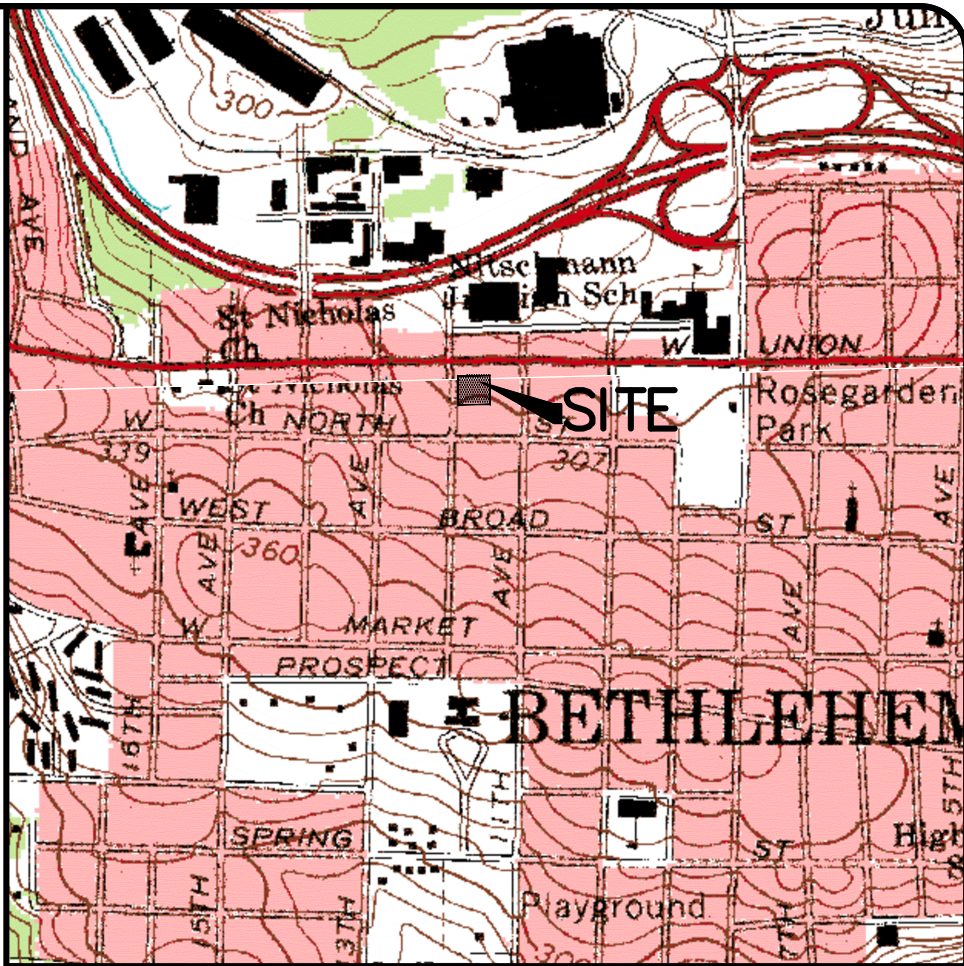
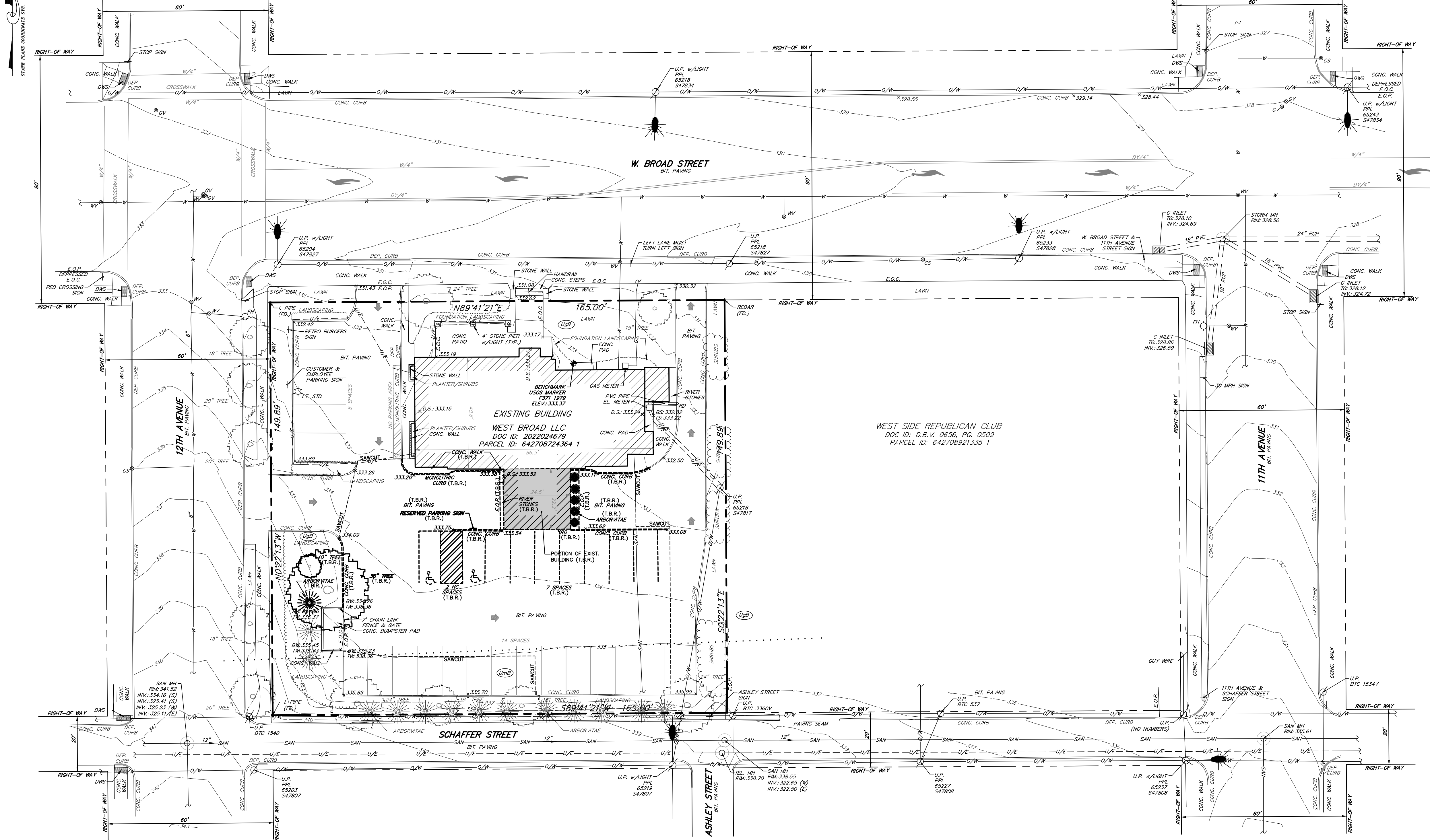




STATE PLANE COORDINATE SYS



LOCATION MAP
ALLENTOWN EAST PA QUADRANGLE
& CATASAUQUA QUADRANGLE
SCALE: 1"=1000'

SITE DATA:

OWNER: WEST BROAD LLC
OWNER ADDRESS: 1989 W. POINT DRIVE
BETHLEHEM, PA 18015
jclun728@gmail.com
917-365-5497
SITE ADDRESS: 1223 W. BROAD STREET
BETHLEHEM, PA 18018
DEED REFERENCE: DOC ID 2022024679
PARCEL ID: 642708724364 1
WARD 13, LOT 3
OLD PARCEL ID: 03 13 G11NWC 014 001
TOTAL AREA: 24,731 S.F. = 0.5677 AC.
EXISTING BUILDING COVERAGE: 15.7%
PROPOSED BUILDING COVERAGE: 26.7%
EXISTING IMPERVIOUS COVERAGE: 75.7%
PROPOSED IMPERVIOUS COVERAGE: 75.9%
SEWER: MUNICIPAL
WATER: MUNICIPAL
DATUM: NORTH AMERICAN VERTICAL DATUM 1988
(NAVD 88)

ZONING DATA:

DISTRICT: CL - LIMITED COMMERCIAL DISTRICT
EXISTING USE: RESTAURANT
PROPOSED USE: RESTAURANT & MULTI-FAMILY DWELLING/APARTMENTS
MINIMUM LOT AREA: 2,000 S.F.
MINIMUM LOT WIDTH: 20 FT.
MINIMUM YARDS:
FRONT: 0 FT. - (NO NEW VEHICLE PARKING SPACES SHALL BE LOCATED BETWEEN THE FRONT LOT LINE ALONG A PUBLIC STREET AND THE FRONT OF A PRINCIPAL BUILDING.)
SIDE: 4 FEET
REAR: 10 FEET
MAXIMUM PERCENT BLDG. COVERAGE: 80%
MAXIMUM PERCENT IMPER. COVERAGE: 90%
MAXIMUM HEIGHT (ALL USES): 5 STORIES OR 60 FT.
ZONING NOTE:
ZONING DATA PROVIDED IS BASED ON AN INTERPRETATION OF THE ZONING ORDINANCE BY THE PLAN PREPARER AND IS SUBJECT TO CONFIRMATION BY THE APPROPRIATE MUNICIPAL OFFICIAL.

LEGEND

PROPERTY BOUNDARY	EXISTING
LOT LINE	
LEGAL RIGHT-OF-WAY	
CURBING	DEPRESSED CURB
BUILDING	EXIST. BUILDING
UTILITY POLE	U.P.
OVERHEAD WIRES	O/W
UNDERGROUND ELECTRIC	U/E
UNDERGROUND FIBER OPTICS	U/F
WATER MAIN & VALVE	W
CURB STOP	CS
FIRE HYDRANT	FH
GAS MAIN & VALVE	GV
SANITARY LINE, MANHOLE, & CLEANOUT	EXIST. MH SAN
STORM LINE, MANHOLE, & INLET	EXIST. MH
CHAIN-LINK FENCE	CHAIN-LINK FENCE
SIGN TYPES	
EVERGREEN TREE	
LANDSCAPING	
CONTOUR	590
SPOT ELEVATION	590.53
EDGE OF PAVEMENT	E.O.P.
EDGE OF CARTWAY	E.O.C.
BITUMINOUS	BIT.
TYPICAL	(TYP.)
DOOR SILL	D.S.
DETECTABLE WARNING SYSTEM	DWS

SOIL CLASSIFICATIONS

- Urban
Urban Land
0-8% Slope
Urban Land-Duffield Complex
0-8% Slope

NOTE:
VERTICAL TEXT INDICATES PROPOSED FEATURES
SLANTED TEXT INDICATES EXISTING FEATURES
0 20' 40' 60'
SCALE: 1"=20'



Know what's below.
Call before you dig.

NOTE:

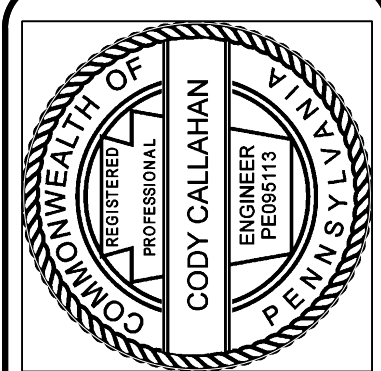
*PURSUANT TO THE REQUIREMENTS OF PA ACT 287, AS AMENDED, ISETT CONTACTED ONE CALL, INC. FOR A DESIGN PHASE LOCATION REQUEST. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE-GROUND EXAMINATIONS OF THE SITE. COMPLETENESS, ACCURACY, LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. THE CONTRACTORS, AT LEAST THREE (3) DAYS PRIOR TO PERFORMING ANY EXCAVATIONS, SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS AND DEPTHS OF ALL UNDERGROUND FACILITIES LOCATED WITHIN THE VICINITY OF THE WORK SITE IN ACCORDANCE WITH ACT 121. (PA ONE CALL SYSTEM, INC. 1-800-242-1776).

THE SITE SERIAL NUMBER IS 20240751114.

LIST OF USERS:

- BETHLEHEM CITY
- PPL ELECTRIC UTILITIES CORPORATION
- SERVICE ELECTRIC CABLE TV INC.
- UGI UTIL LEHIGH HAZELTON
- VERIZON PENNSYLVANIA LLC

BY	
DATE	
REVISIONS	



610.398.0904
baryisett.com
5420 Crackersport Road
Allentown, PA 18104



EXISTING FEATURES / DEMOLITION PLAN
1223 W. BROAD STREET
MINT APARTMENTS
CITY OF BETHLEHEM
LEHIGH COUNTY, PA

DATE:	4/2/2025	DSGN:	
SCALE:	1"=20'	CHK:	CDC
DRAWN:	DFG	APPRD:	CDC
JOB:	1004124.000	P MGR:	CDC
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SHEET: 2 of 9			

EF-1



SITE SERIAL #20240751114



1. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBANCE IS ALLOWED IN THE TREE PROTECTION ZONE UNLESS INSTALLED ON THE PLAN.
2. BURIALS MUST BE COMPLETED PRIOR TO ANY DESTRUCTION AND/OR CONSTRUCTION ACTIVITY.
3. THE ROOT PROTECTION ZONE SHALL BE THE AREA ENCOMPASSED BY A CIRCLE WITH A RADIUS EXTENDING 1.25 FT. FROM THE TRUNK OF THE TREE FOR EVERY INCH OF TREE DIAMETER.
4. VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO PENALTY PER CITY ORDINANCE.
5. ALL TREES ON PUBLIC PROPERTY ARE PROTECTED BY ORDINANCE; NO PRUNING, REMOVAL, OR CUTTING OF ROOTS OVER ONE INCH IN DIAMETER, AND/OR TREE REMOVAL IS TO BE PERFORMED WITHOUT A PERMIT AND WORK MUST BE PERFORMED BY A CITY LICENSED TREE CONTRACTOR.
6. ALL PLANT MATERIALS ARE TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
7. STREET AND PARKING LOT TREES SHALL BE A MINIMUM OF 14" IN HEIGHT AND 4" IN DBH. MEASURED 4' FROM THE FIRST LATERAL BRANCH AT 7' ABOVE THE ROOT BALL. TREES WITH AN UPRIGHT BRANCHING HABIT, SUCH AS ZELKOVA, MAY HAVE THE FIRST LATERAL BRANCH AT 6' ABOVE THE ROOT BALL.
8. ALL LANDSCAPING SHALL CONFORM TO THE CURRENT EDITION OF THE AMERICAN LANDSCAPE ARCHITECTURE SOCIETY'S SPECIFICATIONS AND STANDARDS OF PRACTICE OF THE CITY OF BETHLEHEM.

	<i>EXISTING</i>	<i>PROPOSED</i>
PROPERTY BOUNDARY	---	---
LOT LINE	---	---
BUILDING SETBACK	---	---
LEGAL RIGHT-OF-WAY	---	---
CURBING	DEPRESSED CURB	DEPRESSED CURB
BUILDING	EXIST. BUILDING	PROP. BUILDING
PAVEMENT		
CONCRETE WALKWAY		
SOIL BOUNDARY
UTILITY POLE	U.P.	
OVERHEAD WIRES	O/W	
UNDERGROUND ELECTRIC	U/E	
UNDERGROUND FIBER OPTICS	U/F	
WATER MAIN & VALVE	WV	
CURB STOP	CS	
FIRE HYDRANT	FH	
GAS MAIN & VALVE	GV	
SANITARY LINE, MANHOLE, & CLEANOUT	EXIST. MH SAN CO	
STORM LINE, MANHOLE, & INLET	EXIST. MH EXIST. INLET	
CHAIN-LINK FENCE	CHAIN-LINK FENCE	
SIGN TYPES		
DECIDUOUS TREE		1 AR
EVERGREEN TREE		1 PS
LANDSCAPING		
CONTOUR	590 X 590.53	590 590.53
SPOT ELEVATION		
EDGE OF PAVEMENT	E.O.P.	
EDGE OF CARTWAY	E.O.C.	
BITUMINOUS	BIT.	
TYPICAL	(TYP.)	(TYP.)
DOOR SILL	D.S.	D.S.
FINISHED FLOOR	F.F.	F.F.
DETECTABLE WARNING SYSTEM	DWS	
TO BE REMOVED		(T.B.R.)
TO REMAIN		(REM.)
TO BE REPLACED		(REP.)
RELOCATE		(REL.)
NOTE:		
VERTICAL TEXT INDICATES PROPOSED FEATURES		
SLANTED TEXT INDICATES EXISTING FEATURES		
	0' 20' 40' 60'	
	SCALE: 1" = 20'	

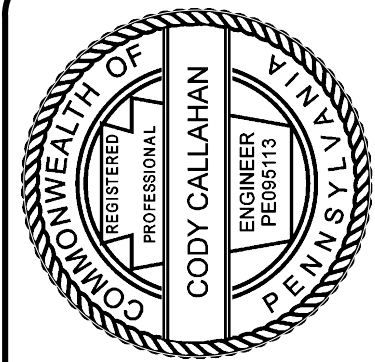
GRADING PLAN

1223 W. BROAD STREET
MINT APARTMENTS
CITY OF BETHLEHEM
LEHIGH COUNTY, PA

DATE: 4/2/2025	DSGN:
SCALE: 1"=20'	CHK: CDC
DRAWN: DFG	APPRD: CDC
JOB: 1004124.000	P MGR: CDC
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SHEET: 3 of 9

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☎ 610.398.0904

barrisett.com

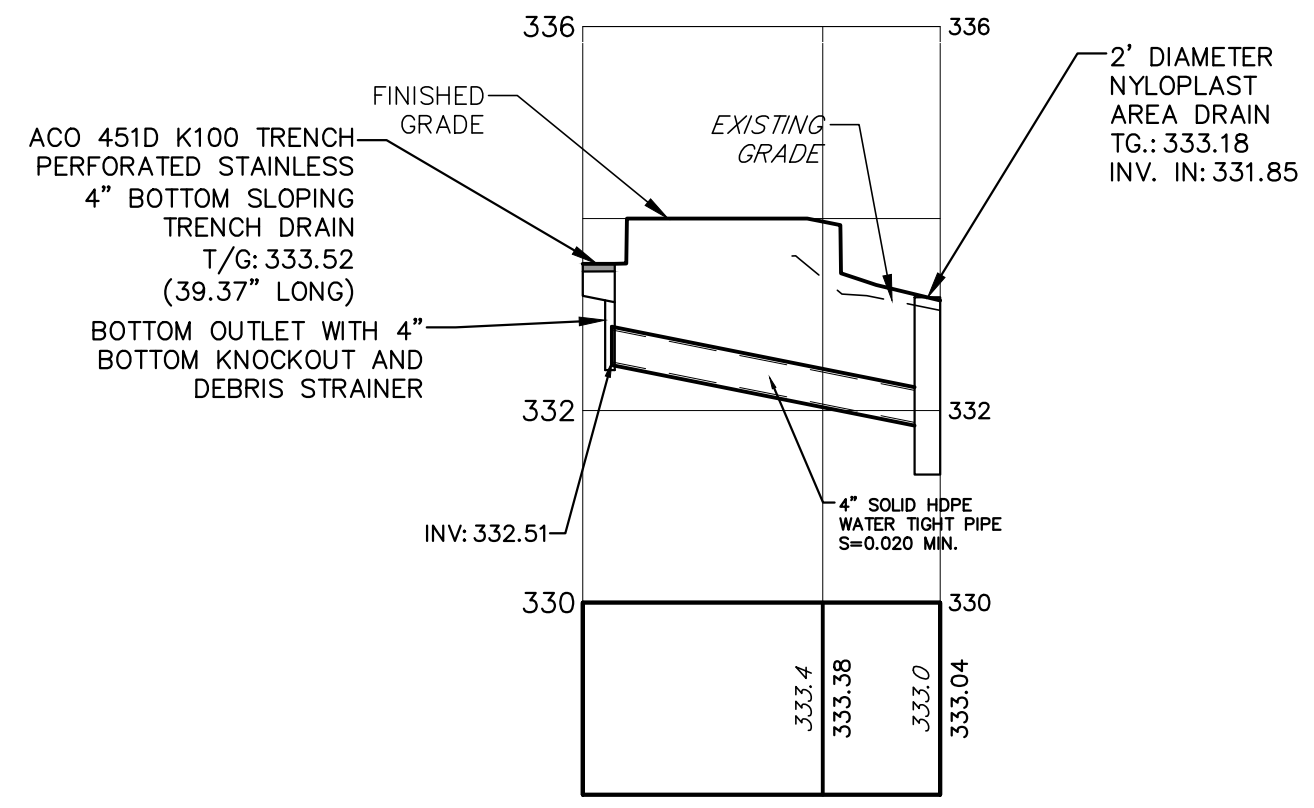
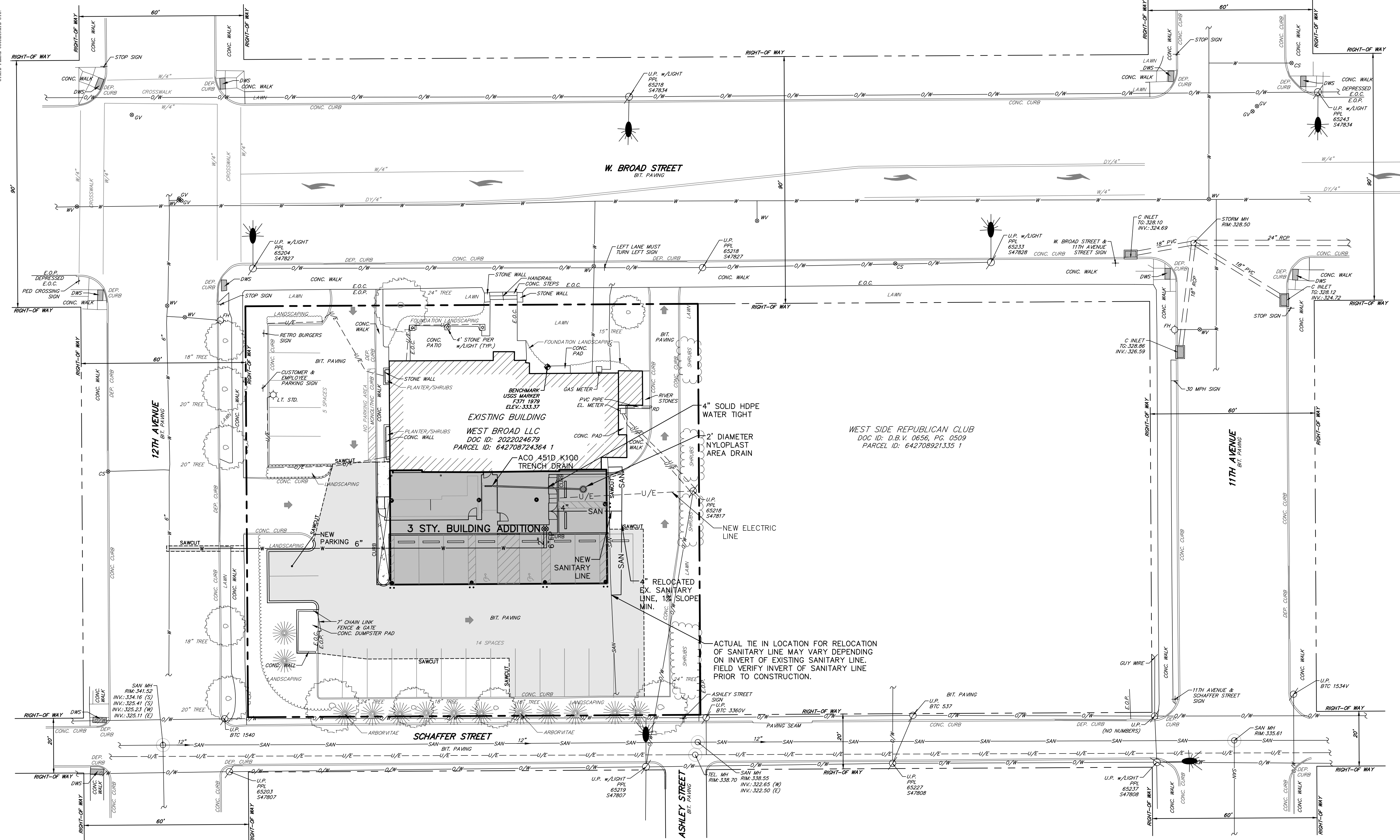
5420 Crackersport Road
Allentown, PA 18104



	OC	OC	OC	OC
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LEHIGH COUNTY, PA

\\ENNAME: C:\Users\afrafi\Documents\Borrowell and Associates\1004124\000_Min(Geotec)-Add\Addition\Project_Electrical\Brd\04_CorridorPlan.dwg -- Acad 2 2015, 9:29 AM



STORM SEWER SYSTEM DETAIL
STA.: 0+00 TO 0+37.23
SCALE: 1"=30'(H), 1"=3'(V)
SIDE VIEW

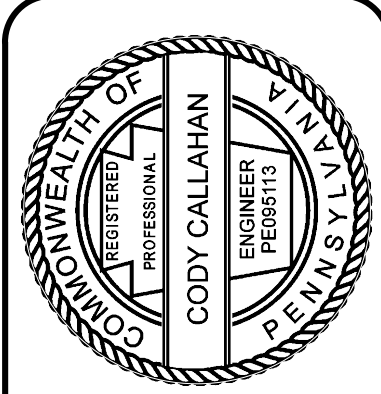
STORM SEWER NOTE:

OWNER TO INSPECT AND MAINTAIN TRENCH DRAIN AND AREA DRAIN TO ENSURE THAT BOTH STRUCTURES PROPERLY DRAIN

LEGEND

	EXISTING	PROPOSED
PROPERTY BOUNDARY	---	---
LOT LINE	---	---
BUILDING SETBACK	---	---
LEGAL RIGHT-OF-WAY	---	---
CURBING	---	---
BUILDING	EXIST. BUILDING	PROP. BUILDING
PAVEMENT	---	---
CONCRETE WALKWAY	---	---
SOIL BOUNDARY	---	---
UTILITY POLE	---	---
OVERHEAD WIRES	---	---
UNDERGROUND ELECTRIC	---	---
UNDERGROUND FIBER OPTICS	---	---
WATER MAIN & VALVE	---	---
CURB STOP	---	---
FIRE HYDRANT	---	---
GAS MAIN & VALVE	---	---
SANITARY LINE, MANHOLE, & CLEANOUT	---	---
STORM LINE, MANHOLE, & INLET	---	---
CHAIN-LINK FENCE	---	---
SIGN TYPES	---	---
DECIDUOUS TREE	---	---
EVERGREEN TREE	---	---
LANDSCAPING	---	---
CONTOUR	---	---
SPOT ELEVATION	---	---
EDGE OF PAVEMENT	---	---
EDGE OF CARTWAY	---	---
BITUMINOUS	---	---
TYPICAL	---	---
DOOR SILL	---	---
FINISHED FLOOR	---	---
DETECTABLE WARNING SYSTEM	---	---
TO BE REMOVED	---	---
TO REMAIN	---	---
TO BE REPLACED	---	---
RELOCATE	---	---
NOTE:	---	---
VERTICAL TEXT INDICATES PROPOSED FEATURES	---	---
SLANTED TEXT INDICATES EXISTING FEATURES	---	---

REVISIONS	DATE	BY



610.398.0904
barryisett.com
5420 Crackersport Road
Allentown, PA 18104



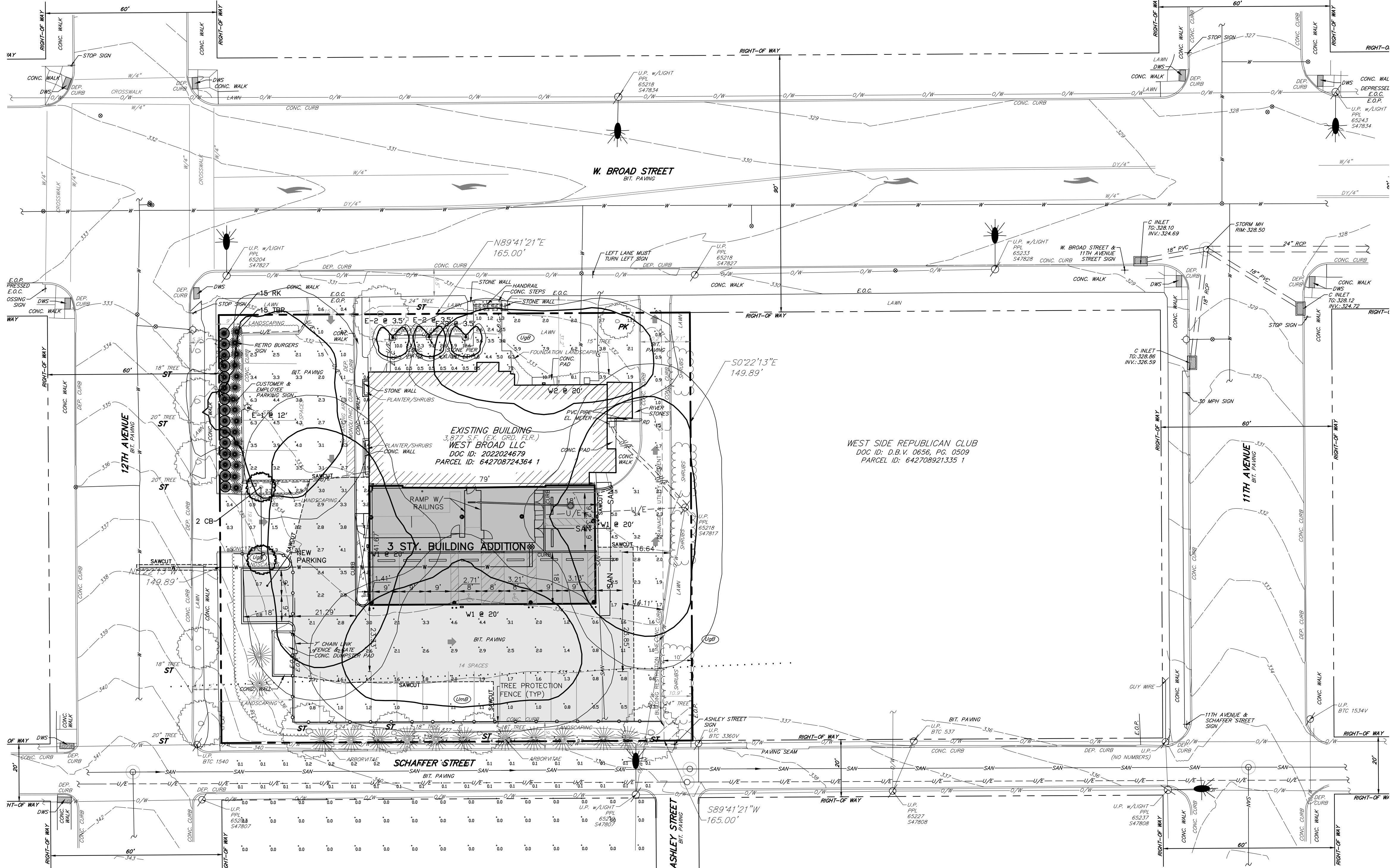
UTILITY PLAN

1223 W. BROAD STREET
MINT APARTMENTS
CITY OF BETHLEHEM
LEHIGH COUNTY, PA

DATE:	4/2/2025	DSGN:	
SCALE:	1"=20'	CHK:	CDC
DRAWN:	DFG	APPRD:	CDC
JOB:	1004124.000	P MGR:	CDC
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SHEET: 4 of 9			

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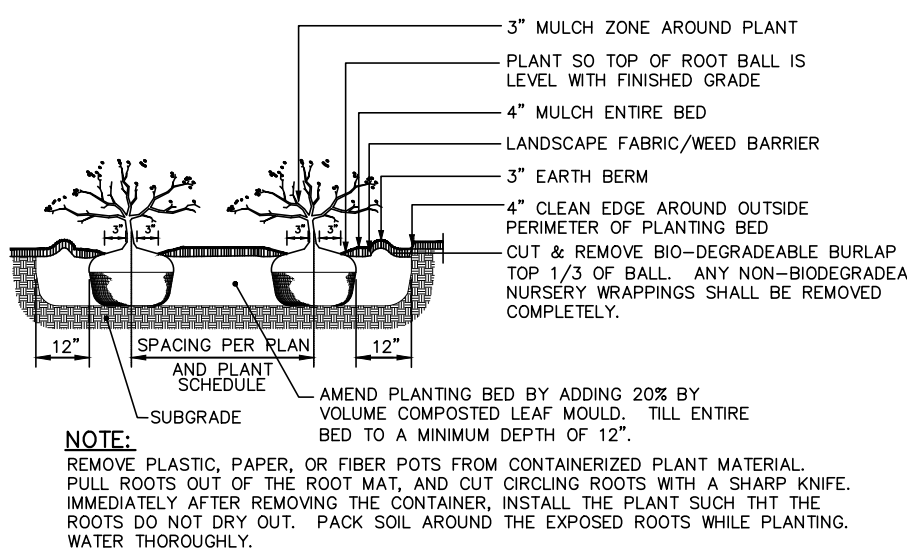




PLANT SCHEDULE

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	B&B/ CONTAINER
PROPOSED PARKING AREA LANDSCAPE						
TBR	15	Toxus baccata 'Repandens'	Spreading English Yew	2' TALL/2.5' W	4' O.C. STAGGERED	B&B
RK	15	Rhododendron kurume X 'Hino-Crimson'	Hino-Crimson Azalea	2' TALL/2.5' W	4' O.C. CONTAINER	CONTAINER
PROPOSED PARKING LOT LANDSCAPE						
CB	2	Carpinus Betulus Columnaris	Columnar Hornbeam	3" CAL	SEE PLAN	B&B

- NOTES:
- IN THE EVENT THERE IS A CONFLICT BETWEEN THE LANDSCAPING PLAN AND THE LANDSCAPING SCHEDULE, THE PLAN SHALL GOVERN
 - TREES THAT HAVE FALL PLANTING HAZARD AND SHOULD BE PLANTED IN EARLY SPRING BEFORE BID BREAK.



NOTE: REMOVE PLASTIC, PAPER, OR FIBER POTS FROM CONTAINERIZED PLANT MATERIAL. IMMEDIATELY AFTER REMOVING THE CONTAINER, INSTALL THE PLANT SUCH THAT THE ROOTS DO NOT DRY OUT. PACK SOIL AROUND THE EXPOSED ROOTS WHILE PLANTING. WATER THOROUGHLY.

SHRUB BED
N.T.S.

STREET TREE CALCULATIONS

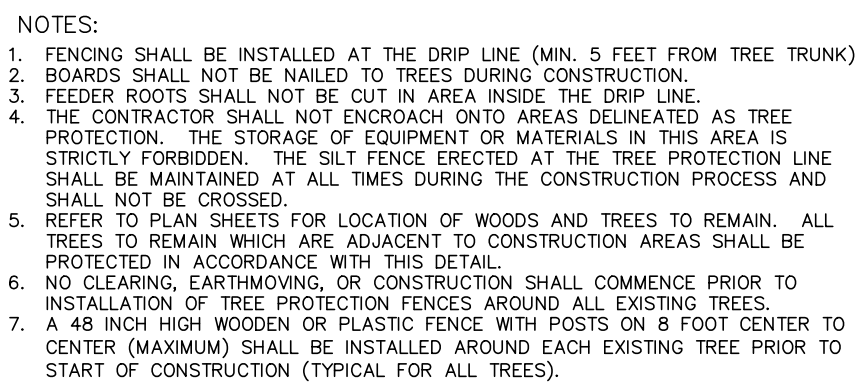
ZONING SECTION 1319.02
PLANTING REQUIREMENTS: ONE DECIDUOUS TREES PER 50 L.F. FOR TREES WITH LARGE CANOPIES.
W. BROAD ST 165 LF /50= 3.3
12TH AVE. 149.89 LF /50= 2.99
SCHAFER STREET 165 LF /50= 3.3
TREES REQUIRED: 10. EXISTING STREET TREES: 10
EXISTING STREET TREES COUNTED INDICATED WITH "ST"
EXISTING LOT LANDSCAPING CALCULATIONS
ZONING SECTION 1319.02
PLANTING REQUIREMENTS: ONE DECIDUOUS TREES FOR EVERY 15 PROPOSED PARKING SPACES.
31 PROPOSED PARKING SPACES
31 / 15 = 2.07
TREES REQUIRED: 2. TREES PROVIDED: 3
EXISTING TREES COUNTED INDICATED WITH "PK"

SALDO SECTION 1349.08(F)(1)
LANDSCAPE 10% OF THE TOTAL PARKING LOT AREA
PARKING LOT AND LOADING AREAS: 10,529 SQ. FT.
REQUIRED 10% LANDSCAPE AREA: 1,053 SQ. FT.
EXISTING AND PROPOSED LANDSCAPE AREA: 1,066 SQ. FT. (10.12%)
CALCULATIONS:
EXISTING PARKING LOT LANDSCAPING:
1 LARGE SHADE TREE 1X200+200 CREDITS
2 SMALL FLOWERING DOGWOOD TREES, 2X100+200 CREDITS
EXISTING PARKING LOT LANDSCAPING: 162 SQ. FT.
PROPOSED PARKING LOT LANDSCAPING: 504 SQ. FT.

SALDO SECTION 1349.08(F)(2)
LANDSCAPE 10% OF THE AREA
PARCEL: 2473 SQ. FT.
REQUIRED 10% LANDSCAPE AREA: 247.3 SQ. FT.
EXISTING LANDSCAPE AREA: 2,674 SQ. FT. (10.81%) EXCLUDING BUFFER PLANTINGS, STREET TREES OUTSIDE OF THE ROW AND FRONT OR SIDE FOUNDATION PLANTINGS
CALCULATIONS:
TREES REQUIRED: 2. TREES PROVIDED: 3
EXISTING TREES COUNTED INDICATED WITH "PK"

BUFFER REQUIREMENTS

ZONING SECTION 1319.02(V)(2)
REQUIRED: EVERGREEN TREES AND SHRUBS REQUIRED.
SHRUBS MIN. 4' TALL WHEN INSTALLED.
EXISTING DENSE EVERGREEN 10' TALL GREEN GIANT ARBORVITAE BETWEEN PROPERTY AND RESIDENCE TO THE SOUTH.



NOTES:

- FENCING SHALL BE INSTALLED AT THE DRIP LINE (MIN. 5 FEET FROM TREE TRUNK).
- BOARDS SHALL NOT BE NAILED TO TREES DURING CONSTRUCTION.
- FEEDER ROOTS SHALL NOT BE CUT IN AREA INSIDE THE DRIP LINE.
- THE CONTRACTOR SHALL NOT ENCROACH ONTO AREAS DELINEATED AS TREE PROTECTION. THE STORAGE OF EQUIPMENT OR MATERIALS IN THIS AREA IS STRICTLY FORBIDDEN. THE 5/8" FENCE ERECTED AT THE TREE PROTECTION LINE SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROCESS AND SHALL NOT BE CROSSED.
- REFER TO PLAN SHEETS FOR LOCATION OF WOODS AND TREES TO REMAIN. ALL TREES TO REMAIN WHICH ARE ADJACENT TO CONSTRUCTION AREAS SHALL BE PROTECTED IN ACCORDANCE WITH THIS DETAIL.
- NO CLEARING, EXCAVATING, OR CONSTRUCTION SHALL COMMENCE PRIOR TO INSTALLATION OF TREE PROTECTION FENCES AROUND ALL EXISTING TREES.
- A 48 INCH HIGH WOODEN OR PLASTIC FENCE WITH POSTS ON 8 FOOT CENTER TO CENTER (MAXIMUM) SHALL BE INSTALLED AROUND EACH EXISTING TREE PRIOR TO START OF CONSTRUCTION (TYPICAL FOR ALL TREES).

TREE PROTECTION / CONSTRUCTION FENCE DETAIL

NOT TO SCALE

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
○	E-2	3	Acuity Lighting	RADB P2 30K ASY DDBXD	RADB P2 30K ASY DDBXD	1	534	0.9	8
□	W1	3	Lithonia Lighting	WDGE4 LED P1 70CRI R3 30K	WDGE4 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 70CRI, TYPE 3 OPTIC	1	10951	0.9	76.21
□	W2	1	Lithonia Lighting	WDGE4 LED P1 70CRI R2 30K	WDGE4 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 70CRI, TYPE 2 OPTIC	1	11174	0.9	76.21
□	E-1	1	Acuity Lighting	KAD 20C 1000 30K R4 MVDLT	KAD, 201 AMP MVDLT DRIVER, 3000K	1	7321	1	73

Notes:
Fixtures E-1 and E-2 are existing.

LANDSCAPING NOTES

- NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBANCE IS ALLOWED IN THE TREE PROTECTION ZONE UNLESS INDICATED ON THE PLAN.
- BARRICADES MUST BE INSTALLED PRIOR TO ANY DESTRUCTION AND/OR CONSTRUCTION ACTIVITY.
- THE ROOT PROTECTION ZONE SHALL BE THE AREA ENCOMPASSED BY A CIRCLE WITH A RADIUS EXTENDING 1.25 FT. FROM THE TRUNK OF THE TREE FOR EVERY INCH DBH (DIAMETER AT BREAST HEIGHT) OF THE TREE.
- VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO PENALTY PER CITY ORDINANCE.
- ALL TREES ON PUBLIC PROPERTY ARE PROTECTED BY ORDINANCE: NO PRUNING, ROOT PRUNING OF ROOTS OVER ONE INCH IN DIAMETER, AND/OR TREE REMOVAL IS TO BE PERFORMED WITHOUT A PERMIT AND WORK MUST BE PERFORMED BY A CITY LICENSED TREE CONTRACTOR.
- ALL PLANT MATERIALS ARE TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- STREET AND PARKING LOT TREES SHALL BE A MINIMUM OF 14" IN HEIGHT AND HAVE A SINGLE STRAIGHT TRUNK WITH THE FIRST LATERAL BRANCH AT 7' ABOVE THE ROOT BALL. TREES WITH AN UPRIGHT BRANCHING HABIT, SUCH AS ZELKOVA, MAY HAVE THE FIRST LATERAL BRANCH AT 6' ABOVE THE ROOT BALL.
- ALL LANDSCAPING SHALL CONFORM TO THE CURRENT EDITION OF THE ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE OF THE CITY OF BETHLEHEM.

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
East Side of Building	+	2.7 Fc	5.0 Fc	1.7 Fc	2.91	1.61
entrance drive	+	2.4 Fc	4.9 Fc	0.3 Fc	16.31	8.01
Exit	+	0.9 Fc	1.9 Fc	0.3 Fc	5.01	3.01
FRONT PORCH	+	3.1 Fc	12.6 Fc	0.4 Fc	31.51	7.81
Front Steps	+	0.2 Fc	0.3 Fc	0.2 Fc	1.51	1.01
Northeast Building Side	+	4.2 Fc	10.7 Fc	1.1 Fc	9.71	3.81
Northeast Building Side	+	2.6 Fc	6.3 Fc	0.4 Fc	15.81	6.51
Schaffer St	+	0.2 Fc	0.5 Fc	0.1 Fc	5.01	2.01
South Parking Lot	+	1.7 Fc	4.6 Fc	0.3 Fc	15.31	5.71
Walkway to Canopy	+	2.7 Fc	5.6 Fc	1.0 Fc	5.61	2.71
Beyond Property Line	+	0.0 Fc	0.0 Fc	0.0 Fc	N/A	N/A

Notes:
1. Calculations taken @ ground level.
2. Surface reflectances set to 80/50/20.
3. Calculations are estimations based on information provided. Actual conditions may vary.

SITE DATA:

OWNER: WEST BROAD LLC

OWNER ADDRESS: 1989 W. POINT DRIVE
BETHLEHEM, PA 18015
jrlung728@gmail.com
917-363-5487

SITE ADDRESS: 1223 W. BROAD STREET
BETHLEHEM, PA 18018

PARKING DATA:

PARKING REGULATIONS:

- RESTAURANTS, NIGHT CLUBS, AND TAVERNS: 1 SPACE/2 EMPLOYEES, PLUS 1 SPACE/4 SEATS FOR CUSTOMERS. A USE WITHOUT SEATING SHALL INCLUDE 1 SPACE/4 PERSONS OF ALLOWED BUILDING CAPACITY UNDER FIRE CODE
- 5 EMPLOYEES = 3 SPACES
- 75 SEATS = 19 SPACES
- MULTI-FAMILY DWELLINGS/APARTMENTS WITH TWO OR FEWER BEDROOMS - 1.75 SPACES/DWELLING UNIT
- 6 DWELLING UNITS = 9 SPACES

TOTAL REQUIRED: 31 SPACES
TOTAL EXISTING: 30 SPACES
TOTAL PROVIDED: 31 SPACES.

BICYCLE PARKING REQUIREMENT: PER ARTICLE 10-100 OF THE CITY OF BETHLEHEM. REQUIRED BICYCLE PARKING SHALL BE EQUIVALENT TO THE REQUIRED STREET VEHICLE PARKING REQUIREMENT, MINUS 2 SPACES.

5% OF 31 SPACES = 1.55
TOTAL REQUIRED: 2 (LOCATION TBD BY OWNER)
TOTAL PROVIDED: 2 (LOCATION TBD BY OWNER)

PLAN PREPARED BY: BARRY ISETT & ASSOCIATES
5420 CRACKERSPORT ROAD
ALLENTOWN, PA 18104
610-398-0904

WDGE4 LED Architectural Wall Sconce



Specifications

Depth (D1): 10"
Height (D2): 2"
Width: 25"
Weight (without optional): 30.5 lbs

WDGE4 LED Family Overview

Category	Model	Power (W)	Light Output (lm)	Beam Angle	Color Temp (K)	Mounting	Notes
Wall LED	Wall LED	10W	1,200	25°	3,000K	1/2"	See notes for details.
Wall LED	Wall LED	10W	1,200	25°	3,000K	1/2"	See notes for details.
Wall LED	Wall LED	10W	1,200	25°	3,000K	1/2"	See notes for details.
Wall LED	Wall LED	10W	1,200	25°	3,000K	1/2"	See notes for details.

Ordering Information

EXAMPLE: WDGE4 LED P3 40K 70CRI R3 MVDLT SRM DDBXD

Item	Label	Quantity	Unit Price	Total Price	Notes
WDGE4 LED	P1	4	\$100.00	\$400.00	
	P2	4	\$100.00	\$400.00	
	P3	4	\$100.00	\$400.00	

Notes

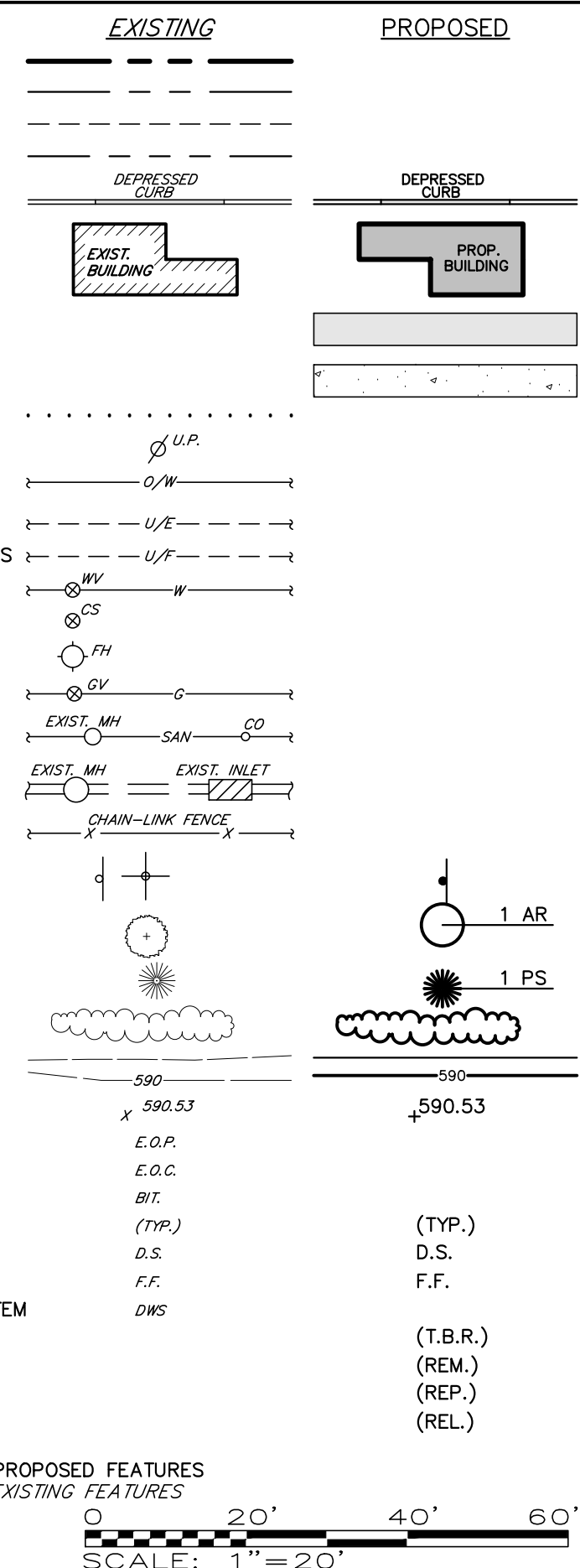
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- Product Name Type 2
- Product Name Type 3
- Product Name Type 4
- Product Name Type 5
- Product Name Type 6
- Product Name Type 7
- Product Name Type 8
- Product Name Type 9
- Product Name Type 10
- Product Name Type 11
- Product Name Type 12
- Product Name Type 13
- Product Name Type 14
- Product Name Type 15
- Product Name Type 16
- Product Name Type 17
- Product Name Type 18
- Product Name Type 19
- Product Name Type 20
- Product Name Type 21
- Product Name Type 22
- Product Name Type 23
- Product Name Type 24
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- Product Name Type 92
- Product Name Type 93
- Product Name Type 94
- Product Name Type 95
- Product Name Type 96
- Product Name Type 97
- Product Name Type 98
- Product Name Type 99
- Product Name Type 100

Accessories

- WDGE4 LED P1 40K 70CRI R3 MVDLT SRM DDBXD
- WDGE4 LED P2 40K 70CRI R3 MVDLT SRM DDBXD
- WDGE4 LED P3 40K 70CRI R3 MVDLT SRM DDBXD
- WDGE4 LED P4 40K 70CRI R3 MVDLT SRM DDBXD
- WDGE4 LED P5 40K 70CRI R3 MVDLT SRM DDBXD
- WDGE4 LED P6 40K 70CRI R3 MVDLT SRM DDBXD
- WDGE4 LED P7 40K 70CRI R3 MVDLT SRM DDBXD
- WDGE4 LED P8 40K 70CRI R3 MVDLT SRM DDBXD
- WDGE4 LED P9 40K 70CRI R3 MVDLT SRM DDBXD
- WDGE4 LED P10 40K 70CRI R3 MVDLT SRM DDBXD
- WDGE4 LED P11 40K 70CRI R3 MVDLT SRM DDBXD
- WDGE4 LED P12 40K 70CRI R3 MVDLT SRM DDBXD
- WDGE4 LED P13 40K 70CRI R3 MVDLT SRM DDBXD
- WDGE4 LED P14 40K 70CRI R3 MVDLT SRM DDBXD
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- WDGE4 LED P19 40K 70CRI R3 MVDLT SRM DDBXD
- WDGE4 LED P20 40K 70CRI R3 MVDLT SRM DDBXD
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- WDGE4 LED P98 40K 70CRI R3 MVDLT SRM DDBXD
- WDGE4 LED P99 40K 70CRI R3 MVDLT SRM DDBXD
- WDGE4 LED P100 40K 70CRI R3 MVDLT SRM DDBXD

LEGEND

- PROPERTY BOUNDARY
- LOT LINE
- BUILDING SETBACK
- LEGAL RIGHT-OF-WAY
- CURBING
- BUILDING
- PAVEMENT
- CONCRETE WALKWAY
- SOIL BOUNDARY
- UTILITY POLE
- OVERHEAD WIRES
- UNDERGROUND ELECTRIC
- UNDERGROUND FIBER OPTICS
- WATER MAIN & VALVE
- CURB STOP
- FIRE HYDRANT
- GAS MAIN & VALVE
- SANITARY LINE, MANHOLE, & CLEANOUT
- STORM LINE, MANHOLE, & INLET
- CHAIN-LINK FENCE
- SIGN TYPES



LANDSCAPE & LIGHTING PLAN

1223 W. BROAD STREET

MINT APARTMENTS

CITY OF BETHLEHEM

LEHIGH COUNTY, PA

DATE:	4/2/2025	DSGN:	
SCALE:	1"=20'	CHK:	CDC
DRAWN:	DFG	APPRD:	CDC
JOB:	1004124.000	P MGR:	CDC

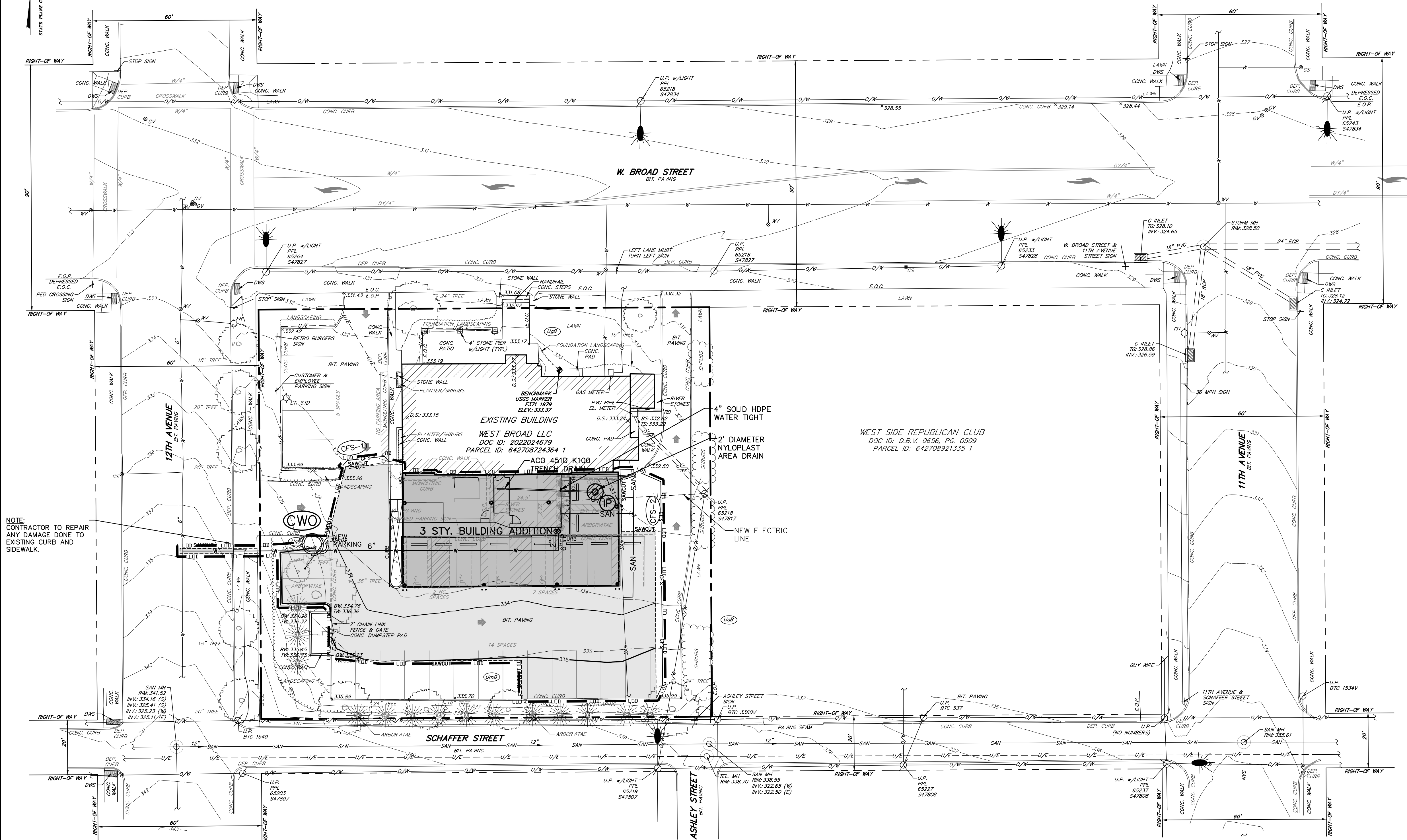
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LL-1

FILENAME: C:\Users\jrlung728\Documents\BARRY ISETT & ASSOCIATES\1004124.000_MintApartments\1004124.000_MintApartments-Landscape Lighting Plan.dwg -- April 2, 2025 9:29 AM

STATE PLANE COORDINATE SYS.



NOTE:
CONTRACTOR TO REPAIR
ANY DAMAGE DONE TO
EXISTING CURB AND
SIDEWALK.

WEST SIDE REPUBLICAN CLUB
DOC ID: D.B.V. 0656, PG. 0509
PARCEL ID: 642708921335 1

WEST BROAD LLC
DOC ID: 2022024679
PARCEL ID: 642708724364 1

3 STY. BUILDING ADDITION

SOIL CLASSIFICATIONS

- UgB URBAN LAND
0-8% SLOPE
- UmB URBAN LAND-DUFFIELD COMPLEX
0-8% SLOPE

CONSTRUCTION SCHEDULE

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCESS IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED AT TO THOSE AREAS DESCRIBED IN EACH STAGE.

APPROXIMATE STARTING DATE FOR CONSTRUCTION: TBD
APPROXIMATE ENDING DATE FOR CONSTRUCTION: TBD

CONSTRUCTION SEQUENCE:

1. AT LEAST THREE (3) DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE CONTRACTOR SHALL NOTIFY THE PA ONE CALL SYSTEM.
 2. INSTALL COMPOST FILTER SOCKS AND CONCRETE WASHOUT AT LOCATION SHOWN ON PLANS ALONG 12TH AVENUE.
 3. BEGIN DEMOLITION OF CONCRETE SIDEWALKS, CONCRETE CURBING, AND PAVEMENT. REMOVE EXISTING TREES IN LOCATION OF PROPOSED PARKING SPOTS. ANY EXCAVATED MATERIAL GENERATED SHOULD BE IMMEDIATELY LOADED INTO TRUCKS AND TRANSPORTED OFFSITE FOR PROPER DISPOSAL.
 - ALL SIDEWALKS AND STREETS SURROUNDING THE SITE SHOULD BE INSPECTED DAILY PRIOR TO LEAVING THE SITE. IF SEDIMENT OR DEBRIS IS OBSERVED, IT SHOULD BE IMMEDIATELY REMOVED UTILIZING A STREET SWEEPER OR BY ANOTHER ACCEPTABLE METHOD.
 4. BEGIN ROUGH SITE GRADING AND INSTALLATION OF PROPOSED UTILITIES. INSTALL INLET PROTECTION AT PROPOSED NYLOPLAST AREA DRAIN.
 5. BEGIN BUILDING CONSTRUCTION
 6. BEGIN INSTALLATION OF PROPOSED CONCRETE CURBING, PROPOSED PAVING.
 7. COMPLETE FINAL GRADING AND SEEDING.
 8. ONCE DISTURBED AREAS ARE STABILIZED, REMOVE ALL REMAINING TEMPORARY E&S CONTROLS. IMMEDIATELY STABILIZE ANY AREAS DISTURBED DURING REMOVAL OF E&S CONTROLS. PERFORM ANY REPAIRS NECESSARY TO EXISTING CONCRETE CURB AND SIDEWALK LOCATED ALONG 12TH AVENUE.
- NOTE:
1. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70 PERCENT PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
2. TEMPORARY STABILIZATION SHALL BE IMPLEMENTED IN ANY DISTURBED AREA WHICH WILL BE INACTIVE FOR FOUR OR MORE DAYS.
3. ONLY UTILIZE ABACT E&S BMPS.

EROSION AND SEDIMENT CONTROL MEASURES LEGEND

- 12" COMPOST FILTER SOCK CFS
- CONCRETE WASHOUT CWO
- LIMIT OF DISTURBANCE LOD
- INLET PROTECTION IP

LIMIT OF DISTURBANCE: 0.23 ACRES

PLAN PREPARER:
CODY CALLAHAN, P.E.
C.CALLAHAN@BARRYISETT.COM
BARRY ISETT & ASSOCIATES
5420 CRACKERSPORT ROAD
ALLENTOWN, PA 18104
610-398-0904

LEGEND

- | | EXISTING | PROPOSED |
|------------------------------------|------------------|------------------|
| PROPERTY BOUNDARY | --- | --- |
| LOT LINE | --- | --- |
| BUILDING SETBACK | --- | --- |
| LEGAL RIGHT-OF-WAY | --- | --- |
| CURBING | DEP. CURB | DEP. CURB |
| BUILDING | EXIST. BUILDING | PROP. BUILDING |
| PAVEMENT | | |
| CONCRETE WALKWAY | | |
| SOIL BOUNDARY | | |
| UTILITY POLE | U.P. | U.P. |
| OVERHEAD WIRES | O/W | O/W |
| UNDERGROUND ELECTRIC | U/E | U/E |
| UNDERGROUND FIBER OPTICS | U/F | U/F |
| WATER MAIN & VALVE | W | W |
| CURB STOP | CS | CS |
| FIRE HYDRANT | GH | GH |
| GAS MAIN & VALVE | GV | GV |
| SANITARY LINE, MANHOLE, & CLEANOUT | EXST. MH | EXST. MH |
| STORM LINE, MANHOLE, & INLET | EXST. MH | EXST. MH |
| CHAIN-LINK FENCE | CHAIN-LINK FENCE | CHAIN-LINK FENCE |
| SIGN TYPES | | |
| DECIDUOUS TREE | 1 AR | 1 AR |
| EVERGREEN TREE | 1 PS | 1 PS |
| LANDSCAPING | | |
| CONTOUR | 590.53 | 590.53 |
| SPOT ELEVATION | 590.53 | 590.53 |
| EDGE OF PAVEMENT | E.O.P. | E.O.P. |
| EDGE OF CARTWAY | E.O.C. | E.O.C. |
| BITUMINOUS | BT. | BT. |
| TYPICAL | (TYP.) | (TYP.) |
| DOOR SILL | D.S. | D.S. |
| FINISHED FLOOR | F.F. | F.F. |
| DETECTABLE WARNING SYSTEM | DWS | DWS |
| TO BE REMOVED | | (T.B.R.) |
| TO REMAIN | | (REM.) |
| TO BE REPLACED | | (REP.) |
| RELOCATE | | (REL.) |
- NOTE:
VERTICAL TEXT INDICATES PROPOSED FEATURES
SLANTED TEXT INDICATES EXISTING FEATURES
- SCALE: 1" = 20'

EROSION & SEDIMENTATION CONTROL PLAN
1223 W. BROAD STREET
MINT APARTMENTS
CITY OF BETHLEHEM
LEHIGH COUNTY, PA

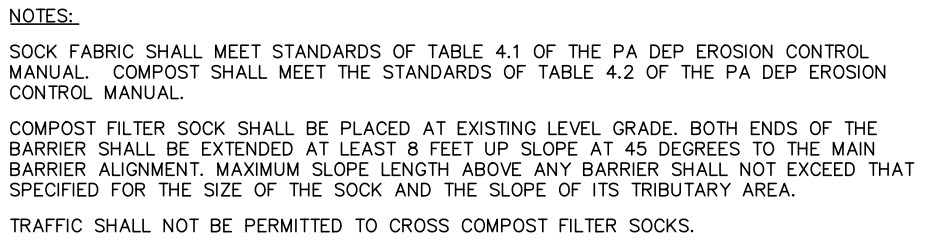
DATE:	4/2/2025	DSGN:	
SCALE:	1"=20'	CHK:	CDC
DRAWN:	DFG	APPRD:	CDC
JOB:	1004124.000	P MGR:	CDC

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ES-1



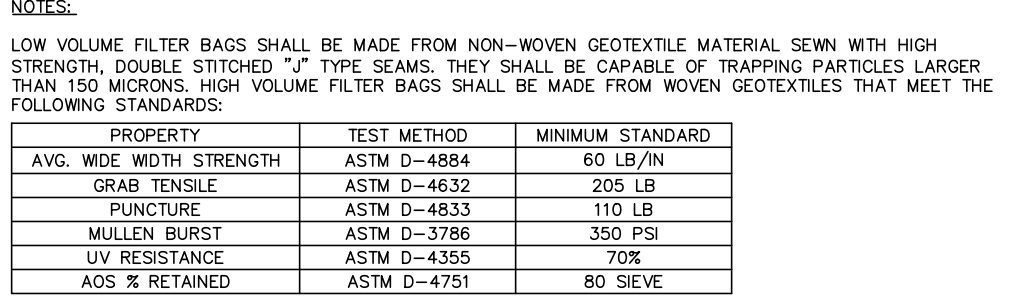
Know what's below.
Call before you dig.
SITE SERIAL #20240751114



Organic Matter Content	25%-100% (dry weight basis)
Organic Portion	Fibrous and elongated
pH	5.5-8.5
Moisture Content	30%-60%
Particle Size	30%-50% pass through 3/8" sieve
Soluble Salt Concentration	5.0 dS/m (mmhos/cm) Maximum

NOTES:

1. THE PHYSICAL PARAMETERS OF THE COMPOST SHOULD COMPLY WITH THE STANDARDS IN TABLE 4.2. THE STANDARDS CONTAINED IN THE PENNDOT PUBLICATION 408 ARE AN ACCEPTABLE ALTERNATIVE.
2. COMPOST SHALL BE TESTED AND TEST RESULTS SHALL BE PROVIDED TO THE COUNTY CONSERVATION DISTRICT FOR REVIEW PRIOR TO UTILIZING COMPOST AT THE SITE.



PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

STANDARD CONSTRUCTION DETAIL #3-16
PUMPED WATER FILTER BAG
NOT TO SCALE

SOILS INFORMATION FACT SHEET

Date: 5/9/2024

SOIL							SUITABILITY				SOIL CONDITIONS FOR CONSTRUCTION			
SYMBOL NAME	TEXTURE	SLOPE %	HYDRO. SOIL GROUP	HYDRIC (INCLUS- IONS)	HYDRIC COMPON- ENT	ERODIBILITY K	DEPTH OF WATER TABLE (Table 4)	DEPTH TO BEDROCK (FT) (Table 4)	WINTER GRADING YES/NO (Table 5)	FROST HEAVING LOW/HIGH Table 5	WATERWAYS (Table 5)	BUILDING SITE (Table 5)	ROADFILL (Table 5)	TOPSOIL (Table 5)
UgB Urban Land	-	0 - 8 %	N/A	-	-	-	> 6.5	> 6.5		Not Rated	---	Not Rated	Not Rated	Not Rated
UmB Urban Land - Duffield complex	Silt loam	0 - 8 %	B	-	-	-	> 6.5	6.5	Poor to Fair	Not Rated	---	Not Limited	Not Rated	Not Rated

Job #: 1004124.000		SOILS LIMITATIONS & RESOLUTIONS SHEET				Date: 5/9/2024
Project Name:						COUNTY: Lehigh
LOCATION: City of Allentown						
SOIL	CHARACTERISTICS		LIMITATIONS	RESOLUTIONS	COMMENTS	
	SINKS	SINK HOLES	RESERVOIR AREAS BUILDING SITES ROADWAYS	PLUG SINK HOLE DETAILS FOR INLETS, PIPES & SWALES LINER FOR DETENTION BASINS / PONDS RELOCATE BASIN LIMIT DETENTION TIME REVISE DESIGN - RELOCATE ROADWAY	SEE DETAIL SHEET SINKHOLE REPAIR DETAILS DRY BASIN	
	FERTILITY	LOW		SOIL TESTS SELECT TOLERANT SPECIES	SEE SEEDING WORKSHEETS AND DETAIL SHEET NOTES	
	DRY	DROUGHTY	VEGETATIVE GROWTH LANDSCAPING	SELECT TOLERANT SPECIES IRRIGATION	SEE SEEDING WORKSHEETS AND DETAIL SHEET NOTES	

1223 W. BROAD STREET
MINT APARTMENTS
CITY OF BETHLEHEM
LEHIGH COUNTY, PA

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50

ESD-2

