

**LEGEND**

EXISTING BUILDINGS TO BE REMOVED

PROPOSED NEW BUILDING FOOTPRINT

NOTE: ENTIRE SITE TO BE CLEARED AS FOR NEW BUILDING DEVELOPMENT

**EXISTING ZONING:**

**PROPERTIES ZONED CB-CENTRAL BUSINESS DISTRICT**

- 14 WEST NORTH STREET - 2,842 SF (.0652 ACRES)
- 701 NORTH NEW STREET - 7,752 SF (.1780 ACRES)
- 707-709 NORTH NEW STREET - 3,600 SF (.0826 ACRES)
- 713 NORTH NEW STREET - 4,080 SF (.0937 ACRES)
- 715 NORTH NEW STREET - 1,350 SF (.0310 ACRES)
- 717 NORTH NEW STREET - 1,350 SF (.0310 ACRES)
- 719 NORTH NEW STREET - 3,328 SF (.0764 ACRES)

**PROPERTIES ZONED RT-HIGH DENSITY RESIDENTIAL DISTRICT**

- 11 WEST GARRISON STREET - 2,040 SF (.0468 ACRES)
- 15 WEST GARRISON STREET - 3,366 SF (.0773 ACRES)

CURRENTLY 82% OF THE PROPERTY IS ZONED CB

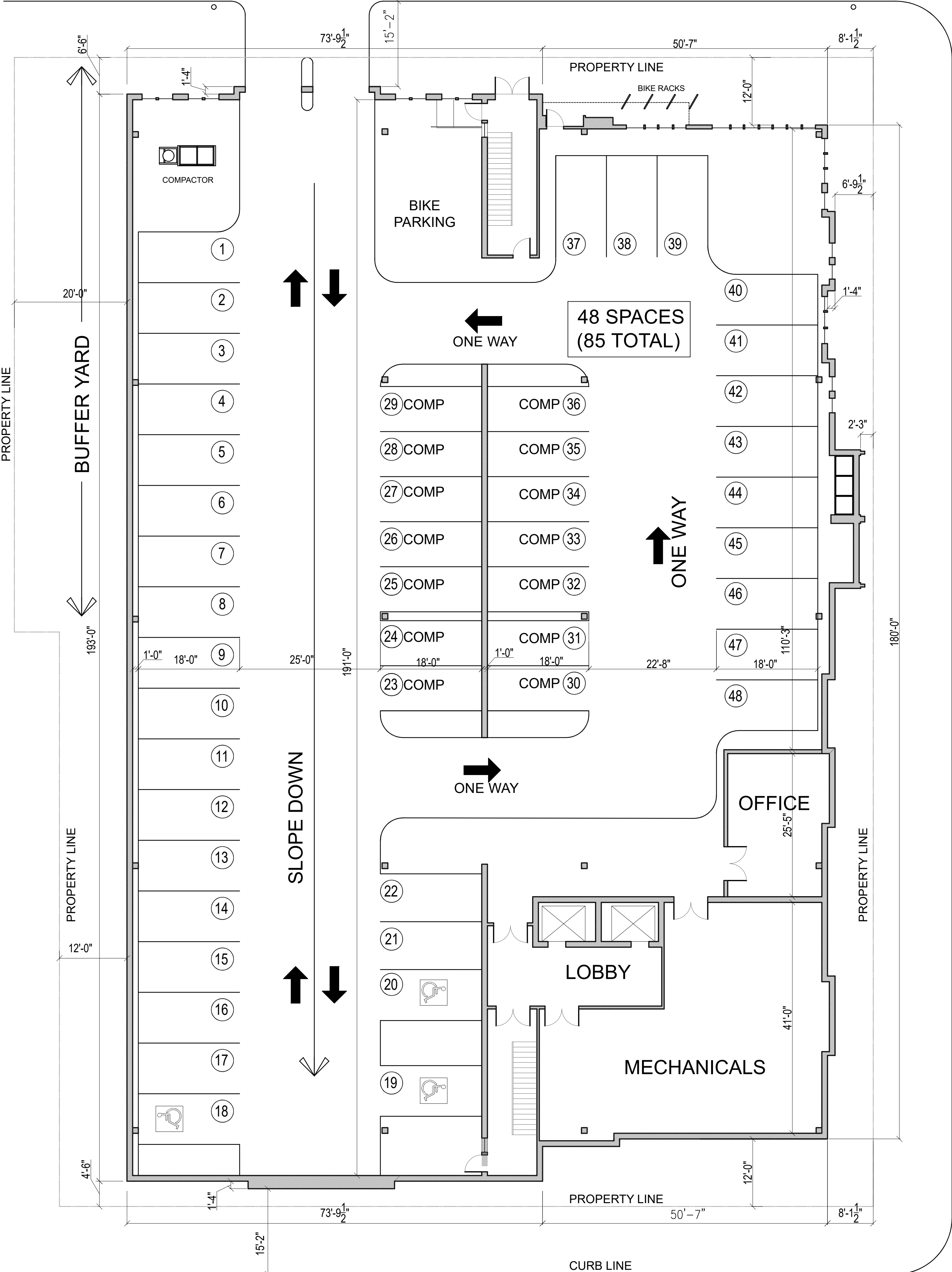
PROPOSAL IS TO MERGE THE PROPERTIES INTO A SINGLE PARCEL ZONED CB-CENTRAL BUSINESS DISTRICT

SITE AREA = 29,708 SF (0.6820 ACRES)  
PROPOSED BUILDING AREA FOOTPRINT = +/- 23,695 SF  
PROPOSED BUILDING TOTAL AREA (ALL FLOORS) = +/- 112,516 SF

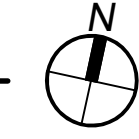
**PRELIMINARY**  
NOT FOR CONSTRUCTION



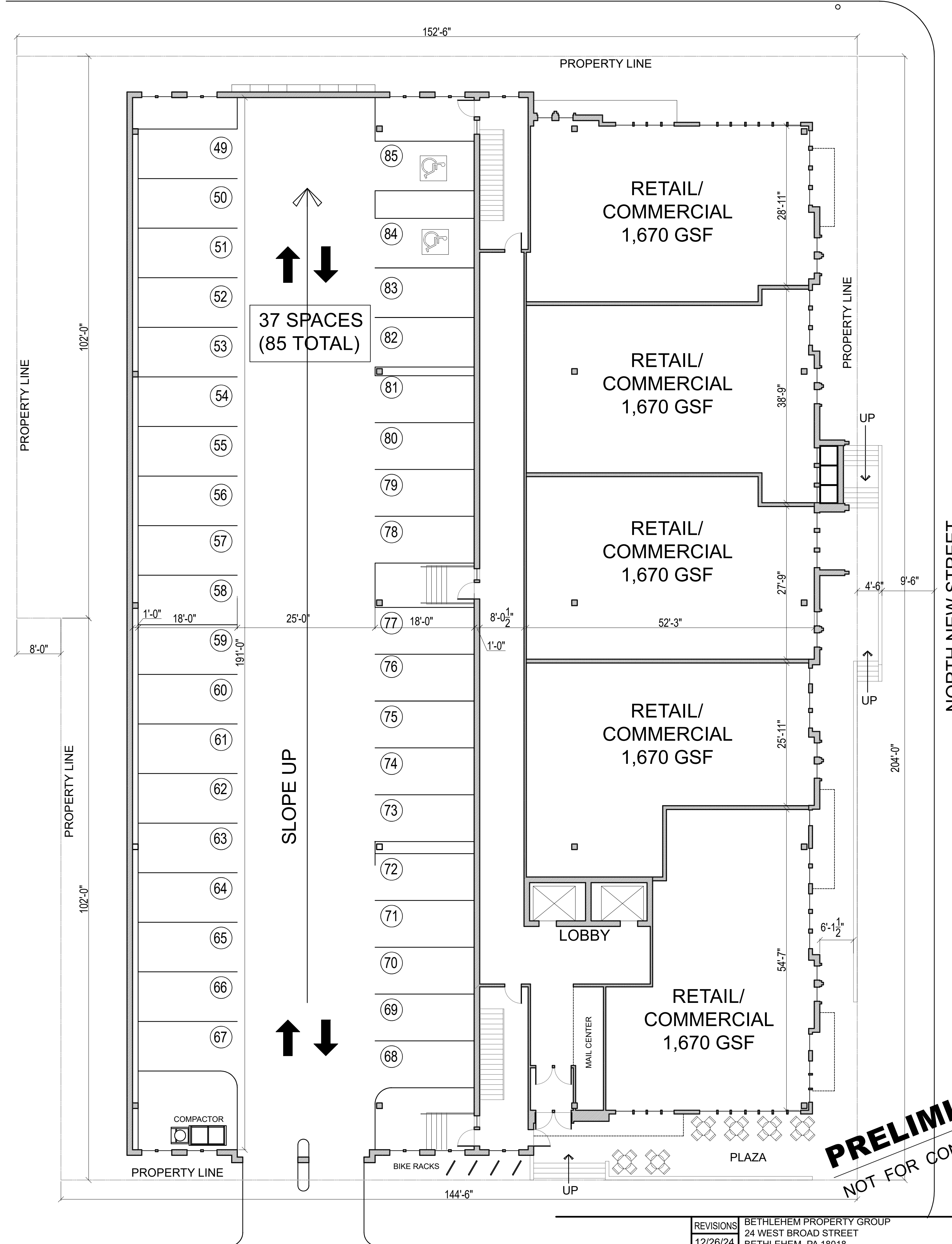
WEST GARRISON STREET



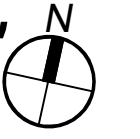
1  
A2.1 Proposed Level One Floor Plan Scale: 3/32"=1'  
23,695 SF FOOTPRINT




WEST GARRISON STREET



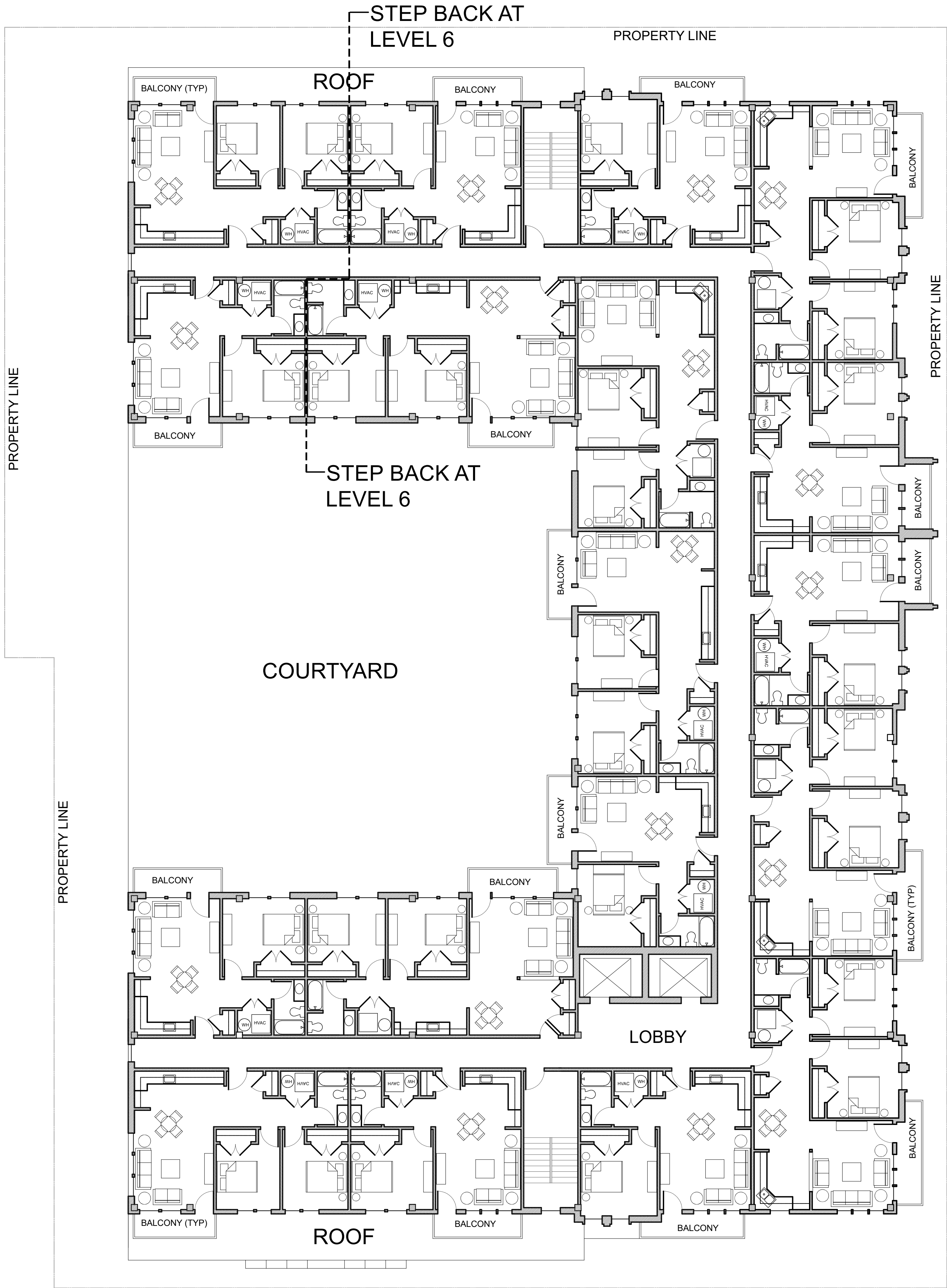
2  
A2.1 Proposed Level Two Floor Plan Scale: 3/32"=1'  
23,555 SF FLOOR LEVEL  
8,350 SF COMMERCIAL



REVISIONS	BETHLEHEM PROPERTY GROUP 24 WEST BROAD STREET BETHLEHEM, PA 18018	10/1/2024 PROJ # 004.1
12/26/24	CONCEPT FOR MIXED USE MULTI FAMILY BUILDING 701-719 NORTH NEW STREET BETHLEHEM, NORTHAMPTON COUNTY, PA 18018	
	LEVELS ONE AND TWO SCHEMATIC FLOOR PLANS	A2.1
 ENTROPY CONSULTING LLC VINCENT MARUCCI, AIA E: VMARUCCI@ENTROPYCONSULTING.NET P: 484-242-9454		
ARCHITECTURE PLANNING DESIGN 1874 CATASAUQUA RD, #396 ALLENTOWN, PA 18109		

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**1**  
A3.1 **Proposed Level Three through Six Floor Plans (4 Stories of Apartments)** Scale: 3/32"=1'

16,714 SF FLOOR LEVELS 3 THROUGH 5  
15,124 SF FLOOR LEVEL 6  
70 APARTMENT UNITS ON 4 LEVELS (18/FLOOR, 16 TOP FLOOR)  
(35 ONE BED AND 35 TWO BED)



**2**  
A3.1 **Proposed South Elevation (Along West North Street)**  
Scale: 1/8"=1'




**3**  
A3.1 **Proposed North Elevation (Along Garrison Street)**  
Scale: 1/8"=1'

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REVISIONS	BETHLEHEM PROPERTY GROUP 24 WEST BROAD STREET BETHLEHEM, PA 18018	10/1/2024 PROJ # 004.1
12/26/24	CONCEPT FOR MIXED USE MULTI FAMILY BUILDING 701-719 NORTH NEW STREET BETHLEHEM, NORTHAMPTON COUNTY, PA 18018	
	LEVELS 3 - 6 SCHEMATIC FLOOR PLANS SIDE ELEVATIONS	A3.1
 ENTROPY CONSULTING LLC VINCENT MARUCCI, AIA E: VMARUCCI@ENTROPYCONSULTING.NET P: 484-242-9454		ARCHITECTURE PLANNING DESIGN 1874 CATASAUQUA RD, #396 ALLENTOWN, PA 18109






1  
A4.1 Proposed East Elevation (Along North New Street)  
Scale: 1/8"=1'



2  
A4.1 Proposed Concept Rendering

**PRELIMINARY**  
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12/26/24	CONCEPT FOR MIXED USE MULTI FAMILY BUILDING 701-719 NORTH NEW STREET BETHLEHEM, NORTHAMPTON COUNTY, PA 18018	
	SCHEMATIC FRONT ELEVATION	A4.1
 <b>ENTROPY</b> CONSULTING LLC VINCENT MARUCCI, AIA E: VMARUCCI@ENTROPYCONSULTING.NET P: 484-242-9454		
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