

LOCATION MAP
1" = 2,000'

APPLICANT / RECORD OWNER

46-52 WEST BROAD STREET, LLC
ATTN: ROCO AYVAZOV
3376 LINDEN STREET, SUITE 200
BETHLEHEM, PA 18017
(610) 419-0032

STATEMENT OF INTENT

THE APPLICANT INTENDS TO REDEVELOP THE SUBJECT PROPERTY BY EXPANDING THE EXISTING BUILDING TO CREATE A 7-STORY (PLUS 1 BELOW-GRADE LEVEL) MIXED-USE BUILDING COMPRISING AN EXPERIENCE CENTER, A 2-STORY RESTAURANT, 61 DWELLING UNITS (28 1-BRS AND 33 2-BRS) WITH RESIDENT COMMON AREAS AND AMENITIES, A LOWER LEVEL POLICE TRAINING CENTER, LOADING/UNLOADING ACCOMMODATIONS, UTILITY SERVICE AND ROOF DRAIN CONNECTIONS, SITE LANDSCAPING, AND RELATED PUBLIC AND PRIVATE IMPROVEMENTS, ALL AS DEPICTED HEREIN.

SITE DATA

RECORD OWNER: 46-52 WEST BROAD STREET, LLC
PROPERTY ADDRESS: 46-52 WEST BROAD STREET
TAX MAP REFERENCE: P6NE1D-7-10
DEED REFERENCE: D.B.V. 2025-1, PG. 46171
EX. LOT AREA (BY DEED): 18,145 S.F./0.4166 AC.
CITY WARD/BLOCK: 17/28
ZONING CLASSIFICATION: CENTRAL BUSINESS DISTRICT (CB)
WATER: CITY OF BETHLEHEM
SANITARY SEWER: CITY OF BETHLEHEM
NO. EXISTING/PROPOSED LOTS: 1/1

ZONING DATA

CENTRAL BUSINESS (CB) ZONING DISTRICT
(MIXED COMMERCIAL/MULTI-FAMILY RESIDENTIAL USE)

| | PER ORD. | PER PLAN |
|---------------------------|------------|------------|
| MIN. LOT AREA: | 1,800 S.F. | 18.1K S.F. |
| MIN. LOT WIDTH: | 18 FEET | 198 FEET |
| FRONT YARD SETBACK: | 0 FEET | 0 FEET |
| SIDE YARD SETBACK (EACH): | 0 FEET | 0 FEET |
| REAR YARD SETBACK: | 0 FEET | 0 FEET |
| MAX. BUILDING HEIGHT: | 150 FEET | 110+ FEET |
| MAX. BUILDING COVER: | 100% | 95% |
| MAX. IMPERVIOUS COVER: | 100% | 100% |

OFF-STREET PARKING SPACE TABULATION

MIXED COMMERCIAL/MULTI-FAMILY RESIDENTIAL USE

REQUIRED:
NO OFF-STREET PARKING REQUIRED IN CB ZONING DISTRICT PER ZO SECTION 1319.01(g)



PRELIM. DESIGN SERIAL NUMBER: 0000000000-000
FINAL DESIGN SERIAL NUMBER: 0000000000-000

KEYSTONE CONSULTING ENGINEERS, INC., PREPARED THESE DRAWINGS FOR THE PURPOSE OF THE DESIGN OF THE SUBDIVISION OR LAND DEVELOPMENT IMPROVEMENTS SHOWN, PURSUANT TO THE REQUIREMENTS OF PA ACT 287 OF 1974, AS AMENDED, KEYSTONE CONSULTING ENGINEERS, INC., HAS:

- REQUESTED LINE AND FACILITY INFORMATION FROM A ONE CALL SYSTEM NOT LESS THAN TEN NOR MORE THAN NINETY WORKING DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED.
- SHOWN UPON THE DRAWINGS THE POSITION AND TYPE OF EACH FACILITY OWNER'S LINE, DERIVED PURSUANT TO THE REQUEST MADE, INCLUDING THE FACILITY OWNER'S NAME, OFFICE ADDRESS AND TELEPHONE NUMBER AS SHOWN ON THE LIST MAINTAINED BY THE ONE-CALL SYSTEM;
- MADE A REASONABLE EFFORT IN PREPARATION OF THE CONSTRUCTION DRAWINGS TO AVOID DAMAGE TO AND MINIMIZE INTERFERENCE WITH THE FACILITY OWNER'S FACILITIES IN THE CONSTRUCTION AREA BY MAINTAINING AN EIGHTEEN-INCH CLEARANCE OF THE FACILITY OWNER'S FACILITIES;
- SHOWN UPON THE DRAWINGS THE SERIAL NUMBER AND DATE OF THE ONE CALL NOTICE.

KEYSTONE CONSULTING ENGINEERS, INC., MAKES NO REPRESENTATION, ASSURANCE, OR GUARANTEE THAT THE INFORMATION OBTAINED AS NOTED ABOVE AND ILLUSTRATED HEREON ACCURATELY DEPICTS FIELD CONDITIONS. ALL CONTRACTORS PERFORMING ACTUAL EXCAVATION OR DEMOLITION WORK ON THIS SITE ARE HEREBY ALERTED TO THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE ONE-CALL SYSTEM AS REQUIRED BY ACT 287, AS AMENDED.

GENERAL NOTES

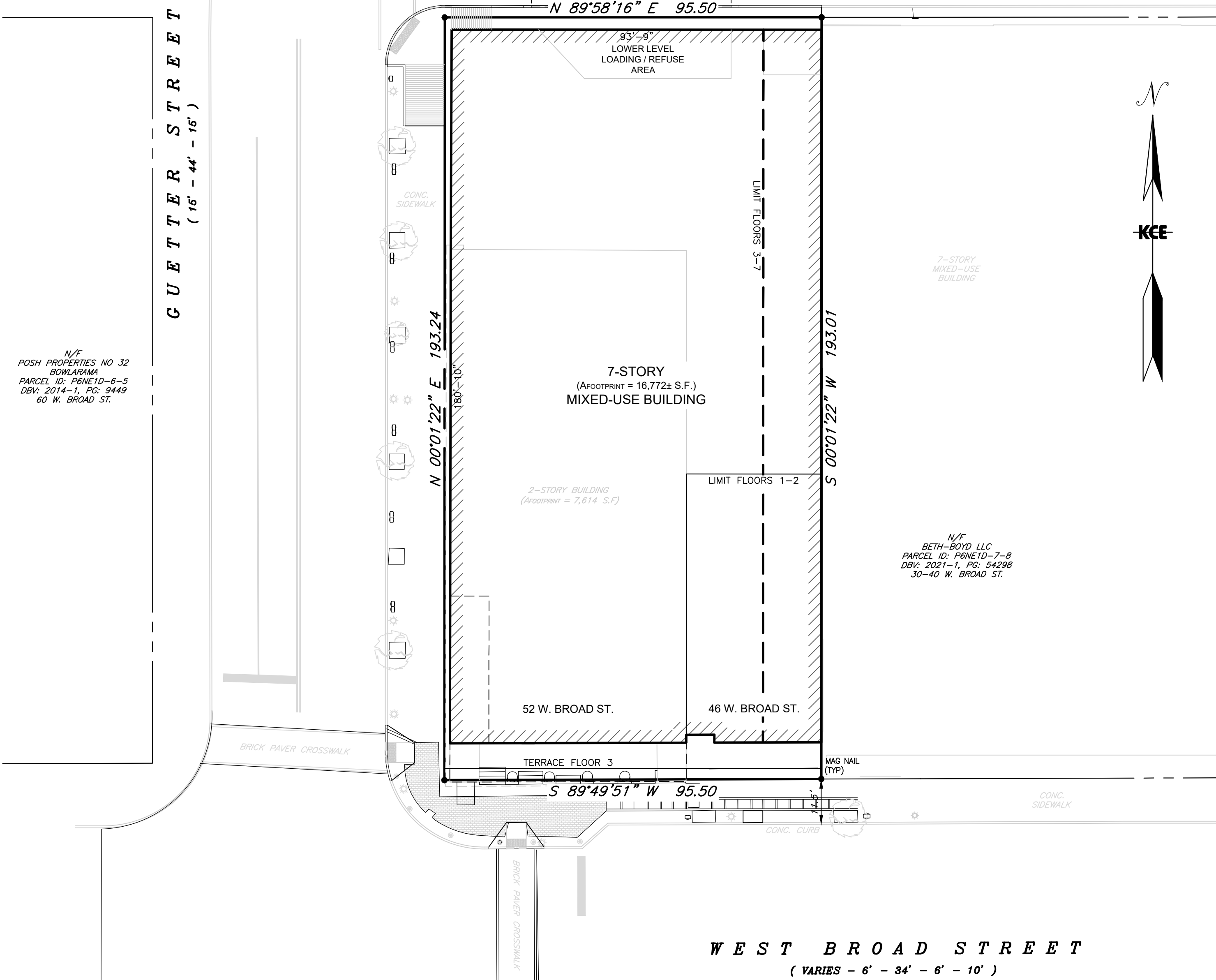
- ANY AND ALL SITE IMPROVEMENTS, PUBLIC AND PRIVATE, PROPOSED HEREIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF BETHLEHEM CONSTRUCTION STANDARDS IN EFFECT AT THE TIME OF LAND DEVELOPMENT APPROVAL.
- DRAINAGE EASEMENTS PROPERTY OWNER(S) THEIR HEIRS, SUCCESSORS AND ASSIGNS SHALL BE PERPETUALLY RESPONSIBLE TO MAINTAIN EXISTING AND PROPOSED EASEMENTS LOCATED ON THEIR RESPECTIVE PROPERTIES IN A GRASSED OR OTHERWISE IMPROVED CONDITION IN ACCORDANCE WITH THE GRADES AND DESIGNS INDICATED ON THE APPROVED LAND DEVELOPMENT PLANS FOR THE PROJECT. DRAINAGE EASEMENTS PROVIDE FOR THE FLOW OF STORMWATER ACROSS LOTS AND MAY NOT BE ALTERED WITHOUT WRITTEN PERMISSION OF THE CITY ENGINEER. NO OBSTRUCTIONS SUCH AS PLANTING TREES OR FENCES, OTHER THAN THOSE DEPICTED HEREIN, MAY BE INSTALLED IN DRAINAGE EASEMENTS WITHOUT MAKING SUFFICIENT PROVISIONS FOR THE PASSAGE OF STORMWATER. ANY SUCH PROPOSED PROVISIONS SHALL BE APPROVED IN WRITING BY THE CITY ENGINEER. IT IS INTENDED THAT THE MAINTENANCE RESPONSIBILITIES IMPOSED HEREUNDER SHALL BE A COVENANT RUNNING WITH THE LAND AND ENFORCEABLE AGAINST ALL FUTURE OWNERS.
- ELECTRIC UTILITY SERVICE LINES (E.G. ELECTRIC POWER, CABLE TV, TELECOMMUNICATION) SHALL BE INSTALLED UNDERGROUND. INSTALLATION OF UNDERGROUND FACILITIES SHALL BE SO LOCATED AS TO PERMIT MULTIPLE INSTALLATIONS WITHIN A COMMON TRENCH WHERE FEASIBLE.
- EXISTING NATURAL SLOPES WITHIN THE PROPOSED BUILDING AREA RANGE FROM APPROXIMATELY 0 TO 6 PERCENT.
- SITE IMPERVIOUS COVERAGE 0 S.F. NET INCREASE
- BY SUBMISSION OF THESE PLANS, THE ENGINEER OF RECORD CERTIFIES THAT THESE PLANS ARE IN COMPLETE CONFORMANCE WITH THE CITY OF BETHLEHEM STORM WATER MANAGEMENT ORDINANCE.
- IN ORDER TO MAINTAIN CONTINUITY BETWEEN PLAN REVISIONS, ANY CHANGES TO A PREVIOUS PLAN SUBMISSION SHALL BE FLAGGED WITH A TRIANGLE. ANY CHANGES NOT FLAGGED MAY BE CONSIDERED NOT APPROVED. FLAGGED CHANGES SHALL BE REFERENCED TO THE APPROPRIATE REVISION DATE.
- PERMITS PRIOR TO ANY WORK WITHIN PUBLIC RIGHTS-OF-WAY, PERMITS MUST BE OBTAINED FROM THE CITY OF BETHLEHEM ENGINEERING OFFICE.

N/T
BETHLEHEM PARKING AUTHORITY
PARCEL ID: P6NE1D-1-1
DBV: 2000-1, PG. 163535
85 W. NORTH ST.

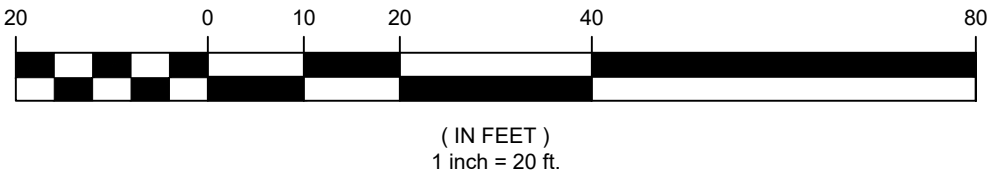
N/T
POSH PROPERTIES NO 32
BOWLARAMA
PARCEL ID: P6NE1D-6-5
DBV: 2014-1, PG. 9449
60 W. BROAD ST.

N/T
HYBETH HOTEL PARTNERS LP
PARCEL ID: P6NE1D-3-1
DBV: 2008-1, PG. 261556
42 W. NORTH ST.

N/T
BETH-BODY LLC
PARCEL ID: P6NE1D-7-8
DBV: 2021-1, PG. 54298
30-40 W. BROAD ST.



GRAPHIC SCALE



PLAN PREPARER'S NOTES

- THIS PLAN WAS PREPARED BASED ON A FIELD SURVEY CONDUCTED BY KEYSTONE CONSULTING ENGINEERS INC. ON NOVEMBER 4, 2025 USING A TRIMBLE S+5 ROBOTIC TOTAL STATION AND A TRIMBLE R+8 GPS WITH KEYNET AND REPRESENTS EXISTING FEATURES AND BOUNDARY RETRACEMENT SURVEYS OF LANDS NOW OR FORMERLY OF 46-52 WEST BROAD STREET, LLC.
- LOCATIONS OF AND INFORMATION PERTAINING TO UNDERGROUND UTILITIES CONTAINED HEREIN ARE APPROXIMATE AND WERE INTERPOLATED BASED ON FIELD LOCATIONS OF OBVIOUS ABOVE-GROUND EVIDENCE. UNDERGROUND UTILITIES NOT EVIDENCED ON THE SURFACE BY MARKINGS OR STRUCTURES AT THE TIME OF THE FIELD SURVEY HAVE NOT BEEN DEPICTED HEREIN.
- CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATIONS OF UNDERGROUND UTILITIES ON THE SITE IN ACCORDANCE WITH PA ACT 187 AND 121 PRIOR TO COMMENCING ANY EARTH DISTURBANCE ACTIVITY.
- PROPERTY OWNERS' NAMES, DEED REFERENCES, AND TAX PARCEL IDENTIFIER INFORMATION CONTAINED HEREIN ARE BASED ON NORTHAMPTON COUNTY TAX ASSESSMENT RECORDS AND ARE SUBJECT TO THE ACCURACIES OR INACCURACIES THEREOF.
- PROPERTY BOUNDARIES DEPICTED HEREIN AND ANNOTATED WITH BEARING ANGLES, DISTANCES, OR CURVE DATA DENOTE BOUNDARIES MEASURED BY THIS SURVEY. PROPERTY BOUNDARIES WITHOUT GEOMETRIC ANNOTATION MAY HAVE BEEN PLOTTED USING RECORD INFORMATION AND ARE INTENDED FOR GENERAL SITE ORIENTATION PURPOSES ONLY.
- HORIZONTAL BEARING ANGLES AND COORDINATES CONTAINED HEREIN ARE BASED ON THE PA SOUTH ZONE STATE PLANE COORDINATE SYSTEM IN US FEET. DISTANCES ANNOTATED HEREIN REPRESENT GROUND MEASUREMENTS (NO GRID SCALE FACTOR HAS BEEN APPLIED).

PLAN SHEET INDEX

| | | RECORD PLAN * |
|----------|--------------------------------------------------|---------------|
| LD1 OF 5 | EXISTING CONDITIONS & DEMOLITION PLAN | |
| LD2 OF 5 | SITE GRADING & UTILITIES PLAN | |
| LD3 OF 5 | SITE LANDSCAPING & SIGNAGE PLAN | |
| LD4 OF 5 | CONSTRUCTION DETAILS & SPECS PLAN | |
| LD5 OF 5 | EROSION & SEDIMENT POLLUTION CONTROL (ESPC) PLAN | |
| ES1 OF 2 | ESPC BMP DETAILS & SPECIFICATIONS PLAN | |
| ES2 OF 2 | | |

* DENOTES PLAN TO BE RECORDED IN NORTHAMPTON COUNTY RECORDER OF DEEDS OFFICE UPON APPROVAL BY CITY OF BETHLEHEM.

LEGEND

| | |
|--|-----------------------------------------------------|
| | SUBJECT PROPERTY LINE |
| | ADJOINER PROPERTY LINE OR RIGHT-OF-WAY LINE |
| | ADJOINER PROPERTY OWNER I.D. |
| | EX. ROADWAY CENTERLINE |
| | REQUIRED YARD LINE |
| | ZONING DISTRICT BOUNDARY LINE |
| | EX. CONCRETE CURB |
| | EX. EDGE OF PAVE |
| | EX. WROUGHT IRON FENCE |
| | EX. CHAIN LINK FENCE |
| | EX. IRON PIN (OR AS NOTED) |
| | EX. CONCRETE MONUMENT |
| | PROPOSED BUILDING FOOTPRINT (AT GROUND LEVEL) |
| | PROPOSED BUILDING FOOTPRINT (ABOVE GROUND LEVEL) |
| | PROPOSED BUILDING FOOTPRINT (BELOW GROUND LEVEL) |
| | PROPOSED IMPROVEMENT |
| | PROPOSED CONCRETE CURB |
| | PROPOSED DEPRESSED CONC. CURB |
| | PROPOSED PUBLIC SIDEWALK EASEMENT |
| | PROPOSED PROPERTY CORNER MARKER (MAG NAIL IN CONC.) |

NOTE:
ITALIC TEXT IN PLAN VIEW DENOTES EXISTING FEATURES WHILE UPRIGHT TEXT DENOTES PROPOSED FEATURES.

PLAN OF RECORD

RECORDED THIS _____ DAY OF _____, 20____
IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR THE COUNTY OF NORTHAMPTON, PENNSYLVANIA, IN PLAN BOOK NO. _____, PAGE _____.

RECORDER OF DEEDS

PLANNING COMMISSION REVIEW

REVIEWED AND ACCEPTED FOR RECORDING BY THE CITY OF BETHLEHEM PLANNING COMMISSION THIS _____ DAY OF _____, 20____.

CHAIRMAN

SECRETARY

L.V.P.C. REVIEW

REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION

L.V.P.C. STAFF PERSON _____ DATE _____
RESPONSIBLE FOR REVIEW

OWNER'S STATEMENT

I, THE UNDERSIGNED, AN AUTHORIZED SIGNATORY FOR MONODACY GENERAL CONTRACTING, LLC (MGC), DEPOSE AND SAY THAT MGC IS THE OWNER OF THE PROPERTY HEREIN SUBDIVIDED OR DEVELOPED, THAT NO LITIGATION OR LIENS EXIST ON OR ARE PENDING AGAINST THE PROPERTY, THAT THIS PLAN HAS BEEN PROCESSED WITH OWNER'S FREE CONSENT, AND DESIRES THAT THIS PLAN BE RECORDED ACCORDING TO LAW.

NAME

TITLE

SIGNATURE

SWORN AND SUBSCRIBED BEFORE ME THIS _____ DAY OF _____, 20____.

IN WITNESS THEREOF, I HERETO SET MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

ENGINEER'S CERTIFICATION

I, KEVIN J. HORVATH, A REGISTERED PROFESSIONAL ENGINEER IN THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT I HAVE REVIEWED THE ACCOMPANYING APPLICATION AND SUPPORTING DOCUMENTATION ARE TRUE AND CORRECT, TO THE BEST OF MY KNOWLEDGE.

KEYSTONE CONSULTING ENGINEERS, INC. DATE: _____
BY KEVIN J. HORVATH, P.E. (AGENT)
REGISTRATION NO. PE-060641

THIS PLAN IS NULL AND VOID UNLESS IT CONTAINS AN ORIGINAL SIGNATURE, DATE, AND PROFESSIONAL SEAL.

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT: THE SURVEY DEPICTED ON THIS PLAN WAS CONDUCTED UNDER MY SUPERVISION TO THE LOCAL STANDARDS OF CARE. THIS PLAN IS BASED ON A FIELD SURVEY COMPLETED AS OF THE DATE(S) INDICATED IN PLAN PREPARER'S NOTE 1 HEREIN. THE SURVEY REPRESENTS A RETRACEMENT OF LANDS AS DESCRIBED IN THE DEEDS OF RECORD LISTED IN THE SITE DATA TABLE HEREIN; AND THE SURVEY DIMENSIONS ARE CORRECT IN THE FIELD AS INDICATED HEREIN AND SUBSTANTIALLY MEET THE PRECISION STANDARDS OF A "SUBURBAN" SURVEY AS PUBLISHED BY THE AMERICAN CONGRESS ON SURVEYING AND MAPPING IN 1992. THIS SURVEY AND PLAN HAVE BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH AND ARE THEREFORE SUBJECT TO ANY EASEMENTS, ENCUMBRANCES, OR OTHER PERTINENT FACTS WHICH A TITLE SEARCH MAY DISCLOSE.

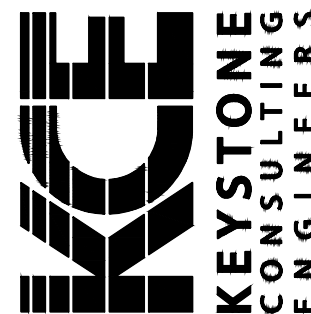
KEYSTONE CONSULTING ENGINEERS, INC. DATE: _____
BY DOUGLAS HARWICK, P.L.S. (AGENT)
REGISTRATION NO. SU075053

THIS PLAN IS NULL AND VOID UNLESS IT CONTAINS AN ORIGINAL SIGNATURE, DATE, AND PROFESSIONAL SEAL.

KEYSTONE CONSULTING ENGINEERS, INC.

Engineering firm of choice since 1972

2870 EMRICKBOULEVARD, BETHLEHEM, PA 18020 610-865-4555
East Office: Bethlehem, West Office: Allentown, North Office: Kresgeville
www.KCinc.com



RECORD PLAN

WELLS FARGO BANK BUILDING REDEVELOPMENT
46-52 WEST BROAD STREET
BETHLEHEM, PA 18018

CITY OF BETHLEHEM
NORTHAMPTON COUNTY, PENNSYLVANIA

DESIGNED BY: KJH

DRAWN BY: ANH

CHECKED BY: KJH

DATE: 8/18/2025

SCALE: 1" = 20'

JOB NUMBER: CB-25-072

SHEET: LD1 OF 5

DEMOLITION NOTES

- CONTRACTOR SHALL REMOVE OR ABANDON-IN-PLACE AS APPLICABLE ALL ABOVE AND BELOW-GRADE STRUCTURES, SITE IMPROVEMENTS, AND TREES ON THE PROJECT SITE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
- CONTRACTOR SHALL FIELD-LOCATE AND CUT/CAP, REMOVE, AND/OR ABANDON-IN-PLACE ANY ABOVE AND BELOW-GRADE UTILITY LINES AND APPURTENANCES ON THE PROJECT SITE (THAT ARE NOT IDENTIFIED HEREIN AS TO BE REUSED) IN ACCORDANCE WITH RESPECTIVE FACILITY OWNERS STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL FIELD-LOCATE AND REMOVE ANY ABOVE OR BELOW-GRADE STORAGE TANKS AND RELATED APPURTENANCES ON THE PROJECT SITE IN ACCORDANCE WITH PennDEP REGULATIONS.
- CONTRACTOR SHALL REMOVE FROM THE PROJECT SITE, RECYCLE OR DISPOSE OF ALL CONSTRUCTION MATERIALS AND WASTE IN ACCORDANCE WITH PennDEP SOLID WASTE MANAGEMENT REGULATIONS CONTAINED IN CHAPTER 25 PA CODE 260.1 ET. SEQ., 271.1 ET. SEQ. AND 287.1 ET. SEQ. CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY CONSTRUCTION MATERIALS OR WASTE ON THE PROJECT SITE.
- CONTRACTOR SHALL BE RESPONSIBLE TO IMPLEMENT ANY AND ALL MEASURES NECESSARY, INCLUDING BUT NOT LIMITED TO FENCING, BARRICADES, SHEETING AND SHORING, TEMPORARY SIGNAGE AND TRAFFIC CONTROLS, TEMPORARY PEDESTRIAN ACCOMMODATIONS, SECURITY PERSONNEL OR DEVICES, ETC., TO ADEQUATELY SECURE THE SITE, MAINTAIN A SAFE AND CLEAN WORK AREA, MAINTAIN ROADWAYS AND WALKWAYS IN A SAFE AND PASSABLE CONDITION, PREVENT INJURY TO PEDESTRIANS AND MOTORISTS, AND AVOID DAMAGE TO SURROUNDING PUBLIC AND PRIVATE PROPERTY FOR THE DURATION OF THE PROJECT.

N/F
BETHLEHEM PARKING AUTHORITY
PARCEL ID: P/NETD-1-1
DBV: 2000-1, PG: 163535
85 W. NORTH ST.

SOIL TYPE
UkaD

N/F
POSH PROPERTIES NO 32
BOWLARAMA
PARCEL ID: P/NETD-6-5
DBV: 2014-1, PG: 9449
60 W. BROAD ST.

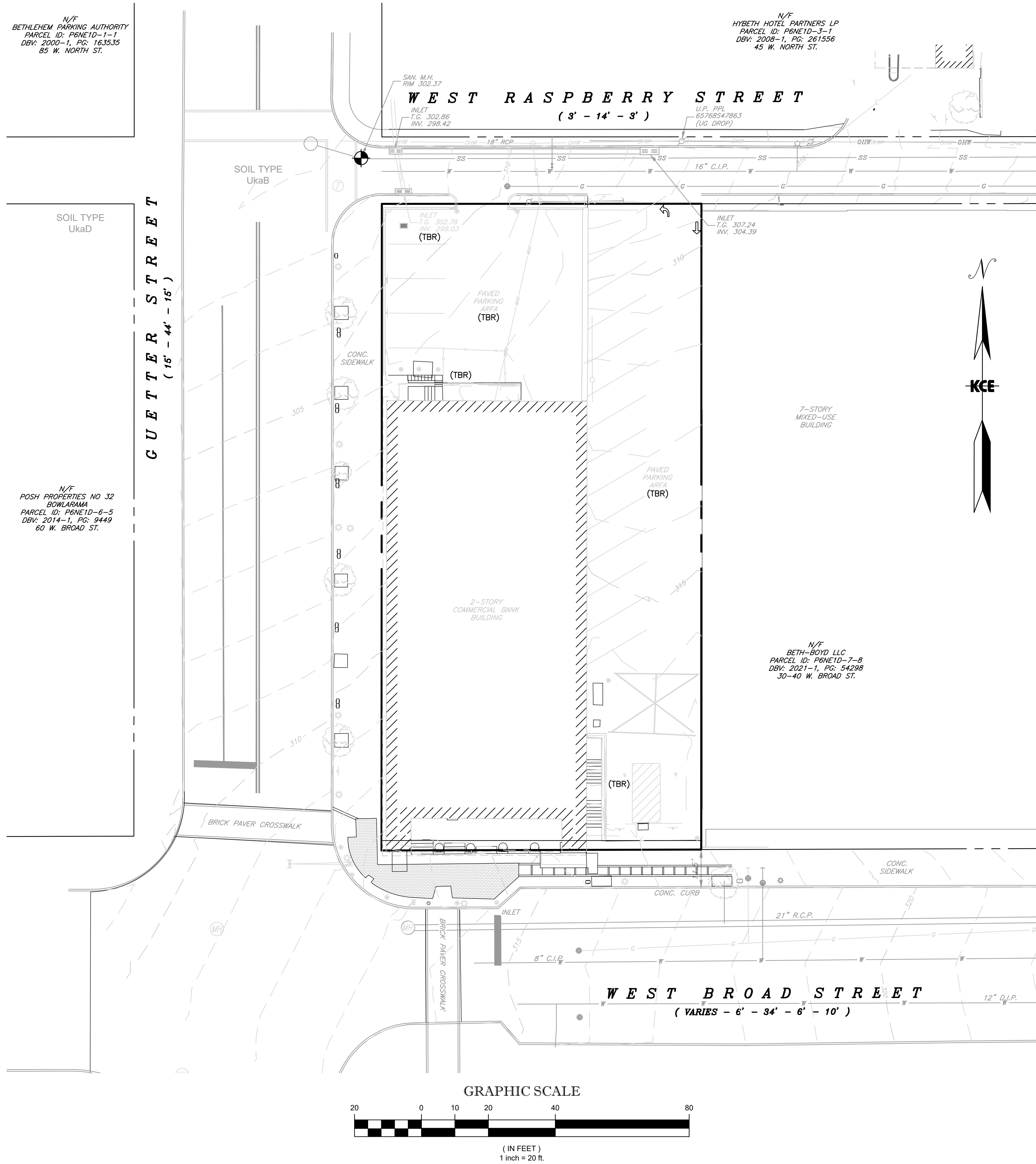
N/F
HYBETH HOTEL PARTNERS LP
PARCEL ID: P/NETD-3-1
DBV: 2008-1, PG: 261556
42 W. NORTH ST.

N/F
BETH-BODY LLC
PARCEL ID: P/NETD-7-8
DBV: 2021-1, PG: 54298
30-40 W. BROAD ST.

LEGEND

- SUBJECT PROPERTY LINE
- ADJOINER PROPERTY LINE
- LEGAL R/W LINE
- EX. ROADWAY CENTERLINE
- EX. SAN. SEWER EASEMENT LINE
- EX. FLOODWAY/FLOODPLAIN LIMIT
- SOIL TYPE BOUNDARY LINE
- EX. CONTOUR LINE
- EX. CONCRETE CURB
- EX. EDGE OF PAVE
- EX. OVERHEAD UTILITY LINES
- EX. NATURAL GAS MAIN
- EX. STORM SEWER
- EX. WATER MAIN
- EX. SANITARY SEWER MAIN
- EX. WOOD FENCE
- EX. CHAIN LINK FENCE
- EX. TREE ROW OR EDGE OF WOODS
- EX. CONIFEROUS TREE
- EX. DECIDUOUS TREE
- EX. IRON PIN (OR AS NOTED)
- EX. CONCRETE MONUMENT
- EX. FEATURE TO BE REMOVED

NOTE:
ITALIC TEXT IN PLAN VIEW DENOTES EXISTING FEATURES
WHILE UPRIGHT TEXT DENOTES PROPOSED FEATURES.



SOIL TYPE

THE FOLLOWING SOIL TYPE(S) ARE PRESENT ON THE PROJECT SITE ACCORDING TO THE CUSTOM SOIL RESOURCE REPORT GENERATED FOR THE PROJECT SITE USING THE ONLINE WEB SOIL SURVEY TOOL OPERATED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE.

- UkaB, URBAN LAND, 0 TO 8 PERCENT SLOPES (ENTIRE DISTURBED AREA)

SOIL TYPE LIMITATIONS

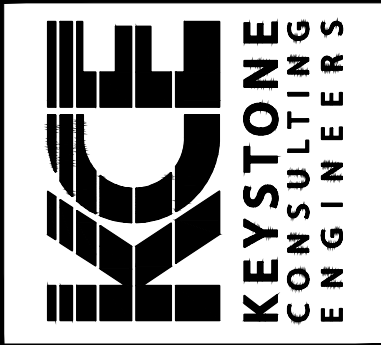
- UNKNOWN
- UNKNOWN

RESOLUTIONS TO SOIL TYPE LIMITATIONS

- IF ENCOUNTERED, UNSUITABLE SOILS WILL BE REMOVED AND REPLACED OR REMEDIATED AS DIRECTED BY THE PROJECT GEOTECHNICAL ENGINEER.
- SITE SPECIFIC TEMPORARY AND PERMANENT BMPs WERE SELECTED AND WILL BE IMPLEMENTED AND MAINTAINED DURING AND AFTER CONSTRUCTION TO MINIMIZE SOIL EROSION AND PREVENT THE TRANSPORT OF SEDIMENT BEYOND THE LIMITS OF THE PROJECT SITE TO THE EXTENT PRACTICABLE.
- CONTRACTOR SHALL EXCAVATE ROCK BY MEANS OF PNEUMATIC HAMMERING OR RIPPING TO A SUFFICIENT DEPTH (MINIMUM TWO (2) FEET BELOW THE BOTTOM ELEVATION OF INFILTRATION FACILITIES) AND REPLACE SAME WITH SUITABLE MATERIAL, AS DIRECTED BY PROJECT GEOTECHNICAL ENGINEER.

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East Office: Bethlehem, West Office: Allentown, North Office: Kresgeville
www.KCEinc.com



| EXISTING CONDITIONS & DEMOLITION PLAN | | |
|-------------------------------------------------------------------------------------------|-----------|------------------|
| WELLS FARGO BANK BUILDING REDEVELOPMENT 46-52 WEST BROAD STREET BETHLEHEM, PA 18018 | | |
| CITY OF BETHLEHEM NORTHAMPTON COUNTY, PENNSYLVANIA | | |
| DESIGNED BY: KJH | REVISIONS | |
| DRAWN BY: ANH | BY: KJH | DATE: 11.07.2025 |
| CHECKED BY: KJH | | |
| DATE: 8/18/2025 | | |
| SCALE: 1" = 20' | | |
| JOB NUMBER: CB-25-072 | | |
| SHEET: LD2 OF 5 | | |

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF BETHLEHEM, PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND PENNSYLVANIA DEPARTMENT OF TRANSPORTATION STANDARDS AND REGULATION AS APPLICABLE.
- CONTRACTOR SHALL LOCATE OR CAUSE TO HAVE LOCATED ANY AND ALL UNDERGROUND UTILITIES IN ACCORDANCE WITH PA ACT 121 PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER IN THE EVENT THAT A CONFLICT IS DISCOVERED.
- PROPOSED ELEVATION CONTOUR LINES DEPICTED ON THIS PLAN REPRESENT FINAL GRADES AT THE COMPLETION OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AT ALL TIMES DURING CONSTRUCTION TO PREVENT THE PONDING OF WATER ON THE SITE.
- CONTRACTOR SHALL DEWATER AND OTHERWISE MAINTAIN UTILITY TRENCHES AND OTHER EXCAVATIONS FREE OF WATER (GROUND WATER AND SURFACE WATER) AT ALL TIMES USING A PUMPED WATER FILTER BAG OR OTHER APPROVED METHODS (REFER TO PUMPED WATER FILTER BAG DETAIL ON E&S POLLUTION CONTROL DETAILS PLAN). ADDITIONALLY, CONTRACTOR SHALL PROPERLY GRADE ADJACENT AREAS AND TAKE ANY OTHER REASONABLE PRECAUTIONS NECESSARY TO PREVENT WATER FROM ENTERING EXCAVATIONS.
- IF CONTRACTOR ENCOUNTERS SOFT OR SATURATED SOILS DEEMED UNSUITABLE BY THE PROJECT ENGINEER DURING CONSTRUCTION, CONTRACTOR SHALL EXCAVATE, REMOVE, AND REPLACE ANY SUCH UNSUITABLE MATERIAL WITH COMPACTED CLEAN FILL OR AGGREGATE MATERIAL AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- WHERE PLACEMENT OF FILL BENEATH SETTLEMENT SENSITIVE STRUCTURES (E.G. BUILDING PADS, PARKING LOTS, UTILITY AND STORM SEWERS LINES, AND RELATED STRUCTURES) IS NECESSARY TO ACHIEVE DESIRED SUBGRADE, CONTRACTOR SHALL PLACE AND COMPACT APPROPRIATE FILL MATERIAL IN MAXIMUM 6-INCH LIFTS TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR DENSITY OF THE MATERIAL (90% FOR BUILDING PADS) OR AS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER.
- SPOT ELEVATIONS AND CONTOUR LINES CONTAINED HEREIN ARE BASED ON GPS OBSERVATIONS USING A TRIMBLE R-8 GPS WITH KEYNET AND ARE ACCURATE WITHIN 0.15' OF THE U.S.G.S. NORTH AMERICAN VERTICAL DATUM OF 1988.
- LOCATIONS OF WATER AND SANITARY SEWER LATERALS AS DEPICTED HEREIN ARE APPROXIMATE AND COULD BE SUBJECT TO FIELD ADJUSTMENT.
- PERMITS PRIOR TO ANY WORK WITHIN PUBLIC RIGHTS-OF-WAY, PERMITS MUST BE OBTAINED FROM THE CITY OF BETHLEHEM ENGINEERING OFFICE.
A WARRANT OF SURVEY IS REQUIRED FOR ANY CURB REPLACEMENT OR INSTALLATION IN EXCESS OF 20 LINEAR FEET.
- CURB RAMPS DEVELOPER SHALL REPLACE EXISTING CONCRETE CURB RAMPS AT INTERSECTIONS OF GUETTER STREET AND WEST BROAD STREET AND GUETTER STREET AND WEST RASPBERRY STREETS WITH ADA-COMPLIANT RAMPS.
DESIGN OF CONCRETE CURB RAMPS SHALL BE IN STRICT ACCORDANCE WITH PENNDOT PUBLICATION 72M STANDARDS FOR ROADWAY CONSTRUCTION, RC-67M. MATERIALS AND CONSTRUCTION SHALL MEET PENNDOT PUBLICATION 40B, SECTIONS 350, 409, 630, 676, 694, AND 695 STANDARDS, AS APPLICABLE. DETECTABLE WARNING SURFACES SHALL BE BRICK RED IN COLOR.
- SIDEWALK DEVELOPER SHALL REPLACE CONCRETE SIDEWALK ALONG THE ENTIRE FRONTAGE OF THE SUBJECT PROPERTY ON GUETTER STREET TO INCLUDE INLAYED BRICK OR PATTERNEED CONCRETE AND PROVIDE A FINISHED SURFACE APPEARANCE SIMILAR TO THAT OF THE EXISTING CONCRETE SIDEWALK ALONG THE WEST BROAD STREET FRONTAGE. PATTERNS AND COLORS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE ENGINEERING BUREAU PRIOR TO SIDEWALK CONSTRUCTION.
DEVELOPER SHALL REPLACE ANY SIDEWALK AND CURBING ALONG THE FRONTAGES OF THE SUBJECT PROPERTY IDENTIFIED AS DEFICIENT BY THE ENGINEERING BUREAU.
- THE SITE/PLAN BENCHMARK IS THE RIM OF THE EXISTING SANITARY SEWER MANHOLE LOCATED IN WEST RASPBERRY STREET, JUST EAST OF THE CROSSWALK AT GUETTER STREET, AND HAVING AN ELEVATION OF 302.37 FEET (ACCURATE WITHIN 0.15' OF THE U.S.G.S. NORTH AMERICAN VERTICAL DATUM OF 1988).

STORM SEWER NOTES

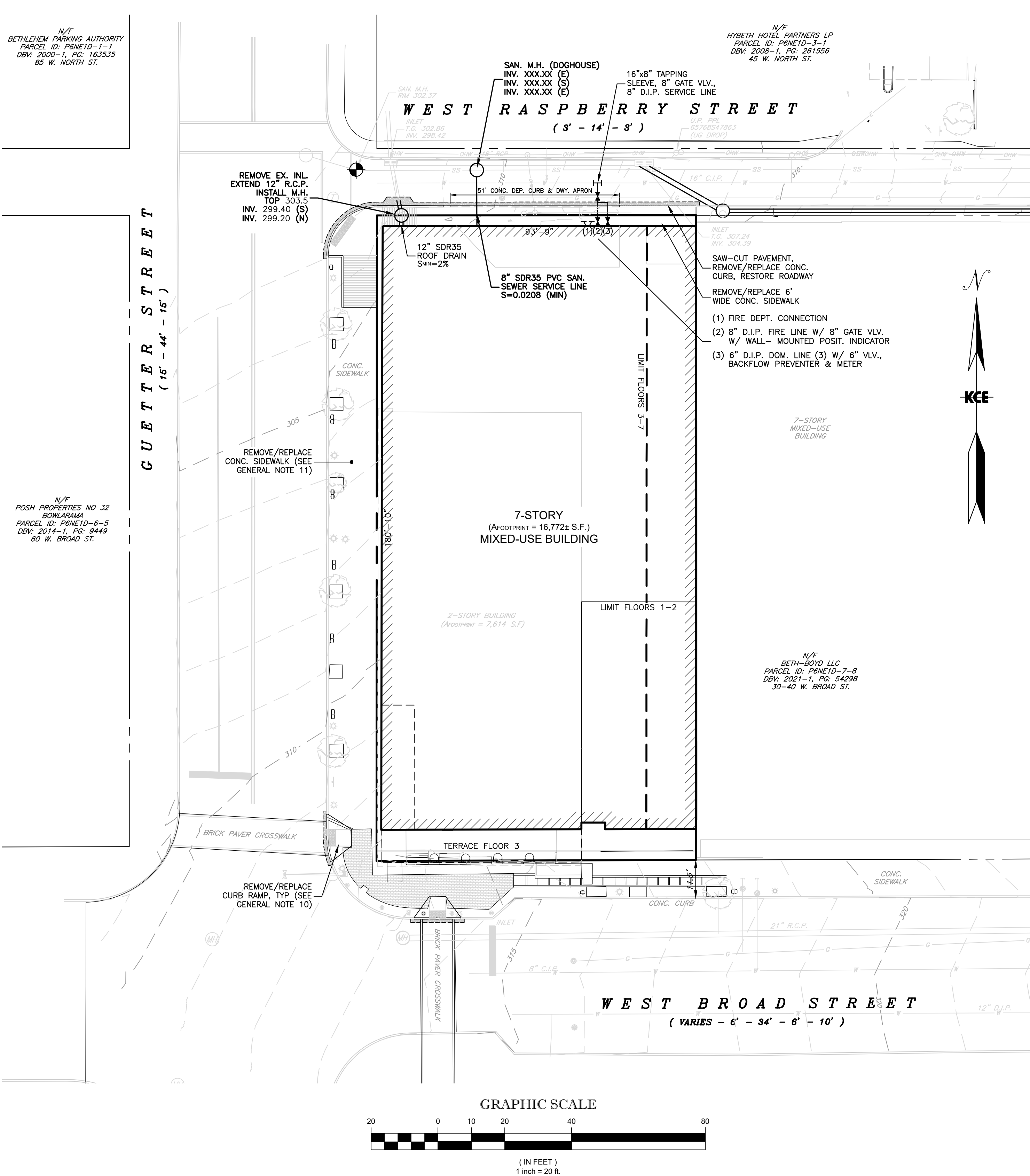
- STORM SEWERAGE SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF BETHLEHEM, PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, AND PENNSYLVANIA DEPARTMENT OF TRANSPORTATION STANDARDS AND REGULATION AS APPLICABLE.
- PIPING WITHIN PUBLIC RIGHTS-OF-WAY SHALL CONSIST OF REINFORCED CONCRETE PIPE OF THE SIZES INDICATED HEREIN WITH RUBBER G-RING GASKETS AND SHALL MEET ASTM C76 STANDARDS FOR CLASS III WALL B PIPE.
- PIPING ON PRIVATE PROPERTY SHALL CONSIST OF DUAL-WALL (SMOOTH INSIDE, CORRUGATED OUTSIDE) HIGH-DENSITY POLYETHYLENE STORM SEWER PIPE (EXCEPT WHERE NOTED) OF THE SIZES INDICATED HEREIN AND SHALL INCLUDE IN-LINE BELLS AND INTEGRAL "SOIL-TIGHT" GASKETS, AS MANUFACTURED BY ADS, HANCOR, OR APPROVED EQUAL.
- STORM SEWER STRUCTURES (I.E. INLET BOXES, TOP UNITS, MANHOLES, ENDWALLS, ETC.) AND APPURTENANCES SHALL BE PERNDOT STANDARD STRUCTURES (EXCEPT AS OTHERWISE NOTED) OF THE SIZES AND TYPES INDICATED HEREIN AND SHALL MEET MINIMUM STANDARDS OF PERNDOT PUBLICATION 72M, "STANDARDS FOR ROADWAY CONSTRUCTION", LATEST EDITION.
- INLET TOPS SHALL BE FITTED WITH STRUCTURAL STEEL BICYCLE SAFE GRATES AND ADORNED WITH A 24" x 3" TROUT LOGO PLATE AND "DUMP NO WASTE", DRAINS TO WATERWAYS" TAGS AS MANUFACTURED BY EAST JORDAN IRON WORKS, INC. (CATALOG NO. 7003PLU) OR APPROVED.
- MANHOLE FRAMES AND COVERS SHALL BE FABRICATED OF CAST IRON AND PROVIDE A MINIMUM 24-INCH DIAMETER CLEAR OPENING. MANHOLE COVERS SHALL BE CAST WITH THE WORD "STORM" IN 2-IN. HIGH LETTERS ON THE TOP SURFACE.
- PIPING, STRUCTURES, AND APPURTENANCES SHALL BE DESIGNED TO WITHSTAND HS-20 HIGHWAY LOADING AND SHALL MEET OR EXCEED APPLICABLE PERNDOT AND ASTM STANDARDS, EXCEPT WHERE NOTED HEREIN.
- CONNECT ROOF DRAIN DOWNSPOUTS TO LEADERS BELOW GRADE USING A PREFABRICATED WALL-MOUNT BOOT PER SPECIFICATIONS BY THE PROJECT ARCHITECT. RUN SDR35 LEADERS BELOW GRADE AND CONNECT TO ADJACENT UNDERGROUND INFILTRATION BED PER FACILITY MANUFACTURER'S INSTRUCTIONS OR DISCHARGE DOWNSPOUTS TO PRECAST CONCRETE SPLASH PADS AT GRADE (REFER TO RESPECTIVE ROOF AREAS AS INDICATED ON THE POST-DEVELOPMENT DRAINAGE AREA PLAN IN APPENDIX AS OF THE APPROVED PCSM PLAN FOR THE PROJECT).
- PROPOSED STORM SEWER STRUCTURES, PIPING, AND APPURTENANCES PROPOSED HEREIN AND LOCATED ON PRIVATE PROPERTY WILL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.

WATER SYSTEM NOTES

- WATER DISTRIBUTION SYSTEM SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH CITY OF BETHLEHEM, PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, AND AMERICAN WATER WORKS ASSOCIATION STANDARDS AND REGULATION AS APPLICABLE.
- PIPING FOR INDIVIDUAL SERVICE LINES SHALL BE CLASS 52 DUCTILE IRON PIPE OF THE SIZES INDICATED HEREIN. WATER SYSTEM PIPING AND AND APPURTENANCES SHALL COMPLY WITH AMERICAN WATER WORKS ASSOCIATION STANDARDS.
- PROVIDE A MINIMUM 10-FOOT HORIZONTAL SEPARATION OR 18-INCH CLEAR VERTICAL SEPARATION BETWEEN WATERLINES AND SANITARY OR STORM SEWERS WHERE PRACTICABLE.
- INSTALL WATER LINES AT LEAST FOUR FEET BELOW FINAL GRADE.

SANITARY SEWER SYSTEM NOTES

- SANITARY SEWERAGE SYSTEM SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH CITY OF BETHLEHEM AND PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION STANDARDS AND REGULATION AS APPLICABLE.
- PIPING FOR INDIVIDUAL SERVICE LINE SHALL BE 8-INCH DIAMETER SDR-35 PVC PIPE.
- PIPING, STRUCTURES, AND APPURTENANCES SHALL BE DESIGNED TO WITHSTAND HS-25 HIGHWAY LOADING AND SHALL MEET OR EXCEED APPLICABLE PERNDOT AND ASTM STANDARDS.



LEGEND

- SUBJECT PROPERTY LINE
- ADJOINER PROPERTY LINE
- EX. ROADWAY CENTERLINE
- EX. SAN. SEWER EASEMENT LINE
- EX. CONTOUR LINE
- EX. CONCRETE CURB
- EX. EDGE OF PAVE
- EX. OVERHEAD UTILITY LINES
- EX. NATURAL GAS MAIN
- EX. STORM SEWER
- EX. WATER MAIN (H.P. DENOTES HIGH PRESSURE)
- EX. SANITARY SEWER MAIN
- EX. WOOD FENCE
- EX. CHAIN LINK FENCE
- EX. TREE ROW OR EDGE OF WOODS
- EX. CONIFEROUS TREE
- EX. DECIDUOUS TREE
- EX. IRON PIN (OR AS NOTED)
- EX. CONCRETE MONUMENT
- PROPOSED BUILDING FOOTPRINT (AT GROUND LEVEL)
- PROPOSED IMPROVEMENT
- PROPOSED CONCRETE CURB
- PROPOSED DEPRESSED CONC. CURB
- PROPOSED FULL-DEPTH PAVEMENT RESTORATION
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONTOUR LINE
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER GRAVITY LINE
- PROPOSED STORM SEWER
- SITE/PLAN BENCHMARK

NOTE: ITALIC TEXT IN PLAN VIEW DENOTES EXISTING FEATURES WHILE UPRIGHT TEXT DENOTES PROPOSED FEATURES.

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SITE GRADING & UTILITIES PLAN

WELLS FARGO BANK BUILDING REDEVELOPMENT

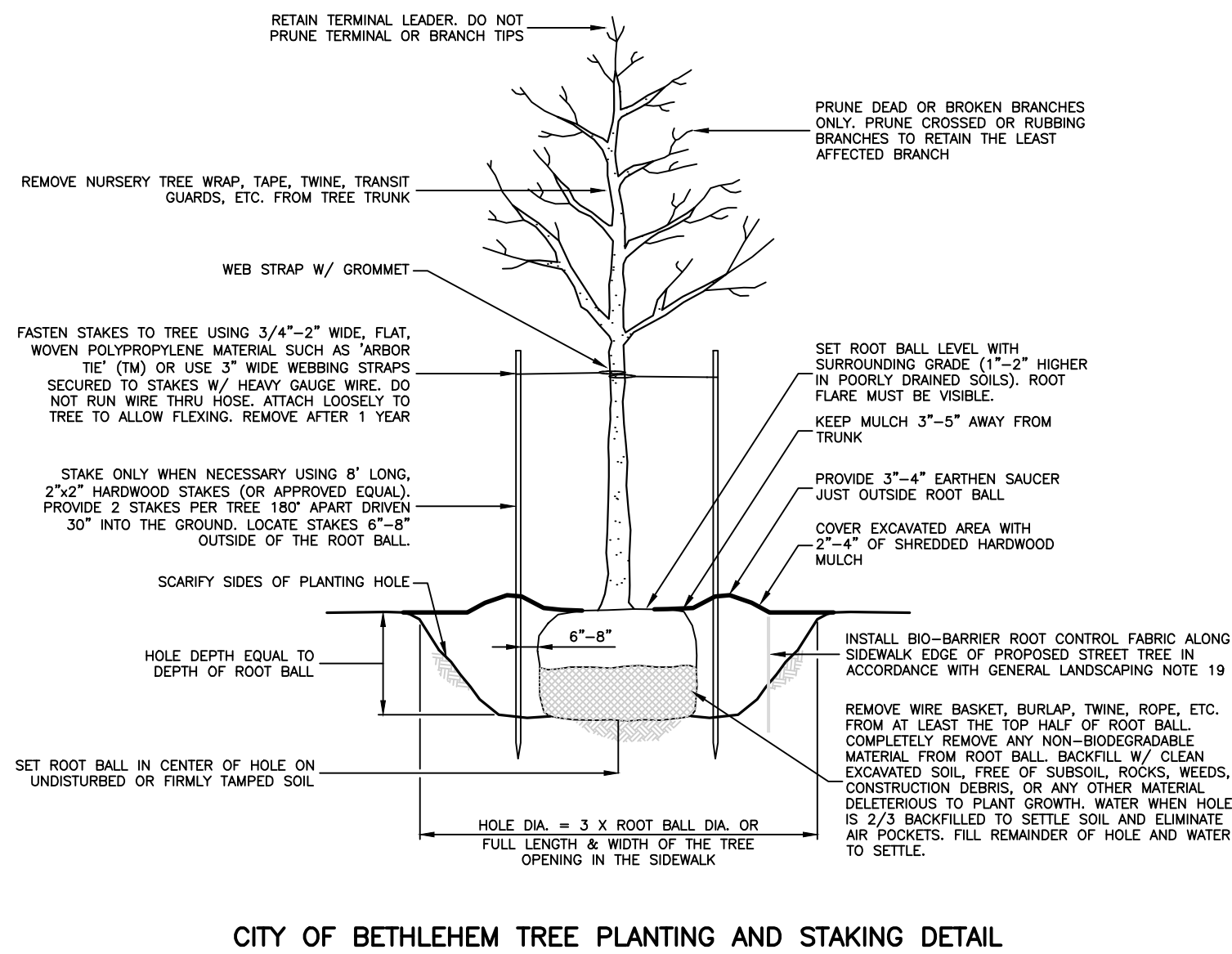
46-52 WEST BROAD STREET
BETHLEHEM, PA 18018

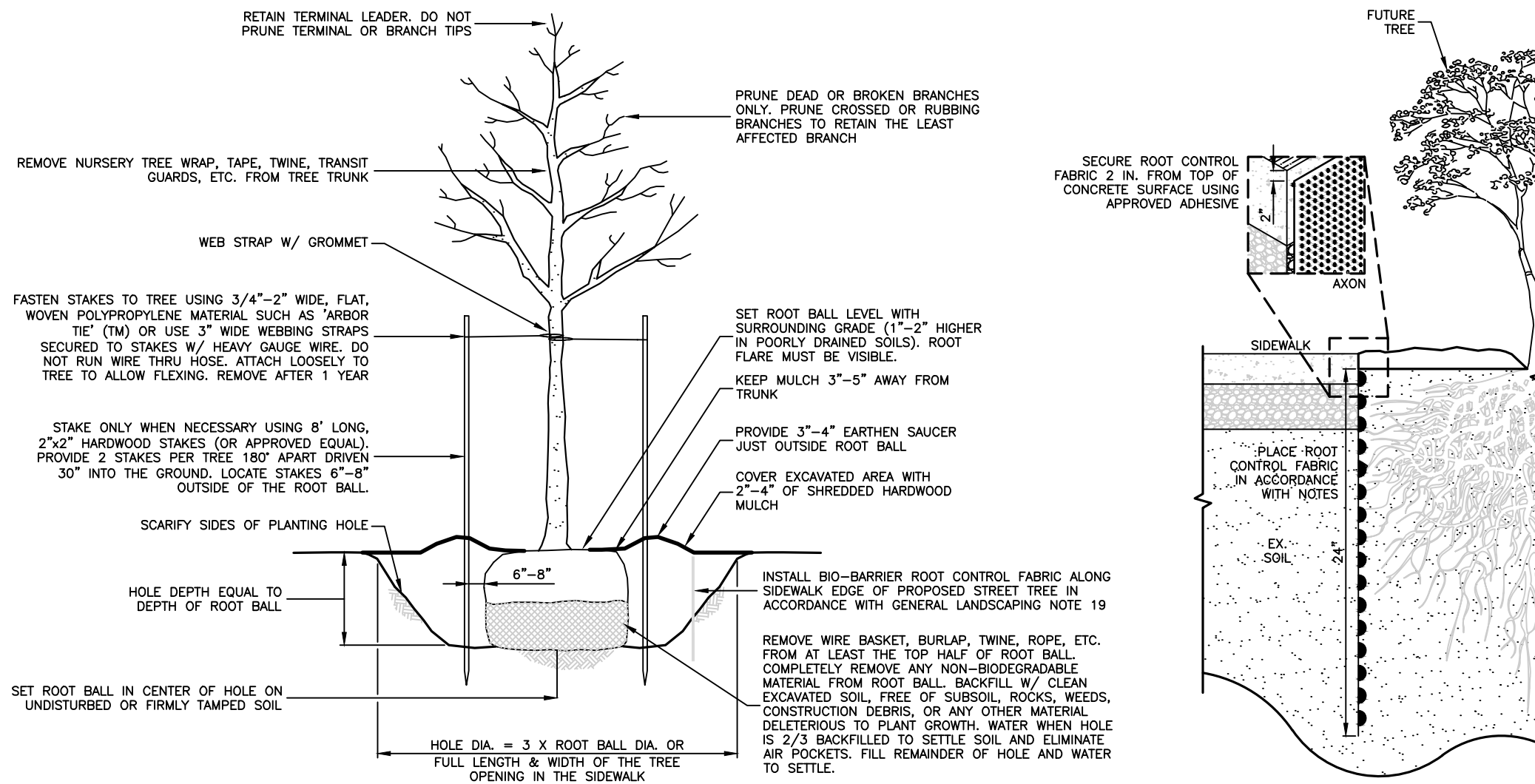
CITY OF BETHLEHEM
NORTHAMPTON COUNTY, PENNSYLVANIA

| DESIGNED BY: | KJH | REVISIONS | | DATE |
|--------------|-----------|-----------|------------|------|
| | | BY | DATE | |
| DRAWN BY: | ANH | KJH | 11/07/2025 | |
| CHECKED BY: | KJH | | | |
| DATE: | 8/18/2025 | | | |
| SCALE: | 1" = 20' | | | |
| JOB NUMBER: | CB-25-072 | | | |
| SHEET: | LD3 OF 5 | | | |

1. CONTRACTOR SHALL VERIFY THE PRESENCE, LOCATION, AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO BEGINNING OF LANDSCAPE CONSTRUCTION. CALL PA ONE CALL (800) 242-1776.
2. CONTRACTOR SHALL LAYOUT AND REVIEW ALL PLANT MATERIAL AND PLANT LOCATIONS WITH LANDSCAPE ARCHITECT OR OTHER AUTHORITY PRIOR TO INSTALLATION.
3. CONTRACTOR SHALL LOCATE PLANTINGS TO AVOID PLACEMENT WITHIN SCALE CENTERLINES.
4. MULCH FOR ALL PLANTINGS SHALL BE DOUBLE SHREDDED HARDWOOD BARK MULCH, DARK BROWN IN COLOR, AGED AT LEAST ONE YEAR AND CLEAN AND FREE OF WEEDS.
5. ALL PLANT GROUPINGS AND HEDGES SHALL BE PLANTED IN PREVIOUSLY PREPARED BEDS OF LARGE MULCH BED AT EACH PLANT GROUPING LOCATION.
6. CONTRACTOR SHALL APPLY A PRE-EMERGENT WEED PREVENTATIVE SUCH AS PRELAP TO TOPSOIL PRIOR TO MULCHING ACTIVITIES.
7. CONTRACTOR SHALL MAINTAIN ALL NEW PLANTINGS FOR A PERIOD OF TWENTY-FOUR MONTHS FROM THE DATE OF PLANTING. MAINTENANCE SHALL INCLUDE FERTILIZING, MULCHING, CULTIVATING, ETC. FOR A WEED FREE HEALTHY LANDSCAPE.
8. CONTRACTOR SHALL PERMANENTLY RESTORE ALL DAMAGED AREAS ON THE SUBJECT PROPERTY TO A CRACKED CONDITION.
9. CONTRACTOR SHALL TEST EXISTING TOPSOIL TO DETERMINE PROPER LIME AND FERTILIZER APPLICATION RATES. PROPER LIME ESTABLISHMENT SHALL INCLUDE FINE TEXTURED TOPSOIL TO A MINIMUM OF 6" DEPTH, AND ADEQUATE 60-DAY MAINTENANCE IN ORDER TO ACHIEVE A WEED FREE HEALTHY LANDSCAPE.
10. WEED FREE SHALL BE DEFINED AS A WEED FREE LAWN WITH 95% COVERAGE UPON CLOSE EXAMINATION OF ANY GIVEN FOUR SQUARE FEET AREA.
11. CONTRACTOR SHALL GUARANTEE ALL REQUIRED PLANTINGS FOR A PERIOD OF TWENTY-FOUR MONTHS FROM THE DATE OF FINAL ACCEPTANCE. PLANTINGS SHALL BE ALIVE TO THE END OF THE GUARANTEE PERIOD. IF THE CONTRACTOR, OR HIS AGENT AT THE END OF THE GUARANTEE PERIOD, OF FINAL ACCEPTANCE SHALL BEGIN UPON SUCCESSFUL COMPLETION OF THE PROJECT AND THE CONTRACT IS CLOSED.
12. NO SOIL, DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCING OR OTHER LAND DISTURBANCE IS ALLOWED IN THE TREE PROTECTION ZONE UNLESS INDICATED ON THE PLAN.
13. TREE PROTECTION BARRICADES MUST BE INSTALLED PRIOR TO ANY CONSTRUCTION OR PROTECTION ACTIVITY.
14. THE TREE PROTECTION ZONE SHALL BE DEFINED AS THE AREA ENCOMPASSED BY A CIRCLE WITH A RADIUS EXTENDING 1.25 FT. FROM THE TRUNK OF THE TREE FOR TREES WITH DBH (DIAMETER AT BREAST HEIGHT) OF THE TREE.
15. VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO PENALTY PER CITY ORDINANCE.
16. ALL TREES ON PUBLIC PROPERTY ARE PROTECTED BY ORDINANCE. NO PRUNING, ROOT PRUNING OF ROOTS OVER THE CURB OR DIAMETER PRUNING OF ROOTS OVER THE CURB TO BE PERFORMED WITHOUT A PERMIT AND WORK MUST BE PERFORMED BY A CITY LICENSED TREE CONTRACTOR.
17. ALL PLANT MATERIALS ARE TO CONFORM TO THE STANDARDS OF THE FIRST EDITION, THE TREE CARE MANUAL, EDITION, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
18. STREET AND PARKING LOT TREES SHALL BE A MINIMUM OF 14 FT. IN HEIGHT AND HAVE A SINGLE STRAIGHT TRUNK. THE FIRST BRANCH SHALL BE 10 FT. ABOVE THE ROOT BALL. TREES WITH AN UPRIGHT BRANCHING HABIT AS WELL AS TREES WITH A FIRST LATERAL BRANCH AT 6 FT. ABOVE THE ROOT BALL.
19. ALL LANDSCAPING SHALL CONFORM TO THE CURRENT EDITION OF THE ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE OF THE CITY OF BETHLEHEM.
20. A ROOT CONTROL SYSTEM IS REQUIRED WHEN INSTALLING TREES IN THE STREET. THE SYSTEM SHALL BE THE BIO-BARRIER TYPE AND A MINIMUM OF EIGHTEEN (18) INCHES WIDE. ANY SUBSTITUTION SHALL BE APPROVED BY THE CITY ENGINEER. THE SYSTEM SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. THE BIO-BARRIER SHALL BE INSTALLED ALONG THE FACE OF THE TREE OPENING WHICH IS PARALLEL TO THE STREET AND SHALL BE INSTALLED TO THE CURB AND CENTERED ON THE NEAREST TWO CORNERS BY APPROXIMATELY FOUR (4) INCHES. WHERE TREES ARE TO BE PLANTED IN A PARKING LOT OR PLANTING BED, THE BIO-BARRIER SHALL BE INSTALLED ALONG THE SIDEWALK. THE BIO-BARRIER SHALL BE INSTALLED ALONG THE SIDEWALK AND TO THE CURB AND CENTERED ON THE ROOT SOURCE. THE LENGTH OF THE BARRIER SHALL BE A MINIMUM LENGTH EQUAL TO THE SPREAD OF THE CROWN PLUS TEN (10) FEET.
21. UPON COMPLETION OF EXCAVATION AND PRIOR TO PLACEMENT OF STONE SUBBASE FOR NEW SIDEWALK ALONG THE PROPERTY FRONTS, THE CONTRACTOR SHALL REQUEST THE CITY ENGINEER'S OFFICE TO SCHEDULE AN INSPECTION OF THE EXISTING STREET TREES. IF, IN THE OPINION OF THE CITY ENGINEER, ANY WORK TO BE DONE ON TREES HAS SUSTAINED DAMAGE DURING EXCAVATION, THE CITY ENGINEER SHALL PLACE SAID TREE(S) AS DIRECTED BY THE FORESTER.

| PLANT SCHEDULE | | | | | | | |
|----------------|------|--------------------------|---------------|----------------|-------|--------|-------|
| SYM. | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | COND. | CLASS. | NOTES |
| STREET TREES | | | | | | | |
| ST.AB | 2 | <u>ACER BUERGERIANUM</u> | TRIDENT MAPLE | 2"-2 1/2" CAL. | B&B | MEDIUM | |



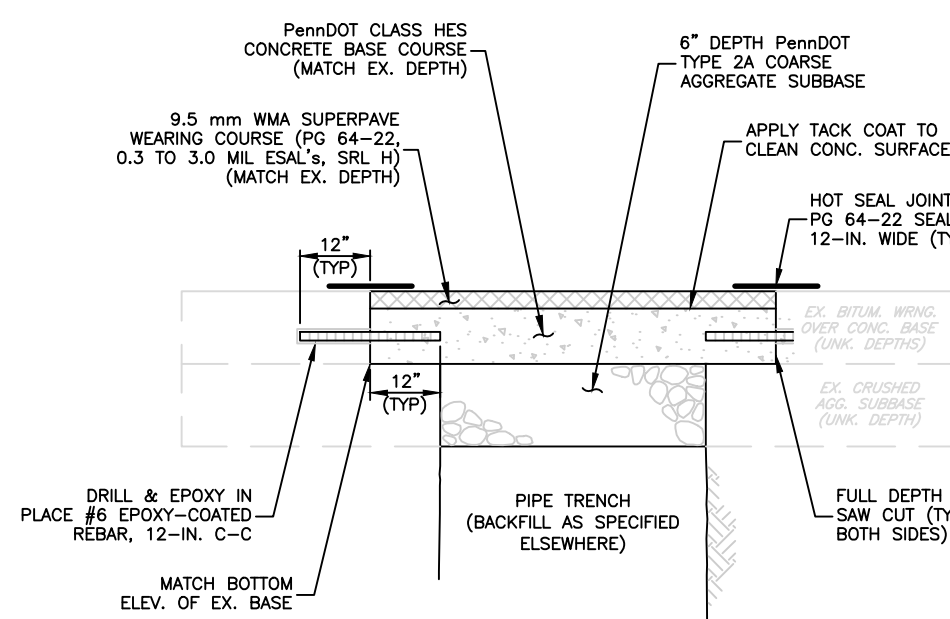


CITY OF BETHLEHEM TREE PLANTING AND STAKING DETAIL

ROOT BARRIER FABRIC INSTALLATION DETAIL

- NOTES:
1. CONTRACTOR SHALL VERIFY LOCATIONS OF ANY AND ALL UNDERGROUND UTILITIES IN ACCORDANCE WITH PA ACT 121 PRIOR TO ANY EXCAVATION.
 2. INSTALL AND BACKFILL ROOT CONTROL FABRIC AS SOON AS POSSIBLE (WITHIN 12 HOURS) AFTER OPENING. MANUFACTURER'S PACKAGING, HIGH TEMPERATURES AND DIRECT SUNLIGHT CAN REDUCE THE EFFECTIVE LIFE OF THE PRODUCT.
 3. DIG TRENCHES AT LEAST 4 IN. WIDE WITH A MINIMUM LENGTH EQUAL TO THE WIDTH OF THE MATURE PLANT CANOPY PLUS 10 FEET CENTERED ON THE ROOT SOURCE, ADJACENT TO THE PROTECTION AREA.
 4. INSTALL ROOT CONTROL FABRIC ON THE SIDE OF THE TRENCH OPPOSITE THE ROOT SOURCE.
 5. INSTALL ROOT CONTROL FABRIC WITH NODULES FACING TOWARD ROOT/WEED SOURCE.
 6. FIXING PINS SHOULD PENETRATE FABRIC BETWEEN THE NODULES 1/4 IN. FROM TOP EDGE OF FABRIC AND AT A 45° ANGLE TO THE TRENCH WALL.
 7. REFER TO THE MANUFACTURER'S WEBSITE FOR ADDITIONAL INFORMATION.

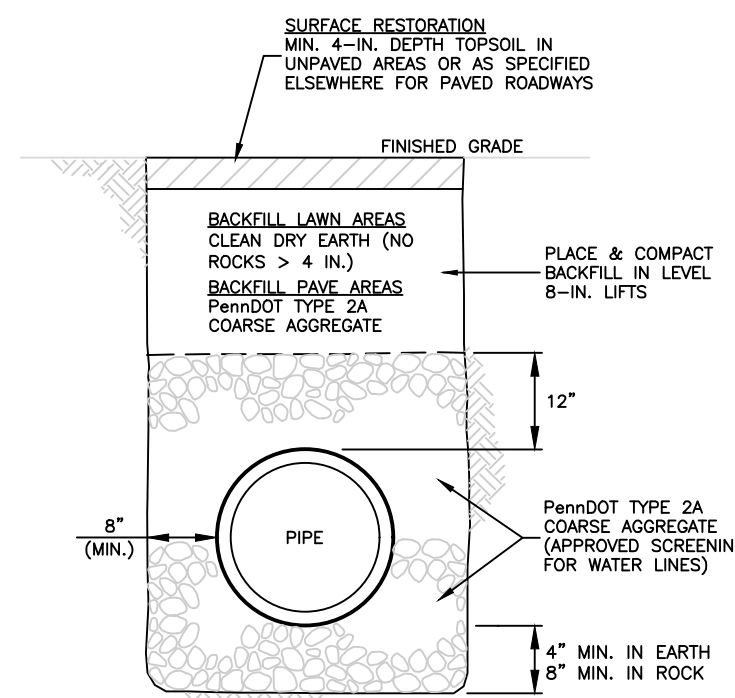
NO SCALE



- NOTE:
- ROADWAY RESTORATION SHALL BE IN STRICT ACCORDANCE WITH CITY OF BETHLEHEM CONSTRUCTION STANDARDS, PENNDOT PUBLICATION 72M, STANDARDS FOR ROADWAY CONSTRUCTION, AND PENNDOT PUBLICATION 40B, SPECIFICATIONS, STANDARDS, AS APPLICABLE.

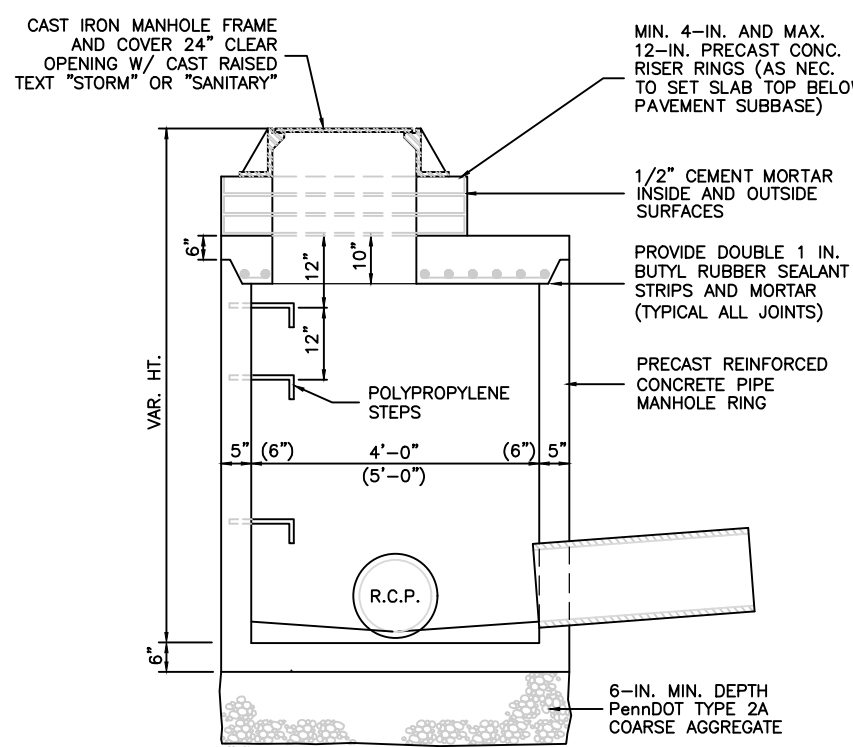
TRENCH RESTORATION DETAIL (MUNICIPAL ROADWAYS - CONCRETE BASE)

NO SCALE



PIPE BEDDING DETAIL

NO SCALE



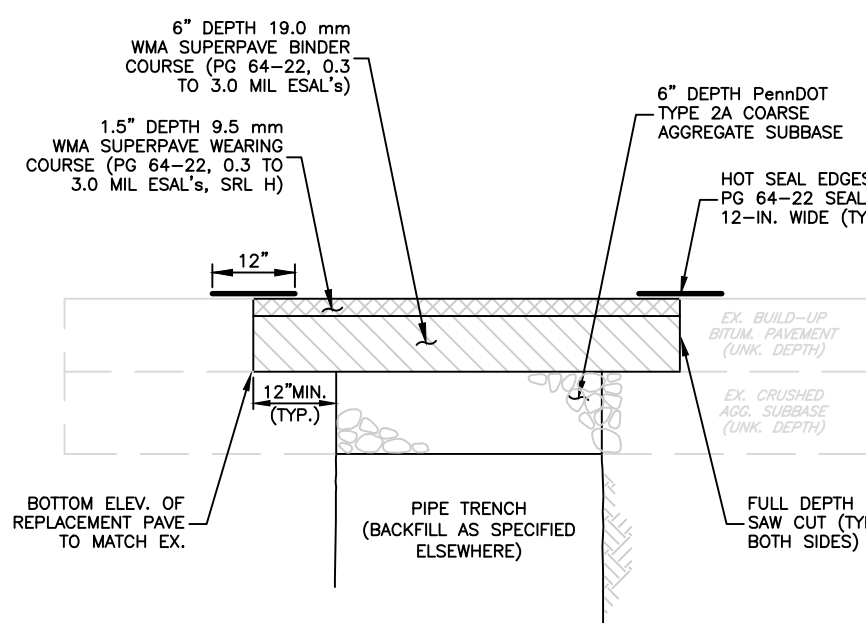
- NOTES:
1. PRECAST CONCRETE MANHOLES SHALL BE IN ACCORDANCE WITH CITY OF BETHLEHEM CONSTRUCTION STANDARDS, PENNDOT PUBLICATION 72M, RC-30M (SANITARY) AND RC-30M (STORM), AND PENNDOT PUBLICATION 40B, SECTIONS 605 AND 714, AS APPLICABLE.
 2. DIMENSIONS FOR 5-FT. DIAMETER MANHOLE SHOWN IN PARENTHESES.

SHALLOW PRECAST CONCRETE MANHOLE

NO SCALE

TRENCH RESTORATION DETAIL (MUNICIPAL ROADWAYS - FULL-DEPTH BITUMINOUS PAVE)

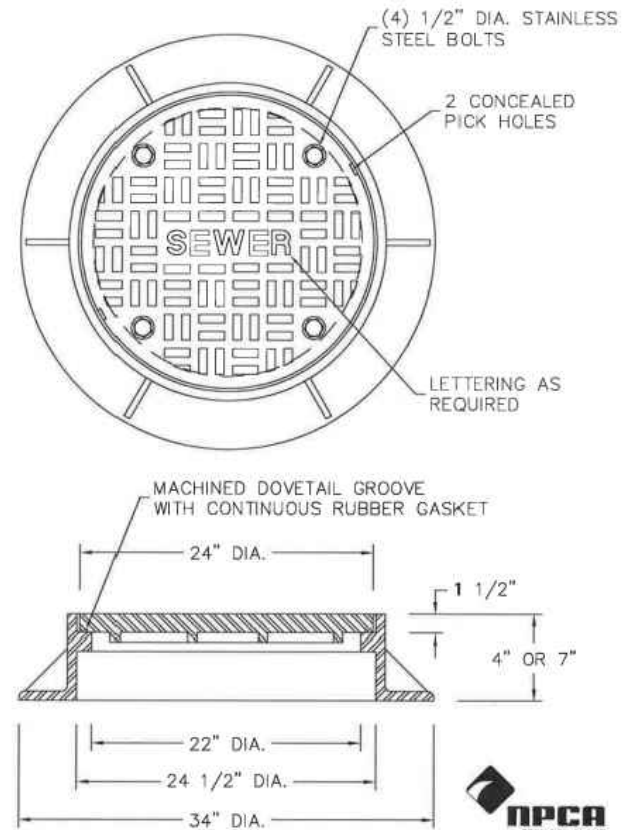
NO SCALE



- NOTE:
- ROADWAY RESTORATION SHALL BE IN STRICT ACCORDANCE WITH CITY OF BETHLEHEM CONSTRUCTION STANDARDS, PENNDOT PUBLICATION 72M, STANDARDS FOR ROADWAY CONSTRUCTION, AND PENNDOT PUBLICATION 40B, SPECIFICATIONS, STANDARDS, AS APPLICABLE.

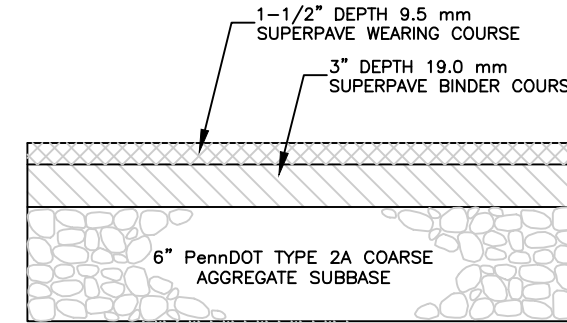
TRENCH RESTORATION DETAIL (MUNICIPAL ROADWAYS - FULL-DEPTH BITUMINOUS PAVE)

NO SCALE



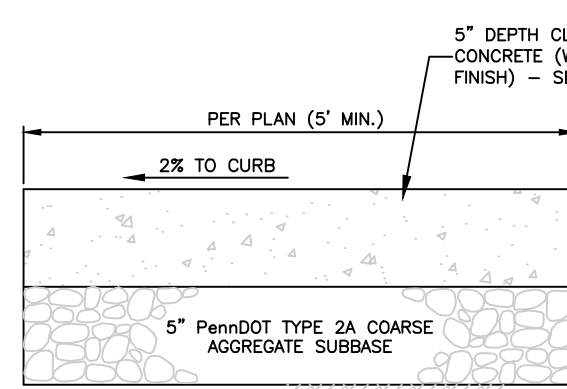
WATERTIGHT MANHOLE FRAME & COVER DETAIL

NO SCALE



BITUMINOUS PAVEMENT SECTION DETAIL (PRIVATE PROPERTY - STANDARD-DUTY)

NO SCALE

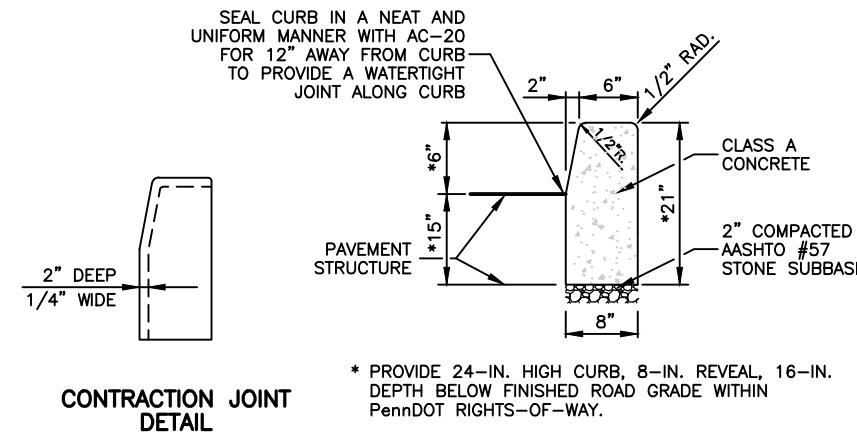


NOTES:

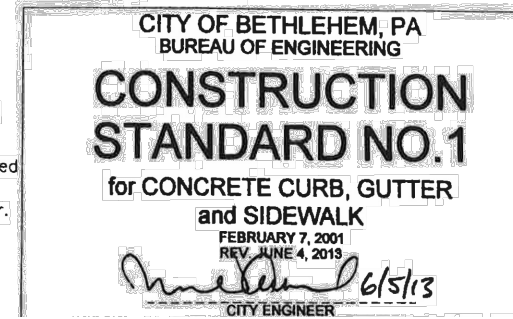
1. MATERIALS AND CONSTRUCTION IN ACCORDANCE WITH SECTIONS 704 AND 1001 OF PENNDOT PUBLICATION 40B.
2. SIDEWALK SECTIONS SHALL HAVE AN AVERAGE AREA OF W X W SQUARE FEET.
3. SIDEWALK SECTIONS SHALL BE FORMED USING MAXIMUM ONE-QUARTER (1/4) INCH THICK DIVISION PLATES OR EXPANSION JOINT MATERIAL THAT EXTENDS THE FULL DEPTH OF THE SLAB.
4. NOSING ON ALL EDGES SHALL BE FINISHED TO A RADIUS OF NOT MORE THAN ONE-HALF (1/2) INCH.
5. PLACE 1/2-INCH PREMOULDED BUTIM. EXPANSION JOINT MATERIAL AT STRUCTURES (INCLUDING EXISTING SIDEWALKS). TRIM MATERIAL TO CONFORM TO FINISHED SIDEWALK CROSS-SECTION.
6. CONCRETE SIDEWALK ALONG THE ENTIRE FRONTAGE OF THE SUBJECT PROPERTY ON BROAD STREET BETWEEN THE EXISTING CURB AND THE LIMIT OF THE RIGHT-OF-WAY SHALL BE REMOVED AND REPLACED WITH STAMPED CONCRETE HAVING A FINISHED SURFACE APPEARANCE SIMILAR TO THAT OF THE EXISTING/ADJACENT CONCRETE SIDEWALK WITH INLAYED BRICK. PATTERNS AND COLORS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE ENGINEERING BUREAU PRIOR TO SIDEWALK CONSTRUCTION.

CONCRETE SIDEWALK SECTION DETAIL (TYPICAL)

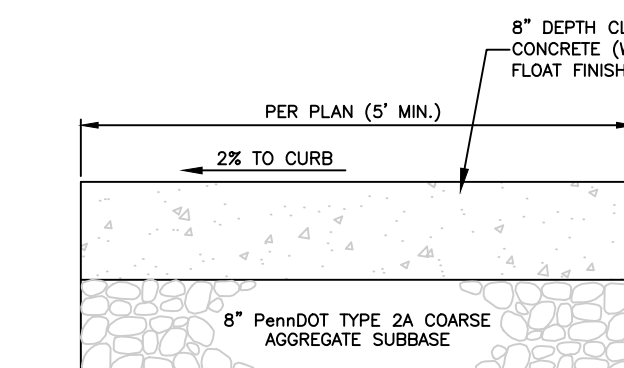
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CONCRETE SIDEWALK SECTION DETAIL (AT DRIVEWAY CROSSOVERS)

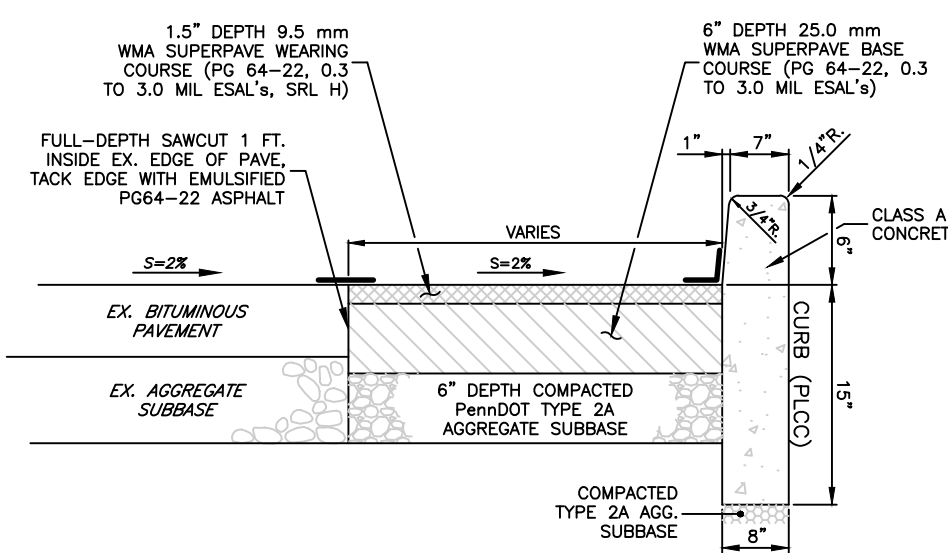


- NOTES:
- Whenever a curb, gutter and/or sidewalk is located in a Historic District, special requirements may apply.
 - Changes to dimensional requirements may be considered in cases where obstructions or encroachments exist. Any exceptions must be approved by the City Engineer. Current ADA requirements must be met in all cases.



CONCRETE SIDEWALK SECTION DETAIL (AT DRIVEWAY CROSSOVERS)

NO SCALE



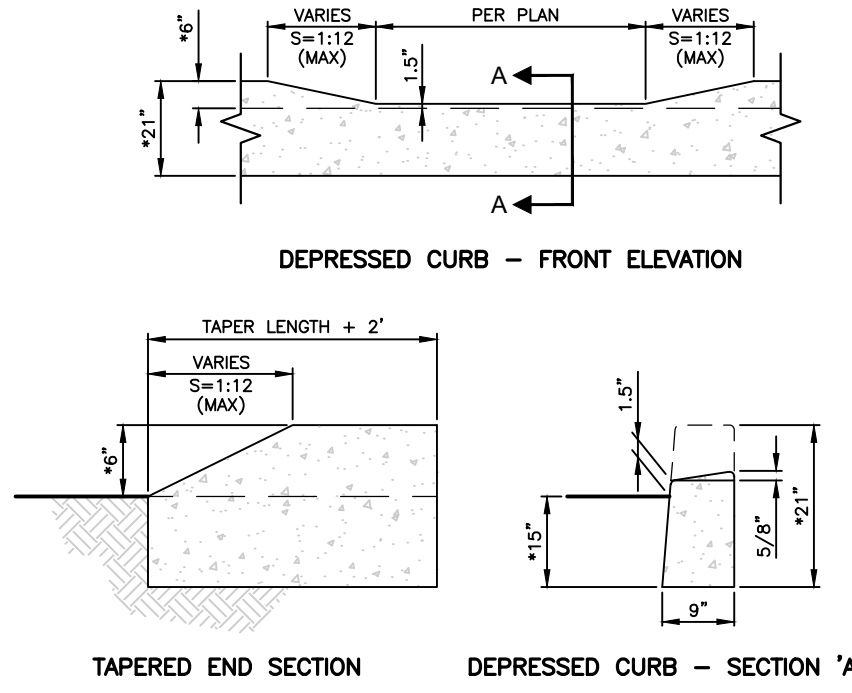
- NOTES:
1. FOR CURB REPLACEMENT, SAW-CUT AND REMOVE EXISTING ROADWAY PAVEMENT 1 FT. FROM THE FACE OF THE EXISTING CURB.
 2. CONSTRUCT AGGREGATE BASE COURSE IN ACCORDANCE WITH SECTION 805.3 OF PENNDOT PUBLICATION 40B.
 3. MATERIALS AND CONSTRUCTION FOR ROADWAY WIDENING IN ACCORDANCE WITH CITY OF BETHLEHEM AND PENNDOT STANDARDS, AS APPLICABLE.
 4. CONSTRUCT PLAN CEMENT CONCRETE CURB IN ACCORDANCE WITH PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION, RC-64M, OCT. 29, 2008 EDITION.

CURB INSTALLATION DETAIL

NO SCALE

PLAIN CEMENT CONCRETE UPRIGHT CURB DETAIL

NO SCALE



- NOTES:
1. EXISTING CURB REMOVAL SHALL BE IN COMPLETE SECTIONS (JOINT TO JOINT), NOT PARTIAL REMOVAL.
 2. PROVIDE MATERIALS AND CONSTRUCTION IN ACCORDANCE WITH PENNDOT SPECIFICATIONS AND PUBLICATION 40B, SECTION 830, CURRENT EDITION.
 3. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS (4'-0" MIN. TO 10'-0" MAX.).
 4. PLACE 1/2-INCH PREMOULDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS-SECTIONAL AREA OF CURB.
 5. SPACE EXPANSION JOINTS AT 30-FOOT INTERVALS OR AS OTHERWISE DIRECTED BY THE TOWNSHIP.
 6. PROVIDE 24-IN. HIGH CURB, 8-IN. REVEAL, 16-IN. DEPTH BELOW FINISHED ROAD GRADE WITHIN PENNDOT RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROVED HIGHWAY OCCUPANCY PERMIT FOR THE PROJECT, AS APPLICABLE.

PLAIN CEMENT CONCRETE CURB DETAILS

NO SCALE



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EROSION AND SEDIMENT POLLUTION CONTROL NOTES

1. ALL EARTH DISTURBANCE ACTIVITIES SHALL BE CARRIED OUT IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENTATION POLLUTION CONTROL (ESPC) PLAN. A COMPLETE COPY OF THE APPROVED ESPC PLAN (STAMPED, SIGNED, AND DATED BY THE REVIEWING AGENCY) SHALL BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
2. AT LEAST 7 DAYS PRIOR TO COMMENCING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE CONSTRUCTION MANAGER SHALL HOST AN ON-SITE PRE-CONSTRUCTION MEETING INVOLVING CONTRACTORS THAT WILL PARTICIPATE IN EARTH DISTURBANCE ACTIVITIES, THE APPLICANT AND/OR LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE ESPC PLAN PREPARER, AND A REPRESENTATIVE OF THE NORTHAMPTON COUNTY CONSERVATION DISTRICT.
3. AT LEAST 3 DAYS PRIOR TO COMMENCING ANY EARTH DISTURBANCE ACTIVITIES OR EXPANDING SUCH ACTIVITIES INTO A PREVIOUSLY UNMARKED AREA, CONTRACTOR SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM, INC. AT 1-800-242-1776 TO ASCERTAIN LOCATIONS OF EXISTING UNDERGROUND UTILITIES.
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. ANY DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING BY THE LOCAL CONSERVATION DISTRICT PRIOR TO IMPLEMENTATION.
5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL, TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
6. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING, AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE ESPC BMPs SPECIFIED IN THE SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS ESPC PLAN.
7. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
8. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) DEPICTED HEREIN IN THE AMOUNT NECESSARY TO COMPLETE THE FINISHED GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED WITH VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER DEPICTED HEREIN. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
9. IMMEDIATELY UPON DISCOVERY OF ANY UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BMPs TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT.
10. ALL BUILDING MATERIALS AND WASTE SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH SOLID WASTE MANAGEMENT REGULATIONS DEIGNED IN 25 PA CODE 260.1 ET. SEQ., 271.1 ET. SEQ. AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
11. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE A FULLY IMPLEMENTED ESPC PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT PRIOR TO BEING ACTIVATED.
12. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ONTO THE SITE IS CLEAN FILL FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
13. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
14. CONSTRUCTION VEHICLES AND EQUIPMENT MAY ACCESS THE PROPERTY ONLY AT THE LOCATION IDENTIFIED HEREIN AND HAVING A FULLY-FUNCTIONAL TEMPORARY CONSTRUCTION ENTRANCE.
15. UNTIL THE SITE IS STABILIZED, ALL ESPC BMPs SHALL BE PROPERLY MAINTAINED. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF A BMP FAILS TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
16. CONTRACTOR SHALL MAINTAIN A LOG SHOWING DATES THAT ESPC BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED. LOG SHALL BE KEPT ON SITE AT ALL TIMES AND AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
17. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BEFORE THE END OF EACH WORK DAY AND DISPOSED OF IN A MANNER DESCRIBED HEREIN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
18. SEDIMENT REMOVED FROM BMPs SHALL BE PLACED IN TOPSOIL STOCKPILE OR REDISTRIBUTED WITHIN DISTURBED LAWN OR LANDSCAPED AREAS ON THE PROJECT SITE OUTSIDE OF WETLANDS, FLOODPLAINS, DRAINAGE CHANNELS, AND SLOPES 3H:1V OR STEEPER AND IMMEDIATELY STABILIZED.
19. PRIOR TO REPLACEMENT OF TOPSOIL IN LAWN AND LANDSCAPED AREAS, CONTRACTOR SHALL SCARIFY SOILS TO A MINIMUM DEPTH OF 4 INCHES (8 INCHES FOR COMPACTED SOILS). AREAS SHALL RECEIVE A MINIMUM 4-INCH DEPTH OF LIGHTLY COMPACTED TOPSOIL PRIOR TO SEEDING AND MULCHING.
20. FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
21. FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED EIGHT (8) INCHES IN DEPTH.
22. FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
23. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILL MATERIAL.
24. FILL MATERIAL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
25. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR A SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
26. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN CONSOLIDATED BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDING AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE DEPICTED HEREIN, SHALL BE BLANKETED ACCORDING TO THE STANDARDS CONTAINED HEREIN.
27. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT SITE, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE WHICH WILL BE REACTIVATED WITHIN ONE (1) YEAR MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN ONE (1) YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
28. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL

SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.

29. ESPC BMPs SHALL BE MAINTAINED UNTIL THE TRIBUTARY AREAS TO THE RESPECTIVE BMPs HAVE ACHIEVED PERMANENT STABILIZATION OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT. REPAIR OR REPLACE ANY DAMAGED CONTROL DEVICES IMMEDIATELY UPON DISCOVERY OF DAMAGE.
30. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS AND PRIOR TO REMOVAL/CONVERSION OF ESPC BMPs, THE OWNER OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE AN INSPECTION.
31. UPON ACHIEVING PERMANENT STABILIZATION, TEMPORARY ESPC BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATION SEASON.
32. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
33. FAILURE TO CORRECTLY INSTALL ESPC BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE SAID FAILURES MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
34. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
35. EROSION CONTROL MATTING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER, WITHIN 50 FEET OF SURFACE WATERS (100 FEET IN SPECIAL PROTECTION WATERSHEDS) REGARDLESS OF SLOPE, AND WITHIN ALL OTHER DISTURBED AREAS SPECIFIED HEREIN.
36. ANY CONSTRUCTION DEBRIS OR OTHER UNSUITABLE MATERIAL FOUND ON THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO GREEN, BROWN OR CLEAR GLASS OR CARDBOARD, THAT IS ABLE TO BE RECYCLED BY THE LOCAL MUNICIPALITY IS TO BE PLACED IN SEPARATE STOCKPILES WITHIN THE CONSTRUCTION STAGING AREA. THE CONTRACTOR SHALL DELIVER ANY SUCH STOCKPILED MATERIAL TO THE LOCAL RECYCLING FACILITY ON A WEEKLY BASIS. ANY NON-RECYCLABLE CONSTRUCTION DEBRIS OR OTHER UNSUITABLE MATERIAL MUST BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

SPECIFICATIONS FOR SEEDING STABILIZATION AND SOIL SUPPLEMENTS

TEMP. NON-VEGETATIVE SURFACE STABILIZATION

TEMPORARY MULCH TYPE: HAY OR STRAW
APPLICATION RATE: 3 TONS/AC

TEMPORARY SEED MIXTURE

PENNDOT FORMULA E PER PennDOT PUB. 408, SEC. 804

| SPECIES | % WEIGHT | PURITY | GERMINATION |
|-----------------|----------|--------|-------------|
| ANNUAL RYEGRASS | 100 | 98% | 90% |

APPLICATION RATE: 10 LBS. PER 1,000 S.Y.
FERTILIZER TYPE: 10-10-10
FERTILIZER APPLICATION RATE: 100 LBS. PER 1,000 S.Y.
LIME APPLICATION RATE: 410 LBS. PER 1,000 S.Y.
HAY OR STRAW MULCH APPLICATION RATE: 3 TONS/AC.
SEEDING PERIOD: MARCH 15 TO OCTOBER 15

PERMANENT SEED MIXTURE

PENNDOT FORMULA B PER PennDOT PUB. 408, SEC. 804

| SPECIES | % WEIGHT | PURITY | GERMINATION |
|--------------------|----------|--------|-------------|
| PERENNIAL RYEGRASS | 20 | 98% | 90% |
| CREeping RED FEGUE | 30 | 98% | 85% |
| KENTUCKY BLUEGRASS | 50 | 98% | 80% |

APPLICATION RATE: 21 LBS. PER 1,000 S.Y.
FERTILIZER TYPE: 10-20-20
FERTILIZER APPLICATION RATE: 210 LBS. PER 1,000 S.Y.
LIME APPLICATION RATE: 2,480 LBS. PER 1,000 S.Y.
HAY OR STRAW MULCH APPLICATION RATE: 3 TONS/AC.
SEEDING PERIOD: MARCH 15 TO OCTOBER 15

NOTES

1. THE CUTOFF DATE FOR HYDROSEEDING IS NOVEMBER 15.
2. SLURRY APPLICATIONS OF SEED USING A CELLULOSE FACTIFIER SHALL INCLUDE A STRAW MULCH BINDER AT A RATE OF 3 TONS PER ACRE

SOIL TYPE

THE FOLLOWING SOIL TYPE(S) ARE PRESENT ON THE PROJECT SITE ACCORDING TO THE CUSTOM SOIL RESOURCE REPORT GENERATED FOR THE PROJECT SITE USING THE ONLINE WEB SOIL SURVEY TOOL OPERATED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE.

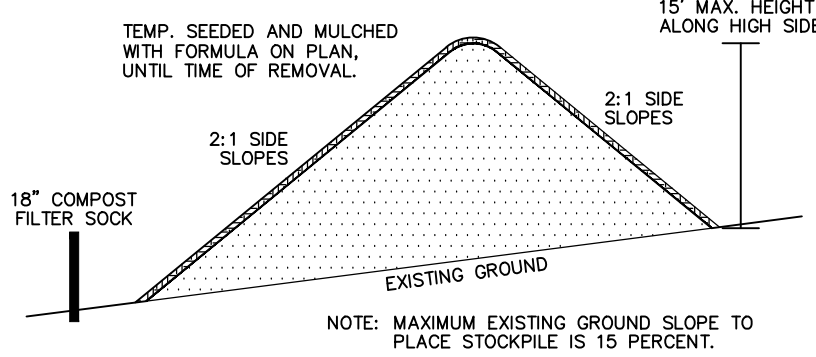
1. Uloab, URBAN LAND, 0 TO 8 PERCENT SLOPES (ENTIRE DISTURBED AREA)

SOIL TYPE LIMITATIONS

1. UNKNOWN
2. UNKNOWN

RESOLUTIONS TO SOIL TYPE LIMITATIONS

1. IF ENCOUNTERED, UNSUITABLE SOILS WILL BE REMOVED AND REPLACED OR REMEDIATED AS DIRECTED BY THE PROJECT GEOTECHNICAL ENGINEER.
2. SITE SPECIFIC TEMPORARY AND PERMANENT BMPs WERE SELECTED AND WILL BE IMPLEMENTED AND MAINTAINED DURING AND AFTER CONSTRUCTION TO MINIMIZE SOIL EROSION AND PREVENT THE TRANSPORT OF SEDIMENT BEYOND THE LIMITS OF THE PROJECT SITE TO THE EXTENT PRACTICABLE.
3. CONTRACTOR SHALL EXCAVATE ROCK BY MEANS OF PNEUMATIC HAMMERING OR RIPPING TO A SUFFICIENT DEPTH (MINIMUM TWO (2) FEET BELOW THE BOTTOM ELEVATION OF INFILTRATION FACILITIES) AND REPLACE SAME WITH SUITABLE MATERIAL AS DIRECTED BY PROJECT GEOTECHNICAL ENGINEER.

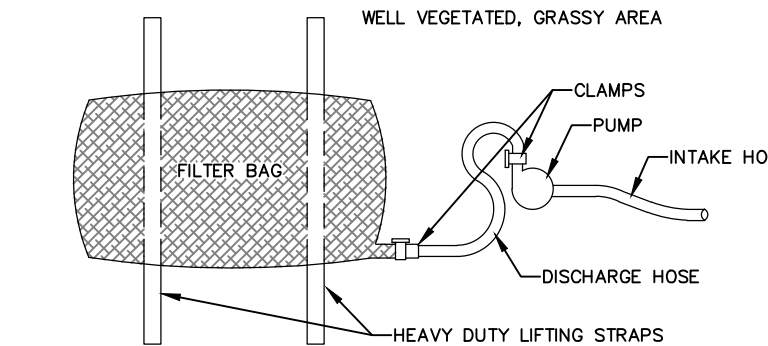


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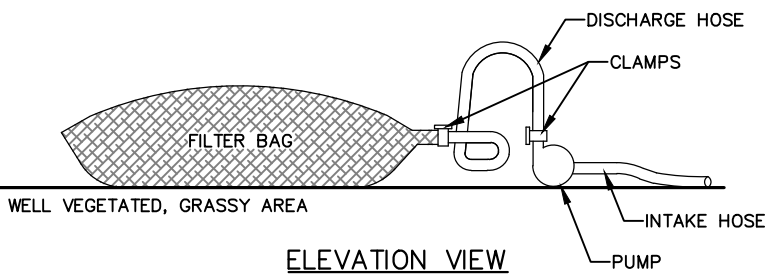
1. INSPECTED STOCKPILED TOPSOIL AND FILL MATERIAL ON A DAILY BASIS AND AFTER EVERY RUNOFF EVENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY.
2. ALL STOCKPILES WILL BE TEMPORARY SEEDED AND MULCHED AT ALL TIMES.

CONSTRUCTION DETAIL #9-1
SPECIAL DETAIL STOCKPILED TOPSOIL
AND FILL MATERIAL

NOT TO SCALE



PLAN VIEW



ELEVATION VIEW

NOTES:

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

| PROPERTY | TEST METHOD | MINIMUM STANDARD |
|--------------------------|-------------|------------------|
| AVG. WIDE WIDTH STRENGTH | ASTM D-4684 | 60 LB/IN |
| GRAB TENSILE | ASTM D-4632 | 205 LB |
| TEAR STRENGTH | ASTM D-4633 | 110 LB |
| MULLEN BURST | ASTM D-3786 | 350 PSI |
| UV RESISTANCE | ASTM D-4355 | 70% |
| AOS % RETAINED | ASTM D-4751 | 80 SEVE |

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRIPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% OR ON SLOPES EXCEEDING 5% CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

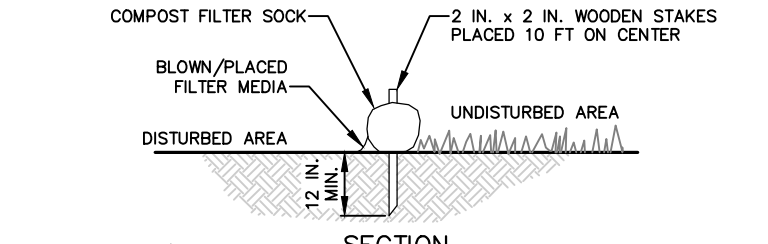
THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

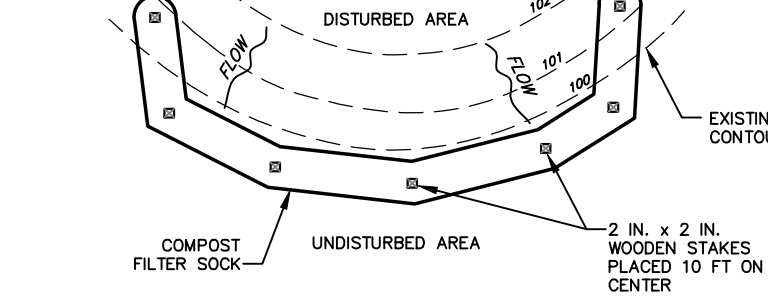
STANDARD CONSTRUCTION DETAIL #3-16

PUMPED WATER FILTER BAG

NOT TO SCALE



SECTION



PLAN VIEW

| | |
|----------------------------|--------------------------------|
| ORGANIC MATTER CONTENT | 25%-100% (DRY WEIGHT BASIS) |
| ORGANIC PORTION | FIBROUS & ELONGATED |
| pH | 5.5-8.5 |
| MOISTURE CONTENT | 20%-65% |
| PARTICLE SIZE | 30-50# PASS THROUGH 3/8" SIEVE |
| SOLUBLE SALT CONCENTRATION | 5.0 #/5 MAXIMUM |

NOTES:

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE PLACED TO MARK THE SOCK AND MULCH. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

STANDARD CONSTRUCTION DETAIL #4-1
COMPOST FILTER SOCK

NOT TO SCALE

