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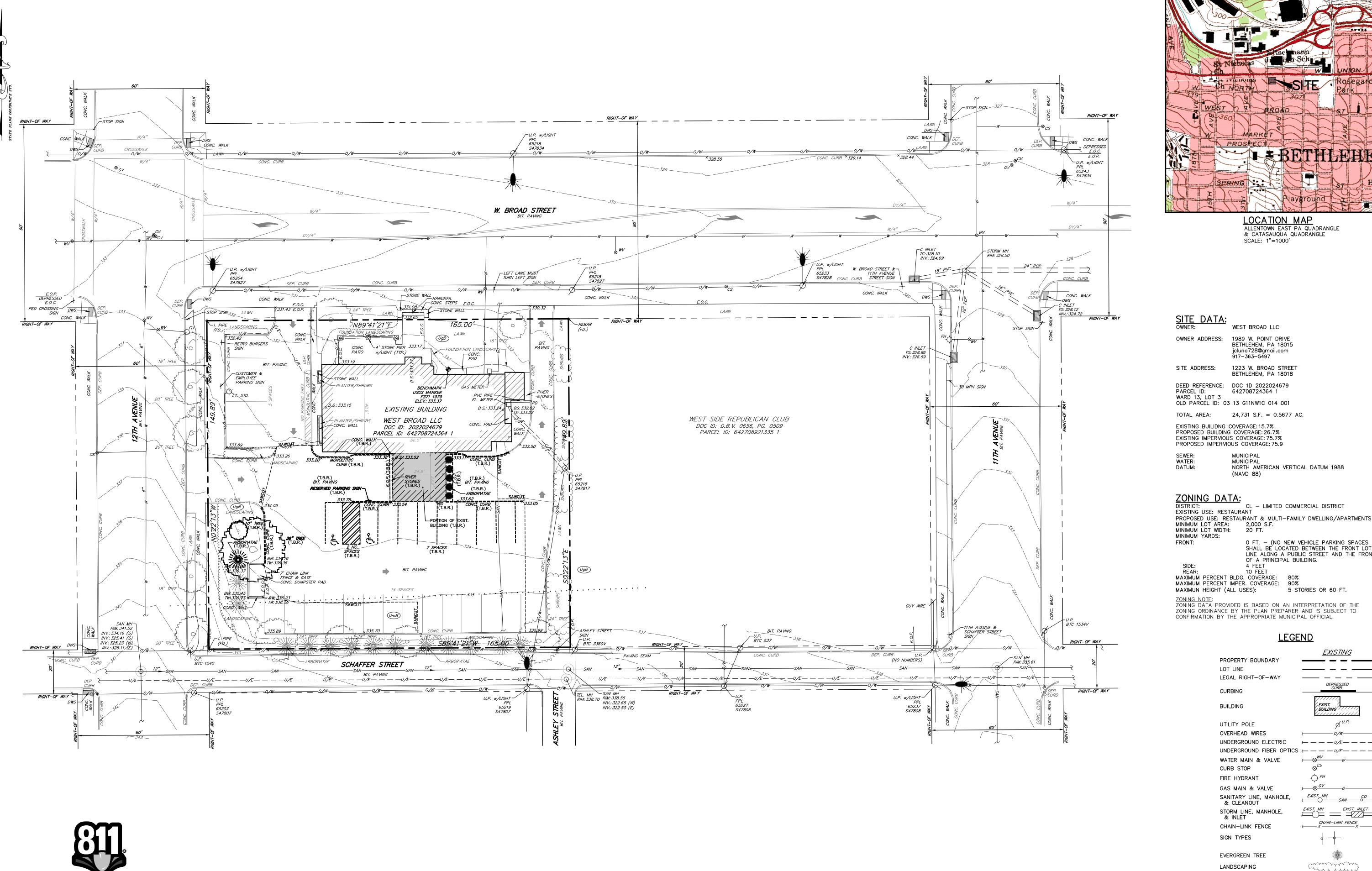
4/2/2025

1"=20'

DFG

SHEET: 1 of 9

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SOIL CLASSIFICATIONS URBAN LAND 0-8% SLOPE

URBAN LAND-DUFFIELD COMPLEX 0-8% SLOPE

EDGE OF PAVEMENT E.O.P. EDGE OF CARTWAY E.O.C. BITUMINOUS TYPICAL (TYP.) DOOR SILL DETECTABLE WARNING SYSTEM

NOTE:
VERTICAL TEXT INDICATES PROPOSED FEATURES SLANTED TEXT INDICATES EXISTING FEATURES

WATER MAIN & VALVE CURB STOP FIRE HYDRANT GAS MAIN & VALVE STORM LINE, MANHOLE & INLET CHAIN-LINK FENCE SIGN TYPES EVERGREEN TREE

SANITARY LINE, MANHOLE, & CLEANOUT $\longleftarrow X \xrightarrow{CHAIN-LINK \ FENCE} X \xrightarrow{} X$

 $\leftarrow ----$

mminner 1 _____590-----X 590.53

LANDSCAPING CONTOUR SPOT ELEVATION

LOCATION MAP

SCALE: 1"=1000'

WEST BROAD LLC

BETHLEHEM, PA 18015

jcluna728@gmail.com 917—363—5497

MUNICIPAL

MUNICIPAL

(NAVD 88)

2,000 S.F.

PROPERTY BOUNDARY

LEGAL RIGHT-OF-WAY

UNDERGROUND ELECTRIC

LOT LINE

CURBING

BUILDING

UTILITY POLE OVERHEAD WIRES

NORTH AMERICAN VERTICAL DATUM 1988

CL - LIMITED COMMERCIAL DISTRICT

<u>LEGEND</u>

UNDERGROUND FIBER OPTICS $\longleftarrow ----$

OF A PRINCIPAL BUILDING.

0 FT. - (NO NEW VEHICLE PARKING SPACES SHALL BE LOCATED BETWEEN THE FRONT LOT LINE ALONG A PUBLIC STREET AND THE FRONT

5 STORIES OR 60 FT.

ALLENTOWN EAST PA QUADRANGLE & CATASAUQUA QUADRANGLE

610.398.090

1004124.000

SHEET: 2 of 9

4/2/2025

1"=20'

P MGR:

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DATE:

SCALE:

DRAWN:

LIST OF USERS:

 BETHLEHEM CITY PPL ELECTRIC UTILITIES CORPORATION
 SERVICE ELECTRIC CABLE TV INC. UGI UTL LEHIGH HAZELTON

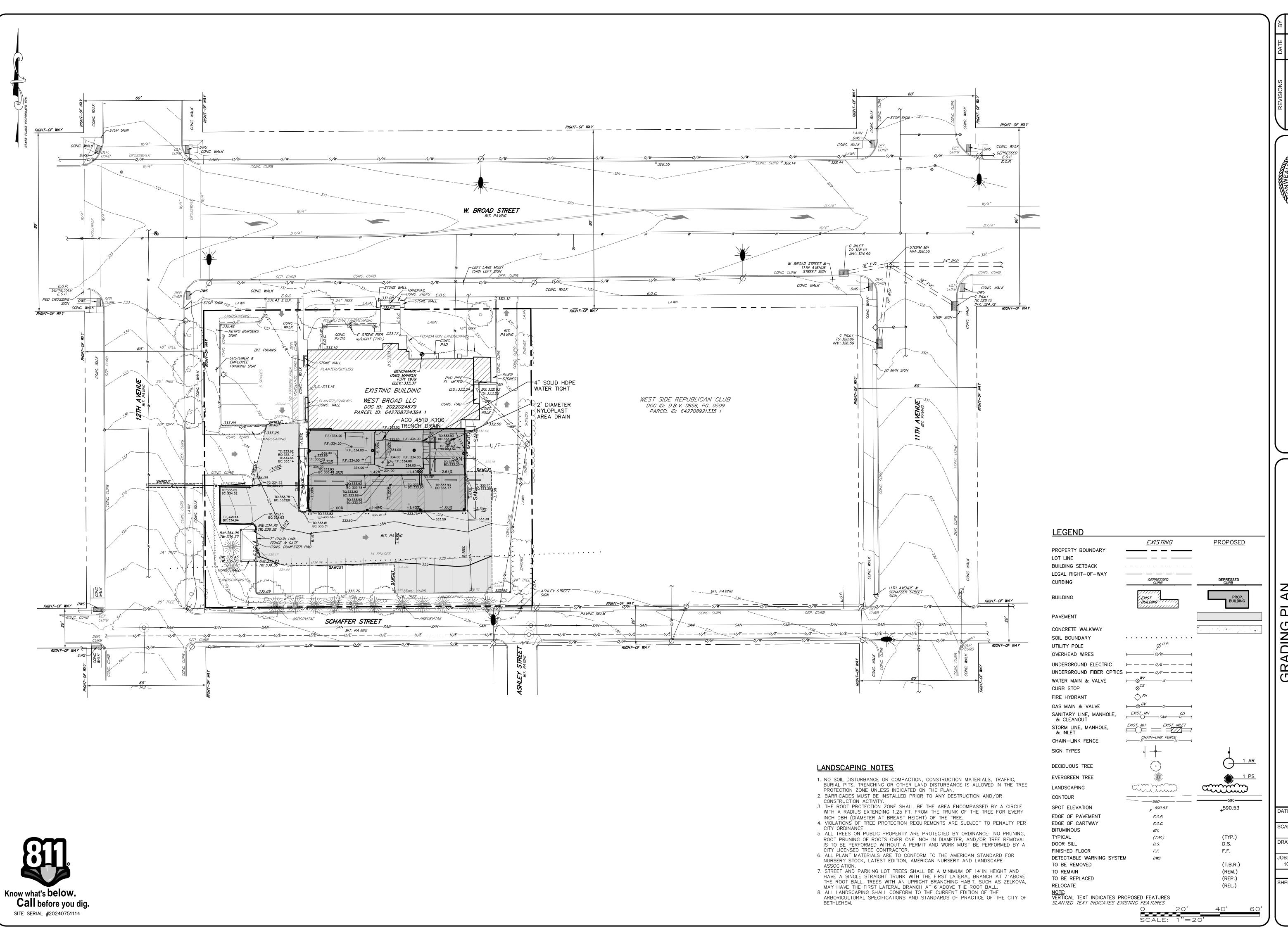
VERIZON PENNSYLVANIA LLC

Know what's below.

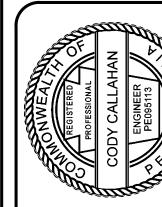
Call before you dig.

"PURSUANT TO THE REQUIREMENTS OF PA ACT 287, AS AMENDED, ISETT CONTACTED ONE CALL, INC. FOR A DESIGN PHASE LOCATION REQUEST. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE-GROUND EXAMINATIONS OF THE SITE. COMPLETENESS, ACCURACY, LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. THE CONTRACTORS, AT LEAST THREE (3) DAYS PRIOR TO PERFORMING ANY EXCAVATIONS, SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS AND DEPTHS OF ALL UNDERGROUND FACILITIES LOCATED WITHIN THE VICINITY OF THE WORK SITE IN ACCORDANCE WITH ACT 121. (PA ONE CALL SYSTEM, INC.

1-800-242-1776)." THE SITE SERIAL NUMBER IS 20240751114.



REVISIONS DATE E



610.398.0904

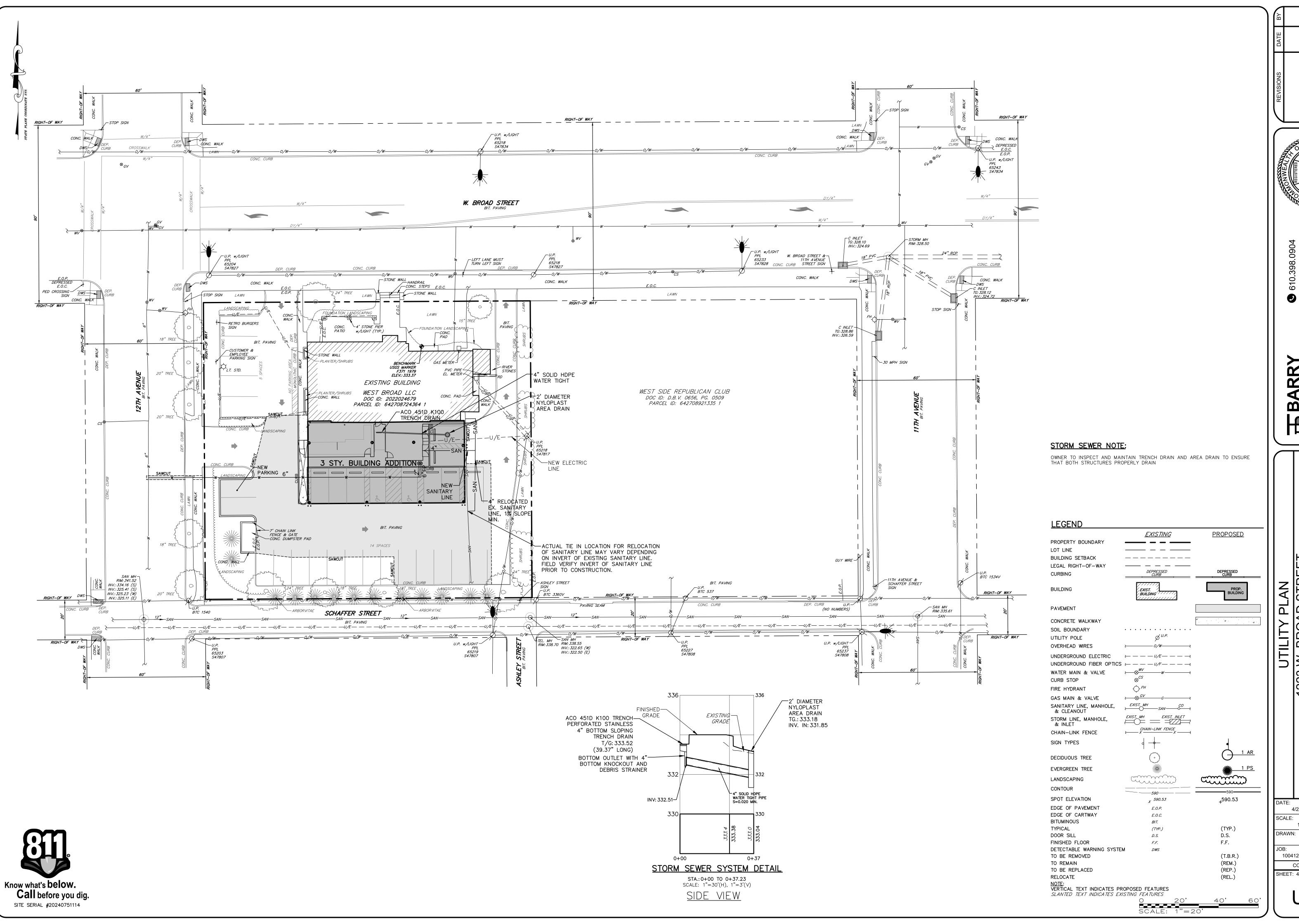
barryisett.com

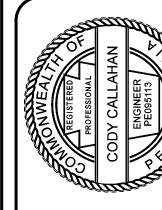
cody c.



1223 W. BROAD STREET
MINT APARTMENTS
CITY OF BETHLEHEM

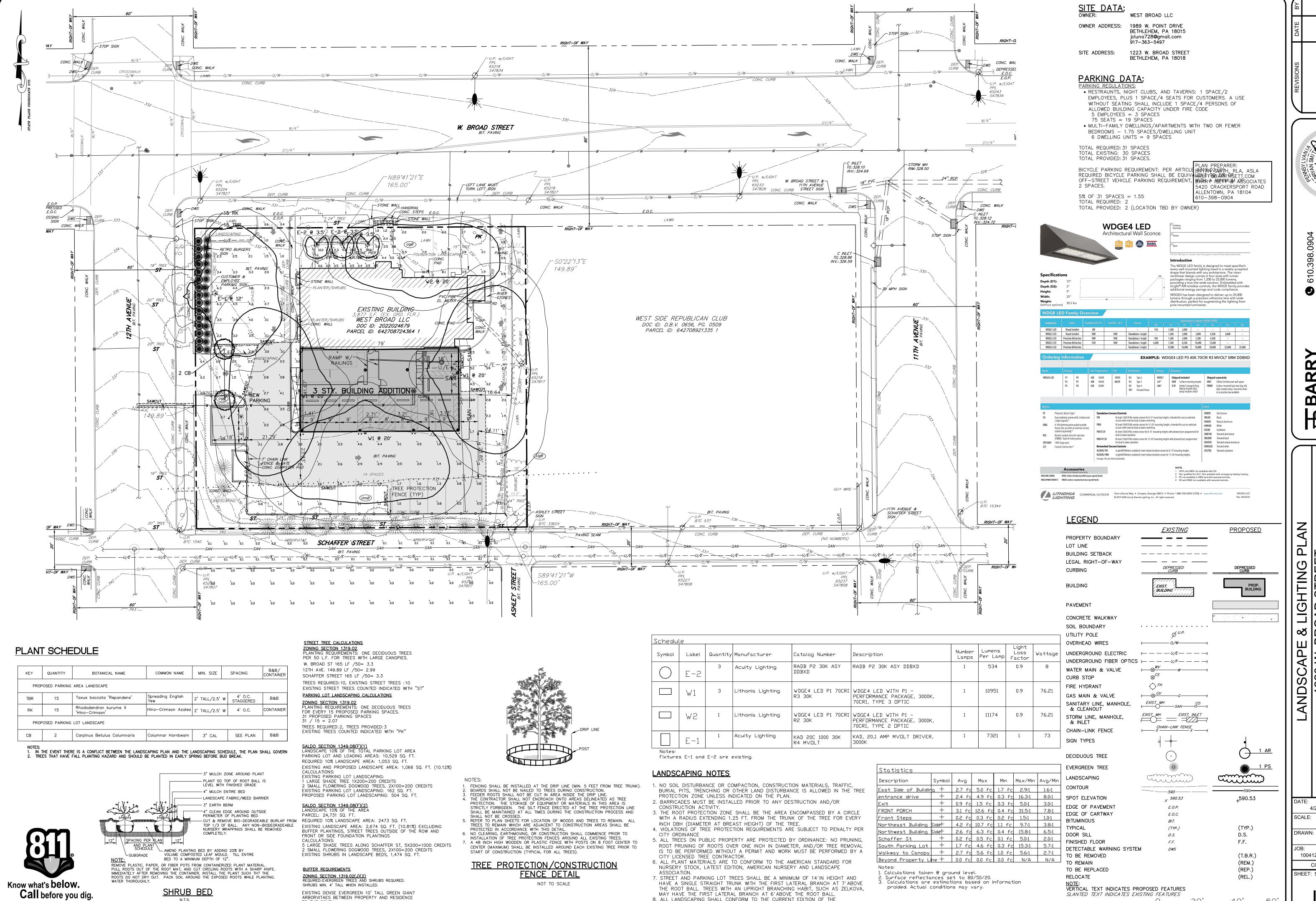
GP-1







1"=20' P MGR: 1004124.000 COPYRIGHT 2025 SHEET: 4 of 9



ARBORVITAES BETWEEN PROPERTY AND RESIDENCE

SITE SERIAL #20240751114

MAY HAVE THE FIRST LATERAL BRANCH AT 6'ABOVE THE ROOT BALL.

ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE OF THE CITY OF

8. ALL LANDSCAPING SHALL CONFORM TO THE CURRENT EDITION OF THE



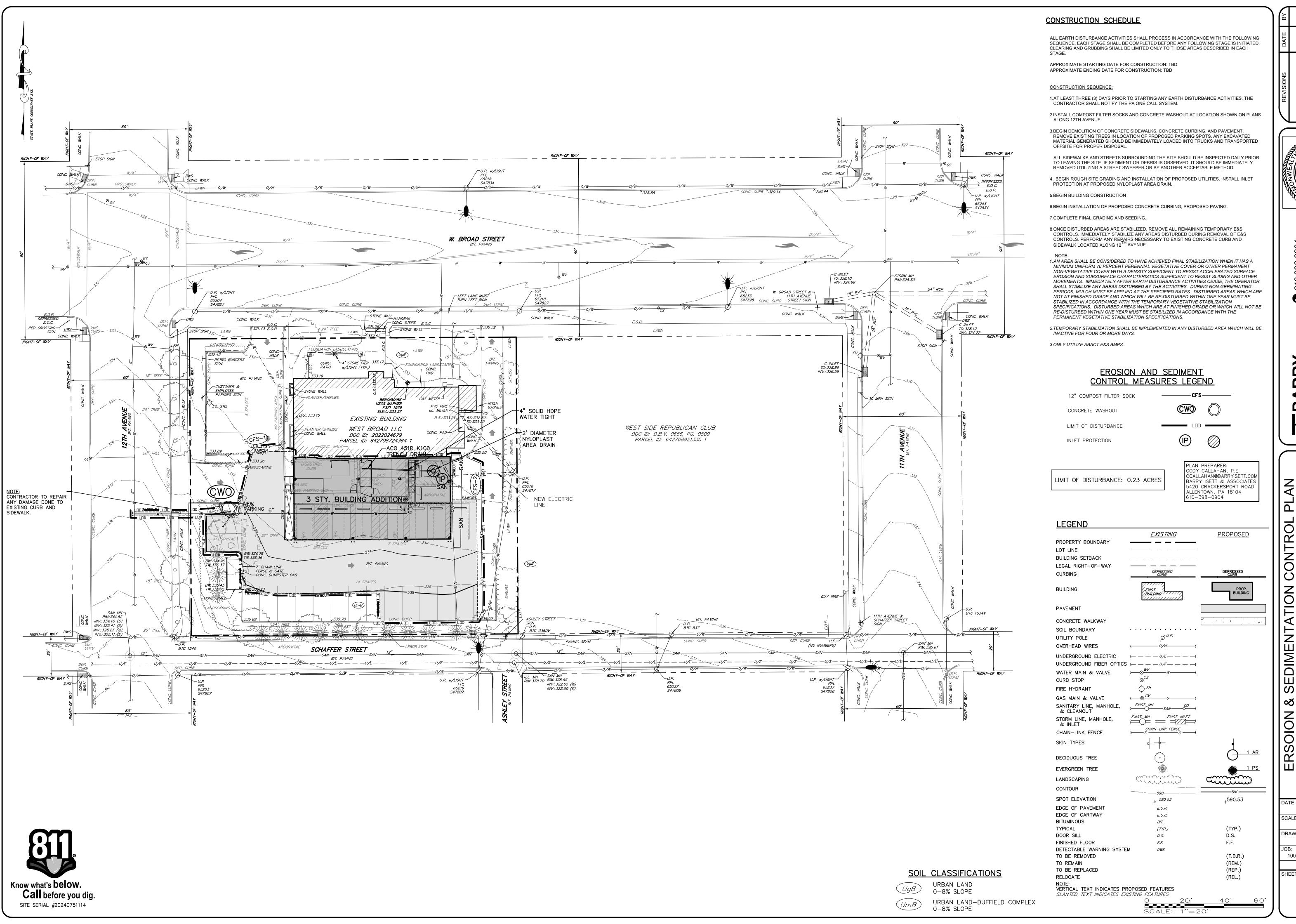
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4/2/2025 1"=20' P MGR: 1004124.000 COPYRIGHT 2025

SHEET: 5 of 9

SLANTED TEXT INDICATES EXISTING FEATURES



ISIONS DATE

CODY CALLAHAN
ENGINEER

CODY CALLAHAN
PEOSS113

barryisett.com 420 Crackersport Road Ilentown, PA 18104

BARRY
SAFETTE
SASSOCIATES
MULTI-DISCIPLINE ENGINEERS AND CONSULTANTS

SEDIMENTATION CONTRO 223 W. BROAD STREET MINT APARTMENTS

DATE:
4/2/2025

SCALE:
1"=20'
CDC

DRAWN:
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CDC

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ES-1

STANDARD EROSION & SEDIMENT CONTROL PLAN NOTES CLEAN FILL NOTES: ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THI OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE POSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION 3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING LINDERGROUND LITHLITIES ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE O. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, . ALL OFF—SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED. AT MONTHLY INTERVALS THEREAFTER, INSPECTIONS AND NECESSARY CLEANING WILL BE DONE 2. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING 3. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON—DISTURBED AREAS. H. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. THE OPERATOR WILL MAINTAIN AND MAKE AVAILABLE TO LEHIGH COUNTY CONSERVATION DISTRICT COMPLETE, WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. I HE E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE 15. A LOG SHOWING DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT 6. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER. 7. ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES. 18. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.). ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES. 20. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS. 21. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS 2. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS. 23. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES. 24. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD. 25. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN. 5. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-CERMINATING MONTHS, MULCH OR OTHER PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH IOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION 7. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR MOTHER MOVEMENTS. 28. EROSION AND SEDIMENT BMPS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPS. E&S BMPS SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE 29. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPS. 30. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPS. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPS SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS. SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON. 1. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION. 2. FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT—LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPS MAY RESULT N ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES 33. IN THE EVENT OF SINKHOLE DISCOVERY A PROFESSIONAL GEOLOGIST OR ENGINEER WILL BE CONTACTED CONCERNING MITIGATION. ADDITIONALLY, THE LEHIGH COUNTY CONSERVATION DISTRICT WILL BE MADE AWARE OF THE SINKHOLE 4. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND 35. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL. 36. THE E&S CONTROL PLAN MAPPING MUST DISPLAY A PA ONE CALL SYSTEM INCORPORATED SYMBOL INCLUDING THE SITE IDENTIFICATION NUMBER. (THIS IS A NUMBERED SYMBOL NOT A NOTE.) 37. AT STREAM CROSSINGS, 50° BUFFER AREAS SHOULD BE MAINTAINED. ON BUFFERS, CLEARING, SOD DISTURBANCES, EXCAVATION, AND EQUIPMENT TRAFFIC SHOULD BE MINIMIZED. ACTIVITIES SUCH AS STACKING LOGS, BURNING CLEARED BRUSH, DISCHARGING RAINWATER FROM TRENCHES, WELDING PIPE SECTIONS, REFUELING AND MAINTAINING EQUIPMENT 38. STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN 39. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS. O. UNDERGROUND UTILITIES CUTTING THROUGH ANY ACTIVE CHANNEL SHALL BE IMMEDIATELY BACKFILLED AND THE CHANNEL RESTORED TO ITS ORIGINAL CROSS—SECTION AND PROTECTIVE LINING. ANY BASE FLOW WITHIN THE CHANNEL SHALL BE CONVEYED PAST THE WORK AREA IN THE MANNER DESCRIBED IN THIS PLAN UNTIL SUCH RESTORATION IS COMPLETE. . UPON REQUEST, THE APPLICANT OR HIS CONTRACTOR SHALL PROVIDE AN AS—BUILT (RECORD DRAWING) FOR ANY SEDIMENT BASIN OR TRAP TO THE MUNICIPAL INSPECTOR, LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT. 2. EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS. 43. FILL MATERIAL FOR EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN MAXIMUM 8" LAYERED LIFTS AT 95% DENSITY.

- IF THE SITE WILL NEED TO IMPORT OR EXPORT MATERIAL FROM THE SITE, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND DETERMINATION OF CLEAN FILL WILL REST WITH (GENERAL CONTRACTOR).
- CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INFRT, SOLID MATERIAL. TH TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH LINLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED
- CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-1A AND FP-1B FOUND IN THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".
- ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL. A COPY OF FORM FP-001 CAN BE FOUND AT THE END OF THESE INSTRUCTIONS.
 - ENVIRONMENTAL DUE DILIGENCE: THE APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND US OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".
 - FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE. THESE REGULATIONS ARE AVAILABLE ON-LINE AT WWW.PACODE.COM.

MAINTENANCE PROGRAM:

- AREAS THAT CONTAIN SOD SHALL BE CHECKED VERY CAREFULLY TO ENSURE THAT JOINTS BETWEEN THE SOD STRIPS ARE TIGHT AND SECURE. WHERE JOINT SEPARATION IS IN EVIDENCE, A CAREFUL INSPECTION OF EACH JOINT SHALL BE MADE TO DETERMINE WHETHER UNDERMINING OF THE STRIPS IS OCCURRING. IF IT IS, THE STRIPS SHALL BE ROLLED UP, THE SUBSURFACE SHALL BE FILLED AND GRADED AS REQUIRED. AND THE SOD STRIPS SHALL BE RE-LAID WITH TIGHT JOINTS
- SEEDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND GRADED AS NECESSARY AND THEN RESEEDED. A BURLAFOR STRAW COVER WILL BE APPLIED TO RETAIN THE SEED UNTIL IT HAS A CHANCE TO ROOT PROPERLY. THE ABOVE PROCEDURE SHALL BE REPEATED AFTER EACH RUNOFF EVENT UNTIL NO MORE SIGNS OF EROSION ARE EVIDENT
- VEGETATION SHALL BE MOWED WHENEVER NECESSARY TO MAINTAIN A PLEASING APPEARANCE AND DISCOURAGE WEED GROWTH. ALL LOCAL REGULATIONS WILL BE COMPLIED WITH. TRASH THAT IS REMOVED FROM ANY OF THE CONTROL DEVICES SHALL BE DISPOSED OF AT AN APPROVED MUNICIPAL
- ONCE THE SITE IS PERMANENTLY STABILIZED. THE PROPERTY OWNER WILL PERIODICALLY CHECK THE GRADED AREAS TO

UTILITY LINE TRENCH EXCAVATION: . CONSTRUCTION REQUIREMENTS:

- A. ALL CONTRACTORS SHALL BE RESPONSIBLE TO INSURE THAT ALL TRENCH EXCAVATIONS BE ADEQUATELY STABILIZED IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION, STATE, MUNICIPAL, AND ANY OTHER LOCAL AGENCY CODES OF SAFE PRACTICE REGARDING SUPPORT REQUIREMENTS. B. LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
- C. WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION, AND BACKFILLING WILL BE CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION
- D. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT
- E. TRENCH PLUGS WILL BE SPACED IN ACCORDANCE WITH THE TABLE AND BE CONSTRUCTED OF THE MATERIALS AND TO
- F. WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS. THE SEEPAGE WILL BE PUMPED TO A FACILITY FOR REMOVAL OF SEDIMENT. THIS FACILITY MUST BE LOCATED OUTSIDE OF THE CHANNEL IF EXCAVATION TRENCHES ARE UNDERNEATH OR
- ADJOINING SMALL STREAMS. THE DETAIL "PUMPED WATER FILTER BAG" ILLUSTRATES THE FACILITY TO BE USED. G. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING. THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND THE APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES/FACILITIES WILL BE INSTALLED. STABILIZING OF ALL DISTURBED AREAS WILL BE DONE AT THE END OF EACH WEEK.

IN CERTAIN CASES TRENCHES CANNOT BE BACK FILLED UNTIL THE PIPE IS HYDROSTATICALLY TESTED, OR ANCHORS AND OTHER PERMANENT FEATURES ARE INSTALLED. IN THESE CASES, ALL OF THE REQUIREMENTS LISTED UNDER ITEM 1 WILL REMAIN IN EFFECT WITH THE FOLLOWING EXCEPTIONS:

DAILY BACK FILLING OF THE TRENCH MAY BE DELAYED FOR SIX DAYS. ALL PRESSURE TESTING AND THE COMPLETE BACK FILLING OF THE OPEN TRENCH MUST BE COMPLETED BY THE SEVENTH WORKING DAY. I. IF DAILY BACK FILLING IS DELAYED. THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS. APPROPRIATE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES/FACILITIES WILL BE INSTALLED, AND THE AREA STABILIZED

SOIL RESTORATION NOTES:

- 1. BEFORE THE TIME THE COMPOST IS PLACED AND PREFERABLY WHEN EXCAVATION IS COMPLETE, THE SUBSOIL SHALL BE IN A LOOSE, FRIABLE CONDITION TO A DEPTH OF 20 INCHES BELOW FINAL TOPSOIL GRADE AND THERE SHALL BE NO EROSION RILLS OR WASHOUTS IN THE SUBSOIL SURFACE EXCEEDING 3 INCHES IN DEPTH. 2. THE ACHIEVE THIS CONDITION, SUB-SOILING, RIPPING, OR SCARIFICATION OF THE SUBSOIL WILL BE REQUIRED WHEREVER THE SUBSOIL HAS BEEN COMPACTED BY EQUIPMENT OPERATION OR HAS BECOME DRIED OUT AN CRUSTED, AND WHERE NECESSARY TO OBLITERATE EROSION RILLS, SUB-SOILING SHALL BE REQUIRED TO REDUCE SOIL COMPACTION IN ALL AREAS WHERE PLANT ESTABLISHMENT IS PLANNED. SUB-SOILING SHALL BE
- PERFORMED BY THE PRIME OR EXCAVATING CONTRACTOR AND SHALL OCCUR BEFORE COMPOST PLACEMENT. 3 SPREAD 2-3 INCHES OF APPROVED COMPOST ON EXISTING SOIL TILL ADDED SOIL INTO EXISTING SOIL WITH ROTARY TILLER THAT IS SET TO A DEPTH OF 6 INCHES. ADD AN ADDITIONAL 4 INCHES OF APPROVED COMPOST TO BRING THE AREA UP TO GRADE.
- 4. AFTER PERMANENT PLANTING/SEEDING, 2-3 INCHES OF COMPOST BLANKET WILL BE APPLIED TO ALL AREAS NOT PROTECTED BY GRASS OR OTHER PLANTS.

RECYCLING OR DISPOSAL OF MATERIALS:

CONSTRUCTION WASTES FROM LAND DISTURBANCE AND DEVELOPMENT. SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS SUITABLE FOR SUCH WASTES IN ACCORDANCE WITH PA DEP REGULATIONS. EXCESS SOIL/ROCK SHALL BE UTILIZED ON SITE TO IMPROVE FINAL GRADING OF LOW AREA LOTS. THESE WASTES INCLUDE, BUT ARE NOT LIMITED TO, XCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY, MEASURES SHOULD BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THE OPERATOR SHALL ASSURE THAT AN E&S CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE GOVERNING CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL/ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS. RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THIS PROJECT SITE WILL BE UNDERTAKEN IN SEDIMENT REMOVED FROM ESPCP CONTROLS AND FACILITIES SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED OR PLACED IN TOPSOIL

 SEDIMENT TRASH/DEBRIS VEGETATION CLIPPINGS AS MAY RESULT FROM MAINTENANCE

CLEAN FILL NOTES

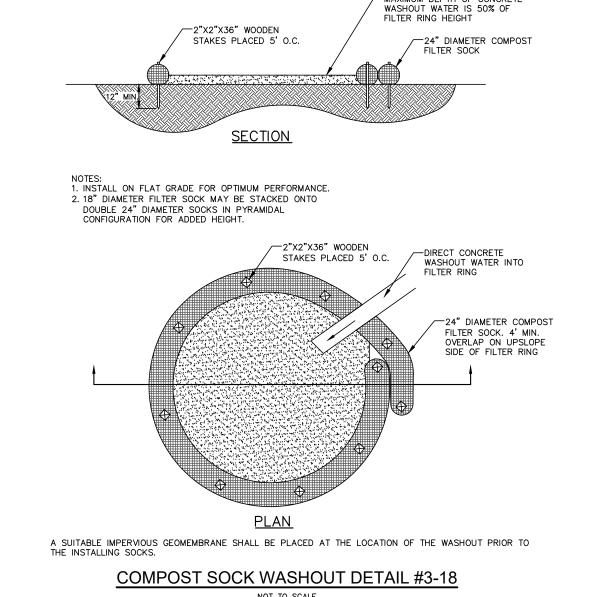
HE OPERATOR MUST USE ENVIRONMENTAL DUE DILIGENCE TO ENSURE THAT ALL FILL MATERIAL ASSOCIATED WITH THE PROJECT QUALIFIES AS CLEAN FILL.

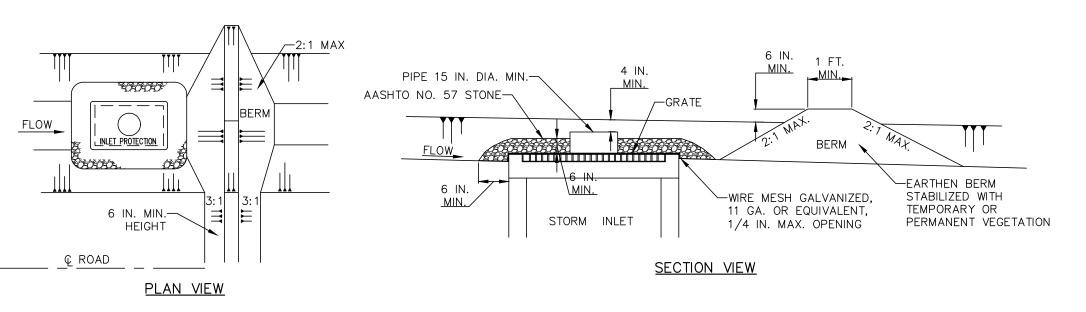
ANTICIPATED CONSTRUCTION WASTES INCLUDE, BUT MAY NOT BE LIMITED TO, THE FOLLOWING:

CLEAN FILL IS DEFINED AS UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPERATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM

ENVIRONMENTAL DUE DILLIGENCE TO ENSURE ALL FILL IS "CLEAN", AS DEFINED ABOVE, SHALL INCLUDE, BUT NOT BE LIMITED O, INVESTIGATIVE TECHNIQUES SUCH AS VISUAL PROPERTY INSPECTIONS. ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SAMBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE LL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILI ALL TESTING SHALL BE PREFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY OF "MANAGEMENT O

-MAXIMUM DEPTH OF CONCRETE





INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS NOT LOCATED AT A LOW POINT. ROLLED EARTHEN BERM IN ROADWAY SHALL BE PROVIDED AND MAINTAINED IMMEDIATELY DOWN GRADIENT OF THE PROTECTED INLET UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED

STONE INLET PROTECTION AND BERM FOR A TYPE M INLET CAN BE USED IN ONE ACRE MAXIMUM DRAINAGE AREA WITH 15 IN. OVERFLOW PIPE AND 4 IN. HEAD. A PERFORATED PLATE WELDED TO A METAL RISER MAY NOT BE SUBSTITUTED FOR THE WIRE MESH. A SLOTTED PLATE WELDED TO THE RISER MAY BE USED IN CONJUNCTION WITH THE WIRE MESH IF CALCULATIONS ARE PROVIDED TO SHOW SUFFICIENT CAPACITY OF THE INLET TO ACCEPT THE PEAK RUNOFF FOR A 2-YEAR STORM EVENT FROM THE TRIBUTARY DRAINAGE AREA. TOP OF PIPE SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADWAY IF PONDED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC. EARTHEN BERM SHALL BE

SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE STONE. DAMAGED OR CLOGGED INSTALLATIONS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.

UNTIL PERMANENT STABILIZATION IS COMPLETED OR TO REMAIN PERMANENTLY.

FOR SYSTEMS DISCHARGING TO HQ OR EV SURFACE WATER, A 6 IN. THICK COMPOST LAYER SHALL BE SECURELY ANCHORED ON OUTSIDE AND OVER TOP OF STONE. COMPOST SHALL MEET THE STANDARDS IN TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS. STANDARD CONSTRUCTION DETAIL #4-20 STONE INLET PROTECTION AND BERM - TYPE M INLET NOT TO SCALE

SEEDING SCHEDULE

SPECIFICATION: THE FOLLOWING SPECIFICATION SHALL BE USED FOR THIS PROJECT UNLESS OTHERWISE NOTED. Penn State College of Agriculture Sciences, EROSION CONTROL AND CONSERVATION PLANTINGS ON NONCROPLAND by Peter Landschoot, 1997 or as revised.

PRIOR TO STARTING EARTH DISTURBANCE, CONTRACTOR SHALL SAMPLE THE SITE TOPSOIL AND OBTAIN A SOIL TEST FROM A REPUTABLE LABORATORY. AT A MINIMUM, THE TEST SHALL INCLUDE SOIL pH, COMPOSITION, AND % ORGANICS ALONG WITH RECOMMENDATIONS FOR pH BALANCE, FERTILIZATION, AND LIMING

BEFORE PLACING TOPSOIL, PREPARE SUBGRADE TO A DEPTH 6" BELOW FINAL GRADE SCARIFY SUBGRADE WITH DEEP TIME PLOW. AMEND TOPSOIL PER SOLI TEST RESULTS
AND INCORPORATE INTO THE SOIL BEFORE SPREADING, REMOVE ANY DEBRIS AND STONES OVER 2". SPREAD TOPSOIL OVER SUBGRADE TO OBTAIN FINISHED GRADE. COMPACT SURFACE TO 80-85% COMPACTION. DO NOT OVER COMPACT.

TEMPORARY COVER FOR EROSION CONTROL INITIAL PROTECTION: APPLY TEMPORARY SEEDING WHEN PERMANENT SEEDING IS DELAYED OR OUT OF PLANTING SEASON.

SITE PREPARATION: INCORPORATE LIME AND FERTILIZER (RATE BASED ON SOIL TEST) INTO THE TOP 4-6" OF TOPSOIL. IF SOIL TESTS ARE NOT AVAILABLE, APPLY ONE TON PER ACRE OF AGRICULTURAL LIMESTONE AND 10-10-10 FERTILIZER

METHOD: APPLY SEED USING SURFACE BROADCASTING OR HYDROSEEDING

SEASON SPECIES RATE (LB./ACRE) ANNUAL RYEGRASS or (MARCH 15 TO JUNE 15) SPRING OATS (JUNE 16 TO AUGUST 15) ANNUAL RYEGRASS ANNUAL RYEGRASS or WINTER RYE (AUGUST 16 TO NOVEMBER 1) MULCHING: APPLY THREE TONS PER ACRE OF STRAW TO ACHIEVE A LOOSE LAYER 3/4-1" DEEP, USI JUTE MATTING RATHER THAN STRAW ON STEEP SLOPES. APPLY CELLULOSE FIBER TACKIFIER OVER STRAW MULCH AT A RATE OF 800-1000 LBS. PER ACRE. HYDROMULCHING IS ACCEPTABLE WHEN BLOWING OF STRAW IS A CONCERN.

PERMANENT COVER FOR STABILIZATION

ALL DISTURBED AREAS TO BE PREPARED AND SEEDED RATE FOLLOWING FINAL GRADING:

AUGUST 15 - OCTOBER 15

SITE PREPARATION: INCORPORATE LIME AND FERTILIZER (RATE BASED ON SOIL TEST) INTO THE TOP 6" OF TOPSOIL. IF SOIL TESTS ARE NOT AVAILABLE, APPLY SIX TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 10-20-20 FERTILIZER AT 1,000 LB PER ACRE.

MULCHING: APPLY THREE TONS PER ACRE OF STRAW TO ACHIEVE A LOOSE LAYER 3/4-1" DEEP, USE ACHIEVE A LOUSE LATER 3/4-1 DEEP. USE.
JUTE MATTING RATHER THAN STRAW ON STEEP SLOPES. APPLY
CELLULOSE FIBER TACKIFIER OVER STRAW MULCH AT A RATE OF 800-1000 LBS. PER ACRE. HYDROMULCHING IS ACCEPTABLE WHEN BLOWING OF STRAW IS A CONCERN.

METHOD: APPLY SEED USING DRILL FITTED WITH A DEPTH BAND AND PACKER WHEEL. PLANT GRASS SEEDS AT 0.25 TO 0.5 INCHES DEEP. WHEAT, RYE AND OATS MAYBE PLANTED 1 TO 1.5 INCHES DEEP. BROADCAST SEEDING PERMITTED WITH IMMEDIATE MULCH COVER. HYDROSEEDING OF PERMANENT SEEDING IS NOT PERMITTED.

RATE (LB./1000 SF)

SEED SPECIES BY SITE

SLOPES AND BANKS

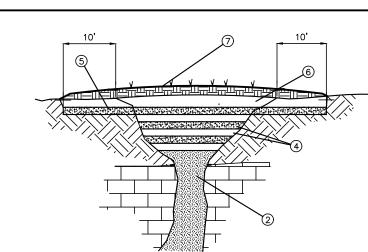
KENTUCKY BLUEGRASS (POA PRATENSIS) and TURF-TYPE PERENNIAL RYEGRASS (LOLIÚM PERENNE) and FINE (RED or CHEWING) FESCUE (FESTUCA RUBA RUBA/COMMUTATA) KENTUCKY BLUEGRASS (POA PRATENSIS) and TURF-TYPE PERENNIAL RYEGRASS (LOLIÚM PERENNE) and TURF-TYPE TALL FESCUE (FESTUCA ARUNDINACEA) ** SEED 50' BEYOND EDGE OF FIELD

CHEWINGS FESCUE (FESTUCA RUBRA COMMUTATA) and BLUE FESCUE (FESTUCA OVINA GLAUCA) and HARD FESCUE (FESTUCA OVINA DURIUSCULA) and CREEPING RED FESCUE (FESTUCA RUBRA RUBRA) and SLENDER FESCUE (FESTUCA RUBRA TRICHOPHYLLA) and DAWSON RED FESCUE (FESTUCA RUBRA DAWSON) and DRAINAGE DITCHES, DETENTION BASIN (MOWED)

REDTOP (AGROSTIS ALBA) and TALL FESCUE (FESTUCA ARUNDINACEA) and SWITCHGRASS (PANICUM VIRGATUM) DETENTION BASIN (ONE MOWING ANNUALLY) REDTOP (AGROSTIS ALBA) and
CREEPING BENTGRASS (AGROSTIS STOLONIFERA) and
RIVERBANK WILD RYE (ELYMUS RIPARIUS) and
FOWL BLUEGRASS (POA PALUSTRIS) and ALKALIGRASS (PUCCINELLIA DISTANS) and ANNUAL RYEGRASS

ANNUAL RYEGRASS and

* ALL SEED TO BE MIN. 98% PURE LIVE SEED. RELIANT II, SR3100, DISCOVERY, OSPREY Houndog V, Montauk, Marksman, and Apache II FINE FESCUE WINTER RYE ARCOOSTOOK OR BALBO TYPE SR 2109, NORTH STAR, BLACKSBURG, BRILLIANT KENTUCKY BLUEGRASS -



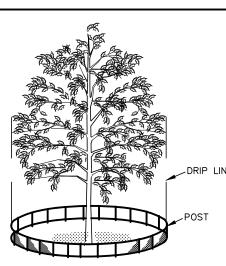
NOTES:

1. OVER EXCAVATE SINKHOLE THROAT TO REMOVE ALL SOIL AND LOOSE ROCK. 2. SHOULD SINKHOLE THROAT OR FRACTURED BEDROCK BE ENCOUNTERED IN BOTTOM OF EXCAVATION, HIGH SLUMP LEAN CONCRETE OF FLOWABLE FILL SHOULD BE PLACED IN HOLE SUFFICIENT TO PLUG THROAT OR FRACTURES.

3. IF NO THROAT OR BEDROCK IS ENCOUNTERED EXCAVATE UNTIL FIRM SOIL IS ENCOUNTERED ON ALL SIDES AND BOTTOM OF EXCAVATION. 4. AFTER LEAN CONCRETE OR GROUT CURES, PLACE BENTONITE CLAY/SOIL (1 TO 2 LBS./S.F. 8" LIFT, 95% MOD. PROCTOR). PLACE COMPACTED FINE-GRAINED NATIVE CLAY FILL (8"

LIFTS, 95% MOD. PROCTOR) ÉVERY OTHER LIFT TO 12" BELOW FINAL GRADE.
5. INSTALL BENTONITE CLAY/SOIL CAP 10' BEYOND THE EXCAVATION AS SHOWN. . GRADE NATIVE CLAY TO DRAIN AWAY FROM THE AREA. 7. PLACE 4" OF TOPSOIL, RESEED OR SOD TO STABILIZE. 8. ALL STABILIZATION WORK SHOULD BE DONE UNDER SUPERVISION OF A PA LICENSED PROFESSIONAL GEOLOGIST OR PROFESSIONAL ENGINEER EXPERIENCED WITH KARST GEOLOGY AND FAMILIAR WITH SITE AND FOUNDATION CONDITIONS.

SINKHOLE MITIGATION DETAIL

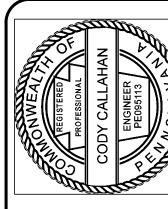


1. FENCING SHALL BE INSTALLED AT THE DRIP LINE (MIN. 5 FEET FROM TREE TRUNK). BOARDS SHALL NOT BE NAILED TO TREES DURING CONSTRUCTION FEEDER ROOTS SHALL NOT BE CUT IN AREA INSIDE THE DRIP LIN THE CONTRACTOR SHALL NOT ENCROACH ONTO AREAS DELINEATED AS TREE PROTECTION. THE STORAGE OF EQUIPMENT OR MATERIALS IN THIS AREA IS STRICTLY FORBIDDEN. IE SILT FENCE ERECTED AT THE TREE PROTECTION LINE SHALL BE MAINTAINED AT ALL MES DURING THE CONSTRUCTION PROCESS AND SHALL NOT BE CROSSED. 5. REFER TO PLAN SHEETS FOR LOCATION OF WOODS AND TREES TO REMAIN. ALL TREES TO REMAIN WHICH ARE ADJACENT TO CONSTRUCTION AREAS SHALL BE PROTECTED IN ACCORDANCE WITH THIS DETAIL.

6. NO CLEARING, EARTHMOVING, OR CONSTRUCTION SHALL COMMENCE PRIOR TO INSTALLATION OF TREE PROTECTION FENCES AROUND ALL EXISTING TREES.

7. A 48 INCH HIGH WOODEN OR PLASTIC FENCE WITH POSTS ON 8 FOOT

TREE PROTECTION/CONSTRUCTION FENCE DETAIL NOT TO SCALE



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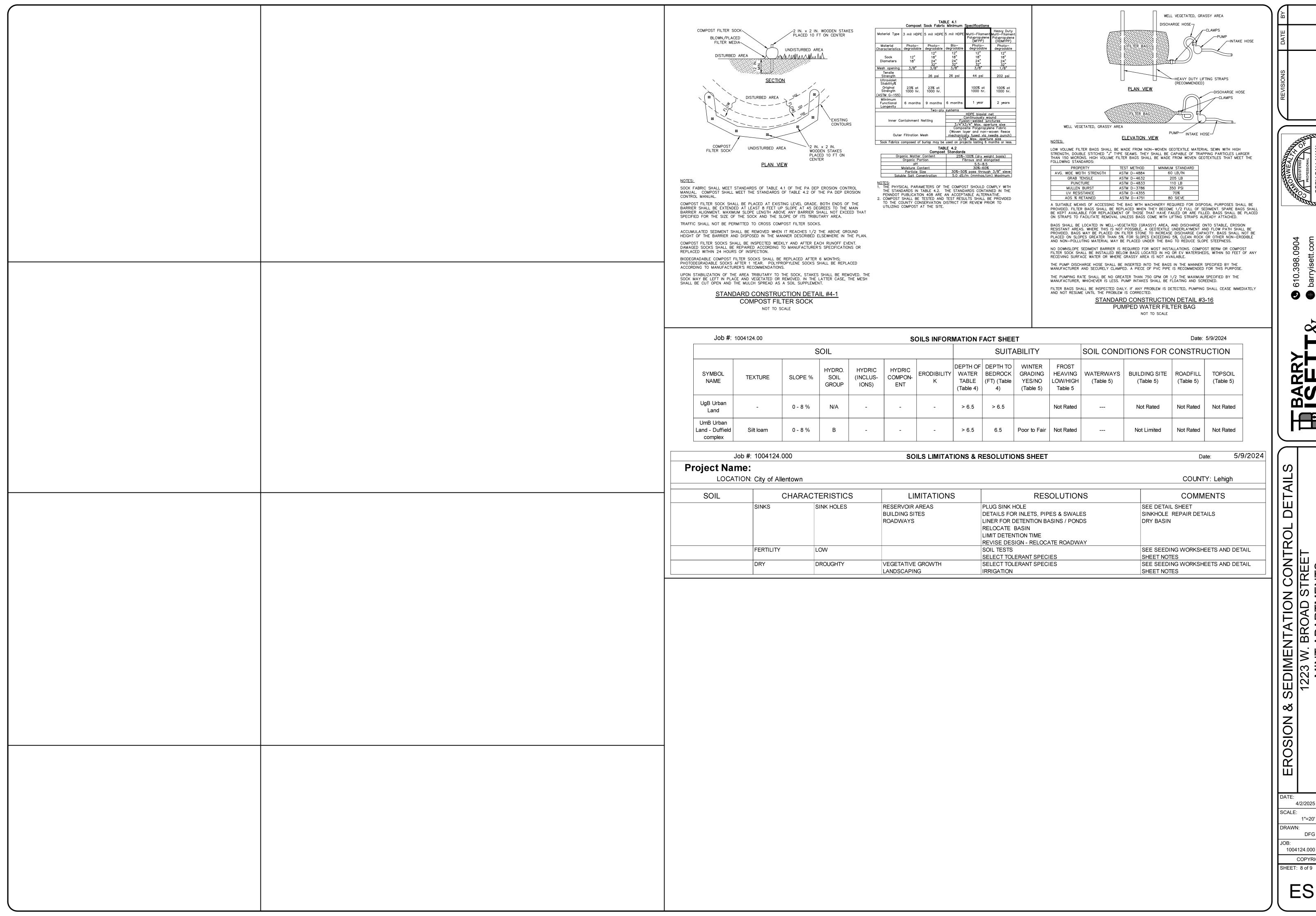


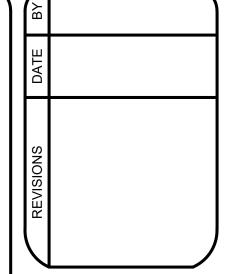
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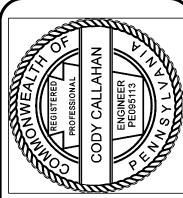
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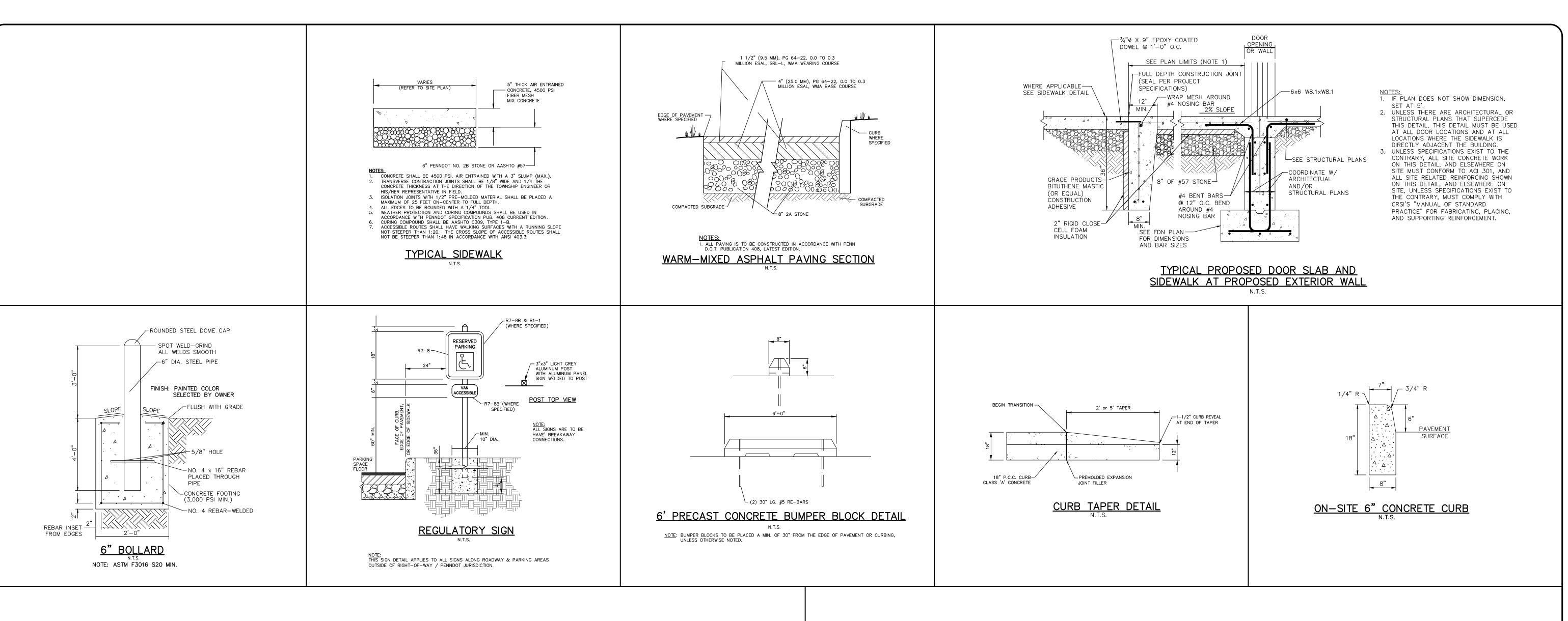


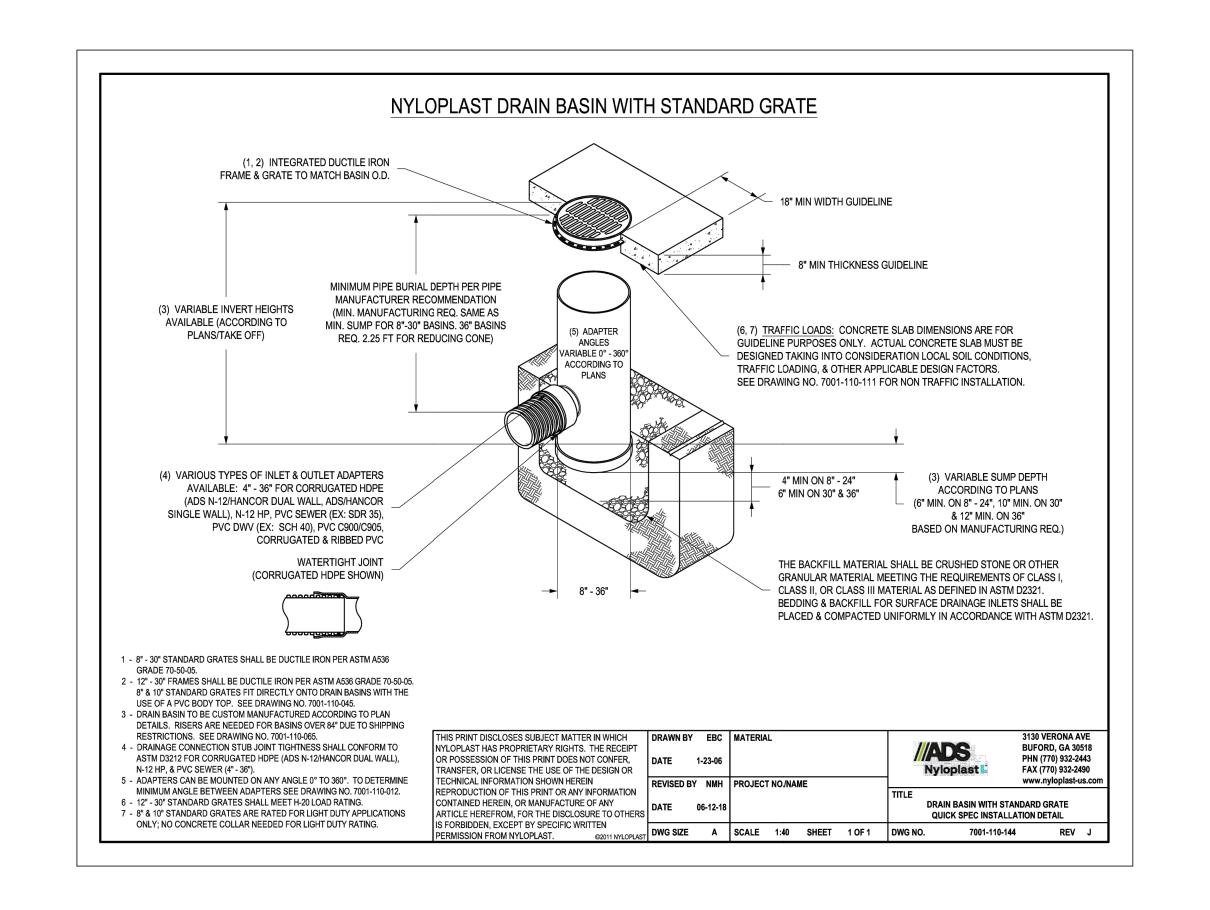


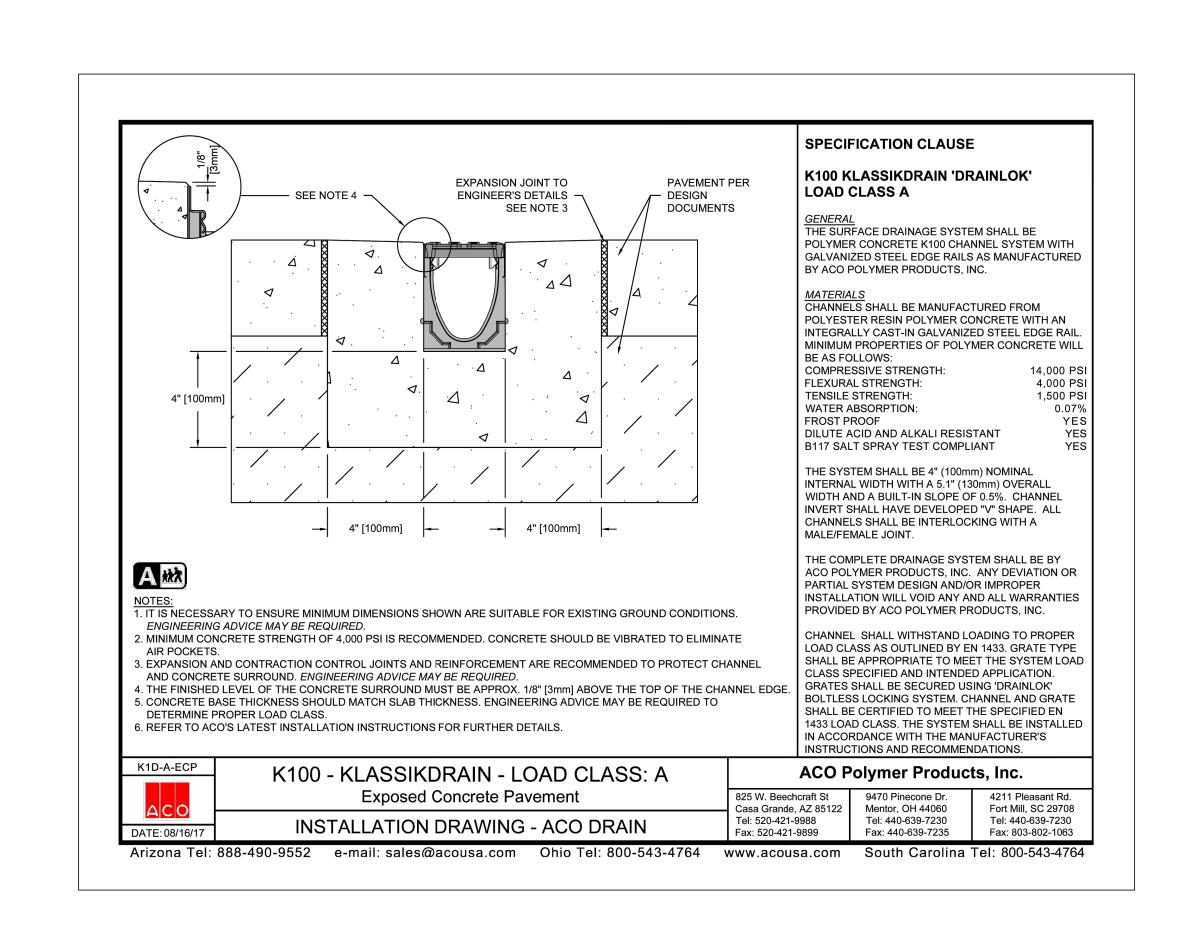
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LEHIGH COUNTY, PA

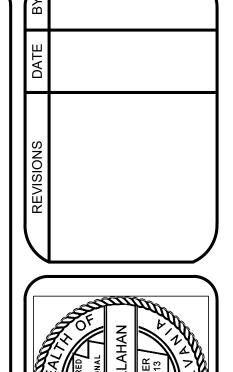
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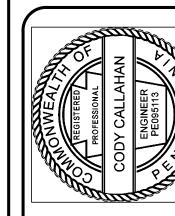
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