height dimension to the detail of the proposed trash enclosure [ZO §1322.02(d)(5)].
8. Provide typical details of proposed fencing to be install in areas where required [ZO §1322.02(d)(5)].
9. Add a note to Sheet RP-Record Plan, "*Bicycle Parking maintenance, the current landowner shall be responsible to ensure that the hitch, rack or locker continues to be available and is well maintained and is replaced if damaged or removed. If the hitch, rack or locker is within a street Right of Way, a City encroachment permit shall be required*" [ZO §1319.02(o)(2)]. It is noted that this comment has been included on Sheet PF-Proposed Site Plan.
10. Add a note to Sheet EF-Existing Features Plan indicating that the parcel is neither located within the floodway nor any special flood hazard area; Ref. FEMA FIRM 42095C0326E, effective on 7/16/2014.
11. Sheet LA-Landscaping Plan, indicate the area located between the front façade and front lot line shall be finished with vegetative ground cover. See also General Note 8.

## **GENERAL**

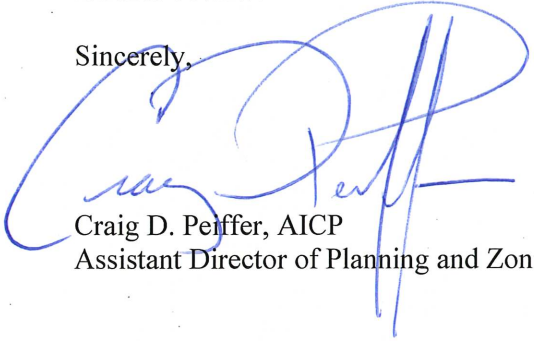
1. A recreation fee of \$55,500 shall be paid at the time of execution of the developer's agreement.
2. The final land development submission should also include a separate sheet for subdivision (Lot consolidation) and zoning data for each parcel and the consolidated parcel.
3. Sheets EF- Existing Features and RP-Record Plans, Variances Granted, modify the date to state, "at their September 18, 2024 Hearing, with Written Decision dated October 28, 2024, the Zoning Hearing Board granted relief from the following sections: "
4. Sheets EF- Existing Features and RP-Record Plans indicate waivers granted from SALDO 1349.08(c) buffer yards and 1349.08(f)(2) foundation plantings on 10/28/2024; whereas, any waiver request will be considered by the Planning Commission at the time of review of the preliminary/final subdivision and land development plans. The Planning Commission took no action on the Sketch Plan during their May 9, 2024 meeting.
5. Sheet CS-Cover, Legend, #6, correct the Sheet Abbreviation to GP, or correct Sheet 6 of 12 to GU.
6. Sheet RP-Record adjust the street names to above or below the street centerlines.
7. Sheet 10 of 12, correct the Sheet Abbreviation to D2.
8. Sheet LA-Landscaping Plan, Lot 1, indicate on the plan the required 10% plantings and foundation shrubs and include the quantity and species in the plant schedule chart.
9. Comments, if applicable, from the Lehigh and Northampton Transit Authority (LANTA) will be issued under separate cover.
10. Comments from the Environment Advisory Council (EAC) comments will be issued under separate cover.
11. The project should generally comply with the goals and objectives of the City's Climate Action Plan for new development, including energy efficient construction, provisions for safe walking and biking, green

development and other various provisions.

12. The 3-story building proposes 37 dwelling units. Bethlehem has been approaching new developments with a substantial number of units to include 10% as affordable units, making them available to renters at 80% of AMI. Providing this number of affordable units is a realistic goal, the City is asking all proposed multifamily projects for assistance in the provision of affordable units at an amount of ten percent. With that goal in mind, we suggest that 4 units meet all of the guidelines of affordability for residents at 80% of AMI.

**When these comments are addressed, please submit two (2) full sets of revised plans, three (3) partial sets of revised plans for Traffic, Forestry and Fire, an electronic plan, and a comment/response letter for further review.**

Sincerely,



Craig D. Peiffer, AICP  
Assistant Director of Planning and Zoning

C. Basel Yandem  
David Taylor  
Geoffrey Karanja  
Mike Reich  
Olivia Teel  
Greg Cryder

Joseph Ingaglio, Bustamante Engineers  
Justin Dinardo, Bustamante Engineers  
Scott Voelker, Eggmanick Design  
Bryan Beck, Mohawk Contracting & Development

Enclosures



# Turning Performance Analysis

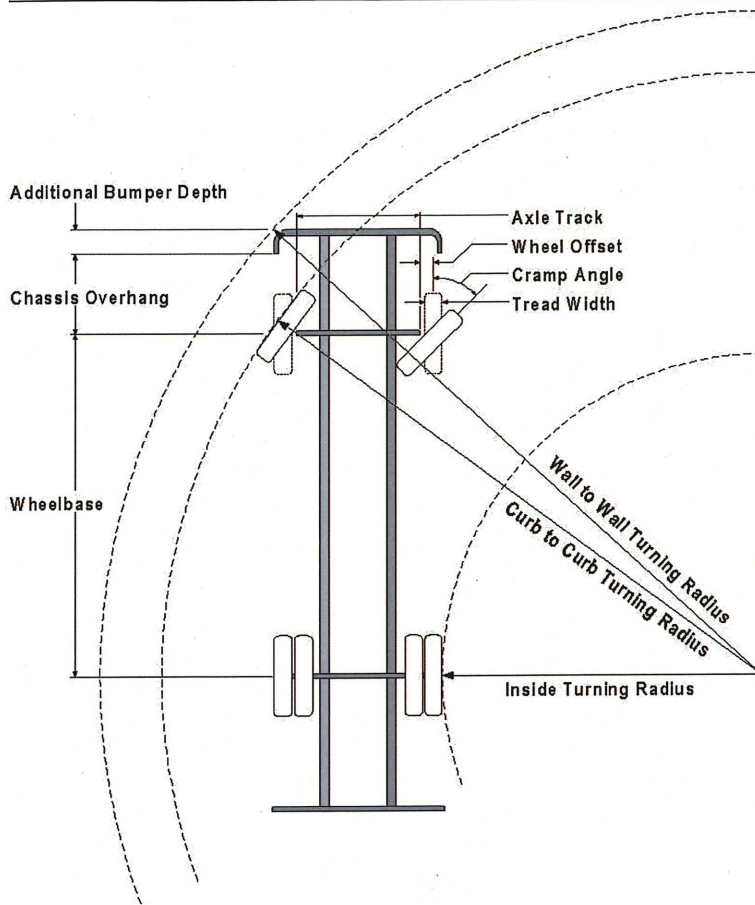
02/01/2016

**Bid Number:** 365

**Department:** Bethlehem City Fire Dept

**Chassis:** Velocity Chassis, PAP/Midmount (Big Block), 2010

**Body:** Aerial, Platform, 95', Mid-Mount, Alum Body



## Parameters:

|                          |           |
|--------------------------|-----------|
| Inside Cramp Angle:      | 45°       |
| Axle Track:              | 82.92 in. |
| Wheel Offset:            | 5.25 in.  |
| Tread Width:             | 17.7 in.  |
| Chassis Overhang:        | 78 in.    |
| Additional Bumper Depth: | 7 in.     |
| Front Overhang:          | 85 in.    |
| Wheelbase:               | 274.5 in. |

## Calculated Turning Radii:

|               |              |
|---------------|--------------|
| Inside Turn:  | 21 ft. 8 in. |
| Curb to curb: | 38 ft. 9 in. |
| Wall to wall: | 43 ft. 1 in. |

## Comments:

| Category Description: | OptionID: | Option Description:  |
|-----------------------|-----------|--|
| Axle, Front, Custom   | 0637059   | Axle, Front, Oshkosh TAK-4, Non Drive, 24,000 lb, Velocity (425 Tires)           |
| Wheels, Front         | 0001656   | Wheels, Front, 22.50" x 12.25", Steel, Hub Pilot                                 |
| Tires, Front          | 0677684   | Tires, Front, Michelin, XFE (wb), 425/65R22.50, 20 ply, Fire Service Load Rating |
| Bumpers               | 0633464   | Bumper, Non-Extended, Steel, Painted, Imp/Vel                                    |
| Aerial Devices        | 0592911   | Aerial, 95' Pierce PAP, Mid Mount  |

## Notes:

Actual Inside cramp angle may be less due to highly specialized options.

Curb to Curb turning radius calculated for 9.00 inch curb.



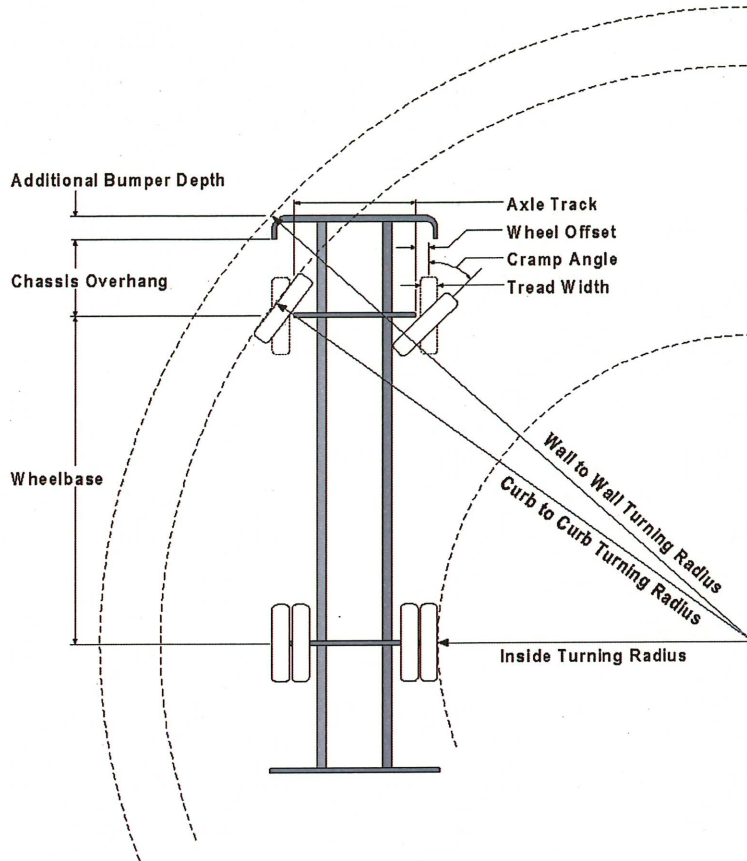


## Turning Performance Analysis

1/17/2012

**Bid Number:** 254  
**Department:** Bethlehem City Fire Dept

**Chassis:** Dash CF Chassis, PUC (Med Block)  
**Body:** Pumper, PUC, Aluminum



### Parameters:

|                          |           |
|--------------------------|-----------|
| Inside Cramp Angle:      | 45°       |
| Axle Track:              | 82.92 in. |
| Wheel Offset:            | 5.25 in.  |
| Tread Width:             | 16.6 in.  |
| Chassis Overhang:        | 74 in.    |
| Additional Bumper Depth: | 0.00 in.  |
| Front Overhang:          | 74 in.    |
| Wheelbase:               | 181 in.   |

### Calculated Turning Radii:

|               |               |
|---------------|---------------|
| Inside Turn:  | 13 ft. 11 in. |
| Curb to curb: | 27 ft. 10 in. |
| Wall to wall: | 31 ft. 5 in.  |

### Comments:

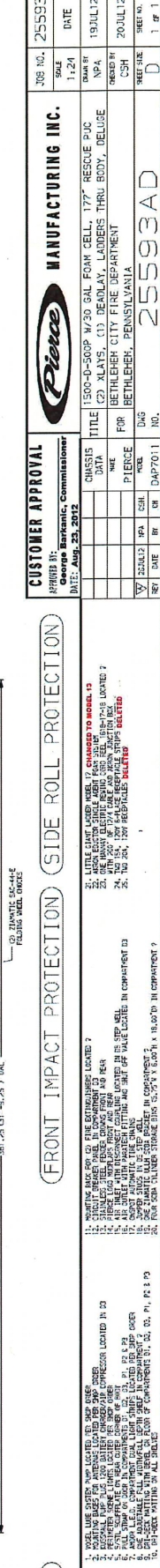
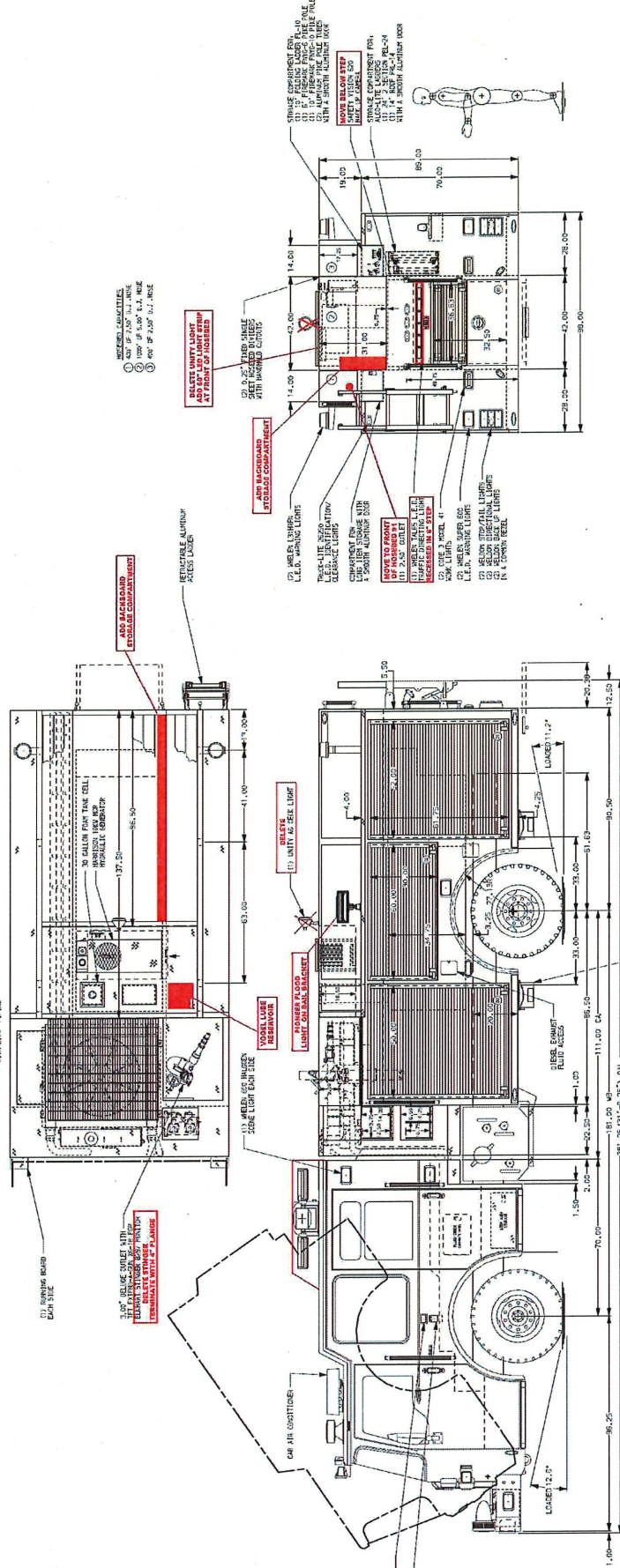
REVISED TURN RADIUS 1-17-2012

| CategoryID | Category Description | OptionCode | OptionDescription   |
|------------|----------------------|------------|---|
| 6          | Axle, Front, Custom  | 0508849    | Axle, Front, Oshkosh TAK-4, Non Drive, 22,800 lb, Imp/Vel/Dash CF |
| 30         | Wheels, Front        | 0001656    | Wheels, Front, 22.50" x 12.25", Steel, Hub Pilot                  |
| 31         | Tires, Front         | 0078244    | Tires, Front, Michelin, XZY3 (wb), 425/65R22.50, 20 ply           |
| 38         | Bumpers              | 0550021    | Bumper, 22" Extended Steel Painted, AXT, Dash CF                  |

### Notes:

Actual Inside Cramp Angle may be less due to highly specialized options.

Curb to Curb turning radius calculated for a 9.00 inch curb.



FRONT IMPACT PROTECTION      SIDE ROLL PROTECTION

[illegible]

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