

STATEMENT OF INTENT

THE INTENT OF THIS LAND DEVELOPMENT APPLICATION IS TO CONSTRUCT A 50,000 SF WAREHOUSE ADDITION TO AN EXISTING TWO-STORY OFFICE AND WAREHOUSE STRUCTURE FOR BOSCH REXROTH. THE OVERALL SCOPE INCLUDES SITE IMPROVEMENTS TO PARKING, ACCESS ROADWAYS, LIGHTING, LANDSCAPING, UTILITIES, AND STORMWATER MANAGEMENT.

DETENTION POND NOTE

UNLESS A GEOLOGICAL SURVEY DEMONSTRATES THE FEASIBILITY OF ENCOURAGING INFILTRATION IN A DETENTION POND, THE DETENTION POND SHALL, GENERALLY, BE LINED WITH A 6-INCH THICK CLAY LINER WITH A PERMEABILITY OF 1X10⁻⁷ CM/SEC OR LESS. THIS CLAY LINER SHALL, IN TURN, BE COVERED BY A 6-INCH LAYER OF Viable TOPSOIL ON WHICH A HEALTHY GROWTH OF GRASS SHALL BE ESTABLISHED UNLESS REPAIRED. THIS LINER SYSTEM SHALL EXTEND FROM THE BOTTOM OF THE POND TO THE ELEVATION OF THE EMERGENCY SPILLWAY. THE LINER PERMEABILITY OF 1X10⁻⁷ CM/SEC SHALL BE VERIFIED BY LAB TESTS ON THREE FIELD SAMPLES OR OTHER EQUIVALENT PROCEDURE ACCEPTABLE TO THE CITY ENGINEER. ADDITIONAL TESTS MAY BE REQUIRED BY THE CITY ENGINEER SHOULD ANY OF THE THREE ORIGINAL TESTS YIELD UNACCEPTABLE RESULTS. ALL THE TESTING SHALL BE ARRANGED AND PAID BY THE DEVELOPER. HOWEVER, THE TESTING LAB SHALL BE CERTIFIED IN THIS AREA OF TESTING AND ACCEPTABLE TO THE CITY ENGINEER.

THE CITY ENGINEER MAY REQUIRE A FULL 12-INCH THICK CLAY LINER WITH PERMEABILITY OF 1 X 10⁻⁷ CM/SEC OR LESS, WHERE CIRCUMSTANCES SUCH AS WATER DEPTH OR NEARBY UTILITIES NECESSITATE A GREATER DEGREE OF ASSURANCE AGAINST THE FORMATION OF BRIDGES. ALSO, THE CITY ENGINEER MAY APPROVE A DIFFERENT LINER SYSTEM THAT IS, IN THE OPINION OF THE CITY ENGINEER, EQUAL TO OR BETTER THAN THE ABOVE-MENTIONED LINERS.

THE CONTRACTOR SHALL CLEAN ALL ACCUMULATED SEDIMENT AND SILT FROM THE POND AT THE END OF THE CONSTRUCTION, AND RETURN THE POND TO ITS ORIGINAL DESIGN CONDITION.

NOTE: PER THE PREVIOUSLY CONSTRUCTED IMPROVEMENTS OUTLINED ON THE SITE PLAN FOR THE REXROTH CORPORATION OFFICE AND SERVICE FACILITY, SHEET BW-1, PREPARED BY SPILLMAN FARMER SHOWMAKER PENN WHOLIN - PC, DATED 07/17/1999, REVISION 4 DATED 12/10/1990, THE REQUIRED CLAY LINER WAS PROPOSED DURING THE INITIAL INSTALLATION OF THE EXISTING DETENTION POND. CONTRACTOR TO CONFIRM THAT THE CLAY LINER EXISTS AND IS PROVIDED AT THE 12" THICKNESS AS SPECIFIED ON THE APPROVED 1999 PLANS. CONTRACTOR TO IMMEDIATELY REPAIR ANY PORTIONS OF THE LINER DAMAGED OR DISTURBED AS A RESULT OF THE PROPOSED BASIN MODIFICATIONS. PER FIELD INVESTIGATION PERFORMED BY GEOTECHNOLOGY ASSOCIATES ON 7/8/2024, A CLAY LINER WAS NOT FOUND TO BE PRESENT AND THE GEOTECHNICAL REPORT HAS BEEN UPDATED TO RECOMMEND INSTALLATION OF A SYNTHETIC LINER. SEE THE GEOTECHNICAL INVESTIGATION REPORT FOR ADDITIONAL INFORMATION.

ENGINEERING PERMITS NOTE

PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY, INCLUDING SIDEWALKS AND DRIVEWAYS, PERMITS MUST BE OBTAINED FROM CITY ENGINEERING OFFICE.

CITY OF BETHLEHEM REQUIRED SITE PLAN NOTES

UPPER NOTE
BY SUBMISSION OF THESE PLANS THE ENGINEER ON RECORD CERTIFIES THAT THESE PLANS ARE IN COMPLETE CONFORMANCE WITH THE CITY OF BETHLEHEM STORM WATER MANAGEMENT ORDINANCE, (PER 6. W. DEBALVA 6-19-09)

STORM WATER NOTES
THE MAINTENANCE OF STORM WATER FACILITIES SHALL BE THE OWNER'S RESPONSIBILITY. THE OWNER'S DEED, AND THE DEED TO ANY SUBSEQUENT OWNER, SHALL NOTE THAT THE OWNER SHALL ACCEPT THE MAINTENANCE RESPONSIBILITIES. THE CITY OF BETHLEHEM SHALL BE PERMITTED TO INSPECT THE STORM WATER FACILITIES ON AT LEAST AN ANNUAL SCHEDULE TO ENSURE THAT ANY NECESSARY CORRECTIVE WORK IS PERFORMED IN A TIMELY MANNER. THE DRAINAGE EASEMENT PROVIDES FOR THE FLOW OF STORM WATER ACROSS LOTS, AND MAY NOT BE ALTERED WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER. NO OBSTRUCTIONS SUCH AS PLANTING TREES OR FENCES MAY BE INSTALLED IN THE DRAINAGE EASEMENT AREAS WITHOUT SUFFICIENT PROVISION FOR THE PASSAGE OF STORM WATER, AND ANY SUCH PROPOSED PROVISION SHALL BE APPROVED IN WRITING BY THE CITY ENGINEER.

REVISIONS NOTE
IN ORDER TO MAINTAIN CONTINUITY BETWEEN PLAN REVISIONS, ANY CHANGES TO A PREVIOUS PLAN SUBMISSION SHALL BE FLAGGED WITH A TRIANGLE. ANY CHANGES NOT FLAGGED MAY BE CONSIDERED NOT APPROVED. FLAGGED CHANGES SHALL BE REFERENCED TO THE APPROPRIATE REVISION DATE IN THE REVISION BLOCK.

AS-BUILT NOTE
ACCURATE AS-BUILT PLANS SHALL BE KEPT UP TO DATE DURING THE CONSTRUCTION PROCESS. AT THE COMPLETION OF THE PROJECT RECORD DRAWINGS SHALL BE DEVELOPED FROM THE AS-BUILT PLANS AND SUBMITTED TO THE CITY ENGINEER'S OFFICE. ALL FINAL DRAWINGS SHALL SHOW NORTH ARROW AND DATUM (NAD) 1983 STATE PLANE COORDINATES IN FEET (PENNSYLVANIA SOUTH, RPS ZONE 2702) AND THE DIGITAL FILE SHALL BE IN STATE PLANE FEET COORDINATES AS APPLICABLE. THE HARD COPY OF THE RECORD DRAWINGS SHALL BE IN THE FORM OF A MYLAR COPY. THE ENGINEER OF RECORD SHALL CERTIFY (E.G. P.E. STAMPED AND SIGNED) THAT THE RECORD DRAWINGS COMPLY SUBSTANTIALLY WITH THE APPROVED PLAN AND THAT THEY CONFORM TO INDUSTRY STANDARDS. ALL DIGITAL FILES SHALL SUBMIT ON PC COMPATIBLE CD-ROM CONTAINING THE DIGITAL REPRESENTATION OF THE FINAL PLAN AS PRESENTED ON THE TWENTY-FOUR (24) INCH BY TWENTY-SIX (26) INCH SHEETS. THE DIGITAL MAP SHALL BE AUTOCAD COMPATIBLE. ALL LAYERS INCLUDING THE DIGITAL MAPS SHALL BE THE STANDARDIZED LAYERS PREPARED AND UTILIZED BY THE CITY OF BETHLEHEM TO ENSURE COMPATIBILITY WITH THE CITY'S EXISTING CAD STANDARDS AND AS DESCRIBED IN APPENDIX A OF THE CITY'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

ENGINEERING PERMITS NOTE
PERMITS AND ANY OTHER CITY OF BETHLEHEM PERMITS MUST BE OBTAINED FROM CITY ENGINEERING OFFICE.

FLOODPLAIN NOTE

THIS PARCEL IS LOCATED OUTSIDE OF THE REGULATORY FLOOD WAY AND FLOOD FRINGE DISTRICTS.

COMPLIANCE STATEMENT
THE SITE CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND MANUFACTURER REQUIREMENTS AND AS ERECTED WILL COMPLY WITH THE PROVISIONS OF THE PA BUILDING CODE, THE CITY OF BETHLEHEM ZONING ORDINANCE, SPECIFICALLY INCLUDING THE FOLLOWING SECTIONS:
• SECTION 1317.19, ELEVATION AND FLOODPROOFING REQUIREMENTS, AND SPECIFICALLY, SUBSECTION E, ACCESSORY STRUCTURES
• SECTION 1317.20, DESIGN AND CONSTRUCTION STANDARDS, AND SPECIFICALLY SUBSECTION G-PLACEMENT OF BUILDINGS AND STRUCTURES, SUBSECTION H-AND DRIVING AND SUBSECTION K-ELECTRICAL COMPONENTS
• APPROVALS OF THE CITY OF BETHLEHEM PLANNING COMMISSION, AS APPLICABLE AND OTHER APPLICABLE LAWS GOVERNING BUILDING CONSTRUCTION AND SITE DEVELOPMENT.

REFERENCES AND CONTACTS

REFERENCES

• **BOUNDARY & TOPOGRAPHIC SURVEY:**
CONTROL POINT ASSOCIATES, INC.
1808 MANOR DRIVE, SUITE 210
CHALFONT, PA 18814
DATED: 01/05/24 (REV. 1)
JOB # SURVEY JOB #102-230225-00
ELEVATIONS: NAVD 1988

• **GEOTECHNICAL INVESTIGATION REPORT:**
GEO-TECHNOLOGY ASSOCIATES, INC.
2405 JOHN FRESHER HIGHWAY
QUAKERTOWN, PA 18851
DATED: 02/05/22
LAST REVISED: 07/20/2024

• **ARCHITECTURAL PLAN:**
SPILLMAN FARMER ARCHITECTS
1720 SPILLMAN DRIVE, SUITE 200
BETHLEHEM, PA 18015

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS. HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

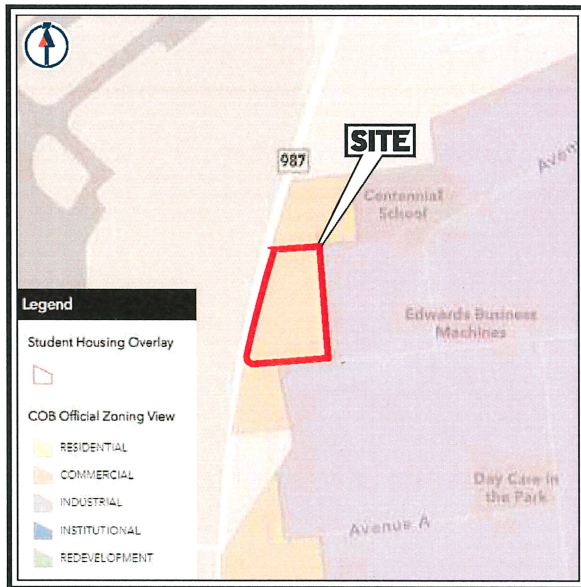
DISCLAIMER

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT PRIOR TO THE BEGINNING OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR DRAWINGS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE BEGINNING OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS SHOWN BY THE DRAWINGS AND IN ALL CASES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL COSTS INCURRED.

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS

FOR BOSCH REXROTH CORPORATION PROPOSED WAREHOUSE EXPANSION

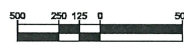
LOCATION OF SITE
2300 CITY LINE ROAD
BETHLEHEM, PA 18017
PARCEL# 641829428012



ZONING MAP LEGEND

ZONING MAP

SCALE: 1" = 500'
SOURCE: CITY OF BETHLEHEM GIS



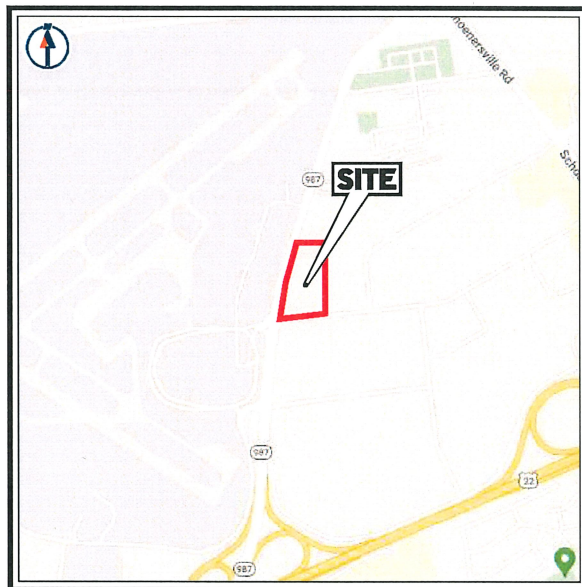
OWNER / APPLICANT

BOSCH REXROTH CORPORATION
2315 CITY LINE ROAD
BETHLEHEM, PA 18017 USA
ANDREA'S MASSOLD
610 694-8506

PREPARED BY

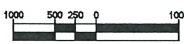
BOHLER //

MARY BACHERT, P.L.A. L.L.A.
74 W BROAD STREET, SUITE 500
BETHLEHEM, PA 18018
(610) 709-9971



LOCATION MAP

SCALE: 1" = 1,000'
SOURCE: GOOGLE MAPS



CERTIFICATION OF OWNERSHIP

I, _____ OF _____, BEING DULY SWORN ACCORDING TO LAW, AND ACTING IN MY CAPACITY AS _____, DEPOSE AND SAY THAT THE ABOVE NAMED CORPORATION IS THE TRUE AND LAWFUL OWNER OF THE PROPERTY KNOWN AS _____, AND THAT THE ABOVE IS DESCRIBED PROPERTY IS IN PEACEFUL POSSESSION OF SAID CORPORATION AND THAT THERE ARE NO SITS OR LIENS PENDING AFFECTING THE TITLE THEREOF.

BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT I AM THE SOLE OWNER OF THE ABOVE PROPERTY IN PEACEFUL POSSESSION OF THE SAME AND THAT THERE ARE NO SITS OR LIENS PENDING AFFECTING THE TITLE THEREOF.

BY: _____

SWORN BEFORE ME THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND, WHERE APPLICABLE, THE LOTS, BUILDINGS, STREETS, PARKING AREAS, WALKWAYS, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN THEREON.

SIGNATURE: JEFFREY A. BEAVAN,
REGISTERED No.: PE02005

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND, WHERE APPLICABLE, THE LOTS, BUILDINGS, STREETS, PARKING AREAS, WALKWAYS, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN THEREON.

SIGNATURE: JAMES C. WIEDE,
REGISTERED No.: SUR02250

PLANNING COMMISSION APPROVAL

APPROVED _____ BY THE CITY OF BETHLEHEM PLANNING COMMISSION.

SECRETARY _____

DATE _____

LEHIGH VALLEY PLANNING COMMISSION

REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION

DATE _____

RECORDED PLAN CERTIFICATION

PLAN RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS IN AND FOR THE COUNTY OF LEHIGH, AT EASTON, PENNSYLVANIA, AS INSTRUMENT NUMBER _____, ON THE _____ DAY OF _____, 20____.

LEHIGH COUNTY RECORDER OF DEEDS

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101*
GENERAL NOTES AND LEGEND	C-102*
EXISTING CONDITIONS/DEMOLITION PLAN	C-201
EXISTING CONDITIONS/DEMOLITION PLAN	C-201*
EASEMENT PLAN	C-302*
GRADING AND UTILITY PLAN	C-401
STORM PROFILES	C-501
EROSION AND SEDIMENT CONTROL PLAN	C-601
EROSION AND SEDIMENT CONTROL NOTES AND DETAILS	C-602, C-603, C-604, C-605
CONSTRUCTION DETAILS	C-601, C-602
VEHICLE CIRCULATION PLAN	C-603, C-604, C-605
PRE DEVELOPMENT DRAINAGE AREA MAP	DA-1
POST DEVELOPMENT DRAINAGE AREA MAP	DA-2*
POST DEVELOPMENT INLET DRAINAGE AREA MAP	DA-3
MAXIMUM DRAINAGE DURING CONSTRUCTION DRAINAGE AREA MAP	DA-4
LANDSCAPE PLAN	L-101
LANDSCAPE NOTES AND DETAILS	L-102
LIGHTING PLAN	L-201
LIGHTING NOTES AND DETAILS	L-202
POST CONSTRUCTION STORMWATER MANAGEMENT PLAN	PCSW-1*
POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS	PCSW-2*
POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS	PCSW-3*

* - DENOTES PLAN SHEET TO BE RECORDED

BOHLER //
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM ARCHITECTURE
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	BY	CHECKED BY
1	08/21/2024	PER LOCD CMT	ATK	MRB
2	07/17/2024	PER CITY AND LVPC CMT	ATK	MRB



Know what's below.
Call before you dig.

PERMITS/PAVING
YOU MUST CALL BEFORE ANY CONSTRUCTION
WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
www.811pa.org
F02233531708 & F02233531707

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT. NO WARRANTIES ARE MADE.

PROJECT No.: PAR230155.00-2A
DRAWN BY: ATK
CHECKED BY: MRB
DATE: 04/28/2024
CAD ID: P-CIVL-02038

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS

BOSCH REXROTH CORPORATION

PROPOSED BOSCH REXROTH WAREHOUSE EXPANSION

2300 CITY LINE ROAD
BETHLEHEM, PA 18017
WARD 13, BLOCK 192
CITY OF BETHLEHEM
LEHIGH COUNTY

BOHLER //

74 W BROAD STREET, SUITE 500
BETHLEHEM, PA 18018
Phone: (610) 709-9971
Fax: (610) 709-9976
www.BohlerEngineering.com

J.A. BEAVAN
Professional Engineer
PENN. LICENSE NO. 100-000000
NEW JERSEY LICENSE NO. 100-000000

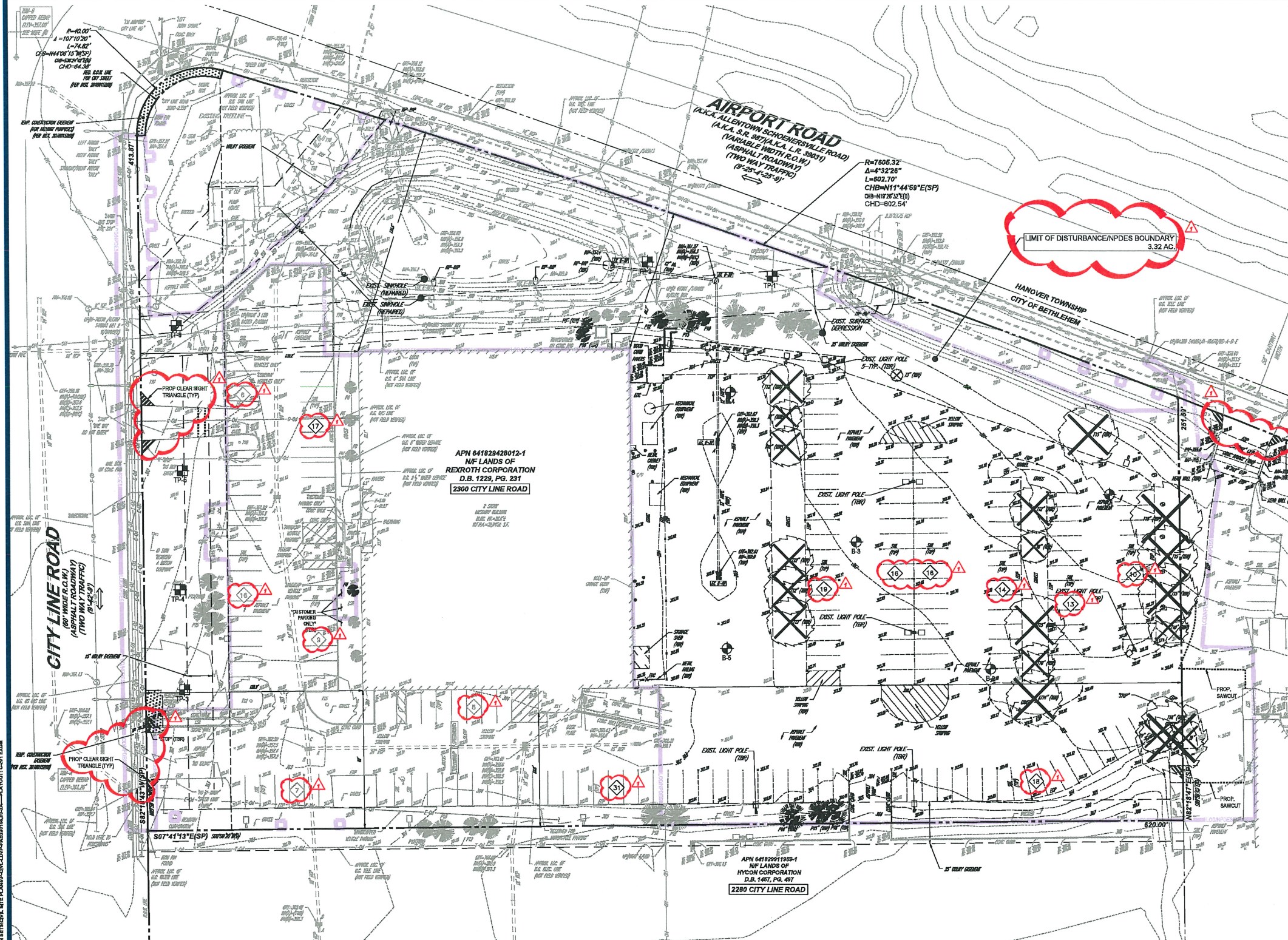
SHEET TITLE:

COVER SHEET

SHEET NUMBER:

C-101

REVISION 2 - 07/17/2024



SURVEY REFERENCES

1. THE OFFICIAL TAX ASSESSOR'S MAP OF CITY OF BETHLEHEM, LEHIGH COUNTY, COMMONWEALTH OF PENNSYLVANIA, SHEETS #486101 & #486102.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, LEHIGH COUNTY, PENNSYLVANIA, (ALL JURISDICTIONS), PANEL XXX OF XXX", MAP NUMBER 40060040E, (PANEL NOT PRINTED), FEMA HAS NOT COMPLETED A STUDY TO DETERMINE FLOOD HAZARD FOR THE CITY OF BETHLEHEM.
3. MAP ENTITLED "DRAWINGS AUTHORIZING ACQUISITION AND ACCEPTING DEDICATION OF RIGHT-OF-WAY FOR STATE ROUTE 867 SECTION 001 RW & 002 RW IN LEHIGH & NORTHAMPTON COUNTIES" SHEETS 1, 2 & 17 OF 52, DATED 03-29-2000 AS PROVIDED BY PENNSYLVANIA DEPARTMENT OF TRANSPORTATION.
4. MAP ENTITLED "PHONE CALL TICKET - 20233531707, 20233531706" AS PROVIDED BY ASTOUND BROADBAND.
5. MAPS ENTITLED "PLAN & PROFILE OF SANITARY SEWER ON AIRPORT ROAD", "PLAN & PROFILE OF SANITARY SEWER ON CITY LINE ROAD" & IMAGES DEPICTING UNDERGROUND SANITARY AND STORM SEWER LINES AS PROVIDED BY THE CITY OF BETHLEHEM.
6. MAPS ENTITLED "20233531706 & 20233531707" DATED 12/20/2023 AS PROVIDED BY UGI.
7. MAP ENTITLED "AIRPORT RD & IMAGE DEPICTING UNDERGROUND TELECOMMUNICATION LINES AS PROVIDED BY VERIZON."
8. MAP ENTITLED "PPL PENNDOT RELOCATION GATEWAY" PAGE A2 DATED 2023-12-22 AS PROVIDED BY PPL PENNDOT.
9. MAP ENTITLED "RE-SUBDIVISION PLAN, THE REXROTH CORPORATION, LEHIGH VALLEY INDUSTRIAL PARK, CITY OF BETHLEHEM, PA," DATED NOVEMBER 6, 1982 PREPARED BY F & M ASSOCIATES, INC.
10. MAP ENTITLED "MAJOR VOL. 18 PG. 22" DATED 4TH OF FEBRUARY OF 1977, PREPARED BY A.W. MARTIN ASSOCIATES, INC.
11. MAP ENTITLED "SUBDIVISION PLAN, THE REXROTH CORPORATION, LEHIGH VALLEY INDUSTRIAL PARK, CITY OF BETHLEHEM, PA," DATED NOVEMBER 6, 1982 PREPARED BY F & M ASSOCIATES, INC.
12. MAP ENTITLED "OFFICE AND SERVICE FACILITY, THE REXROTH CORPORATION, SITE PLAN" SHEET SW-1, DATED JULY 17, 1980, LAST REVISED 12/19/80, AS PREPARED BY SPILLMAN FARMER SHOEMAKER PELL WHILDEN - PC.
13. MAP ENTITLED "CORPORATE OFFICE BUILDING, REXROTH CORPORATION, BASEMENT FLOOR PLAN AND ENLARGED TOILET ROOM AREA PLANS" SHEET P-1, DATED APRIL 16, 1980, AS PREPARED BY SPILLMAN FARMER SHOEMAKER PELL WHILDEN - PC.

SURVEY NOTES

1. PROPERTY KNOWN AS APN 641829420012-1 AS IDENTIFIED ON THE TAX MAP OF CITY OF BETHLEHEM, LEHIGH COUNTY, COMMONWEALTH OF PENNSYLVANIA.
2. AREA = 225,477 SQUARE FEET OR 5.176 ACRES.
3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARKOUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD. AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBESTUS PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.

A QUALITY LEVEL SYSTEM IS UTILIZED TO IDENTIFY THE SOURCE OF THE UNDERGROUND UTILITY INFORMATION. THE METHOD OF DETERMINATION IS BASED ON CONTRACTUAL AGREEMENT WITH THE CLIENT AND IS DEPICTED ON THE SURVEY BY THE LINE TYPES SHOWN IN THE DRAWING LEGEND. FOR REFERENCE, THE QUALITY LEVELS ARE AS FOLLOWS:

QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY, NOT FIELD VERIFIED.

QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING, INCLUDES MARKOUT BY OTHERS.

QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING, INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.

QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING INFORMATION, THE METHOD OF DETERMINATION IS BASED ON CONTRACTUAL AGREEMENT WITH THE CLIENT AND IS DEPICTED ON THE SURVEY BY THE LINE TYPES SHOWN IN THE DRAWING LEGEND. FOR REFERENCE, THE QUALITY LEVELS ARE AS FOLLOWS:

ALL FOUR TYPES MAY NOT BE PRESENT ON THIS SURVEY.

4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY THE CLIENT, A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC., AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
5. THIS SURVEY IS PREPARED WITH REFERENCE TO A 60 YEAR SEARCH PREPARED BY FRANKLIN REAL ESTATE SERVICES & ABSTRACTING COMPANY, DATED 2-19-2024. SEE EXCEPTIONS LIST FOR SURVEY RELATED EXCEPTIONS.
6. SUBJECT PREMISES IS LOCATED IN AN UNMAPPED FLOOD HAZARD AREA, FEMA HAS NOT COMPLETED A STUDY TO DETERMINE FLOOD HAZARD, PER REF. #2.
7. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
8. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).
TEMPORARY BENCH MARKS SET:
TBM-A: CAPPED REBAR SET IN GRASS, ELEVATION= 361.28'
TBM-B: CAPPED REBAR SET IN GRASS, ELEVATION= 357.00'

PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.

9. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
10. THERE ARE A TOTAL OF 200 DESIGNATED PARKING SPACES, INCLUDING 3 HANDICAP SPACES.
11. BUILDING DIMENSIONS SHOWN HEREON ARE MEASURED AT GROUND LEVEL OF BUILDING EXTERIOR.

UTILITIES

THE FOLLOWING COMPANIES WERE NOTIFIED BY PENNSYLVANIA ONE CALL SYSTEM, INC. (1-800-242-1776) AND REQUESTED INFORMATION REGARDING THE LOCATION OF UNDERGROUND FACILITIES AFFECTING AND SERVING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST.

SERIAL NUMBERS: 20233531706 & 20233531707

UTILITY COMPANY	PHONE NUMBER
ASTOUND BROADBAND POWERED BY RCN	610-472-4587
BETHLEHEM CITY/ROBERT TAYLOR	610-428-0211
LUMEN FORMERLY LEVEL 3	877-396-8344 EXT. 3
PPL ELECTRIC UTILITIES CORPORATION	610-490-5884
SERVICE ELECTRIC CABLE TV INC	610-625-8502
UGI UTILITIES INC	610-807-3182
VERIZON BUSINESS FORMERLY MCI	610-414-2782

DEMOLITION ABBREVIATIONS	
ABBREVIATION	DESCRIPTION
(TBA)	TO BE ABANDONED
(TBR)	TO BE REMOVED
(TBV)	TO BE VACATED
(RELQ)	TO BE RELOCATED

THIS PLAN TO BE UTILIZED FOR DEMOLITION PURPOSES ONLY

SCALE: 1" = 30'

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUBMITTABLE SERVICES
TRANSPORTATION SERVICES

REVISIONS			
REV	DATE	COMMENT	PREPARED BY
1	08/21/2024	PER LOCD CMT	ATK
2	07/17/2024	PER CITY AND LVPC CMT	ATK

811

Know what's below.
Call before you dig.
PENNSYLVANIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION
WITHIN CITY OF BETHLEHEM OR FRANKLAND.
www.811pa.com
#20233531706 & #20233531707

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

PROJECT No.: PAR201155.00-2A
DRAWN BY: ATK
CHECKED BY: MRB
DATE: 04/28/2024
CAD L.D.: PAGM-LDVP

**PRELIMINARY!
FINAL LAND
DEVELOPMENT
PLANS**

FOR
**BOSCH
REXROTH
CORPORATION**

PROPOSED BOSCH REXROTH
WAREHOUSE EXPANSION

2280 CITY LINE ROAD
BETHLEHEM, PA 18017
WARD 13, BLOCK 192
CITY OF BETHLEHEM
LEHIGH COUNTY

BOHLER

74 W BROAD STREET, SUITE 500
BETHLEHEM, PA 18018
Phone: (610) 709-9971
Fax: (610) 709-9976
www.BohlerEngineering.com

J. A. BEVAN

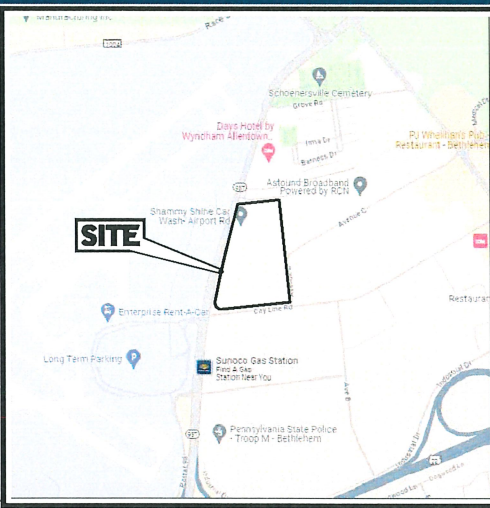
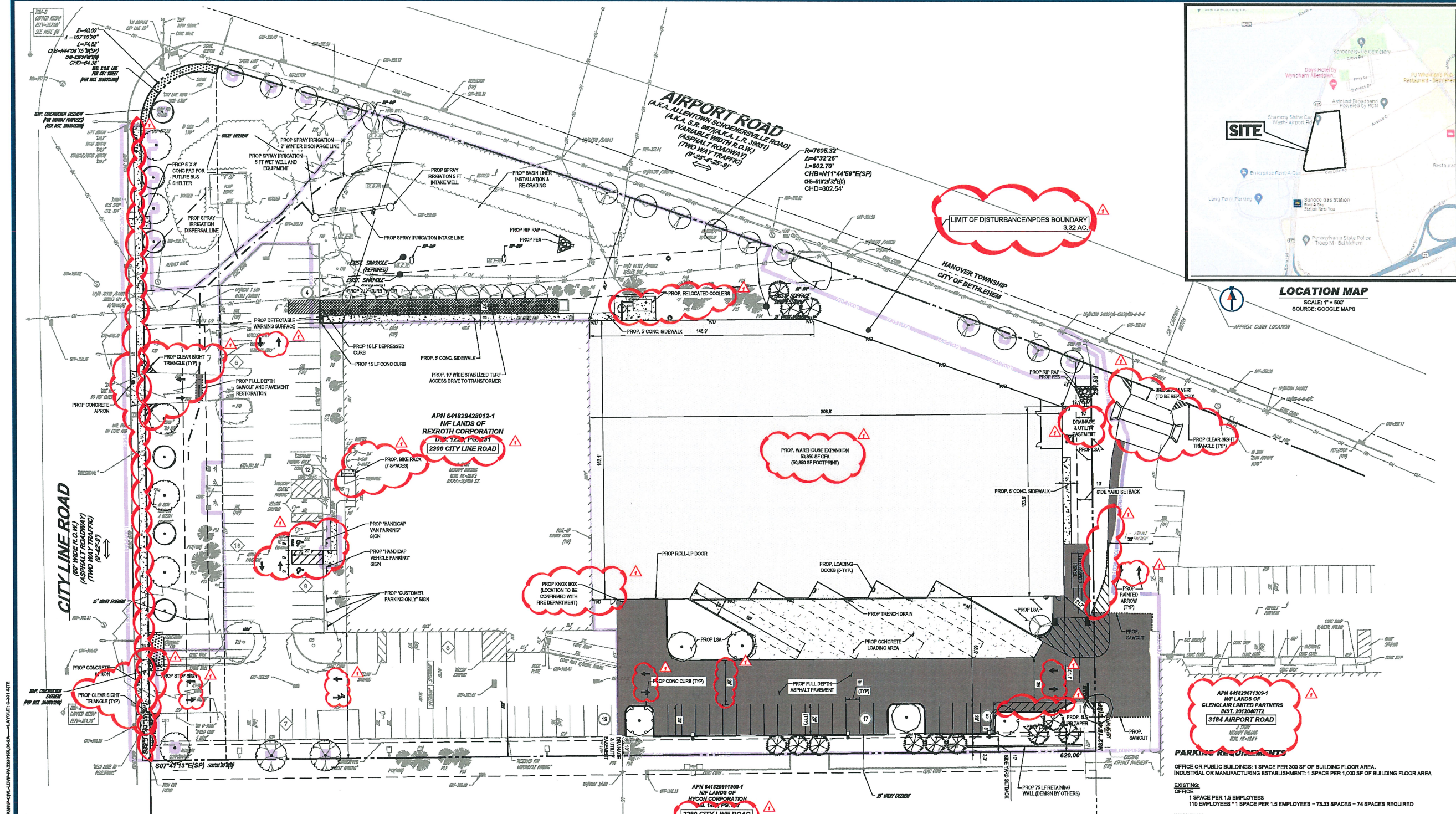
JEFFREY A. BEVAN
PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE NO. 17081705
NEW JERSEY LICENSE NO. 130000000
NEW YORK LICENSE NO. 130000000

SHEET TITLE:
**EXISTING
CONDITIONS/
DEMOLITION
PLAN**

SHEET NUMBER:
C-201

REVISION 2 - 07/17/2024

BOHLER ENGINEERING, 74 W BROAD STREET, SUITE 500, BETHLEHEM, PA 18018, PROJECT: 20233531706 & 20233531707, DATE: 07/17/2024, SHEET: C-201, SCALE: 1" = 30'



BOHLER

BOHLER ENGINEERING
CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
TRANSPORTATION SERVICES

REVISIONS			
REV	DATE	COMMENT	BY
1	06/21/2024	PER LDCD CMT	ATK
2	07/17/2024	PER CITY AND LVPC CMT	ATK

811

Know what's below.
Call before you dig.
PENNSYLVANIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION
WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
www.call811pa.org
PA0233531708 & #20233531707

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

PROJECT No.: PA0230155.00-2A
DRAWN BY: ATK
CHECKED BY: MRB
DATE: 04/28/2024
CAD ID: P-CML-LVPC

PROJECT:
**PRELIMINARY/
FINAL LAND
DEVELOPMENT
PLANS**
FOR
**BOSCH
REXROTH
CORPORATION**
PROPOSED BOSCH REXROTH
WAREHOUSE EXPANSION
2300 CITY LINE ROAD
BETHLEHEM, PA 18017
WARD 13, BLOCK 192
CITY OF BETHLEHEM
LEHIGH COUNTY

BOHLER

74 W BROAD STREET, SUITE 500
BETHLEHEM, PA 18018
Phone: (610) 709-9571
Fax: (610) 709-9576
www.BohlerEngineering.com

J.A. BEVAN

JEFFREY A. BEVAN
PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE NO. 100000
NEW JERSEY LICENSE NO. 100000

SHEET TITLE:
**SITE
PLAN**

SHEET NUMBER:
C-301

REVISION 2 - 07/17/2024

ZONING TABLE				
ZONE: C3 - GENERAL COMMERCIAL DISTRICT USE: WAREHOUSE				
APPLICANT/OWNER INFORMATION				
PROPERTY OWNER / APPLICANT: REXROTH CORPORATION C/O THOMPSON TAX & ACCOUNTING 2800 S 25TH AVE BETHLEHEM, PA 18015				
BULK REQUIREMENTS				
ITEM	CODE	PERMITTED	EXISTING	PROPOSED
MIN LOT AREA	§ 1306.01.(b)	2,000 SF (0.5 AC)	225,477 SF (5.16 AC)	NO CHANGE
MIN LOT WIDTH	§ 1306.01.(b)	20.0'	251.4'	NO CHANGE
MIN YARD SETBACKS				
FRONT YARD	§ 1306.01.(b)	0.0' FROM STREET ROW	84.7'	32.1'
SIDE YARD	§ 1306.01.(b)	10.0' FROM SIDE LOT LINE	67.8'	18.1'
REAR YARD	§ 1306.01.(b)	10.0' FROM REAR LOT LINE	N/A	N/A
MAX BUILDING COVERAGE	§ 1306.01.(b)	65.0%	14.8% (35,114 SF)	37.5% (84,164 SF)
MAX LOT COVERAGE	§ 1306.01.(b)	70.0%	40.0% (90,000 SF)	61.8% (138,000 SF)
KEY = VARIANCE REQUIRED				

PARKING REQUIREMENTS				
ITEM	CODE	PERMITTED	EXISTING	PROPOSED
MIN STALL SIZE	§ 1319.03.(a)(1)	9' X 18'	9' X 20'	9' X 20'
MIN STALL WIDTH	§ 1319.03.(a)(2)	24'	24'	24'
MIN LOADING SIZE	§ 1319.04.(c)	11' X 30'	12' X 30'	12' X 30'
MIN NUMBER OF STALLS	§ 1319.01.(a)(1)	103	200	103
KEY = VARIANCE REQUIRED				

CITY OF BETHLEHEM FIRE DEPARTMENT NOTES
1. KNOX BOX LOCATIONS FOR CITY OF BETHLEHEM FIRE DEPARTMENT ACCESS TO BE INSTALLED AS SHOWN ON THE PLANS.

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY

SCALE: 1" = 30'

- SITE PLAN NOTES**
- THIS PLAN REFERENCES AN "ALTA / NSPS LAND TITLE SURVEY" PREPARED FOR: SPILLMAN FARMER ARCHITECTS PREPARED BY: CONTROL POINT ASSOCIATES, INC. 1600 MANOR DRIVE, SUITE 210 CHALFONT, PA 18814 FILE NO.: 03-230225-00 DATED: 03-25-2024 LAST REVISED: 04-30-2024
 - ZONING DATA: 2300 CITY LINE ROAD CITY OF BETHLEHEM, LEHIGH COUNTY COMMONWEALTH OF PENNSYLVANIA PARID # 641829428012-1
 - ALL FEATURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
 - (TBR) INDICATES EXISTING SITE FEATURES TO BE REMOVED.
 - THIS PARCEL IS LOCATED OUTSIDE OF THE REGULATORY FLOOD WAY AND FLOOD FRINGE DISTRICTS.
 - THE CURRENT LANDOWNER SHALL BE RESPONSIBLE TO ENSURE THAT THE HATCH, PAVEMENT OR LOCKER CONTINUES TO BE AVAILABLE AND IS MAINTAINED AND IS REPLACED IF DAMAGED OR REMOVED

PARKING REQUIREMENTS
OFFICE OR PUBLIC BUILDINGS: 1 SPACE PER 300 SF OF BUILDING FLOOR AREA.
INDUSTRIAL OR MANUFACTURING ESTABLISHMENT: 1 SPACE PER 1,000 SF OF BUILDING FLOOR AREA

EXISTING:
OFFICE: 1 SPACE PER 1.5 EMPLOYEES
110 EMPLOYEES * 1 SPACE PER 1.5 EMPLOYEES = 73.33 SPACES = 74 SPACES REQUIRED

INDUSTRIAL:
1 SPACE PER 1,000 SF BUILDING GFA
14,200 BUILDING GFA * 1 SPACE PER 1,000 SF BUILDING GFA = 14.2 SPACES = 15 SPACES REQUIRED

ADA (EXISTING):
4 ADA SPACES, 1 OF WHICH MUST BE VAN-ACCESSIBLE REQUIRED FOR 76 TO 100 TOTAL PARKING SPACES

EXISTING PROVIDED = 88 SPACES (INCLUDING 4 ADA PARKING SPACES AND 1 ADA VAN SPACE)

EXISTING PROVIDED = 200 SPACES (INCLUDING 3 ADA-ACCESSIBLE PARKING SPACES) (ENC)

PROPOSED:
OFFICE (EXISTING): 1 SPACE PER 1.5 EMPLOYEES
110 EMPLOYEES * 1 SPACE PER 1.5 EMPLOYEES = 73.33 SPACES = 74 SPACES REQUIRED

INDUSTRIAL (EXISTING):
1 SPACE PER 1,000 SF BUILDING GFA
14,200 BUILDING GFA * 1 SPACE PER 1,000 SF BUILDING GFA = 14.2 SPACES = 15 SPACES REQUIRED

INDUSTRIAL (PROPOSED):
1 SPACE PER 1.5 EMPLOYEES
20 WAREHOUSE EMPLOYEES * 1 SPACE PER 1.5 EMPLOYEES = 13.33 = 14 SPACES REQUIRED.

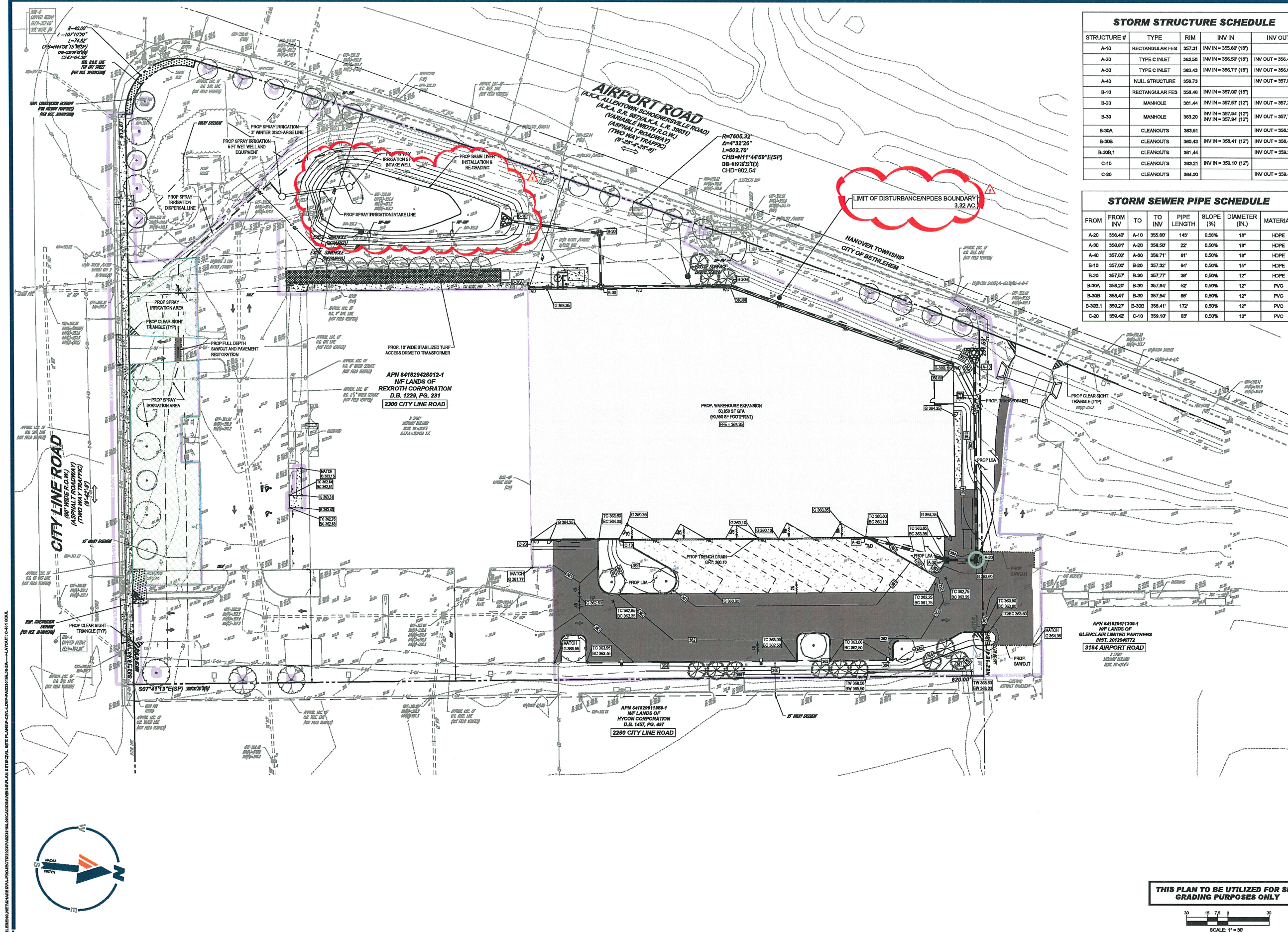
ADA (PROPOSED):
5 ADA SPACES, 1 OF WHICH MUST BE VAN-ACCESSIBLE REQUIRED FOR 101 TO 150 TOTAL PARKING SPACES

PROPOSED REQUIRED = 103 SPACES (INCLUDING 5 ADA SPACES AND 1 ADA VAN SPACE)

PROPOSED PROVIDED = 103 SPACES (INCLUDING 5 ADA SPACES AND 1 ADA VAN SPACE)

BICYCLE PARKING: 5% OF OFF STREET VEHICLE PARKING

REQUIRED: (103 PROPOSED SPACES) 5% = 5.15 OR 6 SPACES
PROPOSED: 7 SPACES



STORM STRUCTURE SCHEDULE				
STRUCTURE #	TYPE	RIM	INV IN	INV OUT
A-10	RECTANGULAR FES	357.31	INV IN = 355.69 (18")	
A-20	TYPE C INLET	355.50	INV IN = 356.59 (18")	INV OUT = 356.40 (18")
A-30	TYPE C INLET	353.43	INV IN = 356.71 (18")	INV OUT = 355.61 (18")
A-40	NULL STRUCTURE	358.73		INV OUT = 357.02 (18")
B-10	RECTANGULAR FES	358.48	INV IN = 357.00 (15")	
B-20	MANHOLE	351.44	INV IN = 357.57 (12")	INV OUT = 357.32 (15")
B-30	MANHOLE	353.20	INV IN = 357.94 (12") INV IN = 357.94 (12")	INV OUT = 357.77 (12")
B-30A	CLEANOUTS	353.81		INV OUT = 358.29 (12")
B-30B	CLEANOUTS	350.43	INV IN = 358.41 (12")	INV OUT = 358.41 (12")
B-30B-1	CLEANOUTS	351.44		INV OUT = 359.27 (12")
C-10	CLEANOUTS	353.21	INV IN = 358.10 (12")	
C-20	CLEANOUTS	364.00		INV OUT = 359.42 (12")

FROM	FROM INV	TO	TO INV	PIPE LENGTH	SLOPE (%)	DIAMETER (IN.)	MATERIAL
A-20	358.40	A-10	355.60	143'	0.50%	18"	HDPE
A-20	356.81"	A-20	356.52"	22'	0.50%	18"	HDPE
A-40	357.02	A-30	356.71"	81'	0.50%	18"	HDPE
B-10	357.00	B-20	357.32	84'	0.50%	15"	HDPE
B-20	357.57	B-30	357.77"	38'	0.50%	12"	HDPE
B-30A	358.20	B-30	357.94"	52'	0.50%	12"	PVC
B-30B	358.41"	B-30	357.94"	85'	0.50%	12"	PVC
B-30B.1	359.27	B-30B	358.41"	172'	0.50%	12"	PVC
C-20	359.42	C-10	359.10	63'	0.50%	12"	PVC

[illegible]

811
Know what's below.
Call before you dig.

FERRELLUMVA
YOU MUST CALL 811 BEFORE ANY EXCAVATION
WHETHER IT IS FOR PRIVATE OR PUBLIC LAND.
CALL 811 AT LEAST 48 HOURS BEFORE YOU DIG.
#20233531708 & #20233531707

**ISSUED FOR MUNICIPAL &
AGENCY REVIEW & APPROVAL**

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY
REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION
DOCUMENT UNLESS INDICATED TO THE CONTRARY.

PROJECT NO.: PA8230155, 00-2A
DRAWN BY: ATK
CHECKED BY: MBS
DATE: 04/28/2024
CAD I.D.: P-CM-LDVP

PROJECT:

**PRELIMINARY!
FINAL LAND
DEVELOPMENT
PLANS**

FOR

**BOSCH
REXROTH
CORPORATION**

PROPOSED BOSCH REXROTH
WAREHOUSE EXPANSION

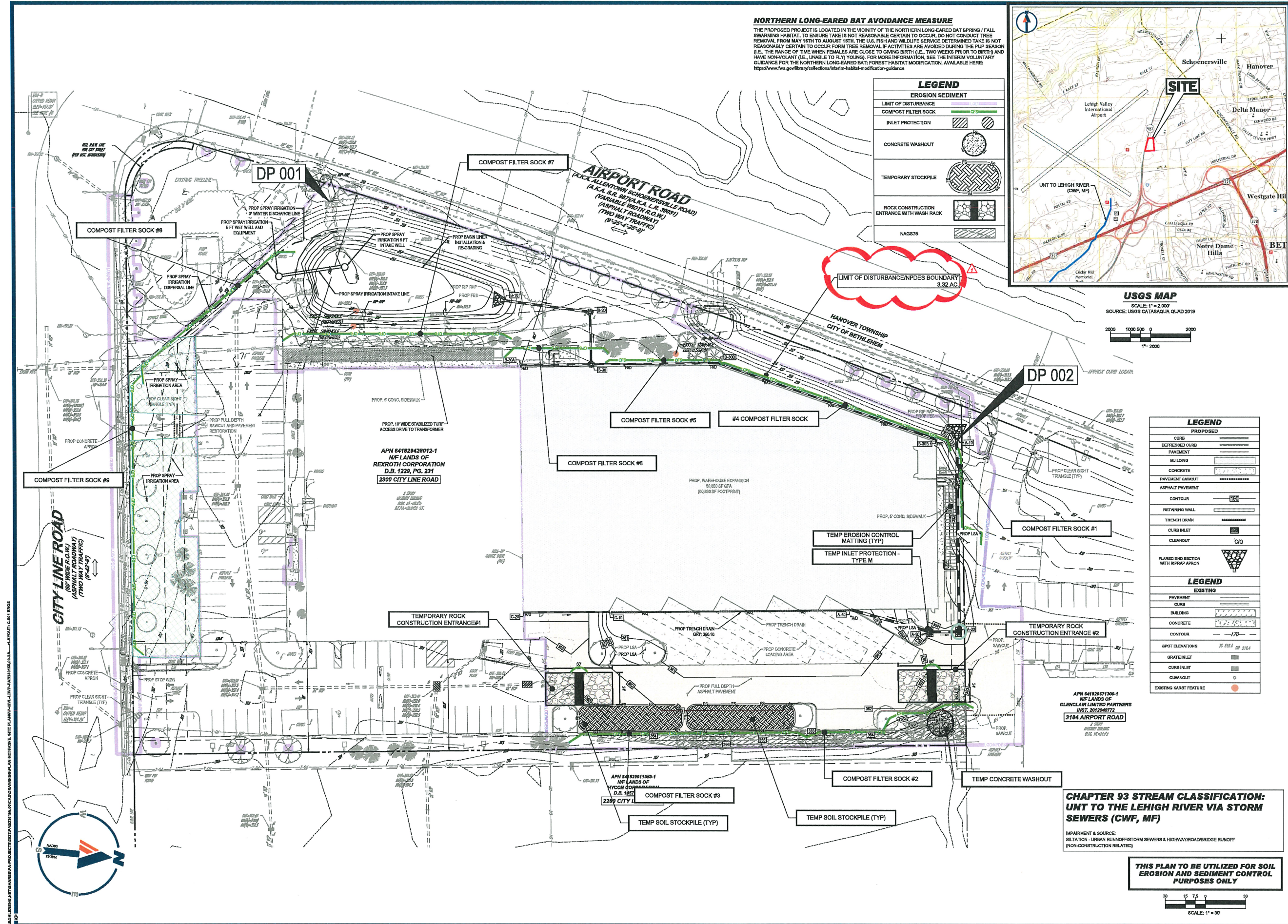
2500 CRYSTAL ROAD,
BETHLEHEM, PA 18017
WARD 13, BLOCK 192
CITY OF BETHLEHEM
LEHIGH COUNTY

BOHLER //









74 W BROAD STREET, SUITE 500
BETHLEHEM, PA 18018
Phone: (610) 709-9971
Fax: (610) 709-9976
www.BohlerEngineering.com

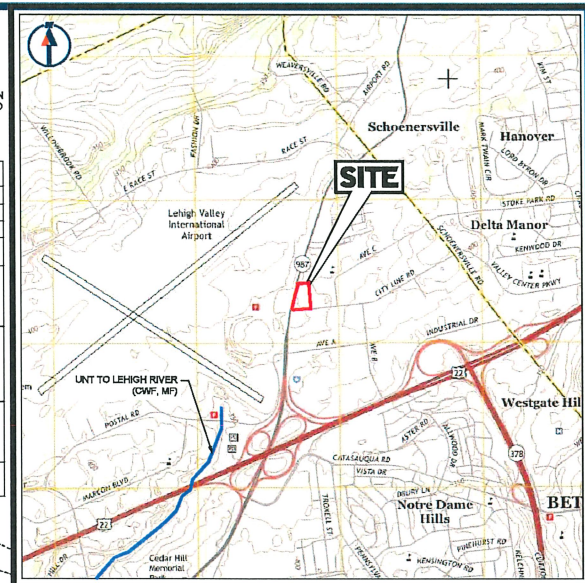
The seal is circular with a red border. Inside the border, the text "NEW JERSEY STATE BOARD OF PROFESSIONAL ENGINEERS" is written around the top half. In the center, the name "JEFFREY A. BEVAN" is printed in large, bold letters, followed by "PROFESSIONAL ENGINEER" and "LICENSE NO. 11A-00976". The seal also includes the words "REGISTERED" and "EXPIRATION DATE" at the bottom.

SHEET TITLE:	
<i>GRADING AND UTILITY PLAN</i>	
SHEET NUMBER:	
C-401	
REVISION 2 - 07/17/2024	




NORTHERN LONG-EARED BAT AVOIDANCE MEASURE

LEGEND	
EROSION SEDIMENT	
LIMIT OF DISTURBANCE	 DISTURBANCE L.O. RESTORATION
COMPOST FILTER SOCK	 OF DISTURBANCE
INLET PROTECTION	 
CONCRETE WASHOUT	
TEMPORARY STOCKPILE	
ROCK CONSTRUCTION ENTRANCE WITH WASH RACK	
NAGS75	



USGS MAP
SCALE: 1" = 2,000'
SOURCE: USGS CATASQUA QUAD 2019



1000 500 0 2000
1" = 2000'

[illegible]

811
Know what's below.
Call before you dig.
PENNSYLVANIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION
WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
1-800-4-A-HEAD
www.pa811.org
#20233531708 & #20233531707

**ISSUED FOR MUNICIPAL &
AGENCY REVIEW & APPROVAL**

THIS DRAWING IS INTENDED FOR MUNICIPAL AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	PAB230155.00-2A
DRAWN BY:	ATK
CHECKED BY:	MREB
DATE:	04/28/2024
CAD I.D.:	P-CIVL-LDVP

PROJECT:

**PRELIMINARY!
FINAL LAND
DEVELOPMENT
PLANS**

**BOSCH
REXROTH
CORPORATION**

**PROPOSED BOSCH REXROTH
WAREHOUSE EXPANSION**

**ONE CRYSTINE ROAD
BETHLEHEM, PA 18017
WARD 13, BLOCK 102
CITY OF BETHLEHEM
LEHIGH COUNTY**



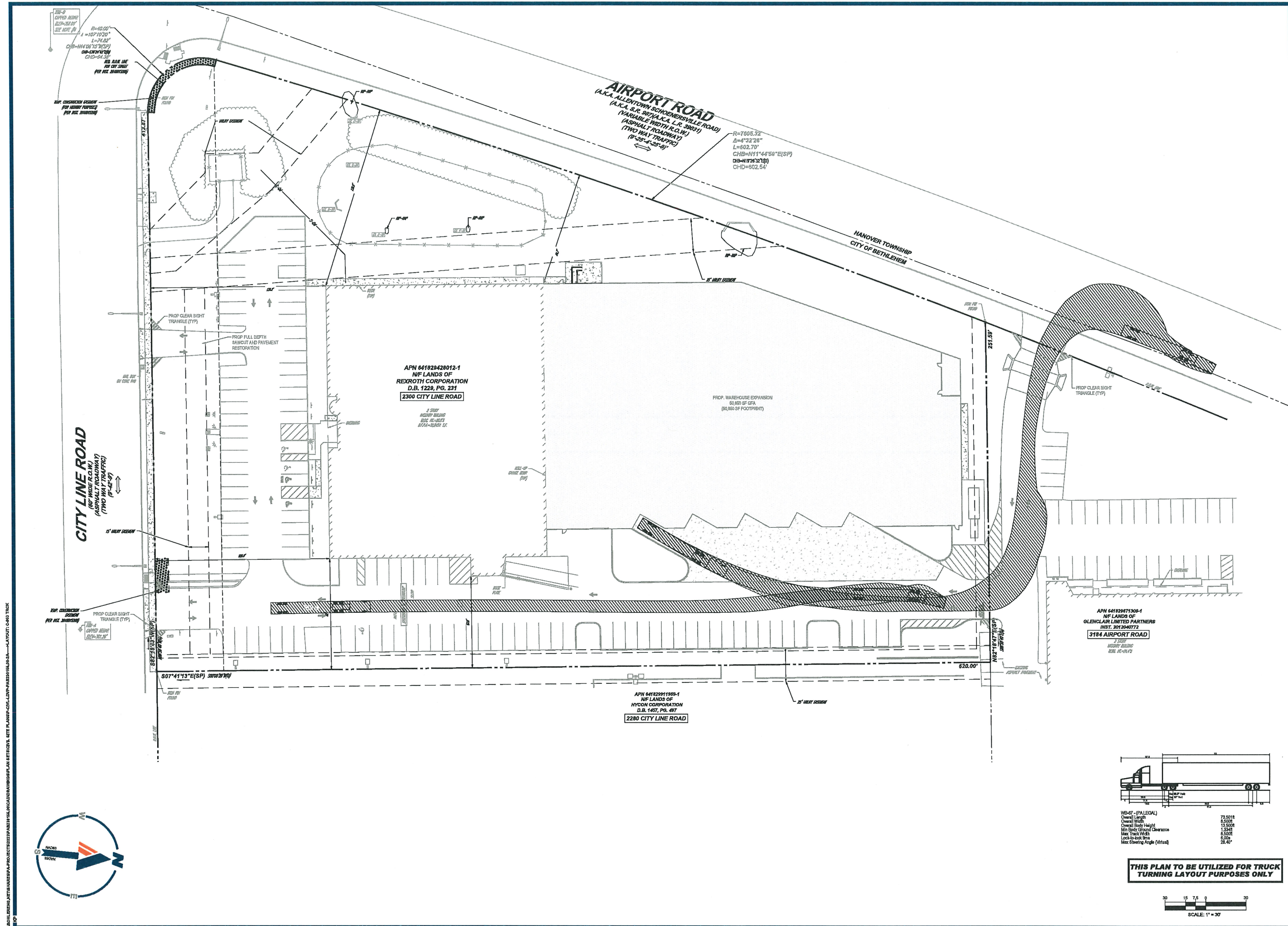
BOHLER //
74 W BROAD STREET, SUITE 500
BETHLEHEM, PA 18018
Phone: (610) 709-9971
Fax: (610) 709-9976
www.BohlerEngineering.com

SHEET TITLE:

**SOIL EROSION
AND SEDIMENT
CONTROL PLAN**

SHEET NUMBER:
C-801

REVISION 2 - 07/17/2024

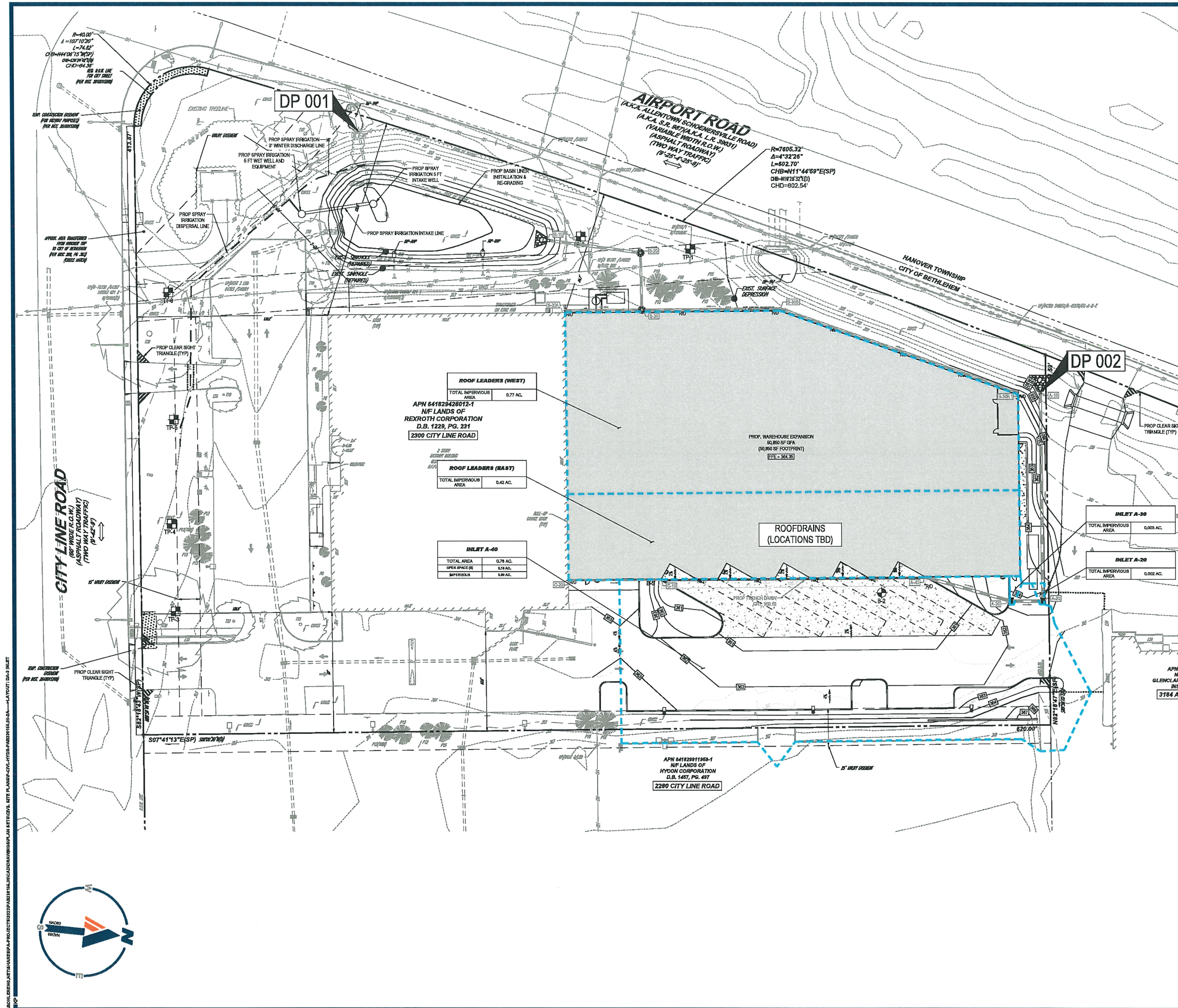
[illegible]

**ISSUED FOR MUNICIPAL &
AGENCY REVIEW & APPROVAL**

PROJECT No.:	PAB230155.00-2A
DRAWN BY:	ATK
CHECKED BY:	MRB
DATE:	04/28/2024
CAD ID:	B-CM-J-DVP

BOHLER //
74 W BROAD STREET, SUITE 500
BETHLEHEM, PA 18018
Phone: (610) 709-9971
Fax: (610) 709-9976
www.BohlerEngineering.com

SHEET TITLE:	
TRUCK TURNING PLAN	
SHEET NUMBER:	
C-903	
REVISION 2 - 07/17/2024	



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS			
REV	DATE	COMMENT	DRAWN BY
1	08/21/2024	PER LCCD CMT	ATK
2	07/17/2024	PER CITY AND LVPC CMT	ATK

811
Know what's below.
Call before you dig.
PENNSYLVANIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION
WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
800.481.4779
www.pa811.org
#20233531708 & #20233531707

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT. ANY ERRORS OR OMISSIONS ARE THE SOLE RESPONSIBILITY OF THE CLIENT.

PROJECT No.: PAR230155.00-2A
DRAWN BY: ATK
CHECKED BY: MRB
DATE: 04/23/2024
CAD L.D.: PCHL-HYDR

**PRELIMINARY!
FINAL LAND
DEVELOPMENT
PLANS**

FOR
**BOSCH
REXROTH
CORPORATION**

PROPOSED BOSCH REXROTH
WAREHOUSE EXPANSION

2300 CITY LINE ROAD
BETHLEHEM, PA 18017
WARD 13, BLOCK 192
CITY OF BETHLEHEM
LEHIGH COUNTY

BOHLER
74 W BROAD STREET, SUITE 500
BETHLEHEM, PA 18018
Phone: (610) 709-9971
Fax: (610) 709-9976
www.BohlerEngineering.com

J.A. BEAVAN
PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE NO. 100000
NEW JERSEY LICENSE NO. 100000

SHEET TITLE:
**POST-DEVELOPMENT
INLET
DRAINAGE
AREA MAP**

SHEET NUMBER:
DA-3

REVISION 2 - 07/17/2024

