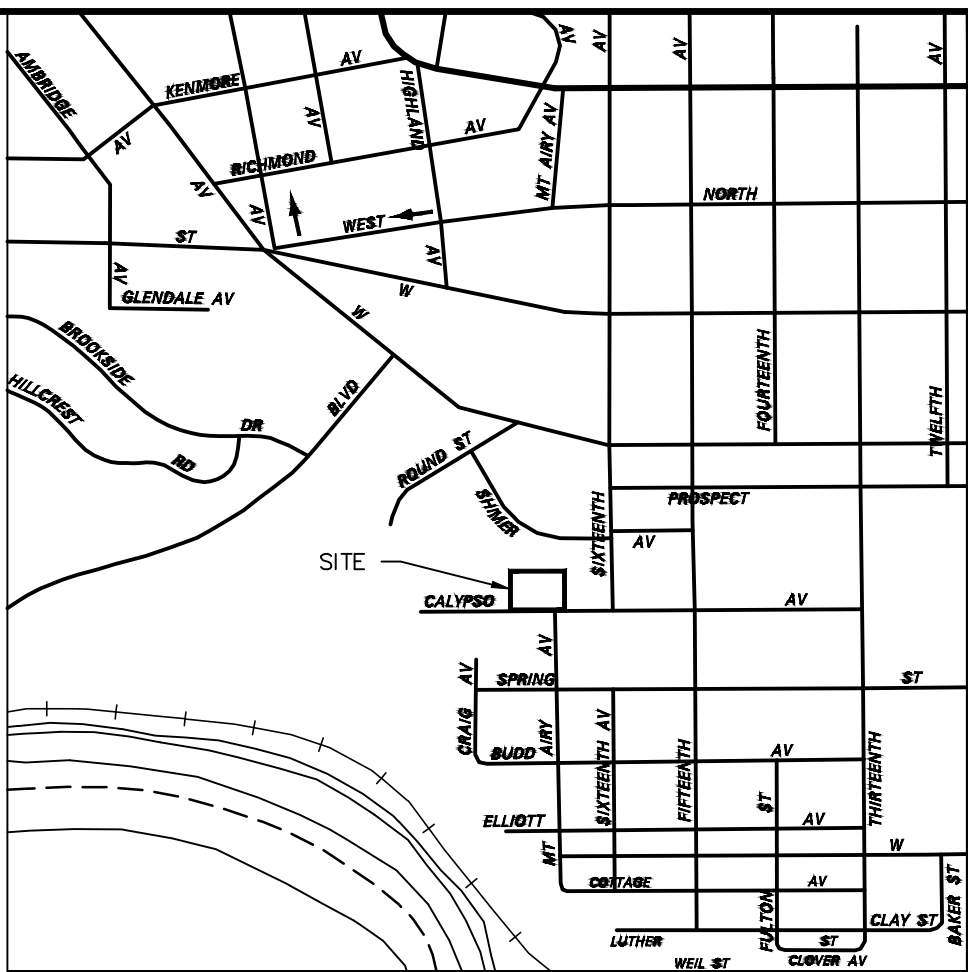
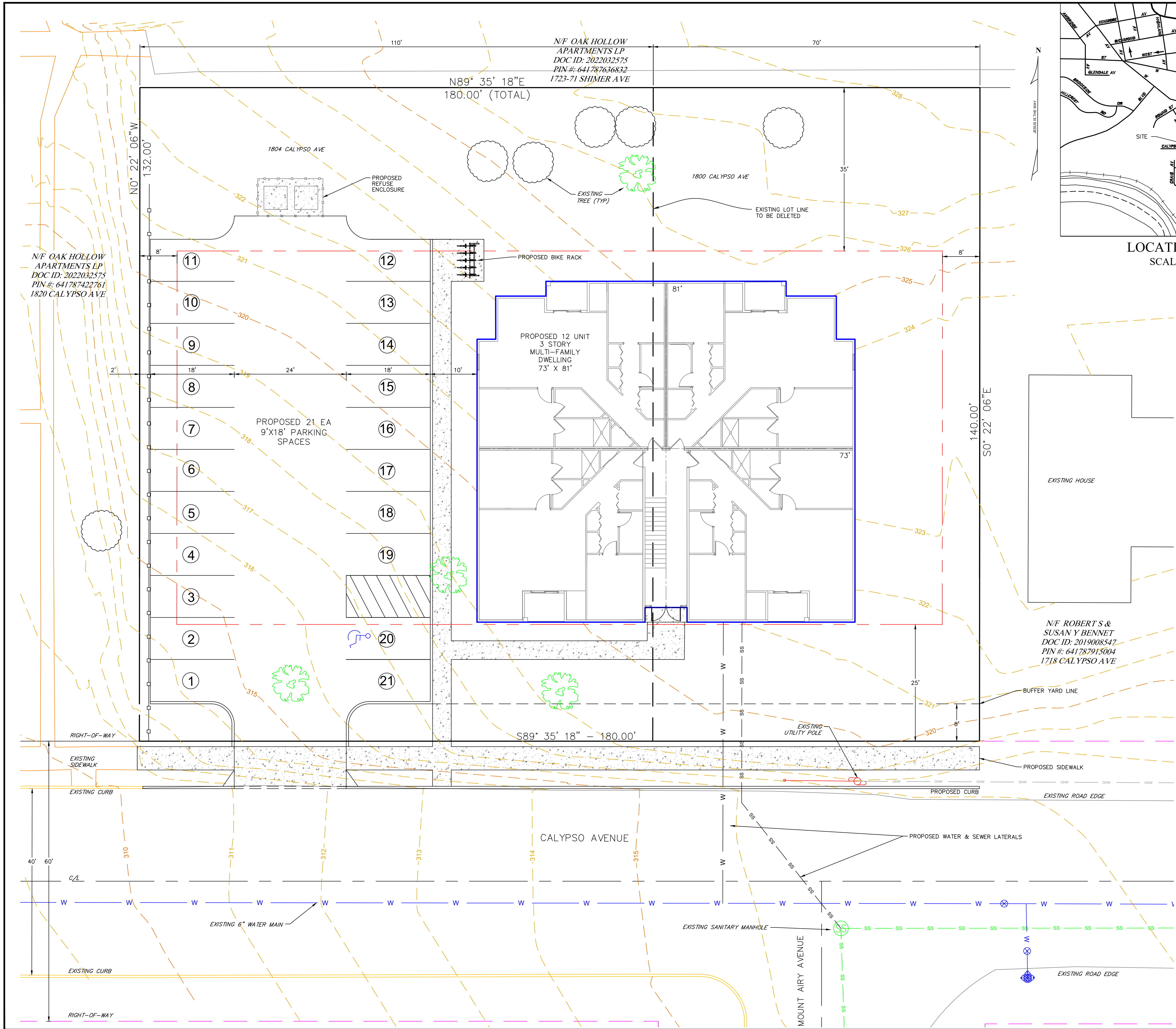




LEGEND:

BOUNDARY LINE: _____

ADJOINERS: _____

ROAD EDGE: _____

RIGHT-OF-WAY: _____

D&U - DRAINAGE & UTILITY EASEMENT: _____

EX. CONTOURS: _____

BUILDING SET BACK LINE: _____

EXISTING WATERLINE: _____ W _____

EXISTING WATER VALVE: _____

EXISTING SANITARY SEWER: _____ SS _____

EXISTING SANITARY SEWER MANHOLE: _____

EXISTING GAS LINE: _____ GAS _____

OVERHEAD WIRE: _____ OHW _____

UNDERGROUND ELECTRIC WIRE: _____ U/E _____

PROPOSED FENCE: _____

EXISTING DECIDUOUS TREE: _____

EXISTING EVERGREEN TREE: _____

EXISTING SIDEWALK: _____

PROPOSED SIDEWALK: _____

EXISTING CURB: _____

PROPOSED CURB: _____

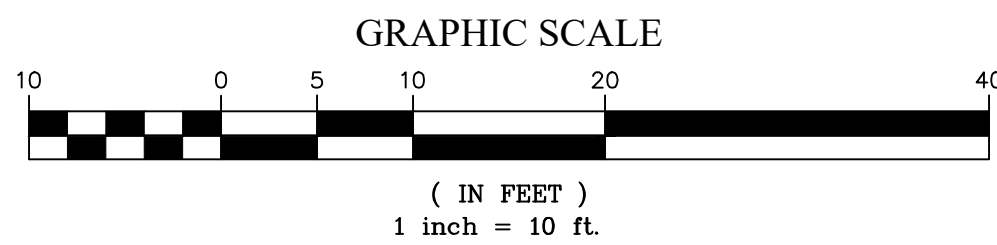
BUFFER YARD: _____

EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE

EXISTING FEATURES ARE LABELED WITH ITALICIZED TEXT

SITE DATA:		
1. OWNER:	MACADA PARTNERS, 1800 CALYPSO, LLC	
2. DAVID A. RONCA (610-972-2007)	DARONCA@MFRONCA.COM	
3. SITE ADDRESS:	1800 & 1804 CALYPSO AVE	
4. MAILING ADDRESS:	276 E MACADA RD	
5. WARD MAP:	BETHLEHEM, PA 18017-2524	
6. DEED REFERENCE:	(1800) 2023016104 & (1804) 2023016102	
7. TOTAL ACREAGE:	25,200 SF OR 0.5785 ACRES	
8. PIN:	(1800) 641787816084 & (1804) 641787717043	
9. ZONING:	RS - SINGLE FAMILY RESIDENTIAL DISTRICT	
10. SETBACKS:	REQUIRED	PROPOSED
	FRONT = 25'	25'
	REAR = 35'	35'
	SIDE = 8'	8'
11. MINIMUM LOT AREA:	8,000 SF TRACT SIZE	25,200 SF
12. MINIMUM LOT WIDTH:	75'	180'
13. MAXIMUM BUILDING COVERAGE:	25%	23%
14. IMPERVIOUS COVERAGE:	75%	51% (12,960 SF)
15. MAXIMUM HEIGHT:	2.5 STORIES OR 35'	3 STORIES (30.5')
16. WATER:	PUBLIC	PUBLIC
17. SEWER:	PUBLIC	PUBLIC
18. PARKING SPACES:	1.5 / UNIT (RT DIST 18EA)	21 EA (1.75 / UNIT)
19. LOT AREA / DU	1,200 SF (RT DIST)	2,100 SF

- NOTES:
- NET AREA: 25,200 SF OR 0.5785 ACRES
 - INTENT: THE INTENT IS TO CONSOLIDATE THE 1800 & 1804 TRACTS INTO ONE LOT AND CONSTRUCT A THREE (3) STORY, TWELVE (12) UNIT MULTI-FAMILY APARTMENT BUILDING ON THE EXISTING VACANT TRACTS (VEGETATED WITH GRASS). THE SUBJECT PROPERTY IS LOCATED ON THE NORTH SIDE OF CALYPSO AVENUE.
 - AVERAGE EXISTING GRADE SLOPE = 9%
 - SOILS: UmB: URBAN LAND-DUFFIELD COMPLEX, 0 TO 8 PERCENT SLOPES
WaC: WASHINGTON SILT LOAM, 8 TO 15 PERCENT SLOPES
 - PA ONE CALL SERIAL # 20230861095



SKETCH PLAN

1800 & 1804 CALYPSO AVE

FOR

MACADA PARTNERS, 1800 CALYPSO, LLC

CITY OF BETHLEHEM, LEHIGH COUNTY, PA

HOP - PES

PROFESSIONAL

ENGINEERING & SURVEYING

2705 WILLOW ST. COPLAY, PA 18037 (610-799-3935)

WWW.HOP-PES.COM (ROBERTHOPPEJNR@GMAIL.COM)

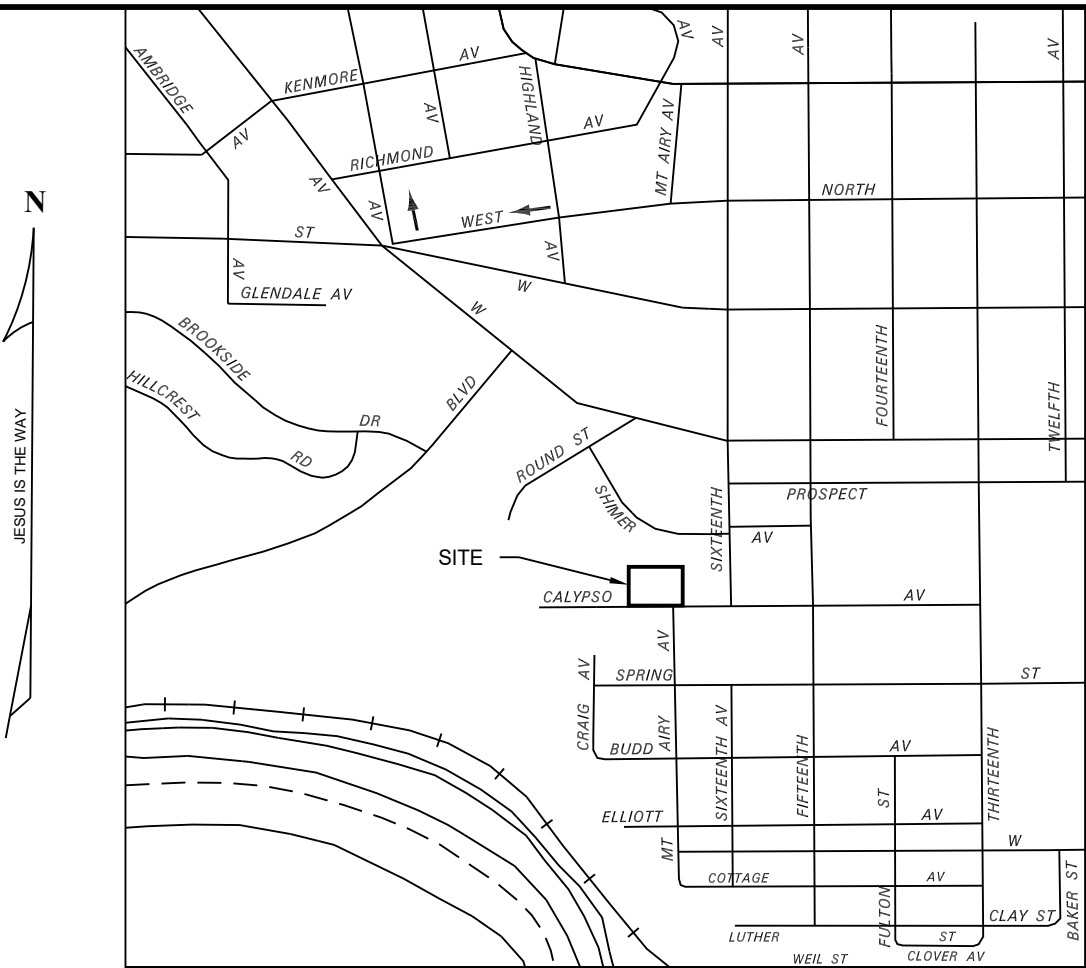
SCALE : 1" = 10'

DATE : 12 FEB. 2024

DRAWN BY : BRH

DRAWING # 5-24-02A





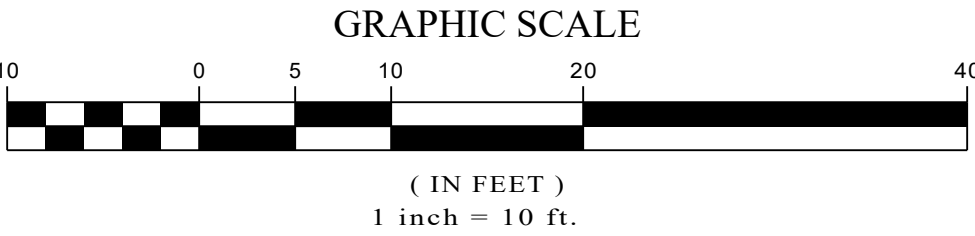
LOCATION MAP
SCALE: NTS

LEGEND:	
BOUNDARY LINE:	_____
ADJOINERS:	_____
ROAD EDGE:	_____
RIGHT-OF-WAY:	_____
D&U - DRAINAGE & UTILITY EASEMENT:	_____
EX. CONTOURS:	_____
BUILDING SET BACK LINE:	_____
EXISTING WATERLINE:	_____ W _____
EXISTING WATER VALVE:	_____ ⊗ _____
EXISTING SANITARY SEWER:	_____ SS _____
EXISTING SANITARY SEWER MANHOLE:	_____ (SS) _____
EXISTING GAS LINE:	_____ GAS _____
OVERHEAD WIRE:	_____ OHW _____
UNDERGROUND ELECTRIC WIRE:	_____ U/E _____
PROPOSED FENCE:	_____
EXISTING DECIDUOUS TREE:	_____
EXISTING EVERGREEN TREE:	_____
EXISTING SIDEWALK:	_____
EXISTING CURB:	_____
PROPOSED CURB:	_____
BUFFER YARD:	_____

EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE
EXISTING FEATURES ARE LABELED WITH ITALICIZED TEXT

SITE DATA:		
1. OWNER:	MACADA PARTNERS, 1800 CALYPSO, LLC	
2. SITE ADDRESS:	1800 & 1804 CALYPSO AVE	
3. MAILING ADDRESS:	276 E MACADA RD	
4. WARD MAP:	WARD 13, BLOCK 38	
5. DEED REFERENCE:	(1800) 2023016104 & (1804) 2023016102	
6. TOTAL ACREAGE:	25,200 SF OR 0.5785 ACRES	
7. PIN:	(1800) 641787816084 & (1804) 641787717043	
8. ZONING:	RS - SINGLE FAMILY RESIDENTIAL DISTRICT	
9. SETBACKS:	REQUIRED	PROPOSED
	FRONT = 25'	25'
	REAR = 35'	35'
	SIDE = 8'	8'
10. MINIMUM LOT AREA:	8,000 SF TRACT SIZE	25,200 SF
11. MINIMUM LOT WIDTH:	75'	180'
12. MAXIMUM BUILDING COVERAGE:	25%	23%
13. IMPERVIOUS COVERAGE:	75%	51% (12,960 SF)
14. MAXIMUM HEIGHT:	2.5 STORIES OR 35'	3 STORIES (30.5')
15. WATER:	PUBLIC	PUBLIC
16. SEWER:	PUBLIC	PUBLIC
17. PARKING SPACES:	1.5 / UNIT (RT DIST 18EA)	21 EA (1.75 / UNIT)
18. LOT AREA / DU	1,200 SF (RT DIST)	2,100 SF

- NOTES:
- NET AREA: 25,200 SF OR 0.5785 ACRES
 - INTENT: THE INTENT IS TO CONSOLIDATE THE 1800 & 1804 TRACTS INTO ONE LOT AND CONSTRUCT A THREE (3) STORY, TWELVE (12) UNIT MULTI-FAMILY APARTMENT BUILDING ON THE EXISTING VACANT TRACTS (VEGETATED WITH GRASS). THE SUBJECT PROPERTY IS LOCATED ON THE NORTH SIDE OF CALYPSO AVENUE.
 - AVERAGE EXISTING GRADE SLOPE = 9%
 - SOILS: UmB: URBAN LAND-DUFFIELD COMPLEX, 0 TO 8 PERCENT SLOPES
WaC: WASHINGTON SILT LOAM, 8 TO 15 PERCENT SLOPES
 - PA ONE CALL SERIAL # 20230861095



RENDERING

1800 & 1804 CALYPSO AVE
FOR
MACADA PARTNERS, 1800 CALYPSO, LLC
CITY OF BETHLEHEM, LEHIGH COUNTY, PA

HOP - PES
PROFESSIONAL
ENGINEERING & SURVEYING
2705 WILLOW ST. COPLAY, PA 18037 (610-799-3935)
WWW.HOP-PES.COM (ROBERTHOPPEJNR@GMAIL.COM)

SCALE : 1" = 10'
DATE : 12 FEB. 2024

DRAWN BY : BRH
DRAWING # 5-24-02B

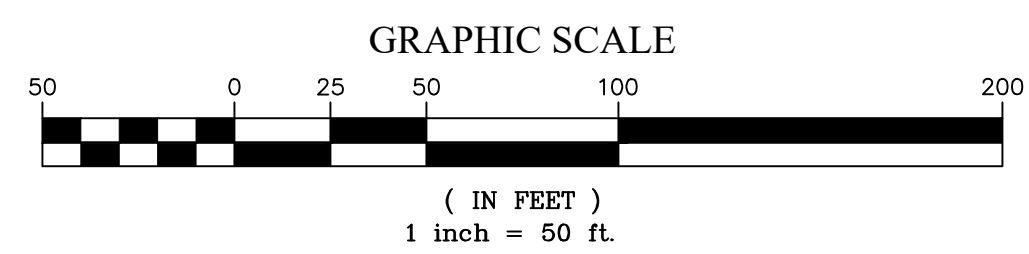


MULTI-FAMILY DWELLINGS



TOWNHOUSES

SITE



AREA MAP

1800 & 1804 CALYPSO AVE FOR MACADA PARTNERS, 1800 CALYPSO, LLC	
CITY OF BETHLEHEM, LEHIGH COUNTY, PA	
HOP - PES PROFESSIONAL ENGINEERING & SURVEYING 2705 WILLOW ST. COPLAY, PA 18037 (610-799-3935) WWW.HOP-PES.COM (ROBERTHOPPESJR@GMAIL.COM)	
SCALE : 1" = 50' DATE : 12 FEB. 2024	DRAWN BY : BRH DRAWING # 5-24-02C

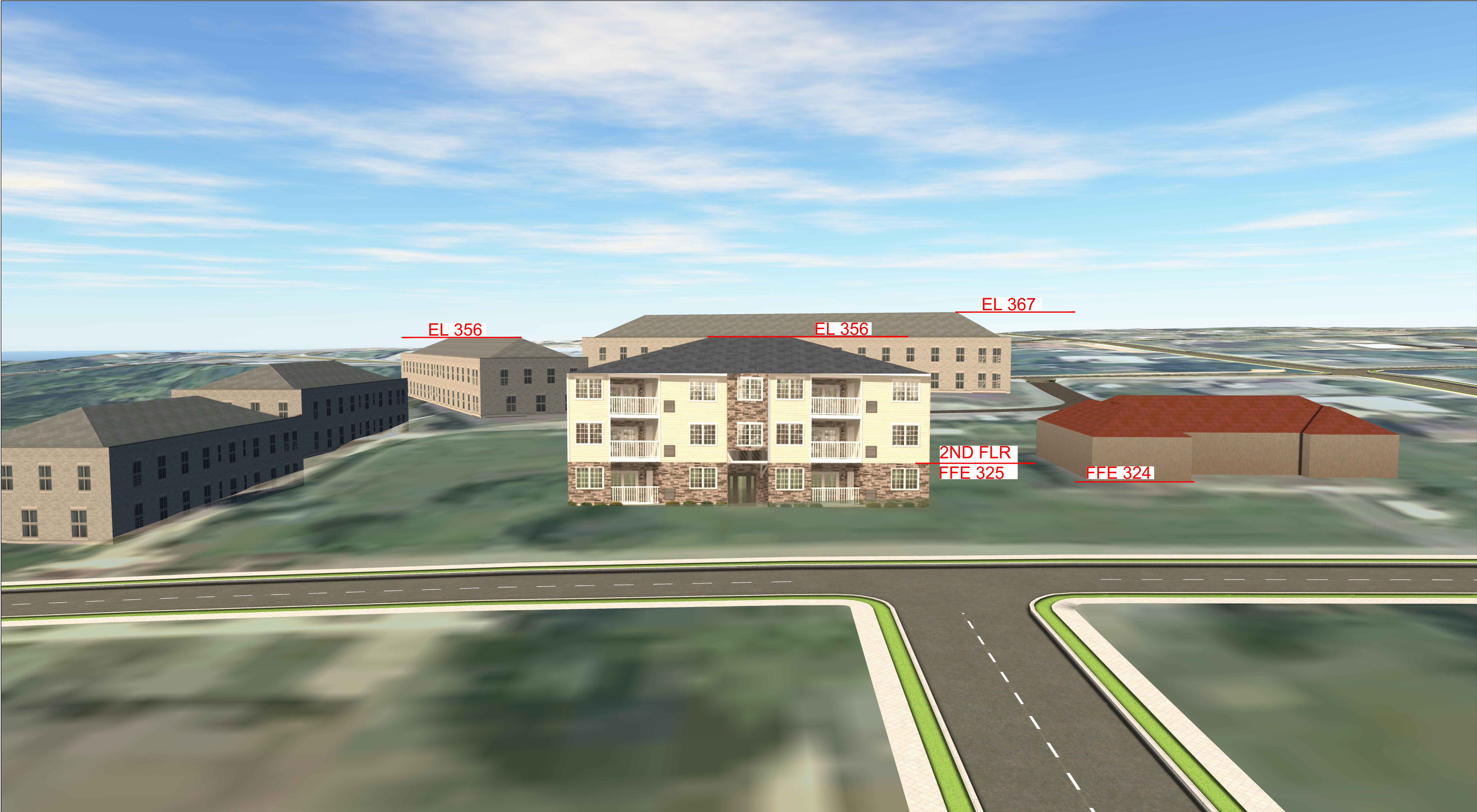




FRONT ELEVATION
(NOT TO SCALE)

FRONT ELEVATION	
1800 & 1804 CALYPSO AVE	
FOR	
MACADA PARTNERS, 1800 CALYPSO, LLC	
CITY OF BETHLEHEM, LEHIGH COUNTY, PA	
HOP - PES PROFESSIONAL ENGINEERING & SURVEYING 2705 WILLOW ST. COPLAY, PA 18037 (610-799-3935) WWW.HOP-PES.COM (ROBERTHOPPESJR@GMAIL.COM)	
SCALE : NTS DATE : 12 FEB. 2024	DRAWN BY : BRH DRAWING # 5-24-02D





3D VIEW LOOKING NORTH
(NOT TO SCALE)

NOTES:

- 3D view created with Autodesk InfraWorks
- This model contains information from OpenStreetMap [http://www.openstreetmaps.org/copyright], which is made available under the Open Database License (ODbL) [http://opendatacommons.org/licenses/odbl/1.0/]. Terrain data for the United States and its territories uses USGS 10 meter DEMs from the National Elevation Dataset (NED). Between -60° and +60° latitude we use SRTMGL1 30m DEM data. Between +60° and +83° we use ASTER GDEM v2 30m DEM data. ASTER GDEM is a product of METI and NASA. Land Processes Distributed Active Archive Center (LP DAAC), 2001, ASTER Global Digital Elevation Model (GDEM). Version 2. NASA EOSDIS Land Processes DAAC, USGS Earth Resources Observation and Science (EROS) Center, Sioux Falls, South Dakota [https://lpdaac.usgs.gov], accessed January 21, 2016, at [http://dx.doi.org/10.5067/ASTER/ASTGTM.002].

3D VIEW

1800 & 1804 CALYPSO AVE
FOR
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CITY OF BETHLEHEM, LEHIGH COUNTY, PA

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SCALE : NTS
DATE : 12 FEB. 2024

DRAWN BY : BRH
DRAWING # 5-24-02E

