

PROOF OF RECORDING:  
PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF NORTHAMPTON COUNTY, PENNSYLVANIA, IN DOCKET ID \_\_\_\_\_ ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
WITNESS MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

WITNESS \_\_\_\_\_  
RECORDER OF DEEDS \_\_\_\_\_ DATE \_\_\_\_\_

CERTIFICATION OF THE LEHIGH VALLEY PLANNING COMMISSION:  
REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION.

REVIEWED BY: \_\_\_\_\_ PLANNER \_\_\_\_\_ DATE \_\_\_\_\_

CERTIFICATION OF OWNERSHIP:

I STEVE FERNSTROM OF BETHLEHEM PARKING AUTHORITY, BEING DULY SWORN ACCORDING TO LAW, AND ACTING IN MY CAPACITY AS EXECUTIVE DIRECTOR DO DEPOSE AND SAY THAT THE ABOVE NAMED CORPORATION IS THE TRUE AND LAWFUL OWNER OF PROPERTIES KNOWN AS:

LOT 2	33 W WALNUT STREET
LOT 2A	33 W WALNUT STREET

THAT THE ABOVE DESCRIBED PROPERTIES ARE IN PEACEFUL POSSESSION OF SAID CORPORATION AND THAT THERE ARE NO SUITS OR LIENS PENDING AFFECTING THE TITLE THEREOF.

BETHLEHEM PARKING AUTHORITY CORPORATION  
BY: \_\_\_\_\_ CORPORATE OFFICER

ATTEST: \_\_\_\_\_

SURVEYOR'S CERTIFICATION:

I, ROBERT W. TELSCHOW, JR., PLS. A REGISTERED LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA; DO HEREBY CERTIFY THAT THE PLAN, PREPARED FROM A FIELD SURVEY PERFORMED SEPTEMBER, 2014, CORRECTLY REPRESENTS THE PROPERTY BOUNDARY OF THE PROPOSED SUBDIVISION OR LAND DEVELOPMENT.

ROBERT W. TELSCHOW, JR., PLS.  
COLLIERS ENGINEERING & DESIGN, INC.  
2000 ATLANTIC DRIVE, SUITE 100  
MT. LAURAL, NJ 08054  
LICENSE # SU075641

CITY OF BETHLEHEM PLANNING COMMISSION:

APPROVED BY THE PLANNING COMMISSION ON \_\_\_\_\_

PLANNING DIRECTOR

CHAIR

SECRETARY

CERTIFICATION OF THE CITY OF BETHLEHEM ENGINEER:  
REVIEWED BY THE CITY OF BETHLEHEM ENGINEER \_\_\_\_\_

REVIEWED BY: \_\_\_\_\_ ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

ENGINEERS CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND, WHERE APPLICABLE, THE LOTS, BUILDINGS, STREETS, PARKING AREAS, WALKWAYS, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN THEREON.

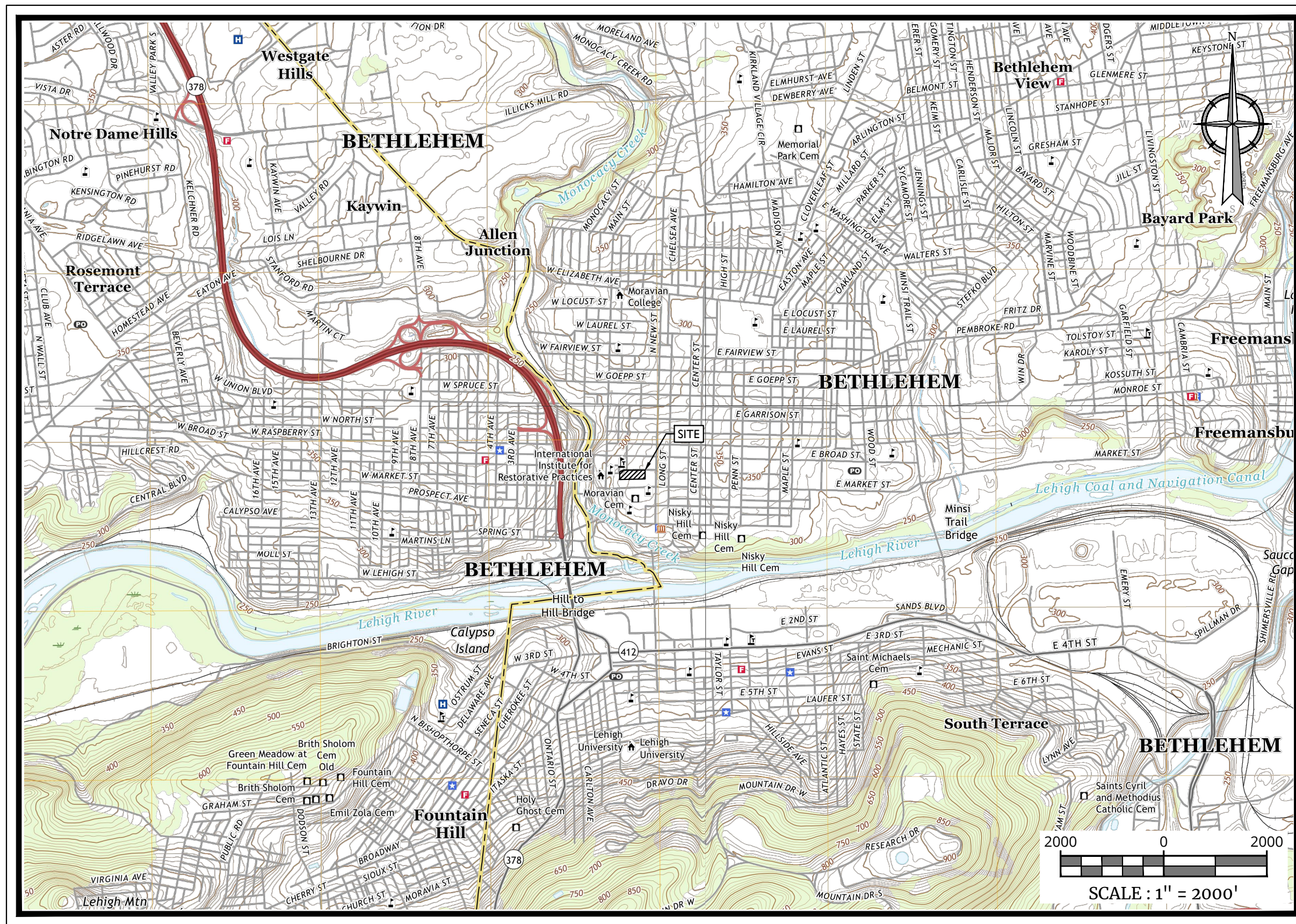
C. RICHARD ROSEBERY, P.E.  
COLLIERS ENGINEERING & DESIGN  
941 MARCON BOULEVARD, SUITE 801  
ALLENTOWN, PA 18109  
610-868-4201  
RICHARD.ROSEBERY@COLLIERSENG.COM

INDEX OF SHEETS

SHT. No.	DESCRIPTION	DATE REVISED
* 1	COVER SHEET	2/29/2024
2	EXISTING CONDITIONS & DEMOLITION PLAN	2/29/2024
* 3	DIMENSION PLAN	2/29/2024
4	GRADING PLAN	2/29/2024
5	UTILITIES PLAN	2/29/2024
6	LANDSCAPE & LIGHTING PLAN	2/29/2024
7	LANDSCAPE & LIGHTING DETAILS	2/29/2024
8-10	CONSTRUCTION DETAILS	2/29/2024

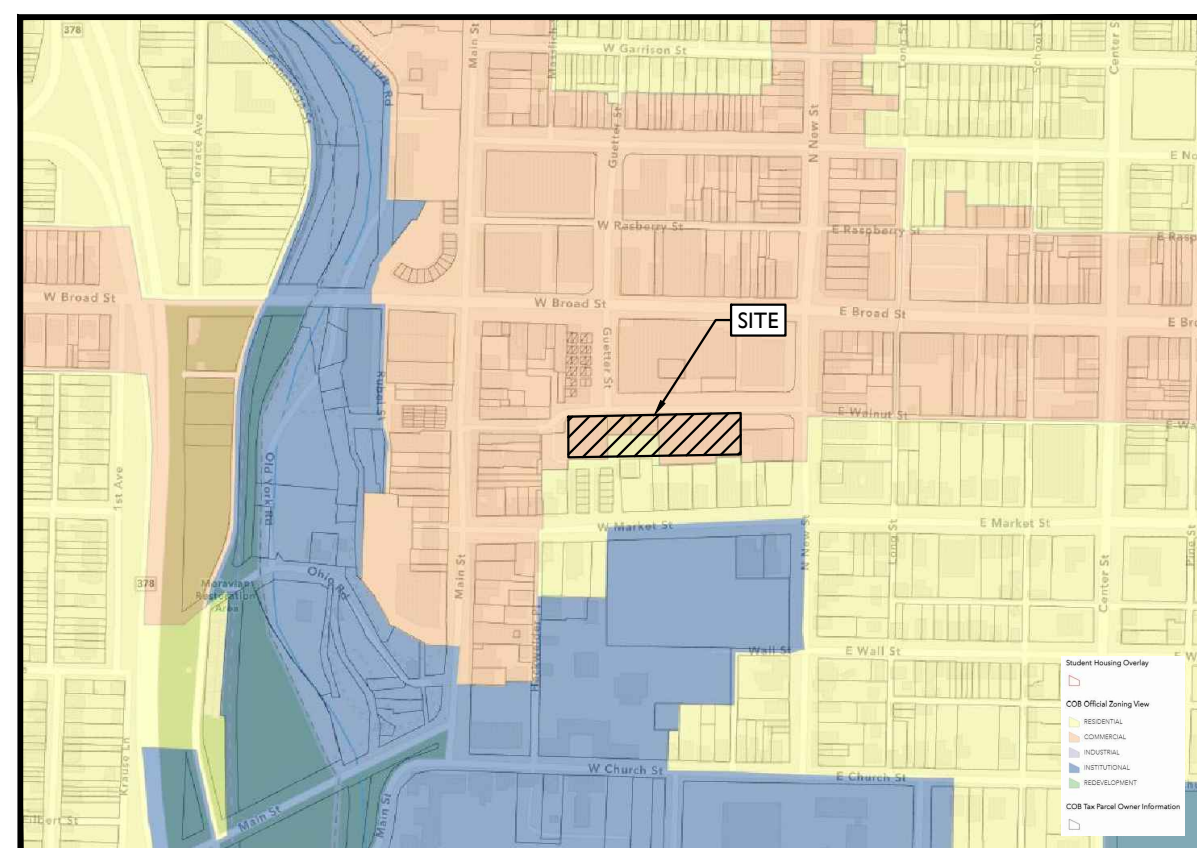
\* PLANS TO BE RECORDED

# PRELIMINARY & FINAL LAND DEVELOPMENT PLANS FOR CITY OF BETHLEHEM PARKING AUTHORITY WALNUT STREET PARKING GARAGE BLOCK 14 LOTS 2 & 2A CITY OF BETHLEHEM NORTHAMPTON COUNTY, PENNSYLVANIA



## USGS LOCATION MAP

SOURCE: USGS 2019: CATASAUQUA, NAZARETH, ALLENTOWN EAST, HELLERTOWN



## ZONING MAP

SOURCE: CITY OF BETHLEHEM

NOT TO SCALE

## GENERAL INFORMATION

1. THE PROPERTY IS LOCATED IN THE CB CENTRAL BUSINESS ZONE DISTRICT AND CONTAINS A TOTAL TRACT AREA OF 38.51 ACRES, 162,975 SQ. FT. OR 3.94 ACRES.
  2. OWNER/APPLICANT: BETHLEHEM PARKING AUTHORITY, 523 W WALNUT STREET, BETHLEHEM, PA 18010, 610-865-7053, COO STEVE FERNSTROM, EXECUTIVE DIRECTOR, STEVE@BETHPARK.ORG
  3. STATEMENT OF INTENT: THE SUBJECT PROPERTY IS PRESENTLY A PARKING GARAGE AND THE APPLICANT PROPOSES TO DEMOLISH THE BUILDING AND BUILD A NEW PARKING GARAGE ON A PORTION OF THE SITE. THE REMAINING PORTION OF THE LOT WILL BE THE SUBJECT OF A SUBSEQUENT LAND DEVELOPMENT PLAN.
  4. THE HORIZONTAL DATUM IS RELATIVE TO THE PENNSYLVANIA NORTH STATE PLANE COORDINATE SYSTEM AND ADJUSTED TO NAD 83. THE VERTICAL DATUM IS RELATIVE TO NAVD 88.
  5. BENCHMARK REFERENCE: REFERENCE ELEVATION: ELEVATION FEET NAVD 88: 1188.
  6. ZONE DATA: RESIDENTIAL & COMMERCIAL
- | DISTRICT                          | REQUIRED                    | EXISTING            | PROPOSED          |
|-----------------------------------|-----------------------------|---------------------|-------------------|
| CB CENTRAL BUSINESS               | RT HIGH DENSITY RESIDENTIAL | CB CENTRAL BUSINESS | CB                |
| RETAIL OFFICE & PARKING STRUCTURE | RESIDENTIAL                 | PARKING STRUCTURE   | PARKING STRUCTURE |
- | LOT #  | MINIMUM LOT AREA | MINIMUM LOT WIDTH | MINIMUM FRONT YARD | MINIMUM REAR YARD | MINIMUM SIDE YARD | MINIMUM BUILDING HEIGHT |
|--------|------------------|-------------------|--------------------|-------------------|-------------------|-------------------------|
| LOT 2A | 0.5F             | 9.00F             | 0 FT               | 0 FT              | 0 FT              | 35 FT OR 2 1/2 STORES   |
| LOT 2  | 9.00F            | 90 FT             | N/A                | 20 FT             | 15 FT             | 56 FT                   |
| LOT 2A | 9.233 SF         | 0.212 AC          | 145 FT             | 20.0 FT           | 0 FT              | 328.65 FT               |
| LOT 2  | 29.689 SF        | 0.682 AC          | 328.65 FT          | 145.00 FT         | 0 FT              | 328.65 FT               |
- | LOT COVERAGE | MAXIMUM BUILDING LOT COVERAGE | MAXIMUM PERVIOUS COVERAGE |
|--------------|-------------------------------|---------------------------|
| 100%         | 80%                           | 100%                      |
| 100%         | N/A                           | 100%                      |
| 100%         | 100%                          | 100%                      |
| 100%         | 100%                          | 9333 SF                   |
| 25.699 SF    | 25.699 SF                     | 25.699 SF                 |
7. RETAINING WALLS: THE DESIGN AND DETAILS OF ANY RETAINING WALLS WILL BE PREPARED BY AN EXCAVATOR, DESIGNER, OR ANY PERSON LICENSED IN THE DESIGN OF RETAINING WALLS AND LICENSED IN THE STATE OF PENNSYLVANIA. ALL RETAINING WALL PLANS SHALL BE SIGNED AND SEALED AND SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL.
  8. PLAN REVISIONS: IN ORDER TO MAINTAIN CONTINUITY BETWEEN PLAN REVISIONS, ANY CHANGES TO A PREVIOUS PLAN SUBMISSION SHALL BE FLAGGED WITH A TRIANGLE. ANY CHANGES NOT FLAGGED MAY BE CONSIDERED NOT APPROVED. FLAGGED CHANGES SHALL BE REFERENCED TO THE APPROPRIATE REVISION DATE IN THE REVISION BLOCK.
  9. BY SUBMISSION OF THESE PLANS THE ENGINEER ON RECORD CERTIFIES THAT THESE PLANS ARE IN COMPLETE COMPLIANCE WITH THE CITY OF BETHLEHEM STORM WATER MANAGEMENT ORDINANCE.
  40. THIS LAND DEVELOPMENT PLAN WAS PREPARED IN ACCORDANCE WITH REQUIREMENTS ESTABLISHED IN THE CITY OF BETHLEHEM SUBDIVISION AND DEVELOPMENT ORDINANCE AND THE ZONING ORDINANCE OF THE CITY OF BETHLEHEM.
  41. ALL SHEETS INCLUDED IN THIS LAND DEVELOPMENT PLAN SET ARE TO BE CONSIDERED AS IF RECORDED WITH THE RECORD PLAN.
  42. ALL PUBLIC INLETS SHOULD HAVE INLET MARKERS. THE DESIGN OF INLET MARKERS SHALL BE APPROVED BY THE CITY ENGINEER.
  43. ALL CROSSWALKS, STOP BARS, ARROWS, AND "ONLY'S" WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE HOT THERMOPLASTIC.
  44. SET OF PLANS IS NOT DETECTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS.
  45. THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A SURVEY.
  46. DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THEREON.
  47. THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED. ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPAL ENGINEER.
  48. THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES, TRAINING REQUIRED.
  49. PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL 811 TO REQUEST A UTILITY MARKOUT.
  50. PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY, PERMITS MUST BE OBTAINED FROM THE CITY ENGINEERING OFFICE.
  51. A KNOX BOX FOR CITY OF BETHLEHEM FIRE DEPARTMENT ACCESS SHALL BE INSTALLED. THE LOCATION IS TBD.
  52. THESE GENERAL NOTES APPLY TO ALL SHEETS IN THE SET.
  53. THE APPLICANT'S REQUEST FOR A ZONING MAP AMENDMENT WAS APPROVED BY RESOLUTION # \_\_\_\_\_ DATED \_\_\_\_\_ BY BETHLEHEM CITY COUNCIL.
  54. THE APPLICANT'S REQUEST FOR A STREET VACATION WAS APPROVED BY RESOLUTION # \_\_\_\_\_ DATED \_\_\_\_\_ BY BETHLEHEM CITY COUNCIL.
- SITE NOTES**
1. TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL WASTE MATERIALS IN ACCORDANCE WITH GOVERNING REGULATIONS AND AGENCIES.
  3. THERE SHALL BE NO ON-SITE BURIAL OF CONSTRUCTION MATERIALS, TREE BRANCHES, STUMPS, OR OTHER DELETERIOUS MATERIALS.
- DEMOLITION NOTES**
1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
  2. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKWAYS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER ADJACENT FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE MUNICIPAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
  3. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DRIFT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL ADJACENT AREAS CAUSED BY THE DEMOLITION OPERATION. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
  4. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
  5. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND. FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND TREE REMAINS. SOIL USED FOR FILL SHOULD NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO THE FILLING OF AREAS, THE CONTRACTOR SHALL TAKE NECESSARY ACTION TO INSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN THE HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 98% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
  6. REMOVE FROM THE DESIGNATED SITE AT THE EARLIEST POSSIBLE TIME. ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE MATERIALS. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPLICABLE REGULATORY AGENCIES AND AUTHORITIES.
  7. BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION, MARK FOR POSITION ALL UTILITIES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES, THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO INSURE THE CONTINUATION OF SERVICE.
  8. THE DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES SHALL BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.
  9. CHAPTER 33 OF THE PC "SAFE DURING CONSTRUCTION AND DEMOLITION" WILL BE ENFORCED FOR THE DURATION OF THE CONSTRUCTION PROJECT.
- THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.**
- WETLAND NOTES**
1. THERE ARE NO WETLANDS WITHIN THE PROPOSED DEVELOPMENT AREA.
- FLOOD HAZARD NOTES:**
- BY GRAPHICAL PRESENTATION ONLY THIS PROPERTY IS NOT LOCATED IN FLOOD HAZARD ZONE AS SHOWN ON FLOOD INSURANCE MAP, COMMUNITY PANEL NO. 307 OF 353, MAP NUMBER 49992002C WHICH HAS AN EFFECTIVE DATE OF JULY 16, 2014 (AND IS NOT IN A SPECIAL FLOOD HAZARD AREA) FIELD SURVEYING WAS NOT PERFORMED TO DETERMINE THIS ZONE.
- MAP REFERENCES:**
- a. A CERTAIN MAP ENTITLED: "PLAN OF LAND OF THE ADLE S. FRETZ ESTATE & FIRST VALLEY BANK, SITUATE BETWEEN & ALONG W. MARKET STREET & W. WALNUT STREET, PREPARED BY LEONARD M. BRAVILLING, JR., DATED NOVEMBER 30, 1981, SAID PLAN BEING DULY FILED IN THE NORTHAMPTON COUNTY RECORDER OF DEEDS IN VOLUME 67 PAGE 30 ON JANUARY 21, 1982.
  - b. A CERTAIN MAP ENTITLED: "TRANSIENT GARAGE, DECKER TO LEVINE, WARD 7, BLOCK 9A & 9B" PREPARED BY LEONARD M. BRAVILLING, JR., DATED MARCH 30, 1984 AND LAST REVISED JULY 3, 1984, SAID PLAN BEING DULY FILED IN THE NORTHAMPTON COUNTY RECORDER OF DEEDS IN VOLUME 84 PAGE 130 ON JULY 25, 1984.
  - c. A CERTAIN MAP ENTITLED: "FINAL PLAN, WARD 7, BLOCK 9B, SUBDIVISION OF LANDS FOR BETHLEHEM PARKING AUTHORITY, CITY OF BETHLEHEM NORTHAMPTON COUNTY, PENNSYLVANIA", PREPARED BY EAST PENN ENGINEERING CO., LTD., DATED FEBRUARY 24, 2000 AND LAST REVISED MAY 2, 2000, SAID PLAN BEING DULY FILED IN THE NORTHAMPTON COUNTY RECORDER OF DEEDS IN VOLUME 3000-5 PAGE 398 ON SEPTEMBER 7, 2000.
  - d. A CERTAIN MAP ENTITLED: "WARD 7, BLOCK 9A, BLOCK SURVEY SHOWING DEED AND OCCUPATION DISTANCES" PREPARED BY CITY OF BETHLEHEM DEPARTMENT OF ENGINEERING, DATED 1919 AND REVISED MARCH 19, 1940.
  - e. A CERTAIN MAP ENTITLED: "WARD 7, BLOCK 9B, BLOCK SURVEY SHOWING DEED AND OCCUPATION DISTANCES" PREPARED BY CITY OF BETHLEHEM DEPARTMENT OF ENGINEERING, DATED 1855 AND REVISED FEBRUARY 5, 1979.
- THE FOLLOWING DEEDS WERE USED:**
- DEED BOOK 2017-1 PAGE 136500 TRIN PANE1-D-14-13A-024 & PANE1-D-14-13B-024  
DEED BOOK 505 PAGE 299  
DEED BOOK 242 PAGE 142 PENNSYLVANIA POWER AND LIGHT EASEMENT  
DEED BOOK 138 PAGE 387 BELL TELEPHONE EASEMENT  
DEED BOOK 327 PAGE 740 BELL TELEPHONE EASEMENT  
DEED BOOK 248 PAGE 284 BELL TELEPHONE EASEMENT  
DEED BOOK 284 PAGE 784 TELEPHONS AGREEMENT  
DEED BOOK 301 PAGE 895 DEED OF RIGHT OF WAY AND OTHER EASEMENTS  
DEED BOOK 714 PAGE 656 DEED OF RIGHT OF WAY AND OTHER EASEMENTS  
DEED BOOK 2006-1 PAGE 9272  
DEED BOOK 714 PAGE 656 DEED OF RIGHT OF WAY AND OTHER EASEMENTS  
DEED BOOK 2007-1 PAGE 289541  
DEED BOOK 2013-1 PAGE 231776  
DEED BOOK 776 PAGE 301  
DEED 505 PAGE 299  
DEED BOOK 208 PAGE 329 NOTICE OF CONDEMNATION  
DEED BOOK 233 PAGE 380 NOTICE OF CONDEMNATION  
DEED BOOK 215 PAGE 91 NOTICE OF CONDEMNATION  
DEED BOOK 214 PAGE 109 NOTICE OF CONDEMNATION  
DEED BOOK 578 PAGE 714  
DEED BOOK 2001-1 PAGE 55141 MAP OF WARD 7 BLOCK 9B  
DEED BOOK 2001-1 PAGE 55148 AGREEMENT OF EXTENSION AND CORRECTION OF DEED

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

Colliers

Engineering & Design

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REV.	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
1	2/29/24	REVISED PER CITY OF BETHLEHEM REVIEW LETTER	SJD	

Digitally signed by C. Richard Rosebery  
C. Richard Rosebery  
Pennsylvania Registered Professional Engineer  
License Number: PD046162R  
COLLIERS ENGINEERING & DESIGN, INC.

## PRELIMINARY & FINAL LAND DEVELOPMENT PLAN

### FOR CITY OF BETHLEHEM PARKING AUTHORITY

WALNUT STREET PARKING GARAGE  
BLOCK 14, WARD 7  
LOTS 2 & 2A  
33 W. WALNUT STREET

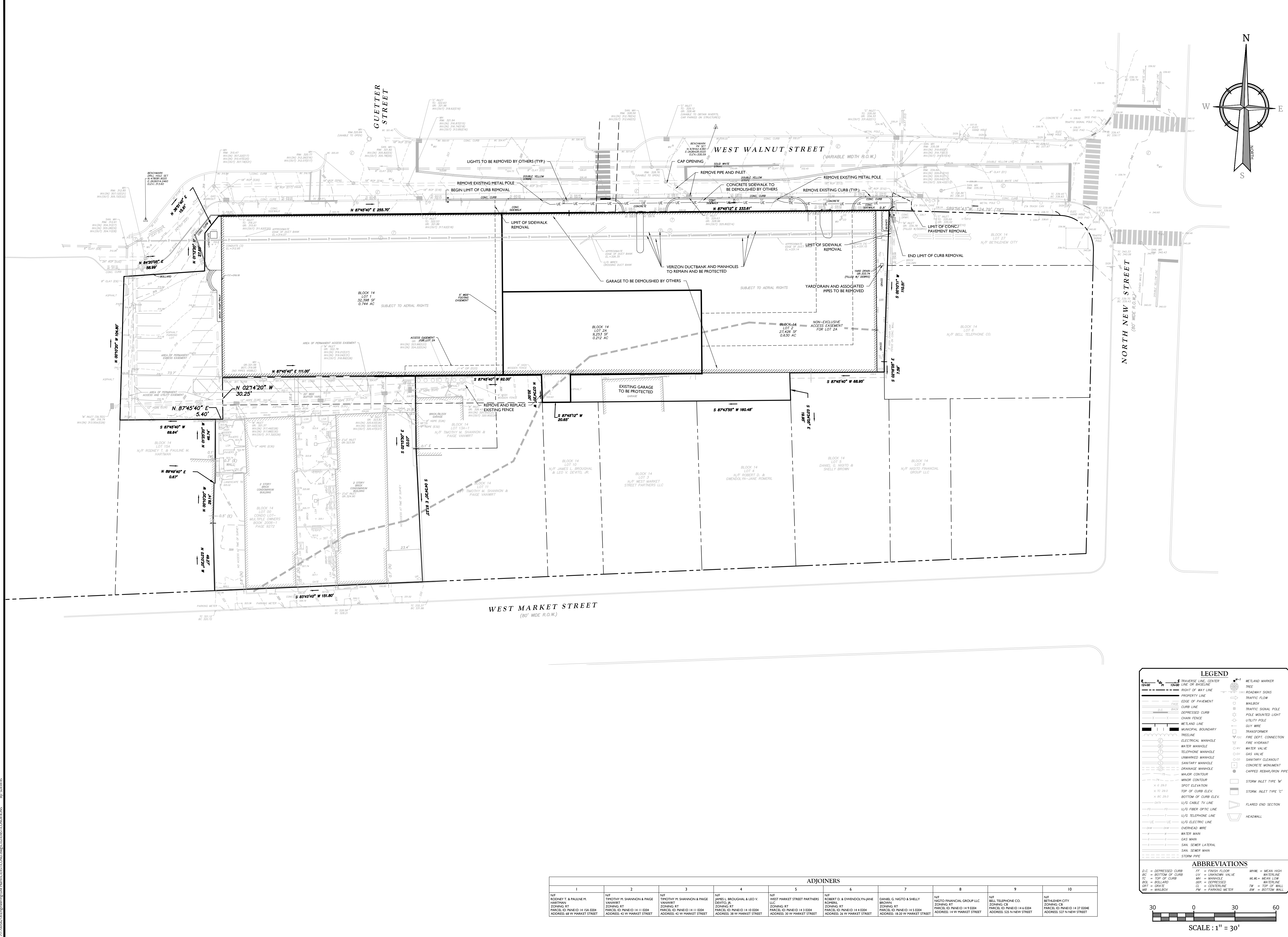
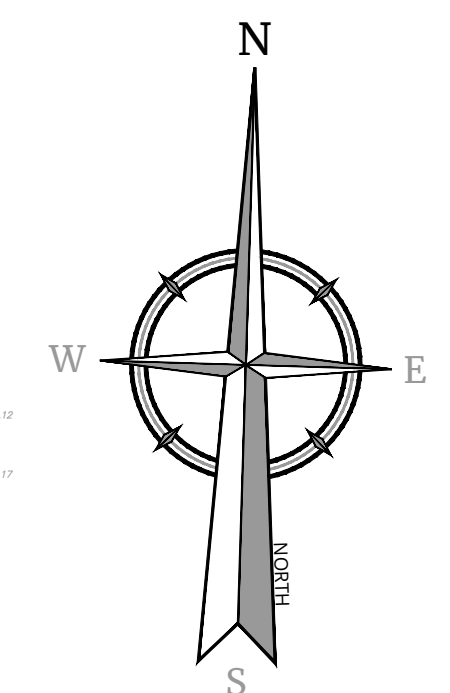
### CITY OF BETHLEHEM NORTHAMPTON COUNTY PENNSYLVANIA

Colliers Engineering & Design  
941 Marcon Boulevard, Suite 801  
Allentown, PA 18109  
Phone: 610.868.4201  
COLLIERS ENGINEERING & DESIGN, INC.  
DOING BUSINESS AS MASER CONSULTING

SCALE: AS SHOWN DATE: 12/28/23 DRAWN BY: CC, PC CHECKED BY: CRR  
PROJECT NUMBER: 17005421A DRAWING NAME: C-COVER SHEET

Cover Sheet  
1 of 10





**LEGEND**

- TRAVERSE LINE, CENTER
- 5/8" LINE ON BASELINE
- RIGHT OF WAY LINE
- PROPERTY LINE
- EDGE OF PAVEMENT
- CURB LINE
- DEPRESSED CURB
- CHAIN FENCE
- WETLAND LINE
- MANUFAC. BOUNDARY
- REELINE
- ELECTRICAL MANHOLE
- WATER MANHOLE
- TELEPHONE MANHOLE
- UNMARKED MANHOLE
- SANITARY MANHOLE
- DRAINAGE MANHOLE
- MAJOR CONTOUR
- MINOR CONTOUR
- SPOT ELEVATION
- TOP OF CURB ELEV.
- BOTTOM OF CURB ELEV.
- U/S CABLE TV LINE
- U/S FIBER OPTIC LINE
- U/S TELEPHONE LINE
- U/S ELECTRIC LINE
- OVERHEAD WIRE
- GAS MAIN
- SAN. SEWER LATERAL
- SAN. SEWER MAIN
- STORM PIPE
- WETLAND MARKER
- TREE
- ROADWAY SIGNS
- TRAFFIC FLOW
- MAILBOX
- TRAFFIC SIGNAL POLE
- POLE MOUNTED LIGHT
- UTILITY POLE
- QUIP WIRE
- TRANSFORMER
- FIRE EXPT. CONNECTION
- GAS VALVE
- FIRE HYDRANT
- WATER VALVE
- GAS VALVE
- SANITARY CLEANOUT
- CONCRETE MONUMENT
- CAPPED REPAIR/ARCH PIPE
- STORM INLET TYPE "A"
- STORM INLET TYPE "C"
- FLARED END SECTION
- HEADWALL

**ABBREVIATIONS**

- D.C. = DEPRESSED CURB
- BC = BOTTOM OF CURB
- TC = TOP OF CURB
- BS = BOLLARD
- CS = CURB STOP
- MB = MAILBOX
- TF = TRANSFORMER
- DF = DOWNFLOW VALVE
- MC = MEAN HIGH
- ML = MEAN LOW
- MR = METER
- BR = BROW
- BP = BUSH
- CE = CENTERLINE
- FW = FIRE WALL
- MB = MAILBOX
- MF = MEAN FLOOR
- UV = UNKNOWN VALVE
- MEHL = MEAN LOW
- MT = METER
- CE = CENTERLINE
- FW = FIRE WALL
- MB = MAILBOX

**SCALE: 1" = 30'**

**ADJOINERS**

1	2	3	4	5	6	7	8	9	10
NEF RODNEY T. & PAULINE M. HARTMAN ZONING: RT PARCEL ID: PANEID 14 13A 0204 ADDRESS: 48 W MARKET STREET	NEF TROPHY M. SHANNON & PAIGE VANWIRE ZONING: RT PARCEL ID: PANEID 14 11 0204 ADDRESS: 43 W MARKET STREET	NEF TROPHY M. SHANNON & PAIGE VANWIRE ZONING: RT PARCEL ID: PANEID 14 11 0204 ADDRESS: 43 W MARKET STREET	NEF JAMES L. BROUGHAL & LED V. DEWITO, JR. ZONING: RT PARCEL ID: PANEID 14 19 0204 ADDRESS: 38 W MARKET STREET	NEF WEST MARKET STREET PARTNERS LLC ZONING: RT PARCEL ID: PANEID 14 3 0204 ADDRESS: 39 W MARKET STREET	NEF ROBERT D. & DIVINDOLYN-JANE ROBER ZONING: RT PARCEL ID: PANEID 14 4 0204 ADDRESS: 34 W MARKET STREET	DANIEL G. NIGTO & SHELLY BROWN ZONING: RT PARCEL ID: PANEID 14 4 0204 ADDRESS: 18 33 W MARKET STREET	NEF NORTO FINANCIAL GROUP LLC ZONING: RT PARCEL ID: PANEID 14 4 0204 ADDRESS: 14 W MARKET STREET	NEF BELL TELEPHONE CO. ZONING: CL PARCEL ID: PANEID 14 4 0204 ADDRESS: 525 N NEW STREET	NEF BETHLEHEM CITY ZONING: CL PARCEL ID: PANEID 14 37 0204 ADDRESS: 527 N NEW STREET

REV	DATE	DRAWN BY	DESCRIPTION
1	2/2/24	SLD	REVISED PER CITY OF BETHLEHEM REVIEW LETTER

Digitally signed by C. Richard Roseberry  
C. Richard Roseberry  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: PE046162R  
COLLIERS ENGINEERING & DESIGN, INC.

**PRELIMINARY & FINAL LAND DEVELOPMENT PLAN**  
FOR  
**CITY OF BETHLEHEM PARKING AUTHORITY**  
**WALNUT STREET PARKING GARAGE**  
BLOCK 14, WARD 7  
LOTS 2 & 2A  
33 W. WALNUT STREET  
CITY OF BETHLEHEM  
NORTHAMPTON COUNTY  
PENNSYLVANIA

**Colliers** LEHIGH VALLEY  
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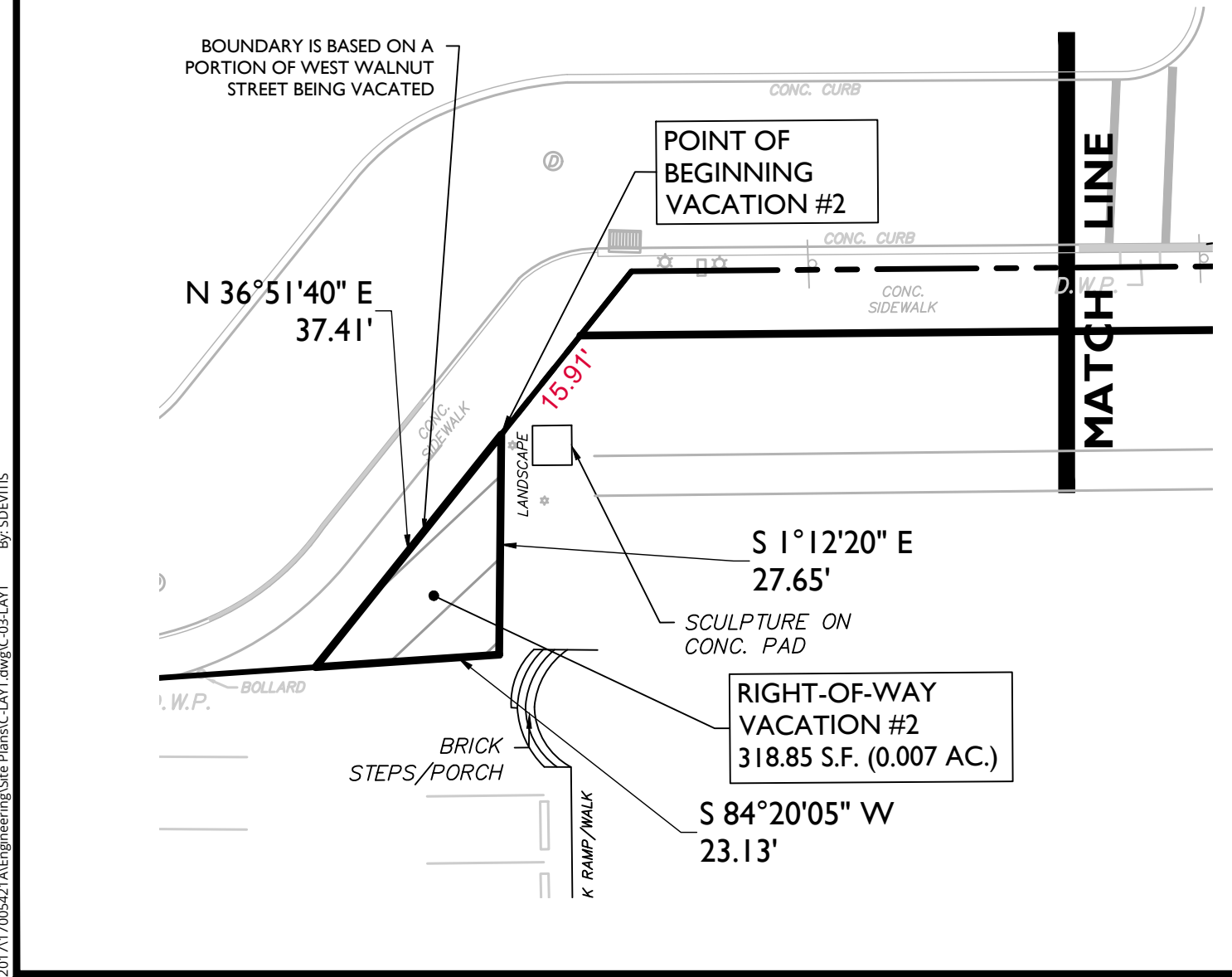
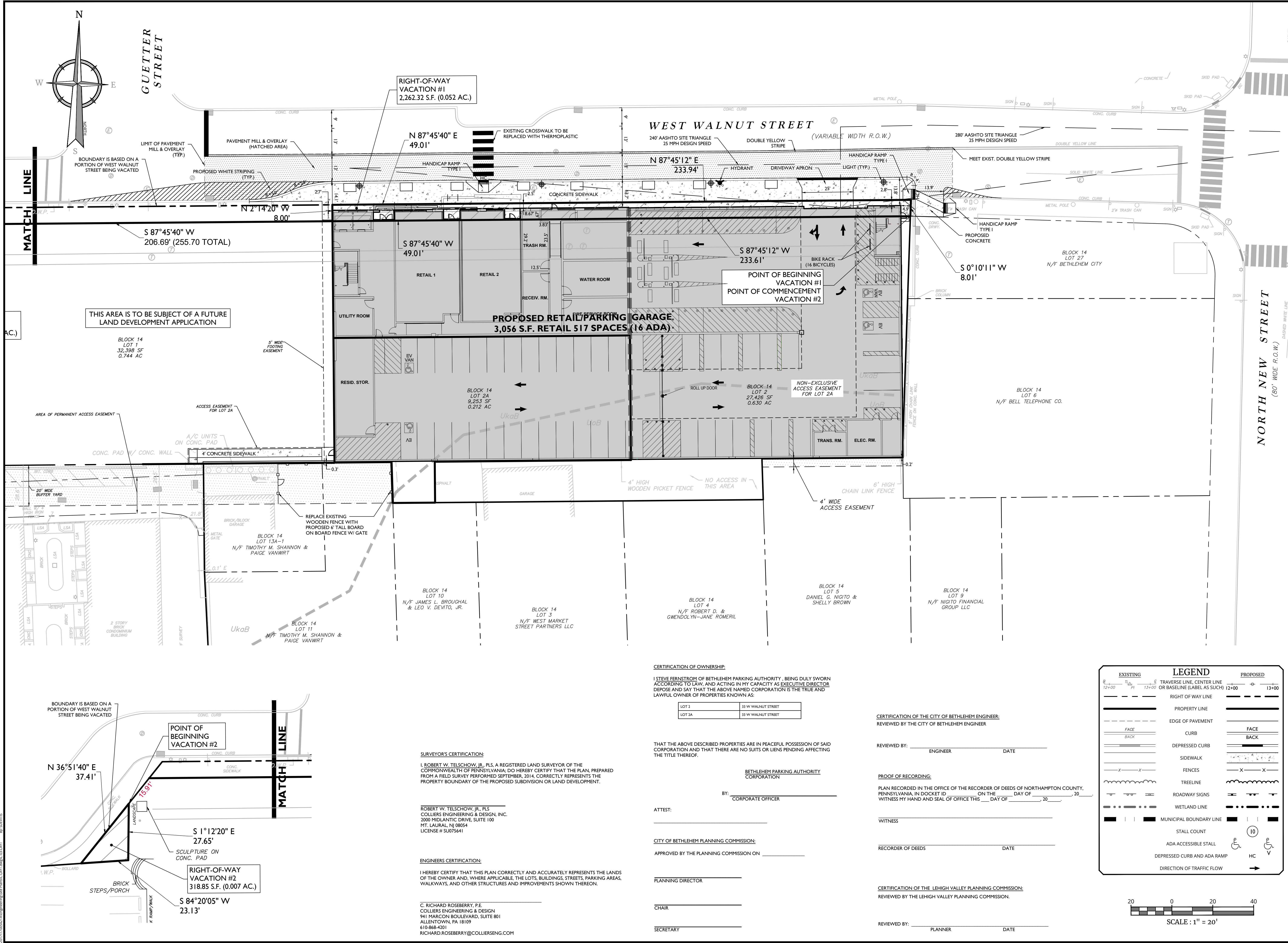
Engineering & Design

SCALE: AS SHOWN DATE: 12/28/23 DRAWN BY: CC, PC CHECKED BY: CRR  
PROJECT NUMBER: 17005421A DRAWING NAME: C-EXIST-COND

SHEET TITLE: **EXISTING CONDITIONS & DEMOLITION PLAN**  
SHEET NUMBER: 2 of 10

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.





**CERTIFICATION OF OWNERSHIP:**

I STEVE FERSTROM OF BETHLEHEM PARKING AUTHORITY, BEING DULY SWORN ACCORDING TO LAW, AND ACTING IN MY CAPACITY AS EXECUTIVE DIRECTOR DEPOSE AND SAY THAT THE ABOVE NAMED CORPORATION IS THE TRUE AND LAWFUL OWNER OF PROPERTIES KNOWN AS:

LOT 2	33 W WALNUT STREET
LOT 2A	33 W WALNUT STREET

**CERTIFICATION OF THE CITY OF BETHLEHEM ENGINEER:**

REVIEWED BY: \_\_\_\_\_ ENGINEER DATE \_\_\_\_\_

**PROOF OF RECORDING:**

PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF NORTHAMPTON COUNTY, PENNSYLVANIA, IN DOCKET ID \_\_\_\_\_ ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. WITNESS MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

WITNESS \_\_\_\_\_  
RECORDED BY \_\_\_\_\_ DATE \_\_\_\_\_

**CERTIFICATION OF THE LEHIGH VALLEY PLANNING COMMISSION:**

REVIEWED BY: \_\_\_\_\_ PLANNER DATE \_\_\_\_\_

**SURVEYOR'S CERTIFICATION:**

I, ROBERT W. TELSCHOW, JR., PLS. A REGISTERED LAND SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA DO HEREBY CERTIFY THAT THE PLAN, PREPARED FROM A FIELD SURVEY PERFORMED SEPTEMBER, 2014, CORRECTLY REPRESENTS THE PROPERTY BOUNDARY OF THE PROPOSED SUBDIVISION OR LAND DEVELOPMENT.

ROBERT W. TELSCHOW, JR., PLS.  
COLLIERS ENGINEERING & DESIGN, INC.  
2000 MIDLANTIC DRIVE, SUITE 100  
MT. LAUREL, NJ 08054  
LICENSE # SU075641

**ENGINEERS CERTIFICATION:**

I HEREBY CERTIFY THAT THIS PLAN CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND, WHERE APPLICABLE, THE LOTS, BUILDINGS, STREETS, PARKING AREAS, WALKWAYS, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN THEREON.

C. RICHARD ROSEBERRY, P.E.  
COLLIERS ENGINEERING & DESIGN  
941 MARCON BOULEVARD, SUITE 801  
ALLENTOWN, PA 18109  
610-868-4201  
RICHARD.ROSEBERRY@COLLIERSENG.COM

THAT THE ABOVE DESCRIBED PROPERTIES ARE IN PEACEFUL POSSESSION OF SAID CORPORATION AND THAT THERE ARE NO SUITS OR LIENS PENDING AFFECTING THE TITLE THEREOF.

BETHLEHEM PARKING AUTHORITY CORPORATION  
BY: \_\_\_\_\_  
CORPORATE OFFICER

ATTEST: \_\_\_\_\_

**CITY OF BETHLEHEM PLANNING COMMISSION:**

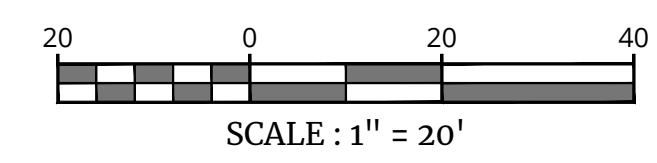
APPROVED BY THE PLANNING COMMISSION ON \_\_\_\_\_

PLANNING DIRECTOR \_\_\_\_\_

CHAIR \_\_\_\_\_

SECRETARY \_\_\_\_\_

EXISTING	LEGEND	PROPOSED
	RIGHT OF WAY LINE	
	PROPERTY LINE	
	EDGE OF PAVEMENT	
	CURB	
	DEPRESSED CURB	
	SIDEWALK	
	FENCES	
	TREELINE	
	ROADWAY SIGNS	
	WETLAND LINE	
	MUNICIPAL BOUNDARY LINE	
	STALL COUNT	
	ADA ACCESSIBLE STALL	
	DEPRESSED CURB AND ADA RAMP	
	DIRECTION OF TRAFFIC FLOW	



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2023-06-01-22  
Call before you dig. STATE REQUIRED FILE NUMBER FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

REV	DATE	DESCRIPTION
1	2/29/24	REVISED PER CITY OF BETHLEHEM REVIEW LETTER

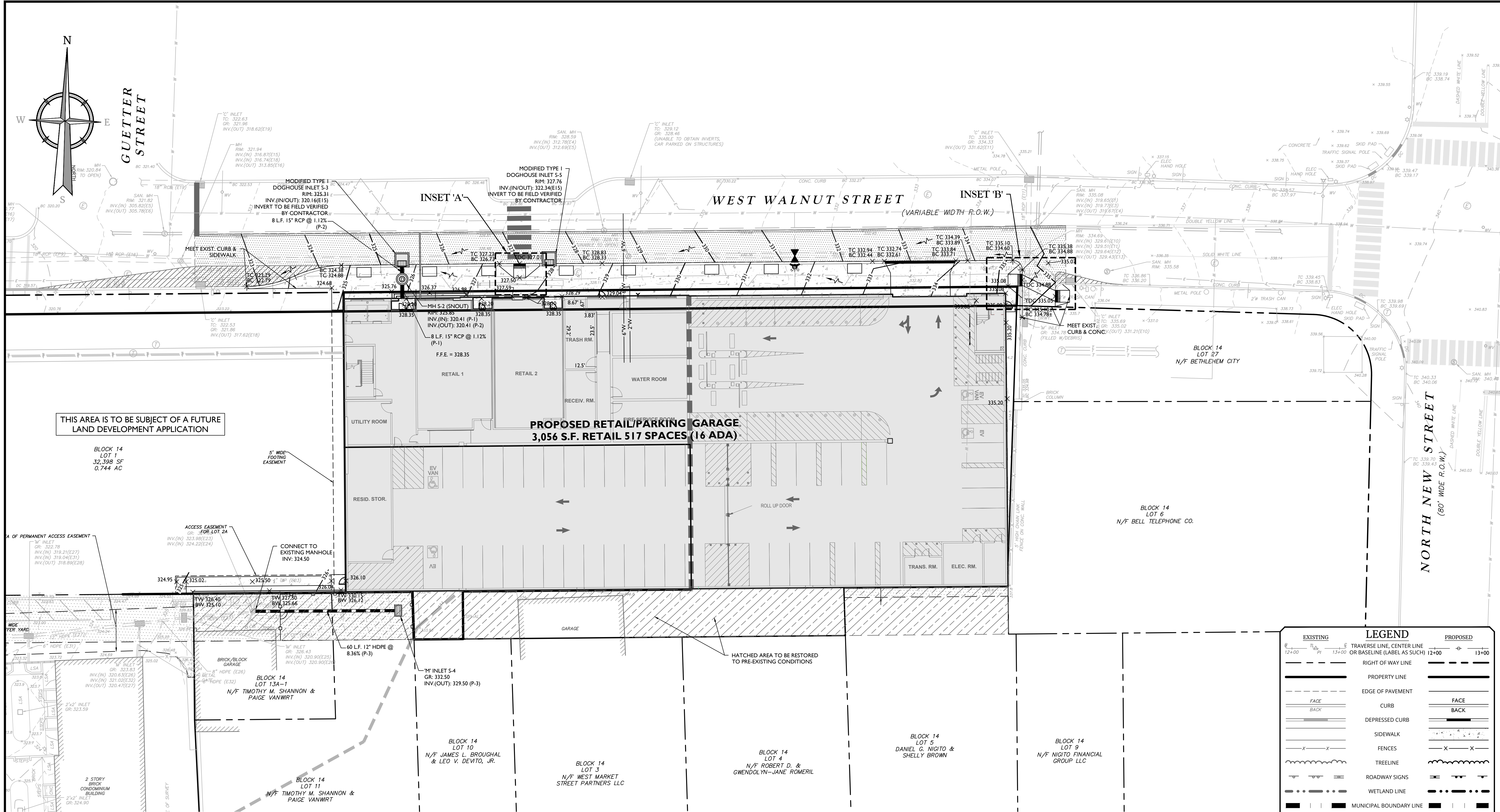
**C. Richard Roseberry**  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: PE046162R  
COLLIERS ENGINEERING & DESIGN, INC.

**PRELIMINARY & FINAL LAND DEVELOPMENT PLAN**  
FOR  
**CITY OF BETHLEHEM PARKING AUTHORITY**  
WALNUT STREET PARKING GARAGE  
BLOCK 14, WARD 7  
LOTS 2 & 2A  
33 W. WALNUT STREET  
CITY OF BETHLEHEM NORTHAMPTON COUNTY PENNSYLVANIA

**Colliers** Engineering & Design  
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941 Marcon Boulevard, Suite 801  
Allentown, PA 18109  
Phone: 610.868.4201  
COLLIERS ENGINEERING & DESIGN, INC.  
DOING BUSINESS AS MASER CONSULTING

SCALE: AS SHOWN DATE: 12/28/23 DRAWN BY: CC, PC CHECKED BY: CRR  
PROJECT NUMBER: 17005421A DRAWING NAME: C-LAYT



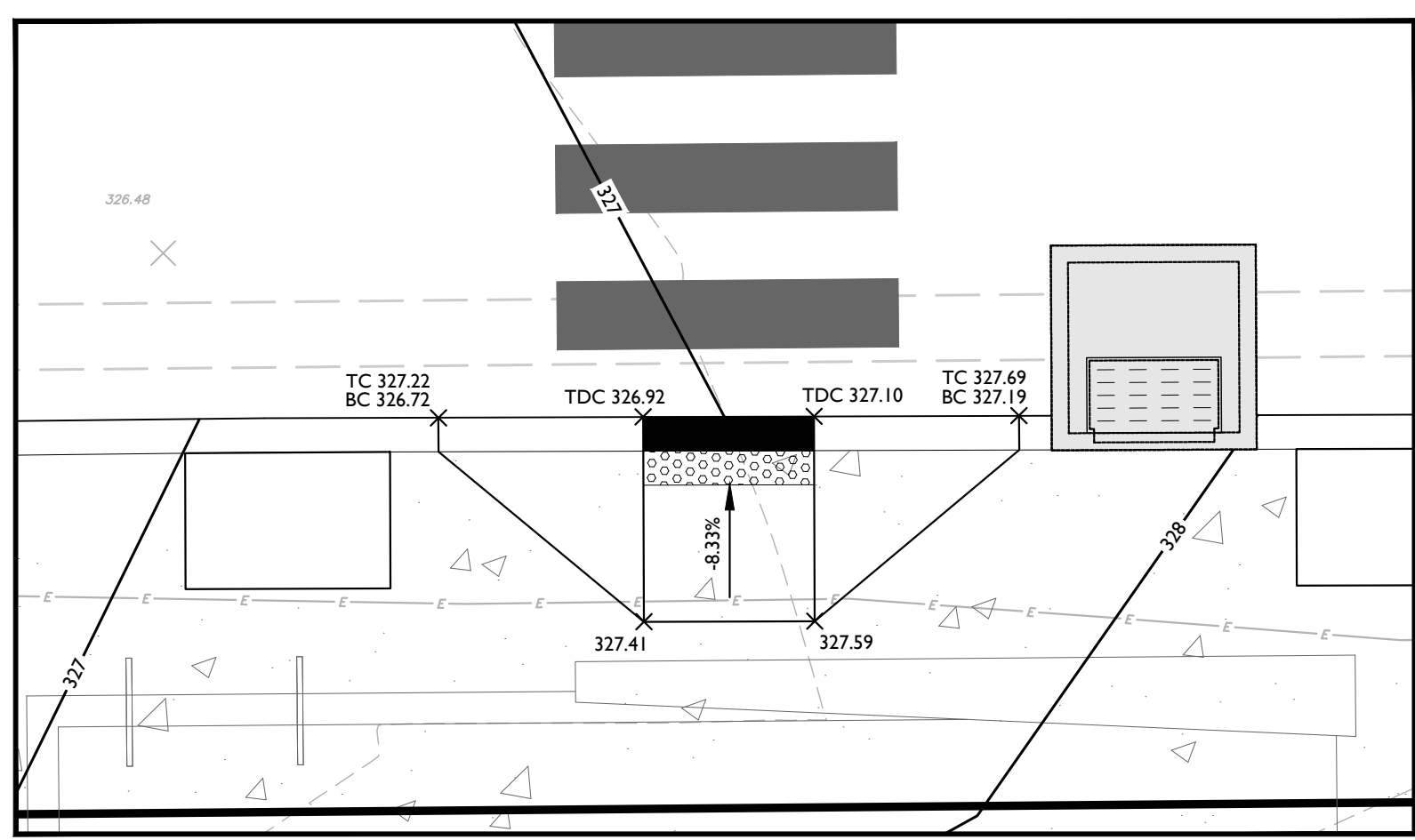


THIS AREA IS TO BE SUBJECT OF A FUTURE LAND DEVELOPMENT APPLICATION

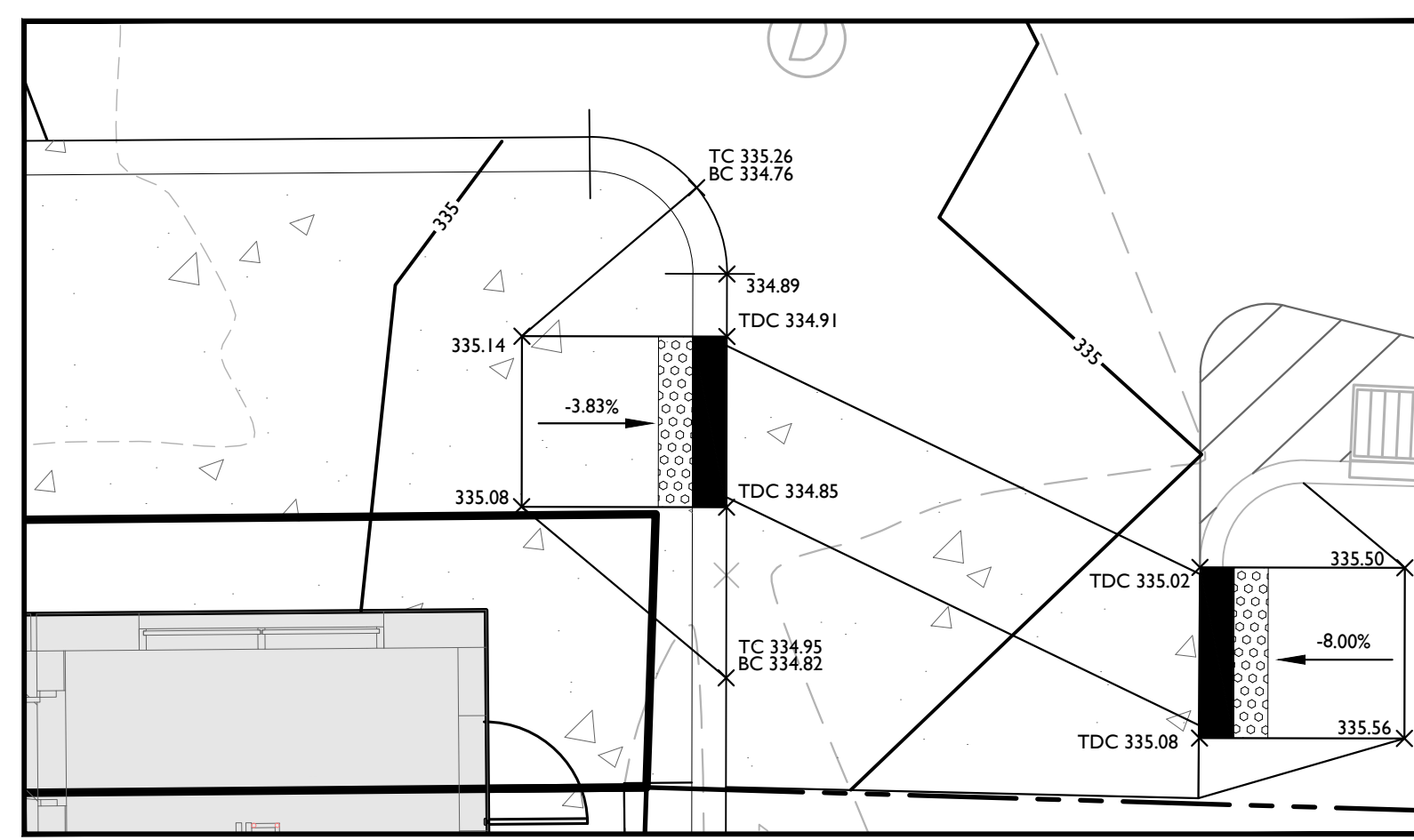
**PROPOSED RETAIL/PARKING GARAGE**  
3,056 S.F. RETAIL 517 SPACES (16 ADA)

EXISTING	LEGEND	PROPOSED
	TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	
	RIGHT OF WAY LINE	
	PROPERTY LINE	
	EDGE OF PAVEMENT	
	CURB	
	DEPRESSED CURB	
	SIDEWALK	
	FENCES	
	TREELINE	
	ROADWAY SIGNS	
	WETLAND LINE	
	MUNICIPAL BOUNDARY LINE	
	'C' INLET	
	'M' INLET	
	STORM MANHOLE	
	SANITARY MANHOLE	
	FLARED END SECTION	
	HEADWALL	
	HYDRANT	
	POLE MOUNTED LIGHT	
	CONTOURS	
	SPOT ELEVATION	
	DIRECTION OF OVERLAND FLOW	
	TOP OF CURB ELEVATION	
	BOTTOM OF CURB ELEVATION	
	TOP OF DEPRESSED CURB ELEVATION	

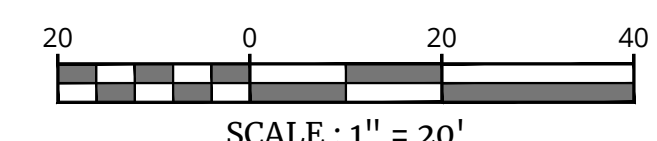
**NOTE:**  
MANHOLE S-2 IN THE WALNUT STREET SIDEWALK SHALL BE THE OWNER'S RESPONSIBILITY TO MAINTAIN AND SERVICE.



**INSET 'A'**  
SCALE: 1" = 5'

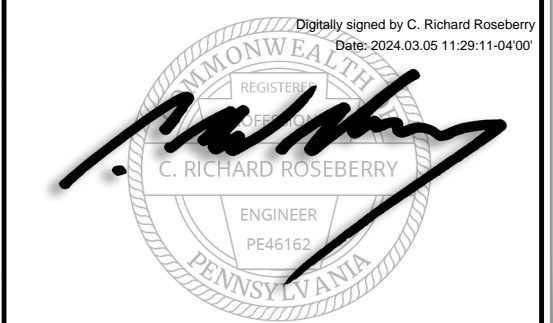


**INSET 'B'**  
SCALE: 1" = 5'



SCALE: 1" = 20'

REV	DATE	DRAWN BY	DESCRIPTION
1	2/29/24		REVISED PER CITY OF BETHLEHEM REVIEW LETTER



**C. Richard Roseberry**  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: PE046162R  
COLLIERS ENGINEERING & DESIGN, INC.

**PRELIMINARY & FINAL LAND DEVELOPMENT PLAN**

FOR  
**CITY OF BETHLEHEM PARKING AUTHORITY**

**WALNUT STREET PARKING GARAGE**  
BLOCK 14, WARD 7  
LOTS 2 & 2A  
33 W. WALNUT STREET

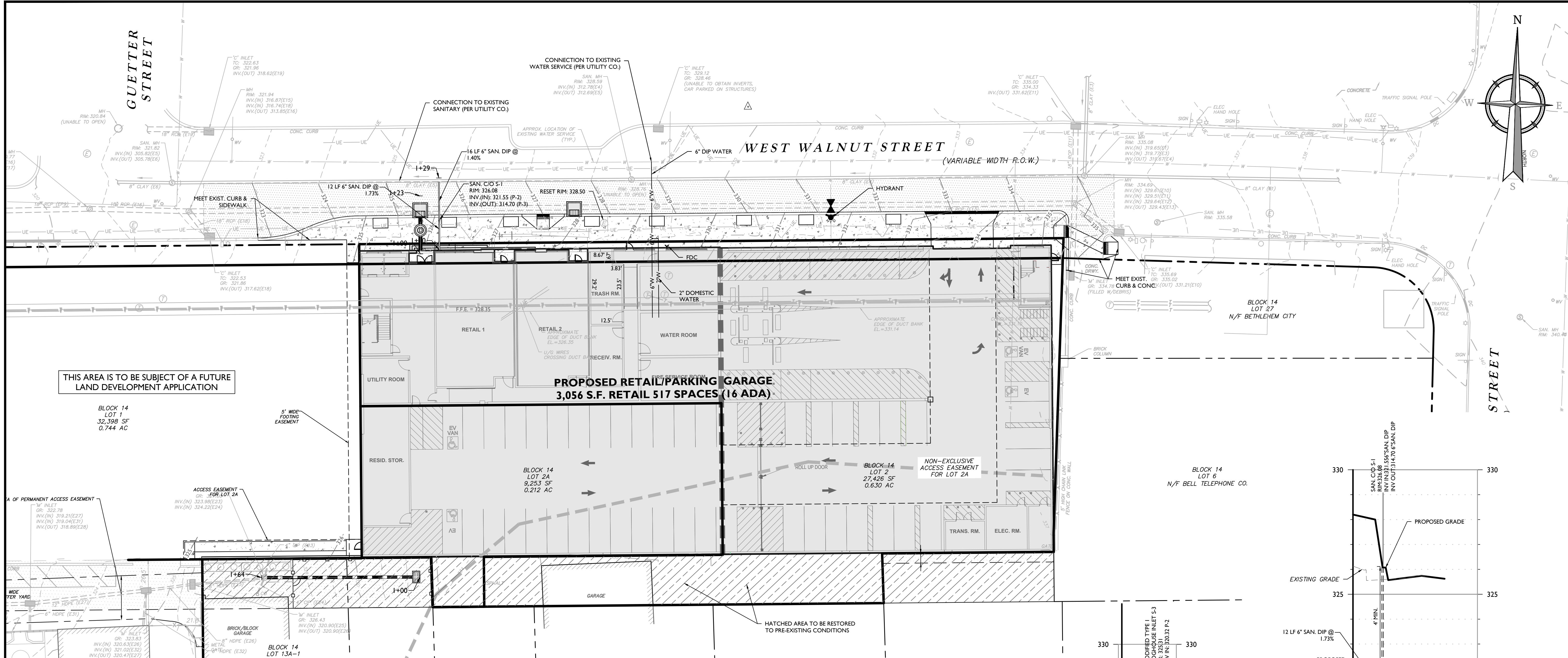
CITY OF BETHLEHEM  
NORTHAMPTON COUNTY  
PENNSYLVANIA

**Colliers** LEHIGH VALLEY  
941 Marcon Boulevard,  
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Allentown, PA 18109  
Phone: 610.868.4201  
COLLIERS ENGINEERING & DESIGN, INC.  
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SCALE: AS SHOWN	DATE: 12/28/23	DRAWN BY: CC, PC	CHECKED BY: CRR
PROJECT NUMBER: 17005421A	DRAWING NAME: C-GRAD		

**GRADING PLAN**





THIS AREA IS TO BE SUBJECT OF A FUTURE LAND DEVELOPMENT APPLICATION

BLOCK 14 LOT 1  
32,398 SF  
0.744 AC

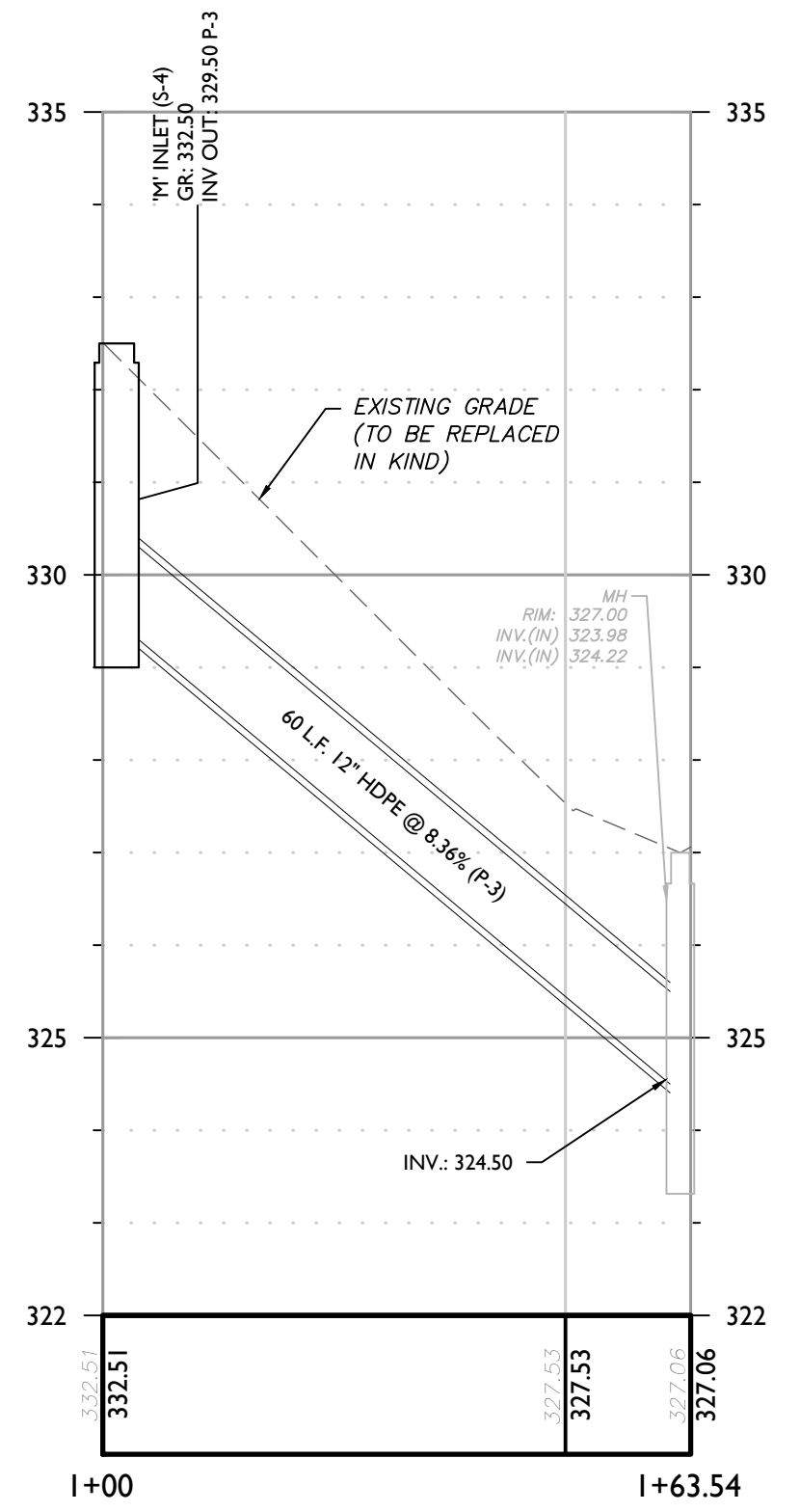
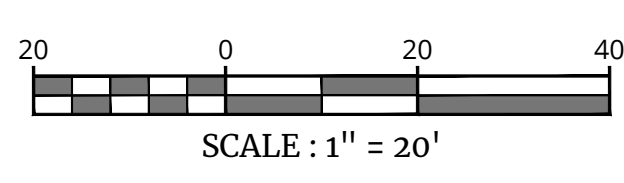
BLOCK 14 LOT 2A  
9,253 SF  
0.212 AC

BLOCK 14 LOT 27  
27,426 SF  
0.630 AC

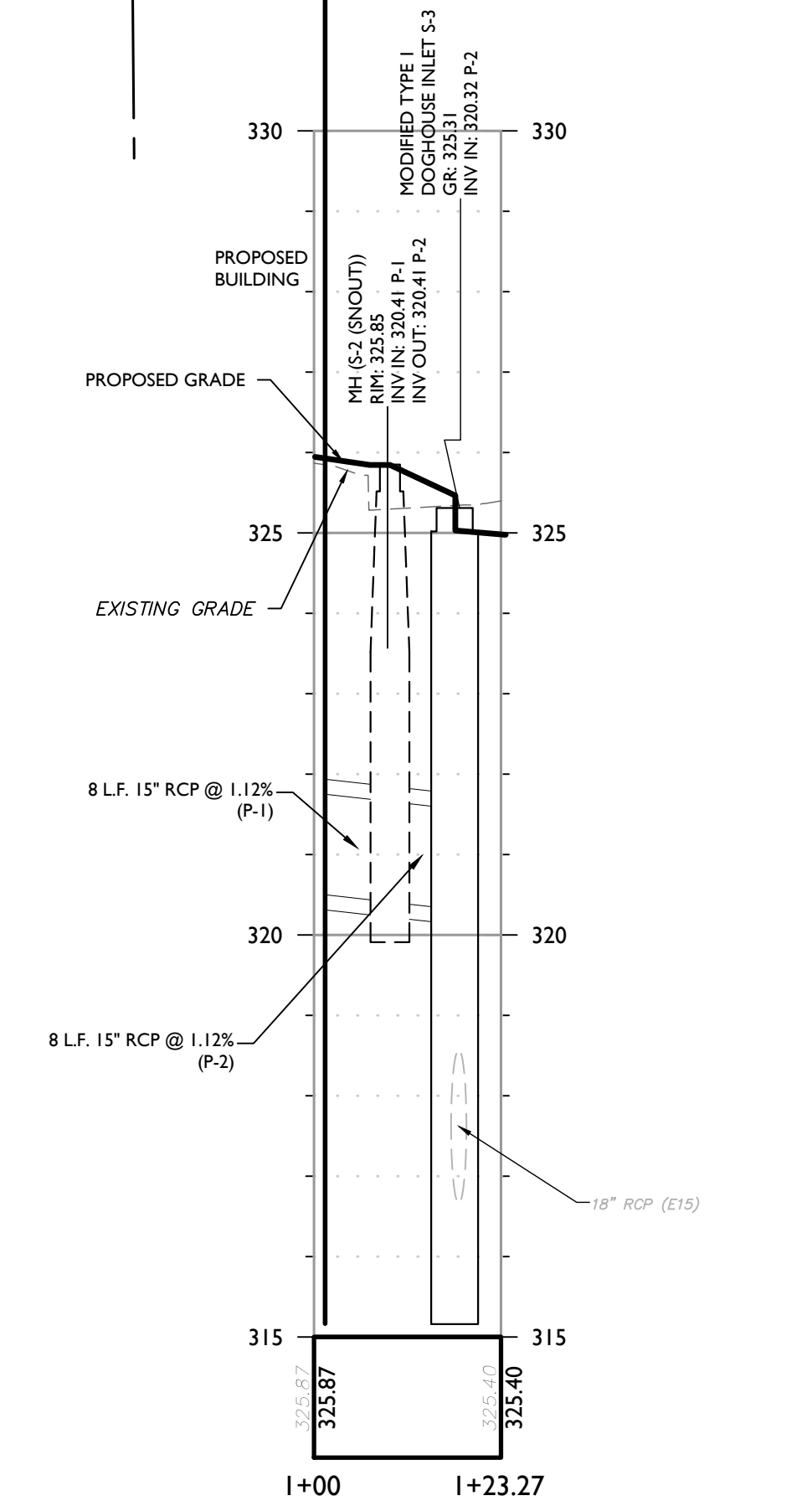
BLOCK 14 LOT 6  
N/F BETHLEHEM CITY

BLOCK 14 LOT 6  
N/F BELL TELEPHONE CO.

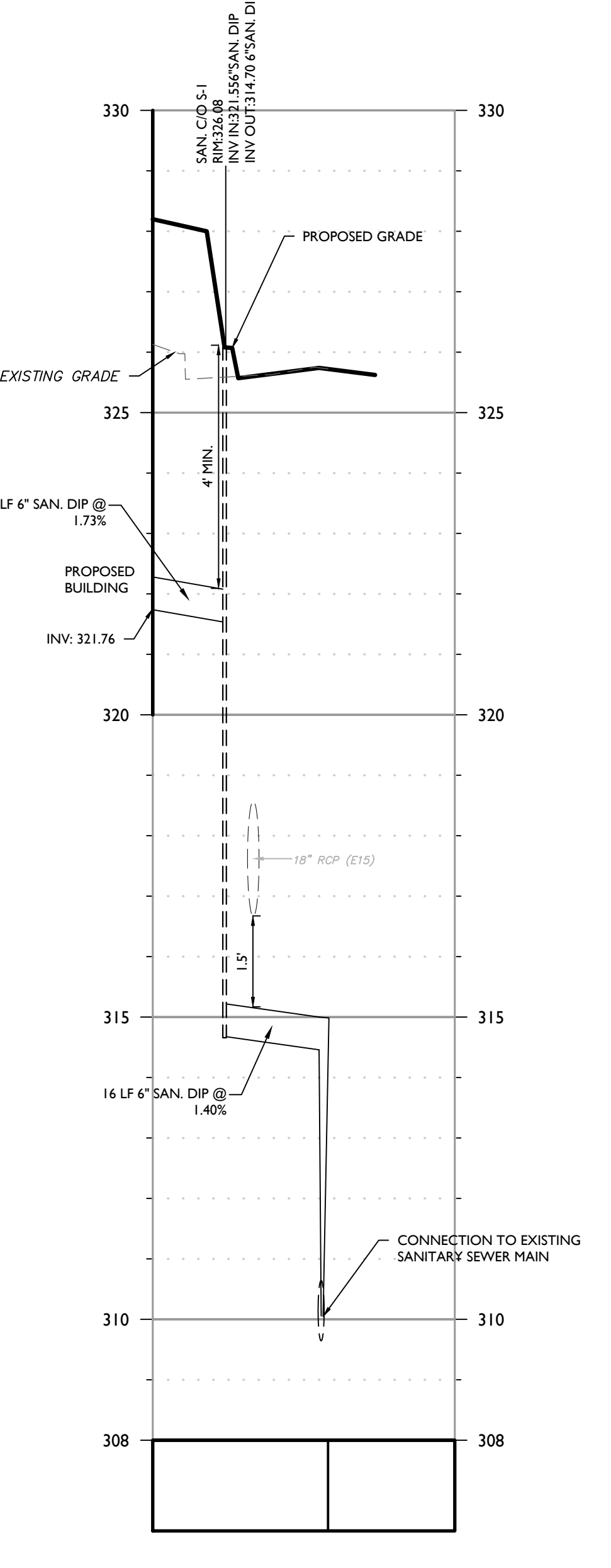
LEGEND	
EXISTING	PROPOSED
12+00	13+00
TRaverse LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	12+00 13+00
RIGHT OF WAY LINE	
PROPERTY LINE	
EDGE OF PAVEMENT	
FACE CURB	FACE BACK
DEPRESSED CURB	
SIDEWALK	
FENCES	
TREELINE	
ROADWAY SIGNS	
WETLAND LINE	
MUNICIPAL BOUNDARY LINE	
C" INLET	
M" INLET	
STORM MANHOLE	
SANITARY MANHOLE	
FLARED END SECTION	
HEADWALL	
HYDRANT	
POLE MOUNTED LIGHT	
CATV	CATV
WATER MAIN	W
GAS MAIN	G
TELEPHONE CONDUIT	T
ELECTRIC CONDUIT	E
SANITARY PIPE	
STORM PIPE	



PROFILE OF PROP M INLET TO EX. MH  
HORIZONTAL: 1" = 20'  
VERTICAL: 1" = 2'



PROFILE OF STORM FROM BLDG TO EXIST. MH  
HORIZONTAL: 1" = 20'  
VERTICAL: 1" = 2'



PROFILE OF SAN FROM BLDG TO EXIST SAN  
HORIZONTAL: 1" = 20'  
VERTICAL: 1" = 2'

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REV	DATE	DRAWN BY	DESCRIPTION
1	2/29/24	SLD	REVISED PER CITY OF BETHLEHEM REVIEW LETTER

Digitally signed by C. Richard Roseberry  
**C. Richard Roseberry**  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: PE046162R  
COLLIERS ENGINEERING & DESIGN, INC.

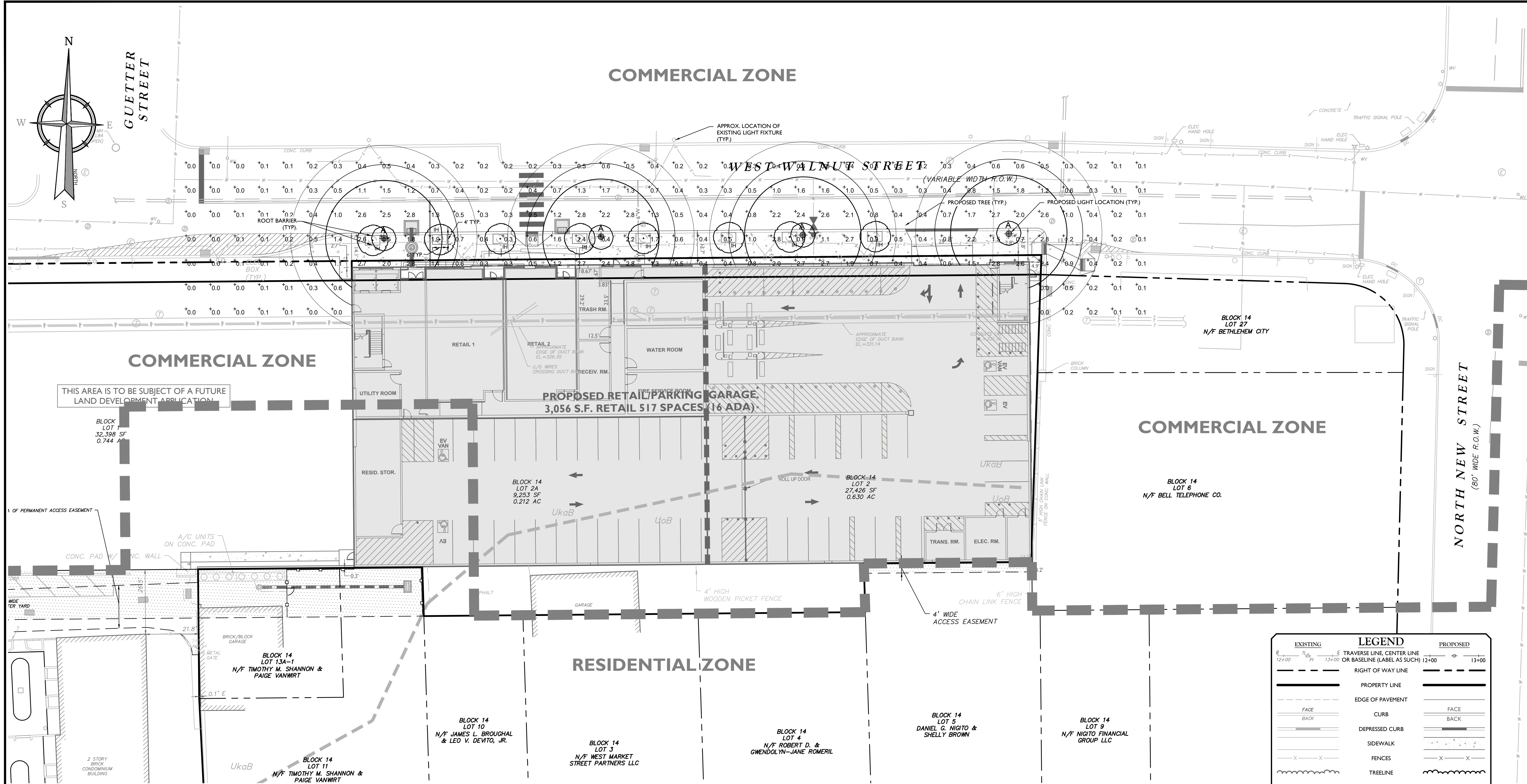
PRELIMINARY & FINAL  
LAND DEVELOPMENT PLAN  
FOR  
CITY OF BETHLEHEM  
PARKING AUTHORITY  
WALNUT STREET PARKING GARAGE  
BLOCK 14, WARD 7  
LOTS 2 & 2A  
33 W. WALNUT STREET  
CITY OF BETHLEHEM  
NORTHAMPTON COUNTY  
PENNSYLVANIA

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SCALE: AS SHOWN	DATE: 12/28/23	DRAWN BY: CC, PC	CHECKED BY: CRR
PROJECT NUMBER: 17005421A	DRAWING NAME: C-UTIL		
SHEET TITLE: UTILITY PLAN			
SHEET NUMBER: 5 of 10			

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.





**LANDSCAPING REQUIREMENTS**

REQUIREMENT	UNIT	# PER	REQUIRED	PROVIDED
ZONING				
PER 30 LF OF ROAD FRONTAGE [1319.02(j)(2)]	283	1/30	9	8

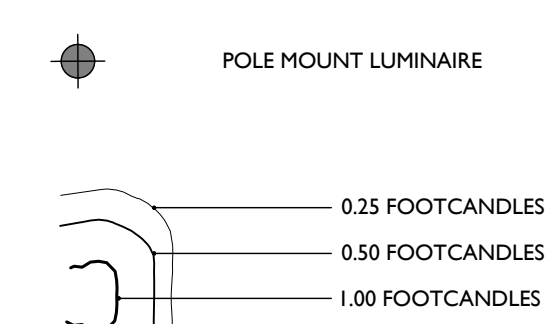
**NOTE:**  
PAYMENT IN LIEU OF PLANTING 1 TREE TO BE MADE TO THE CITY.

- GENERAL LANDSCAPE & LIGHTING NOTES:**
- THIS PLAN IS TO BE USED FOR LANDSCAPE AND LIGHTING PURPOSES ONLY.
  - SEE LANDSCAPE PLANTING SCHEDULE FOR REQUIRED TREE PLANTINGS.
  - ALL PLANT MATERIALS ARE TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, AMERICAN LANDSCAPE AND NURSERY ASSOCIATION.
  - STREET TREES SHOULD BE MINIMUM OF 14" IN HEIGHT AND HAVE A SINGLE STRAIGHT TRUNK WITH THE FIRST LATERAL BRANCH AT 7' ABOVE THE ROOT BALL. TREES WITH AN UPRIGHT BRANCHING HABIT MAY HAVE THE FIRST BRANCH AT 6' ABOVE THE ROOT BALL.
  - ALL LANDSCAPING SHALL CONFORM TO THE CURRENT EDITION OF THE ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE OF THE CITY OF BETHLEHEM.
  - A ROOT CONTROL SYSTEM IS REQUIRED WHEN INSTALLING STREET TREES. THE ROOT BARRIER SHALL BE OF THE BIO-BARRIER TYPE AND A MINIMUM OF 18" WIDE. ANY SUBSTITUTION SHALL BE APPROVED BY THE CITY FORESTER. THE ROOT CONTROL SYSTEM IS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TREE OPENINGS IN THE SIDEWALK SHALL HAVE THE BIO-BARRIER INSTALLED ALONG THE FACE OF THE TREE OPENING WHICH IS PARALLEL TO THE STREET AND CLOSEST TO THE PROPERTY LINE, OVERLAPPING THE NEAREST TWO CORNERS BY APPROXIMATELY 4". WHERE TREES ARE TO BE PLANTED IN A PARKWAY OR PLANTING STRIP BETWEEN CURB AND SIDEWALK, THE BARRIER SHALL BE INSTALLED ALONG THE SIDEWALK EDGE CLOSEST TO THE CURB AND CENTERED ON THE ROOT SOURCE. THE LENGTH OF THE BARRIER SHALL BE AT A MINIMUM LENGTH EQUAL TO THE SPREAD OF THE TREE CANOPY AT MATURITY PLUS 10'.
  - THE MAINTENANCE OF THE LANDSCAPING WITHIN THE RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE ADJUTING PROPERTY OWNER.
  - LUMINAIRES AS DETAILED OR APPROVED EQUAL.
  - LUMINAIRES SHALL BE POLE WITH LED LAMPS AND PHOTOCELLS.
  - POLE LOCATIONS ARE APPROXIMATE AND MAY VARY DUE TO SITE CONDITIONS. THE CONTRACTOR SHALL FIELD VERIFY POLE LOCATIONS PRIOR TO INSTALLATION TO ACCOMMODATE UTILITIES, PAVEMENT, CURB, ETC.
  - EXISTING LIGHTS TO BE REMOVED.
  - SEE SHEET 7 FOR LANDSCAPE AND LIGHTING DETAILS.

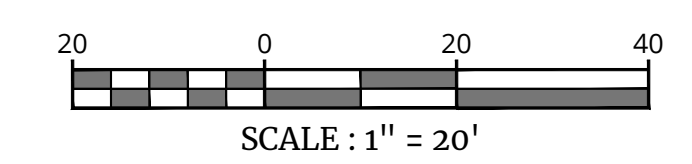
**LANDSCAPING LEGEND**



**LIGHTING LEGEND**



EXISTING	LEGEND	PROPOSED
12+00	TRaverse LINE CENTER LINE OR BASELINE (LABEL AS SUCH) 12+00	13+00
---	RIGHT OF WAY LINE	---
---	PROPERTY LINE	---
---	EDGE OF PAVEMENT	---
FACE	CURB	FACE
BACK	DEPRESSED CURB	BACK
---	SIDEWALK	---
X-X	FENCES	X-X
---	TREELINE	---
---	ROADWAY SIGNS	---
---	WETLAND LINE	---
---	MUNICIPAL BOUNDARY LINE	---
⊕	C' INLET	⊕
⊕	M' INLET	⊕
⊕	STORM MANHOLE	⊕
⊕	SANITARY MANHOLE	⊕
---	FLARED END SECTION	---
---	HEADWALL	---
---	HYDRANT	---
---	POLE MOUNTED LIGHT	---
---	CABLE TV CONDUIT	---
---	WATER MAIN	---
---	GAS MAIN	---
---	TELEPHONE CONDUIT	---
---	ELECTRIC CONDUIT	---
---	SANITARY PIPE	---
---	STORM PIPE	---



REV	DATE	DRAWN BY	DESCRIPTION
1	2/29/24	SLD	REVISED PER CITY OF BETHLEHEM REVIEW LETTER

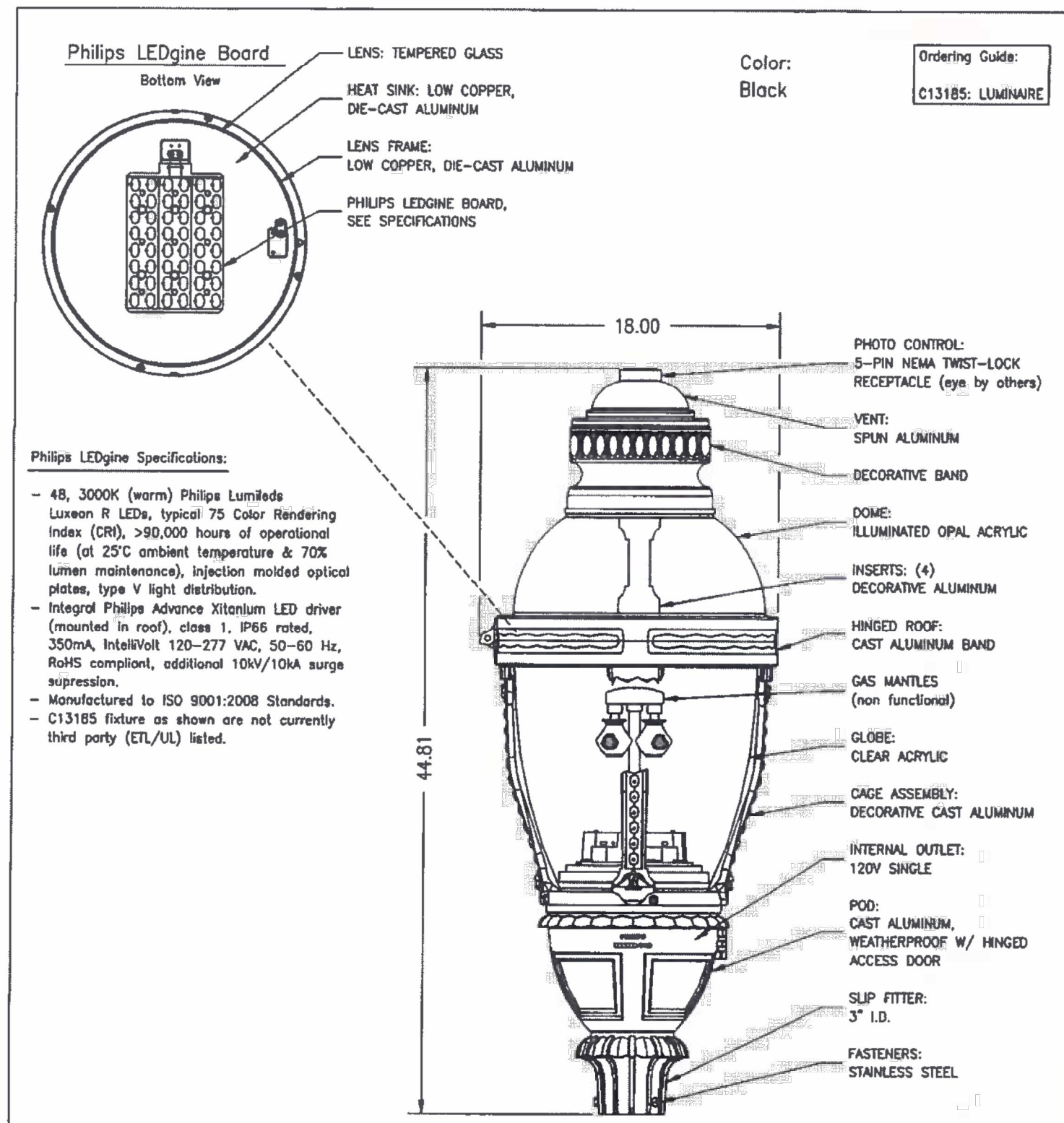
Digitally signed by C. Richard Roseberry  
C. Richard Roseberry  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: PE046162R  
COLLIERS ENGINEERING & DESIGN, INC.

**PRELIMINARY & FINAL LAND DEVELOPMENT PLAN**  
FOR  
**CITY OF BETHLEHEM PARKING AUTHORITY**  
WALNUT STREET PARKING GARAGE  
BLOCK 14, WARD 7  
LOTS 2 & 2A  
33 W. WALNUT STREET  
CITY OF BETHLEHEM  
NORTHAMPTON COUNTY  
PENNSYLVANIA

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	12/28/23	CDC	CRB
PROJECT NUMBER:	17005421A	DRAWING NAME:	CLGHT

**LANDSCAPE & LIGHTING PLAN**  
SHEET NUMBER:  
6 of 10





**Full Specification Fixture Drawing**

**PHILIPS HADCO**

100 Dallway Drive  
Lithonia, Pa 17349  
Phone: 800-331-4185  
Fax: 717-359-9288  
www.hadco.com

JOB NAME: City of Bethlehem

SCALE: 1:8

DATE: 02/02/15

DRAWN BY: SMK

DRAWING NUMBER: C13185-DWG01

REP: Penn Lighting

DATE: 6/7

PRODUCT APPROVALS: HADCO, SDK

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**PROPOSED LIGHT FIXTURE**

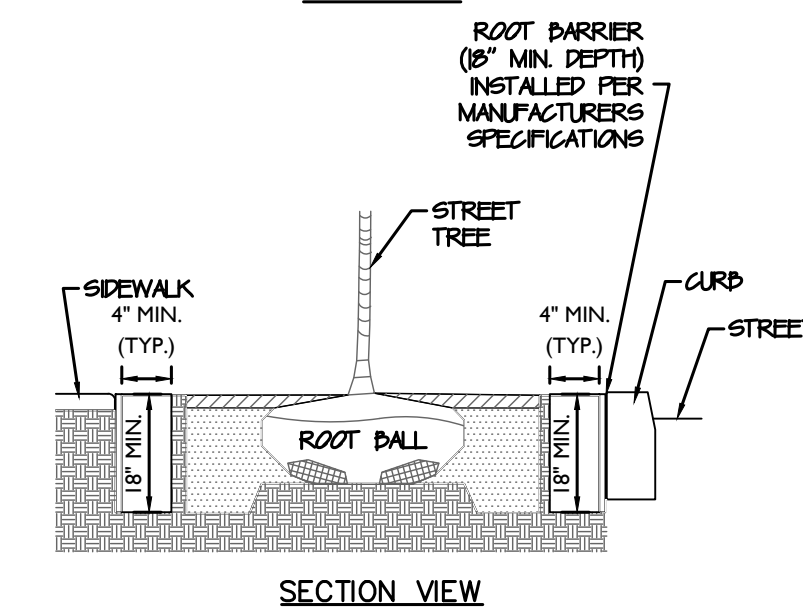
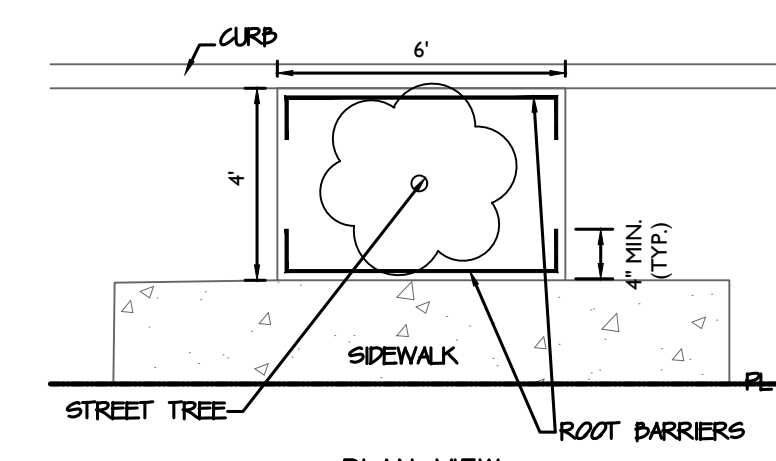
- NOTE:
- INSTALL AS SPECIFIED ON WEST WALNUT STREET.

Symbol	Label	Quantity	Mounting Height	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	4	10 FT	SIGNIFY HADCO	RL52-A-W-W-3	Refractive post top with Lumiled LED (RL32 / RL52), 64 LEDs, 3000K CCT, TYPE W OPTIC, Narrow Body Type 8 - Acrylic Roof	(4) LEDgine ARRAY(S) DRIVEN AT 350mA	RL52-A-W-W-.3ies	9447	0.95	68.5

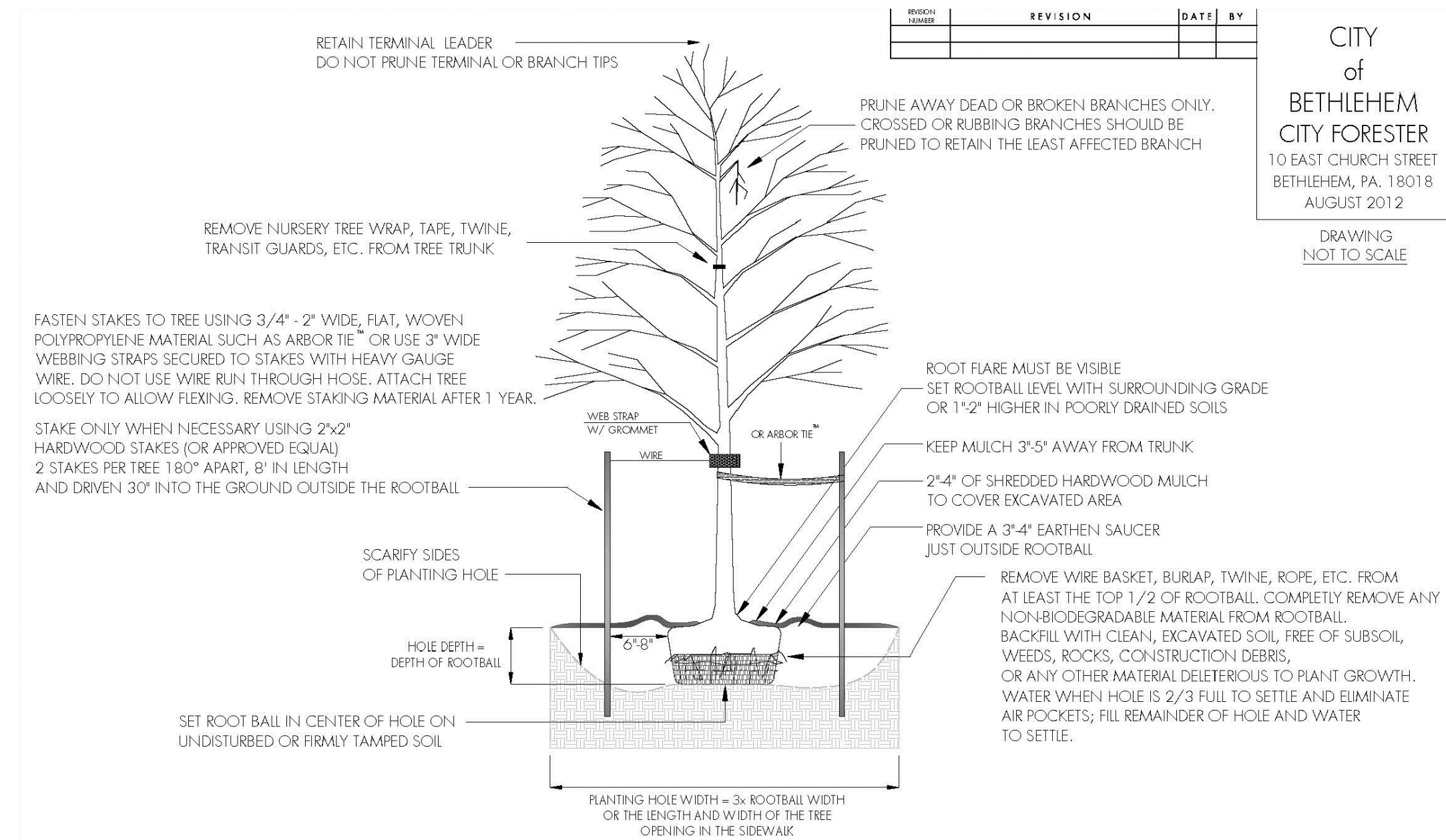
- GENERAL PLANTING NOTES**
- THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERS DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES, AND STRUCTURES AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
  - THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND VERIFY LOCATION OF ALL UTILITIES ON SITE PRIOR TO CONSTRUCTION.
  - ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERMEN OR THE PLANT MATERIAL WILL BE UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY, SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. THE OWNER AND/OR LANDSCAPE ARCHITECT RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIAL ON SITE PRIOR TO INSTALLATION.
  - NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT OR TOWNSHIP OFFICIALS. WRITTEN PROOF OF PLANT MATERIAL UNAVAILABILITY MUST BE DOCUMENTED.
  - THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING DEPTH LINES SHALL BE DETERMINED IN THE FIELD UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT. NO SHADE TREE, STREET TREE, ORNAMENTAL FLOWERING TREE OR EVERGREEN TREE SHALL BE PLANTED CLOSER THAN 10' FROM ANY SIDEWALK, DRIVEWAY, CURB OR UTILITY LOCATION UNLESS SPECIFICALLY DIMENSIONED ON THE LANDSCAPE PLAN.
  - ALL STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHALL NOT BE BRANCHED LOWER THAN 7'-0" ABOVE GRADE. ALL PLANT MATERIAL LOCATED WITHIN EIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 50' ABOVE THE ELEVATION OF THE ADJACENT CURB. ALL STREET TREES PLANTED IN EIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT HAVE BRANCHES BELOW 8'-0".
  - THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT QUANTITY DISCREPANCIES OCCUR.
  - ALL PLANT MATERIAL SHALL BE PROPERLY GATED, STAKED, WRAPPED AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. GUY WIRES SHALL BE ATTACHED TO THE TREE AT A HEIGHT OF TWO-THIRDS THE HEIGHT OF THE TREE AND SHOULD BE LOCATED AT POINTS SO AS TO NOT GILT THE TRUNKS OF MULTI-STEM TREES. PROVIDE THREE TREE STAKES PER TREE UNLESS NOTED OTHERWISE. INSTALL ALL PLANT MATERIAL ON UNDISTURBED GRADE. PROVIDE BURLAP WRAPPING WITH A 50% OVERLAP. CUT AND REMOVE BURLAP FROM TOP ONE-THIRD OF THE ROOT BALL.
  - BRANCHES OF DECIDUOUS TREES SHALL BE PRUNED BACK BY NO MORE THAN ONE QUARTER (1/4) TO BALANCE THE TOP GROWTH WITH ROOTS AND TO PRESERVE THEIR CHARACTER AND SHAPE. THE CENTRAL LEADER OF TREE SHALL NOT BE PRUNED.
  - PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH ONE PART EACH OF TOPSOIL, PEAT MOSS AND PARENT MATERIAL. IF WET SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND FILLED WITH CRUSHED STONE.
  - ALL PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF ALL PLANTS.
  - ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT DIES WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING THE STUMP, AND REPLACED BY A TREE OF SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE CONTRACTOR.

**PLANT SCHEDULE**

STREET TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	GAL
IH	8	GLEDITSIA TRIACANTHOS 'IMPCOLE' / IMPERIAL HONEYLOCUST	B4B	MIN 2.5' Gal (TRIMMED TO 1' ABOVE GRADE)



NOTE: BARRIER TO BE INSTALLED (BIO-BARRIER OR APPROVED EQUAL) IN ALL THE TREE WELLS ALONG THE CURB LINE AND ALONG THE EDGE OF THE SIDEWALK PARALLEL TO THE CURB. THE BARRIER SHALL BE WRAPPED A MINIMUM OF 4" INCHES ALONG THE SIDE OF THE TREE WELL.



CITY of BETHLEHEM CITY FORESTER  
10 EAST CHURCH STREET  
BETHLEHEM, PA. 18018  
AUGUST 2012  
DRAWING NOT TO SCALE

**Colliers Engineering & Design**

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COLLIERS ENGINEERING & DESIGN, INC.

**PRELIMINARY & FINAL LAND DEVELOPMENT PLAN**

FOR  
**CITY OF BETHLEHEM PARKING AUTHORITY**

**WALNUT STREET PARKING GARAGE**  
BLOCK 14, WARD 7  
LOTS 2 & 2A  
33 W. WALNUT STREET

**CITY OF BETHLEHEM NORTHAMPTON COUNTY PENNSYLVANIA**

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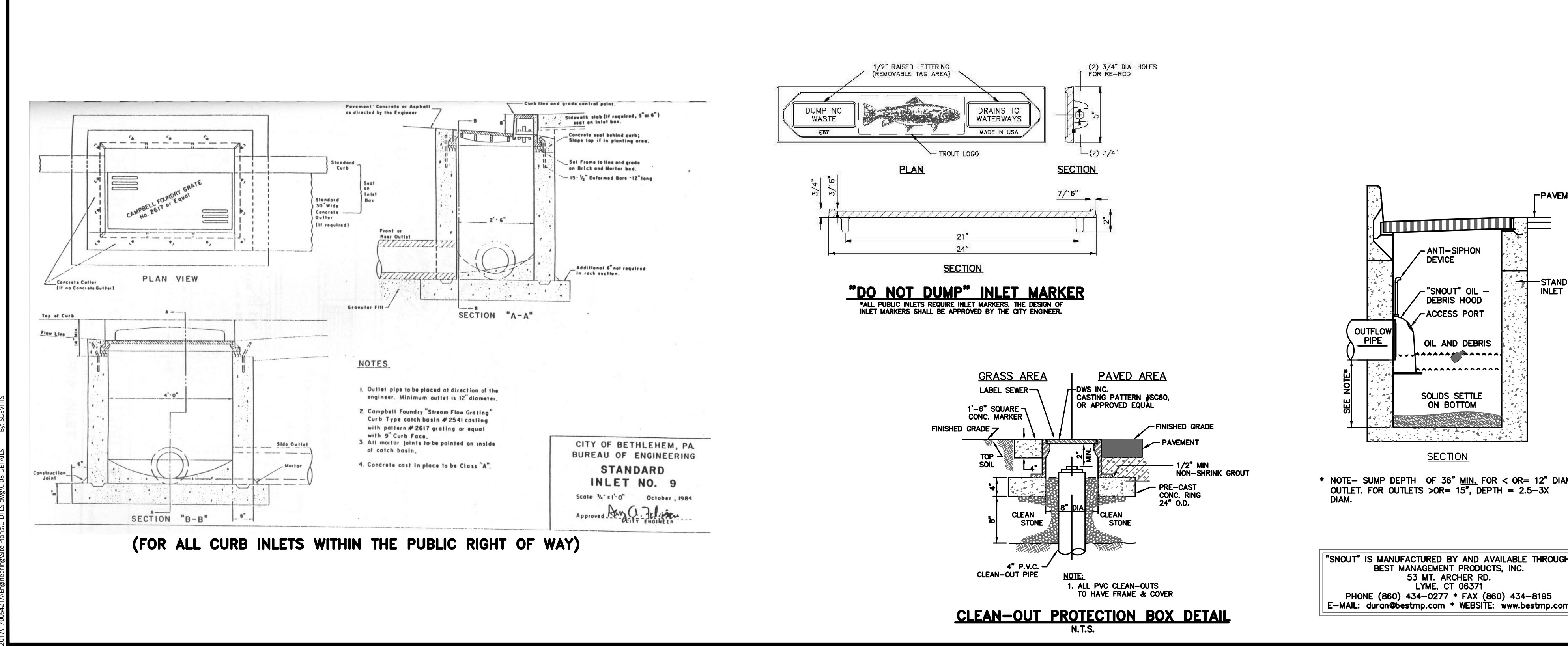
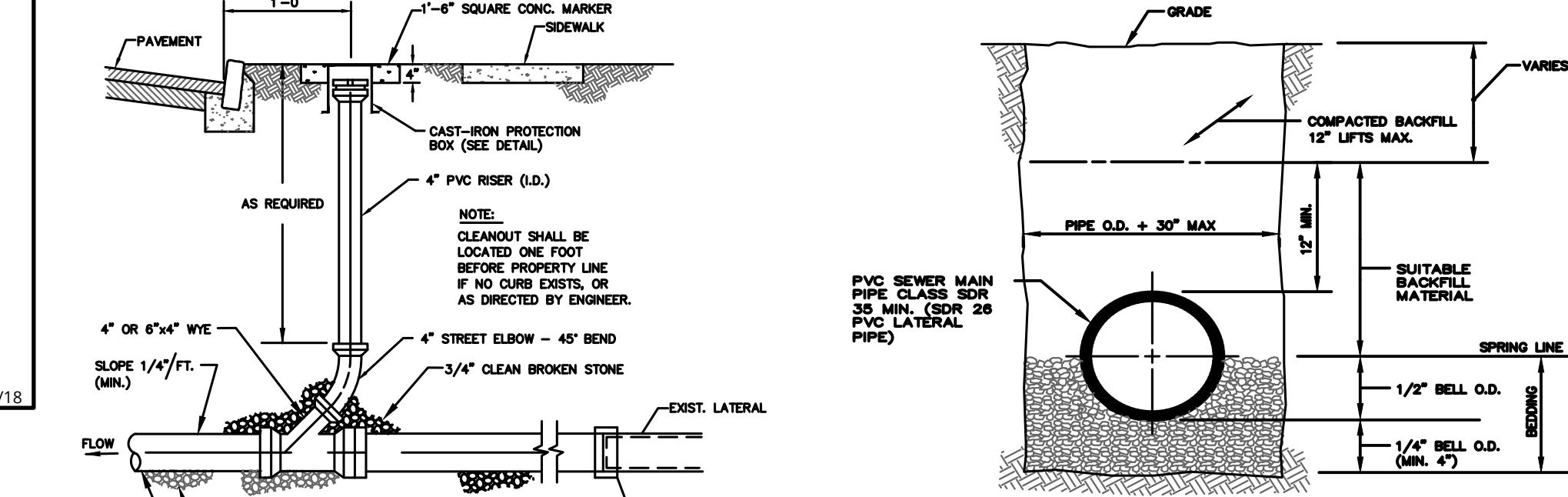
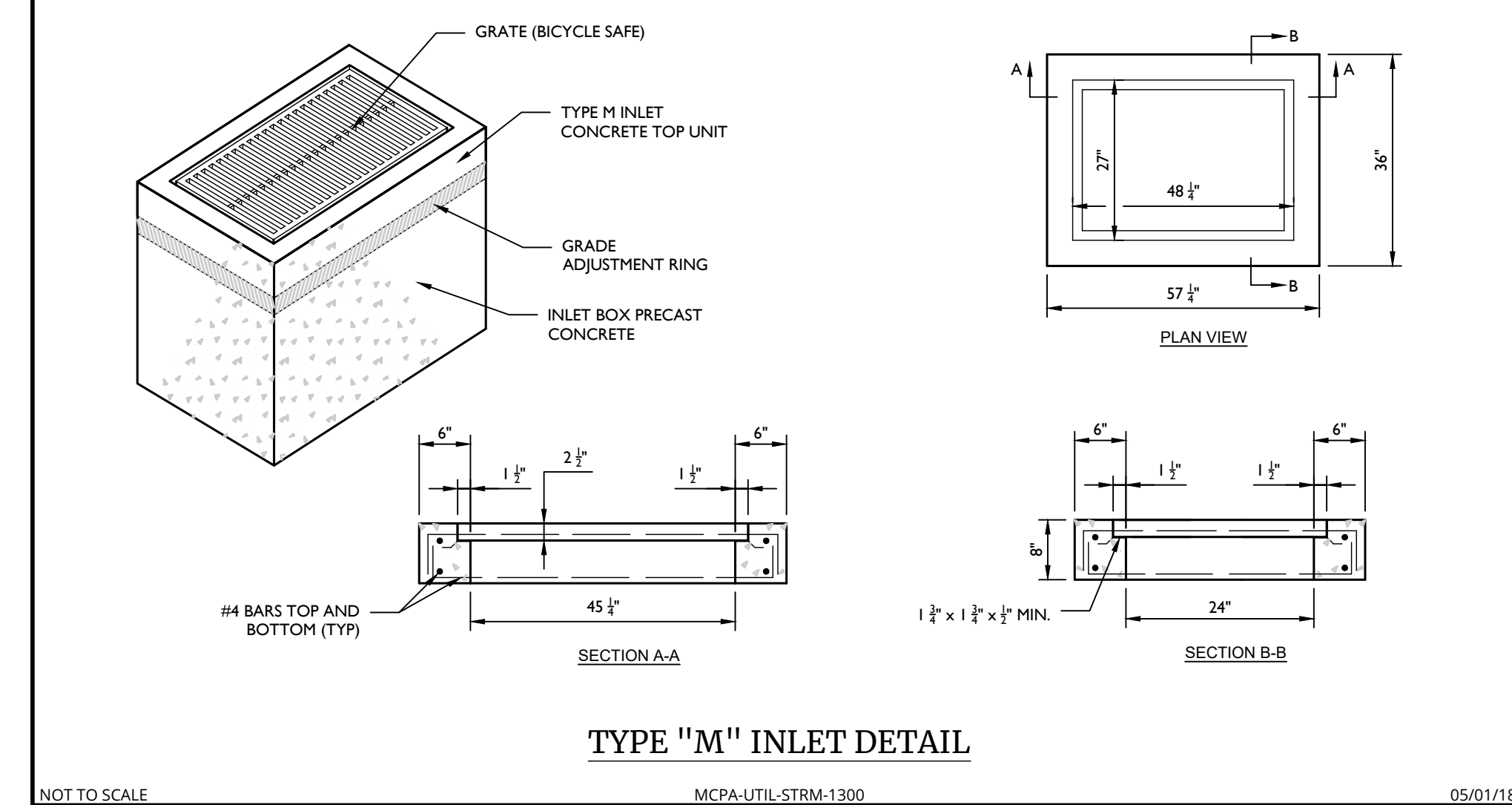
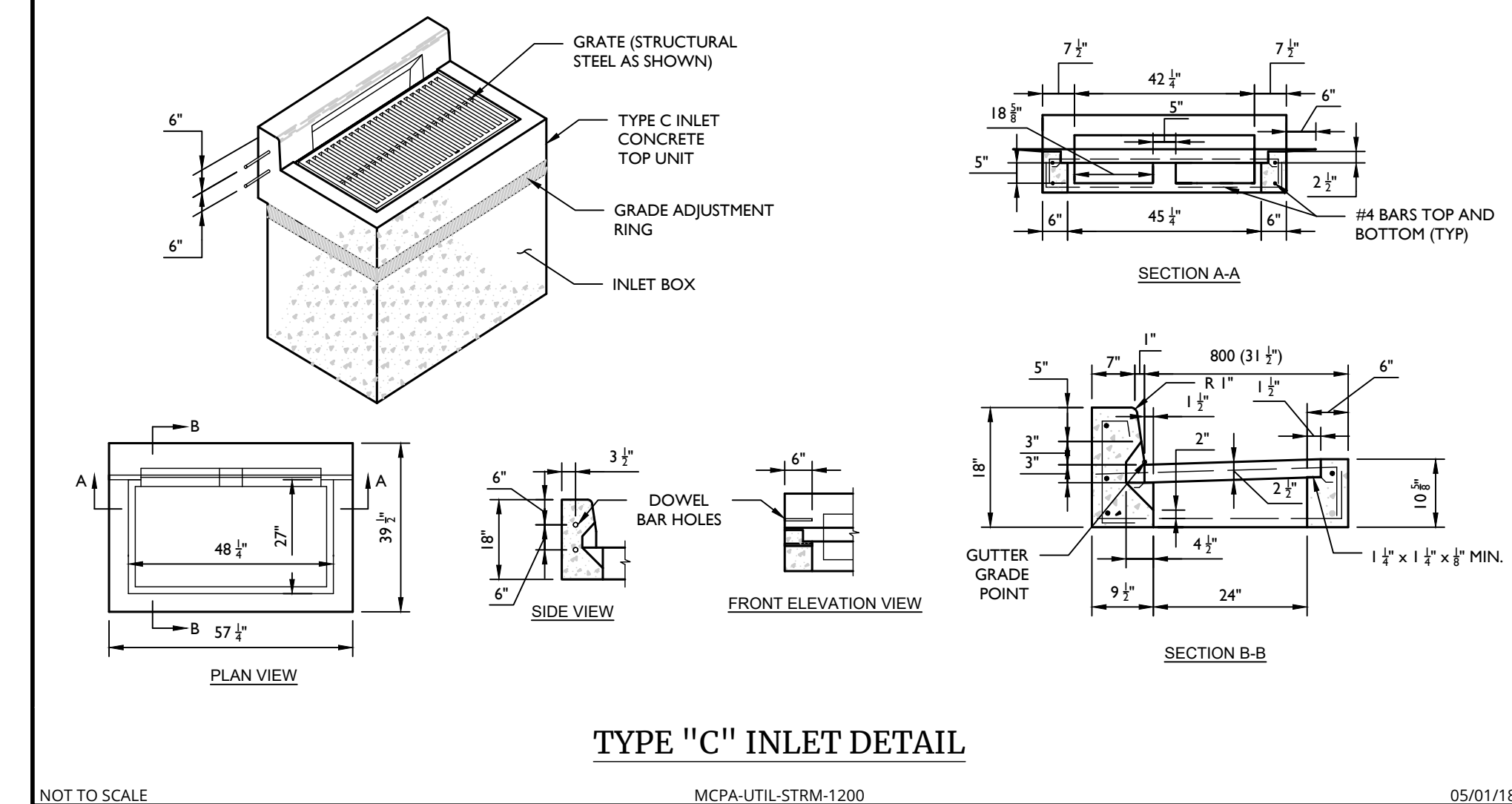
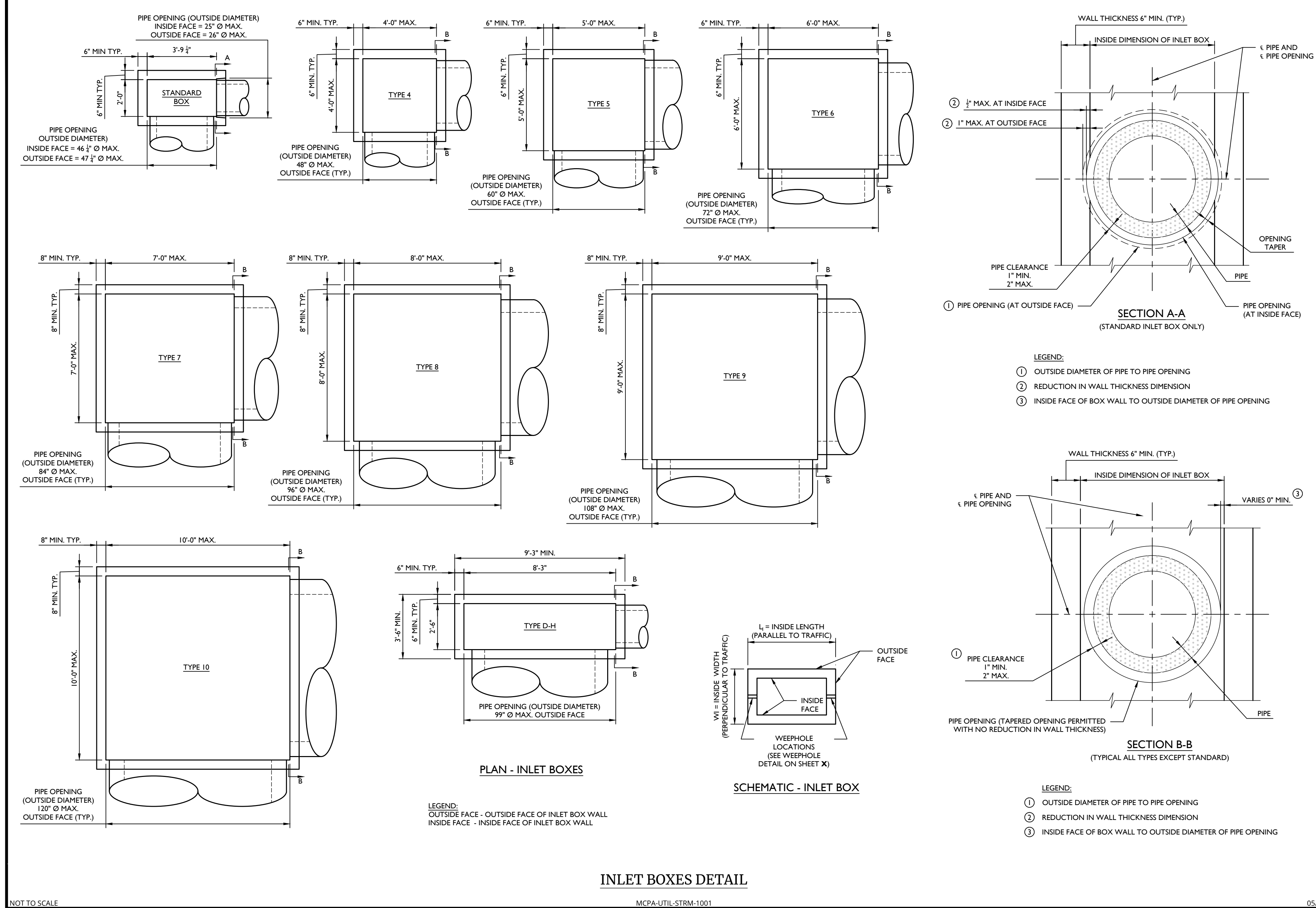
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 FOR  
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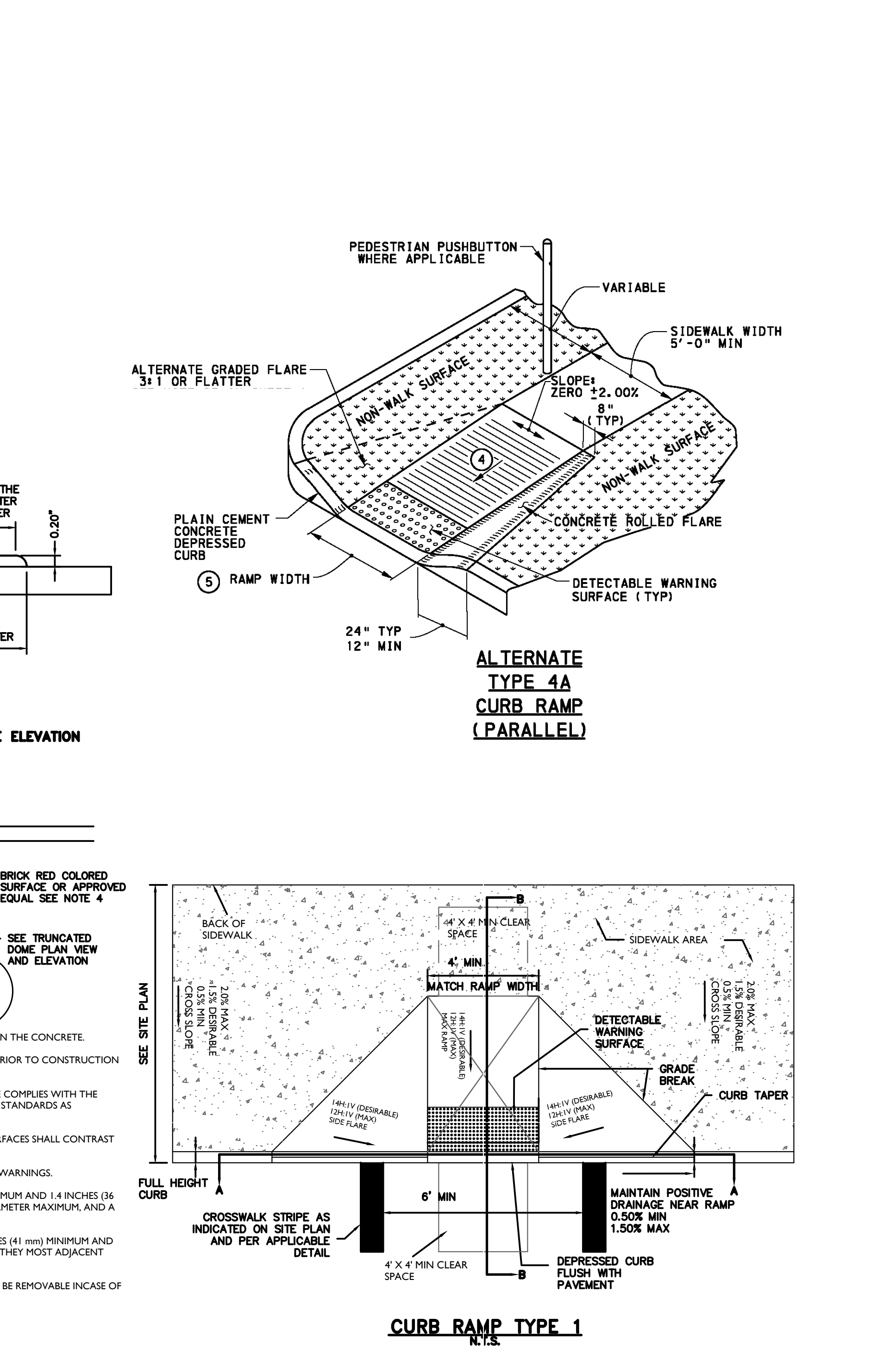
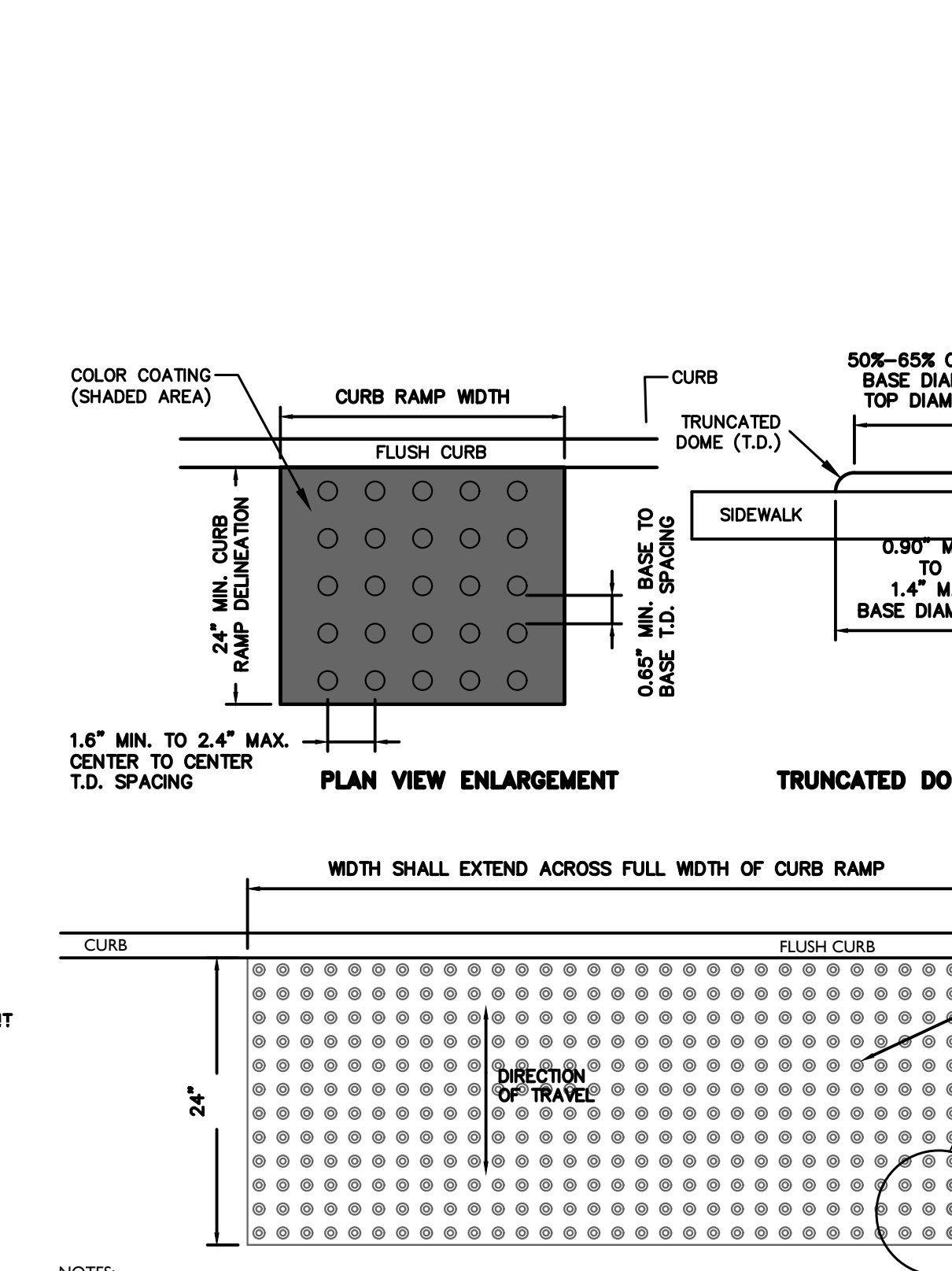
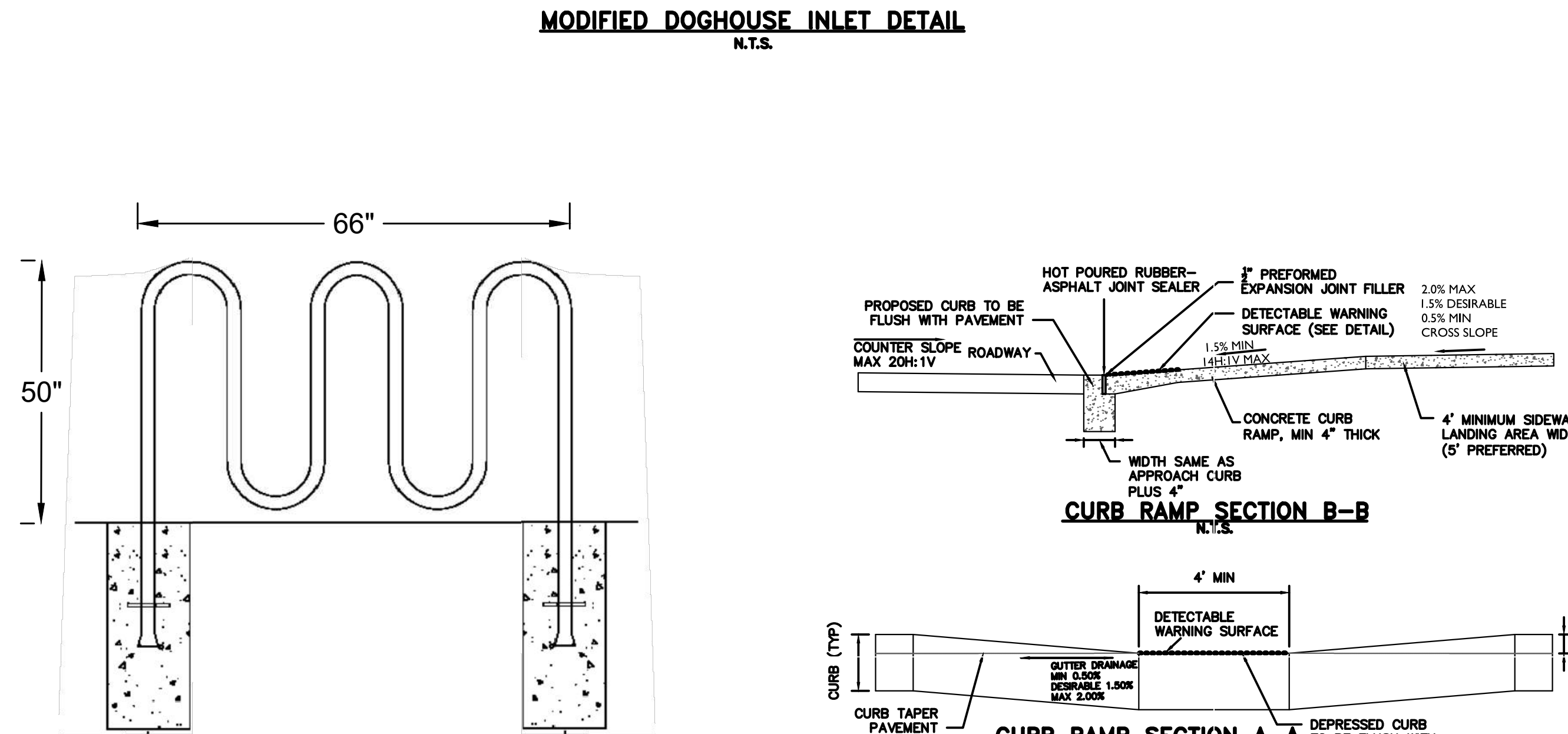
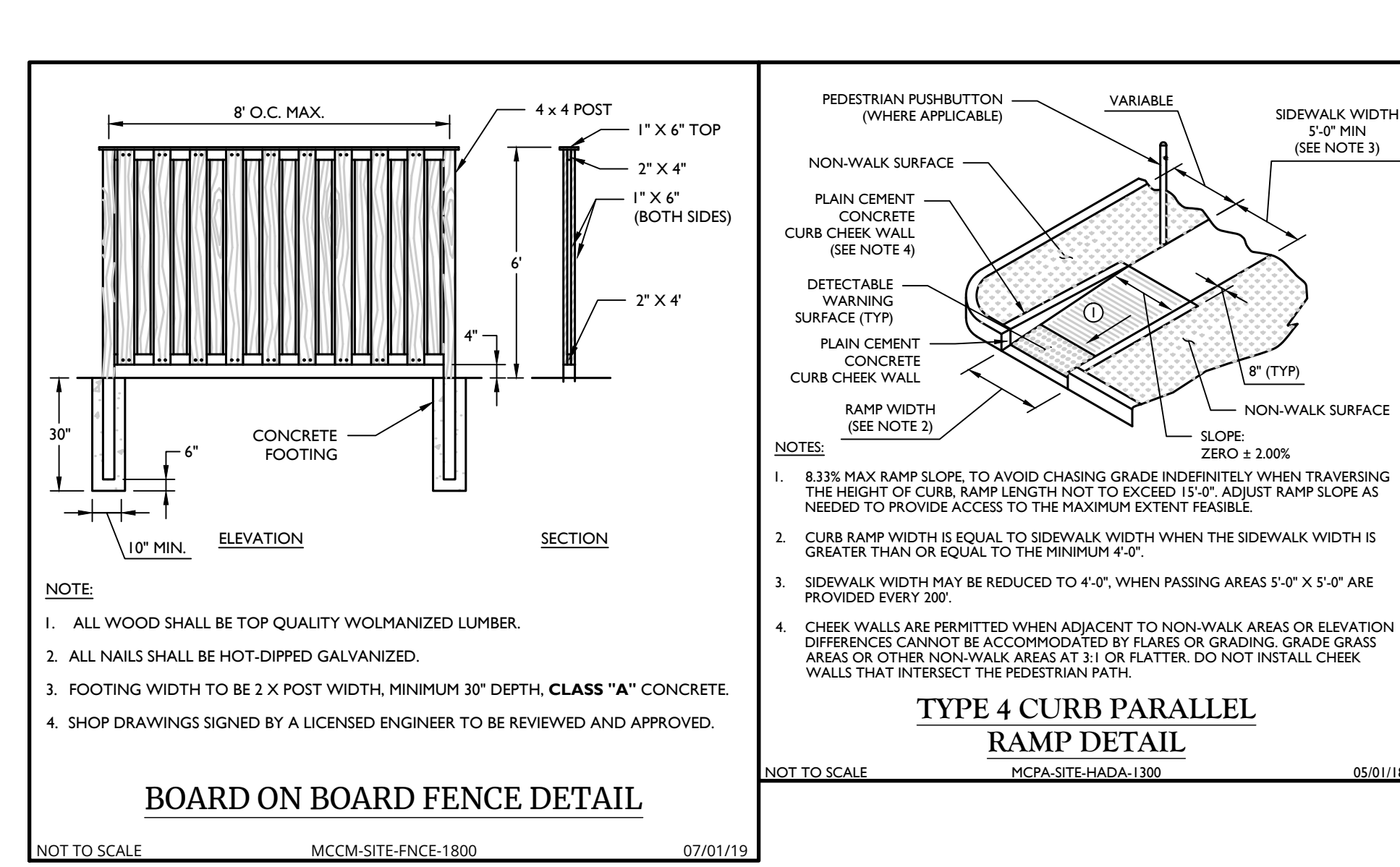
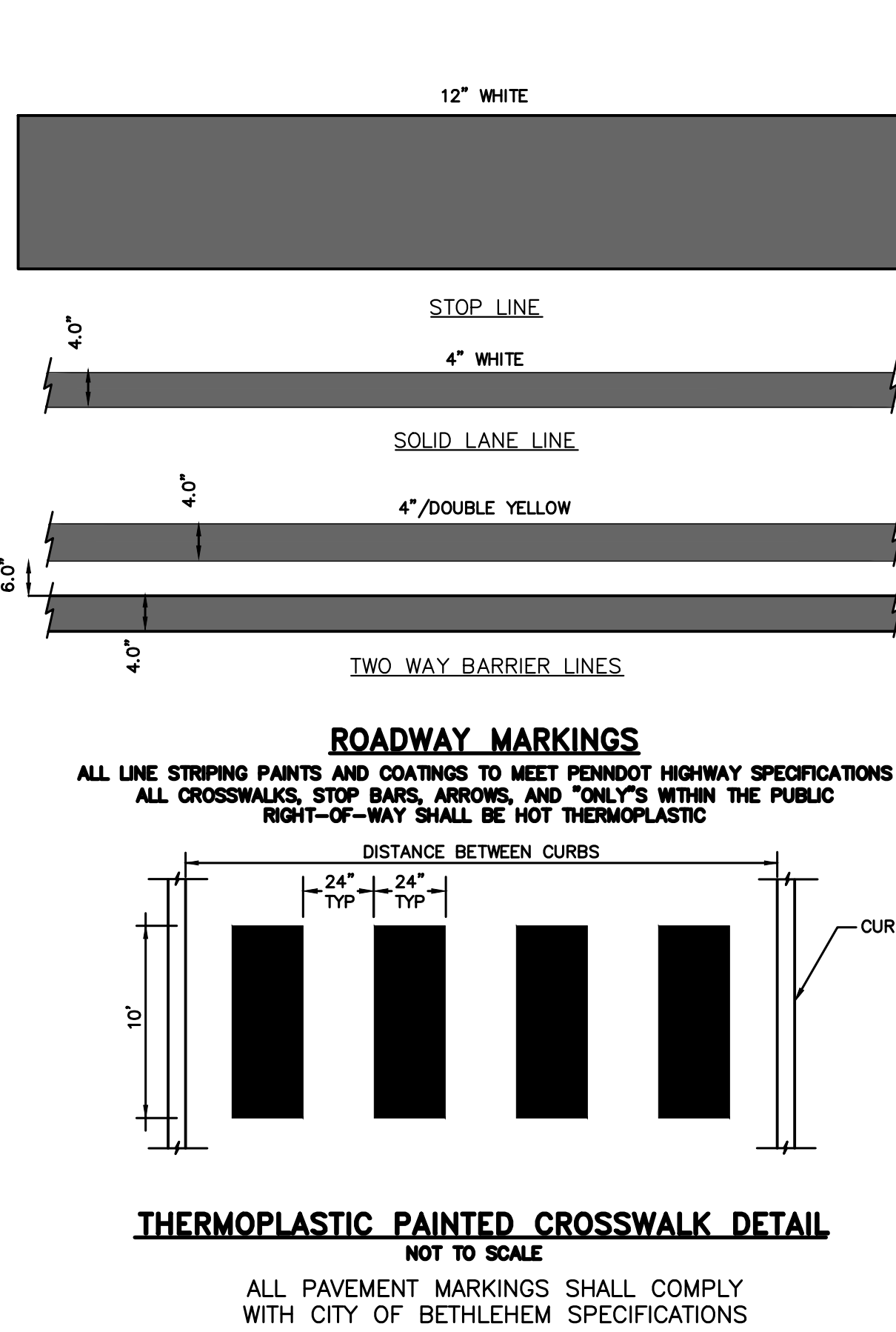
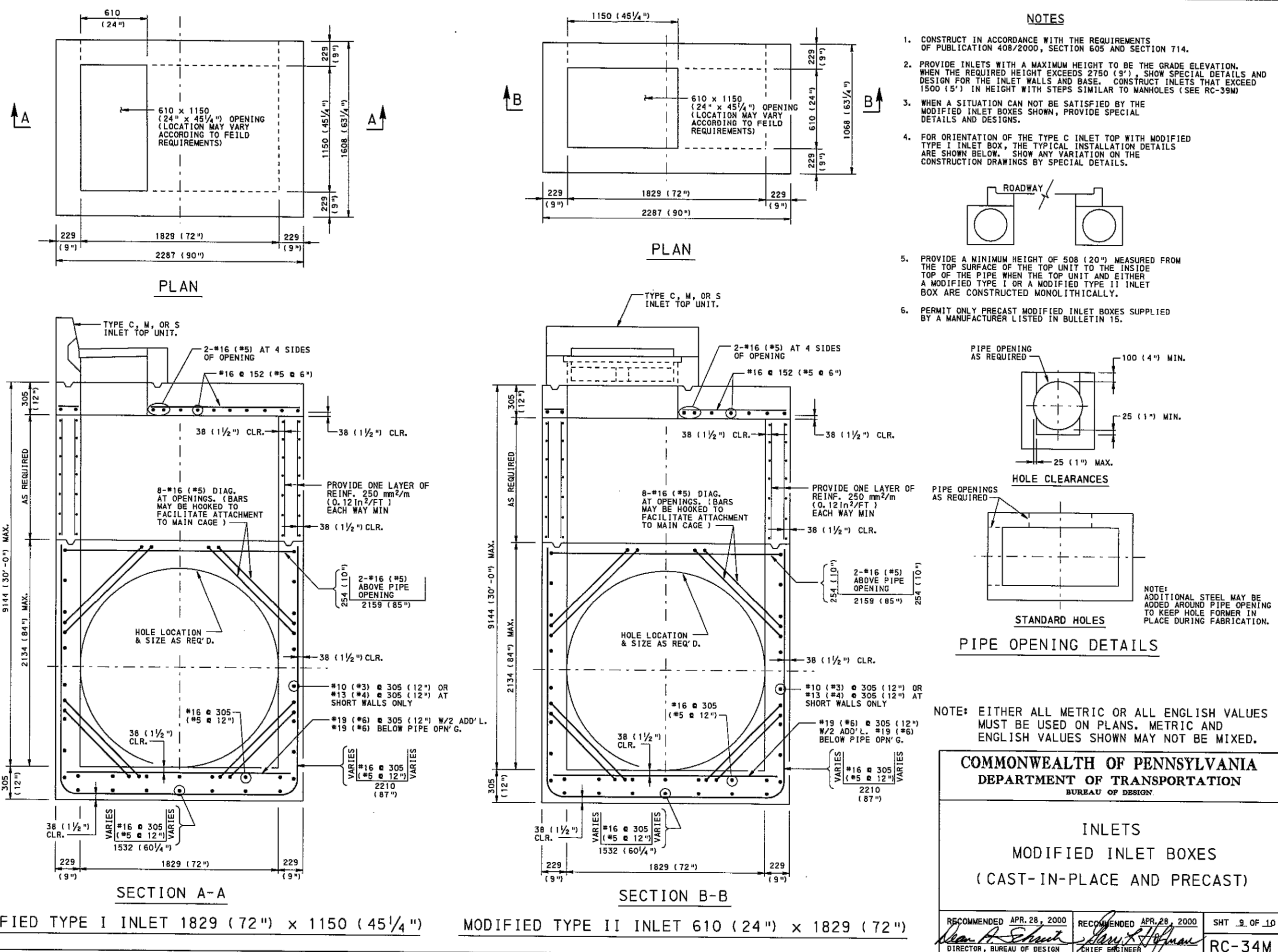
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LICENSE NUMBER: PE046162R  
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**PRELIMINARY & FINAL LAND DEVELOPMENT PLAN**

FOR  
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**WALNUT STREET PARKING GARAGE**  
BLOCK 14, WARD 7  
LOTS 2 & 2A  
33 W. WALNUT STREET

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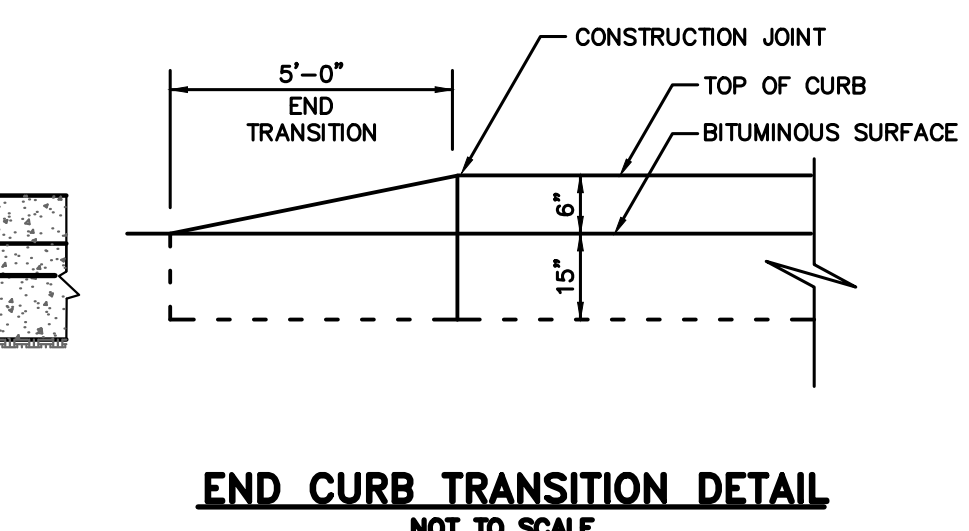
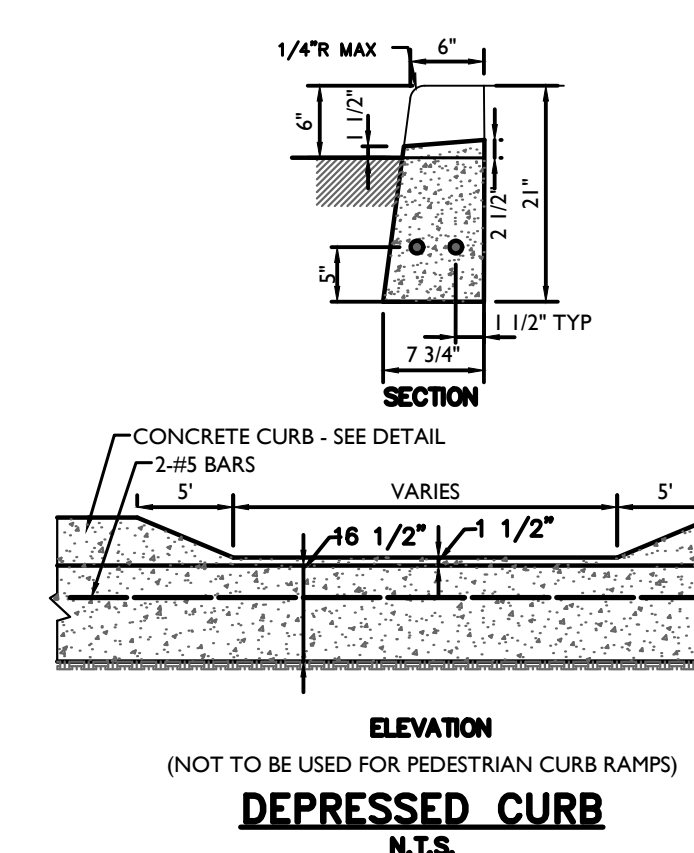
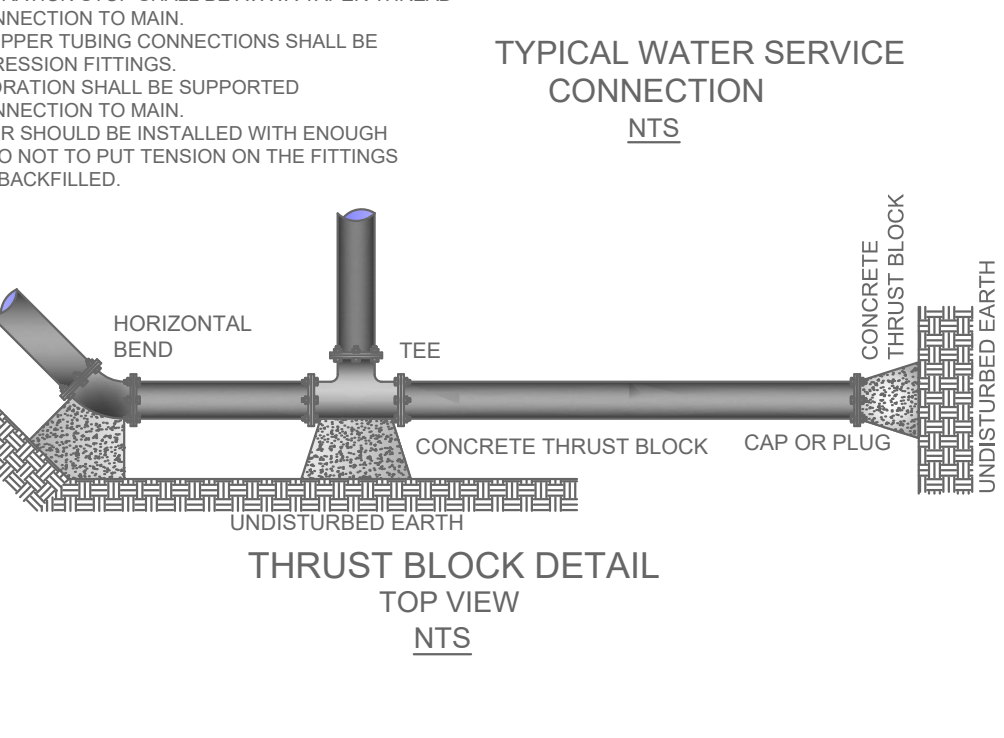
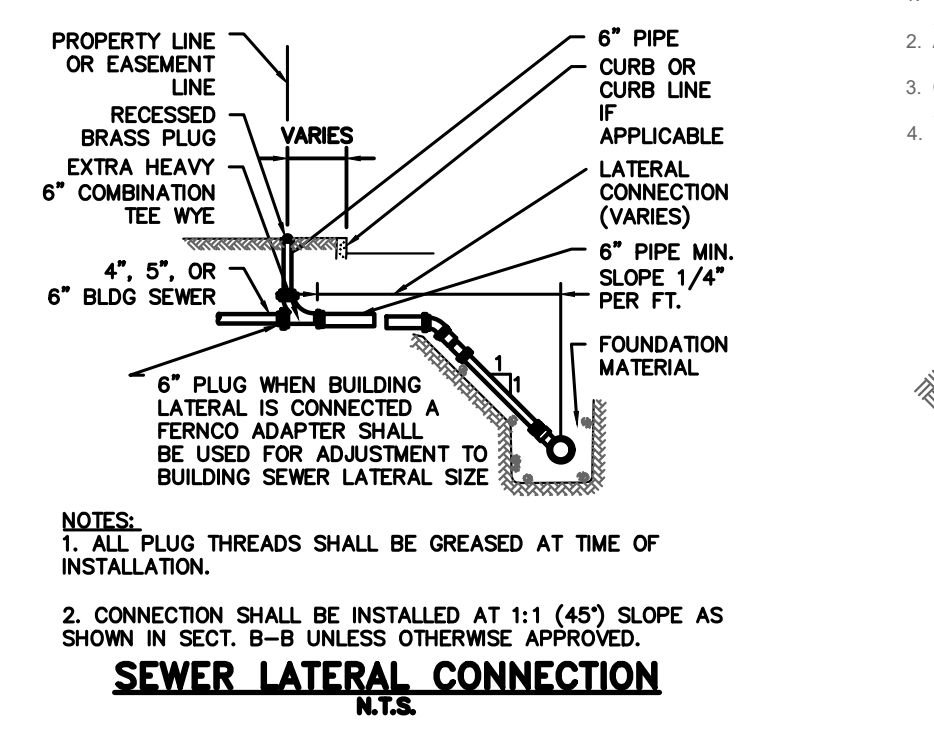
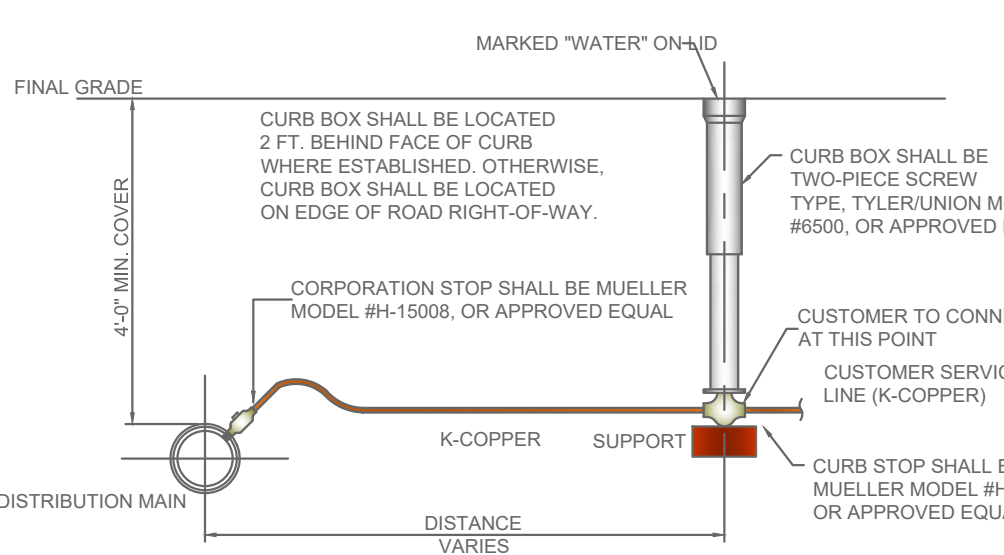
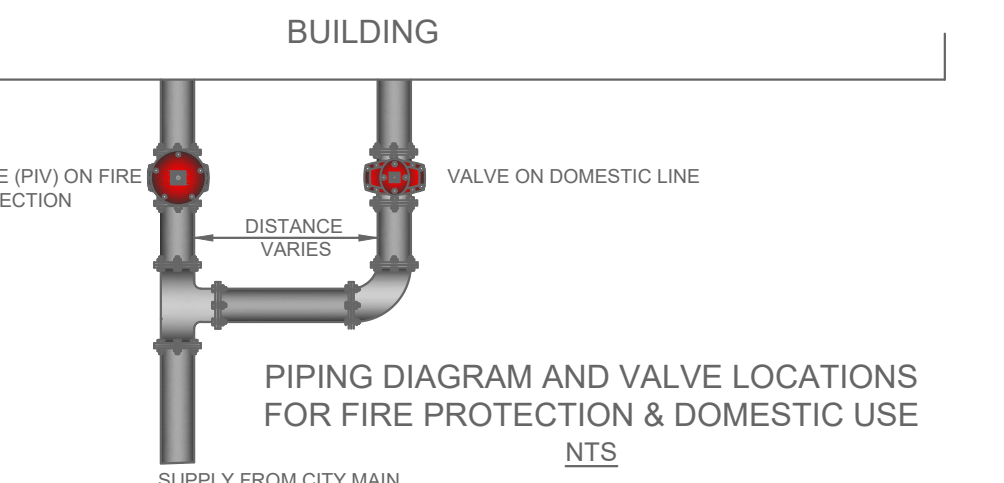
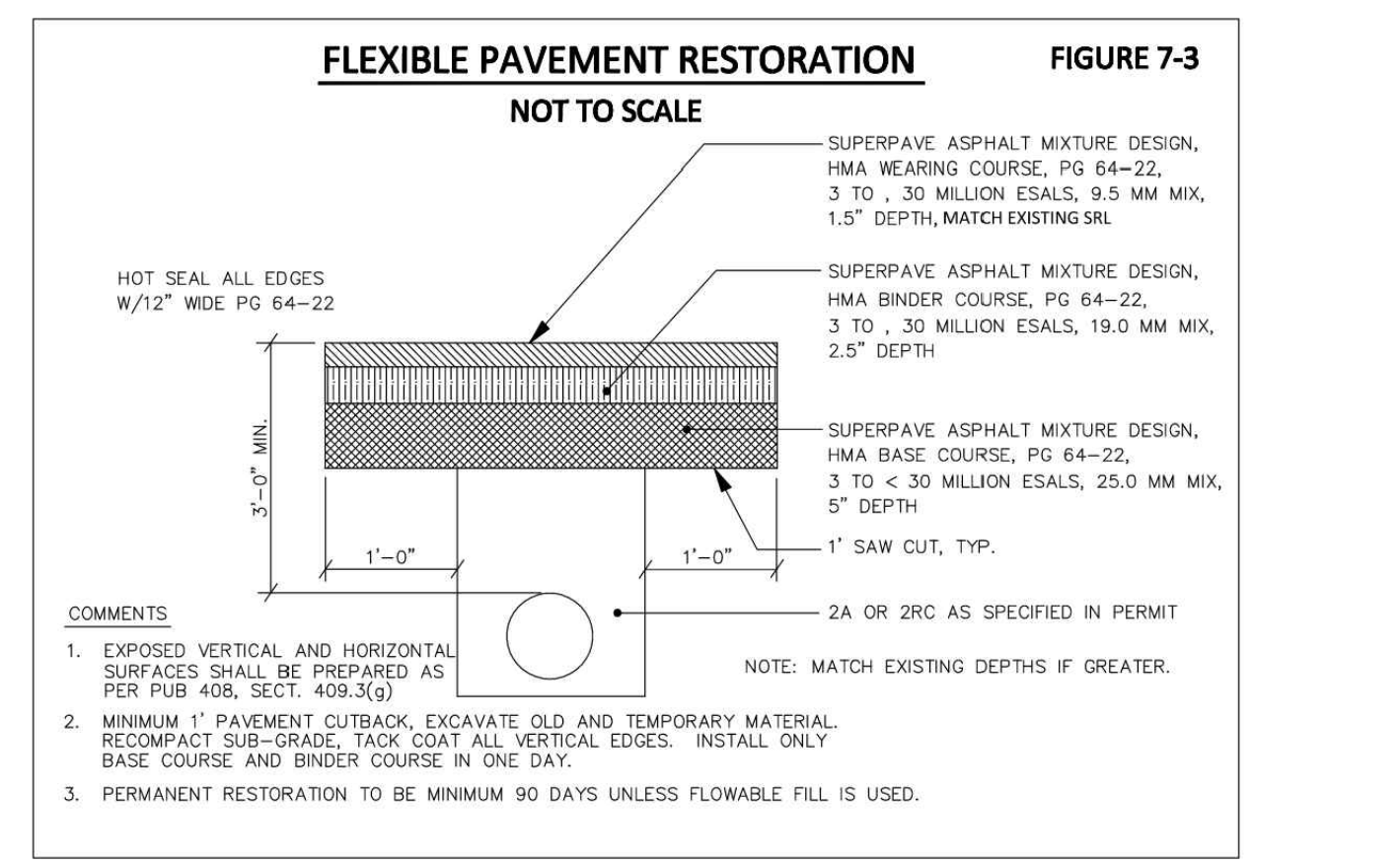
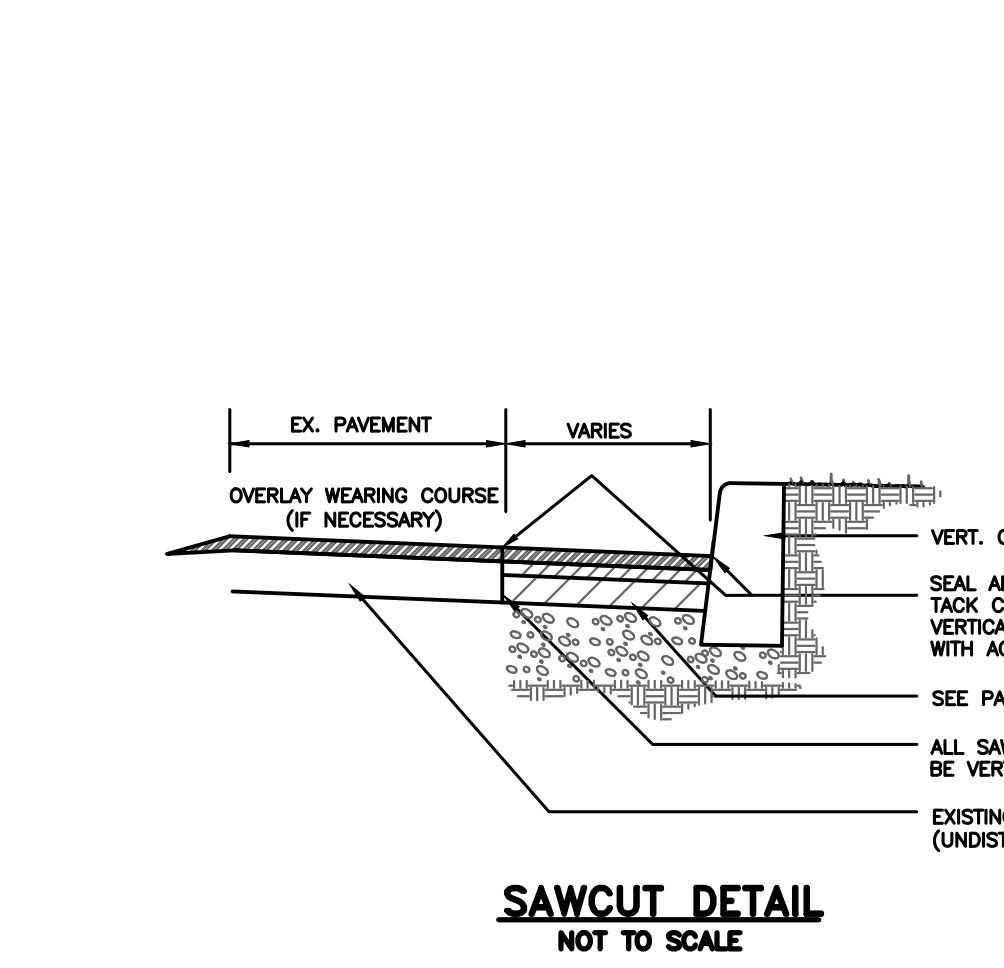
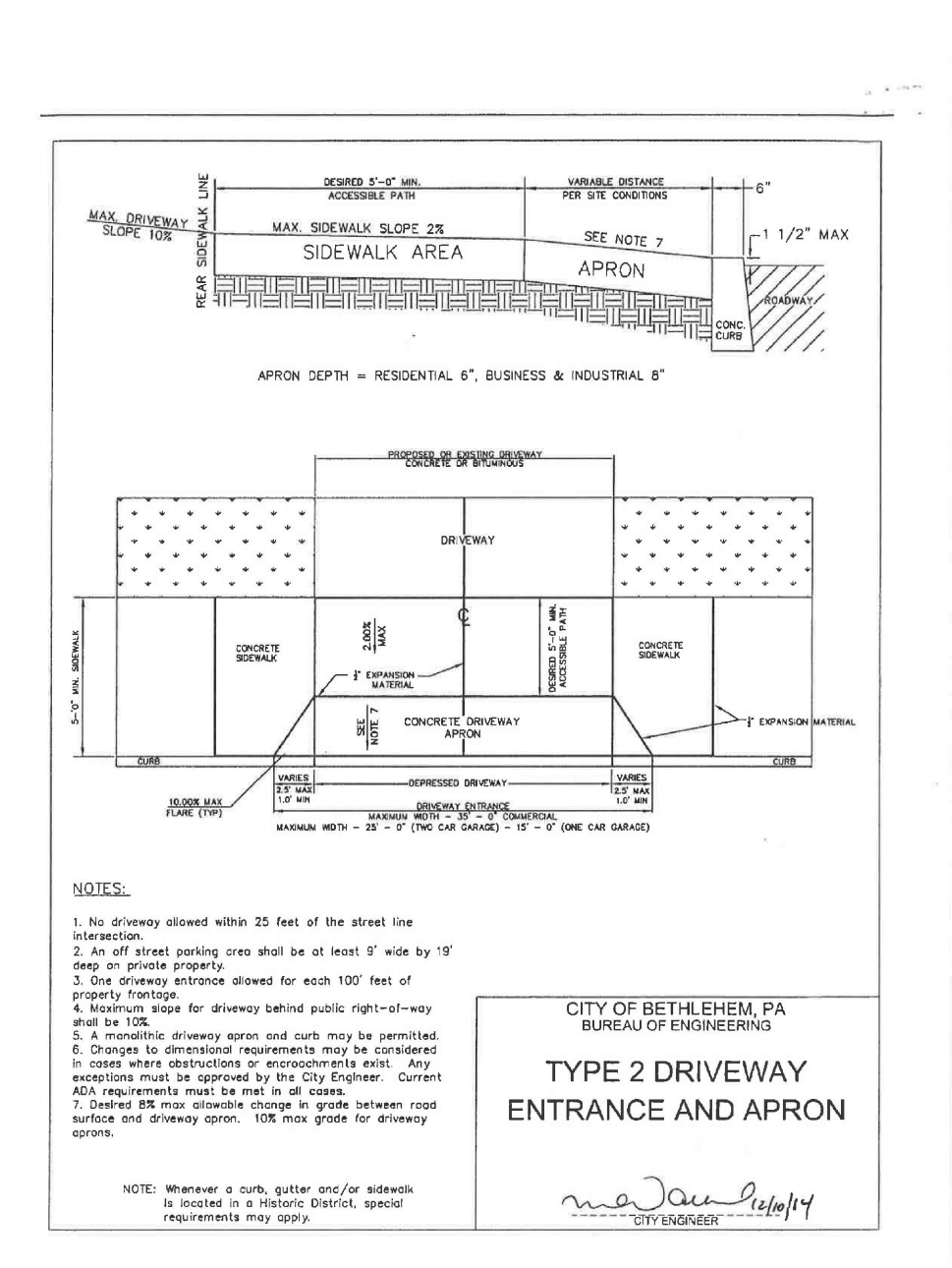
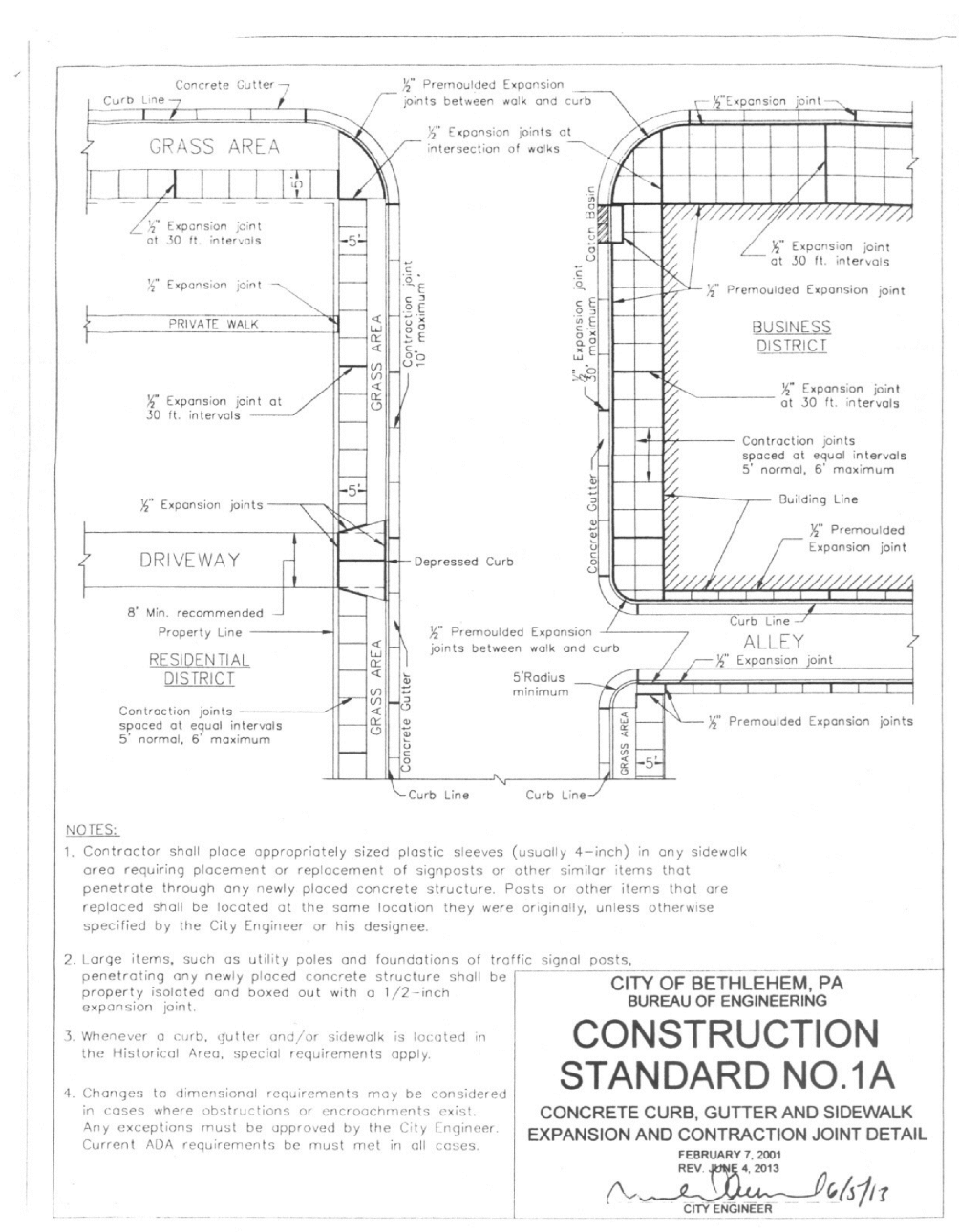
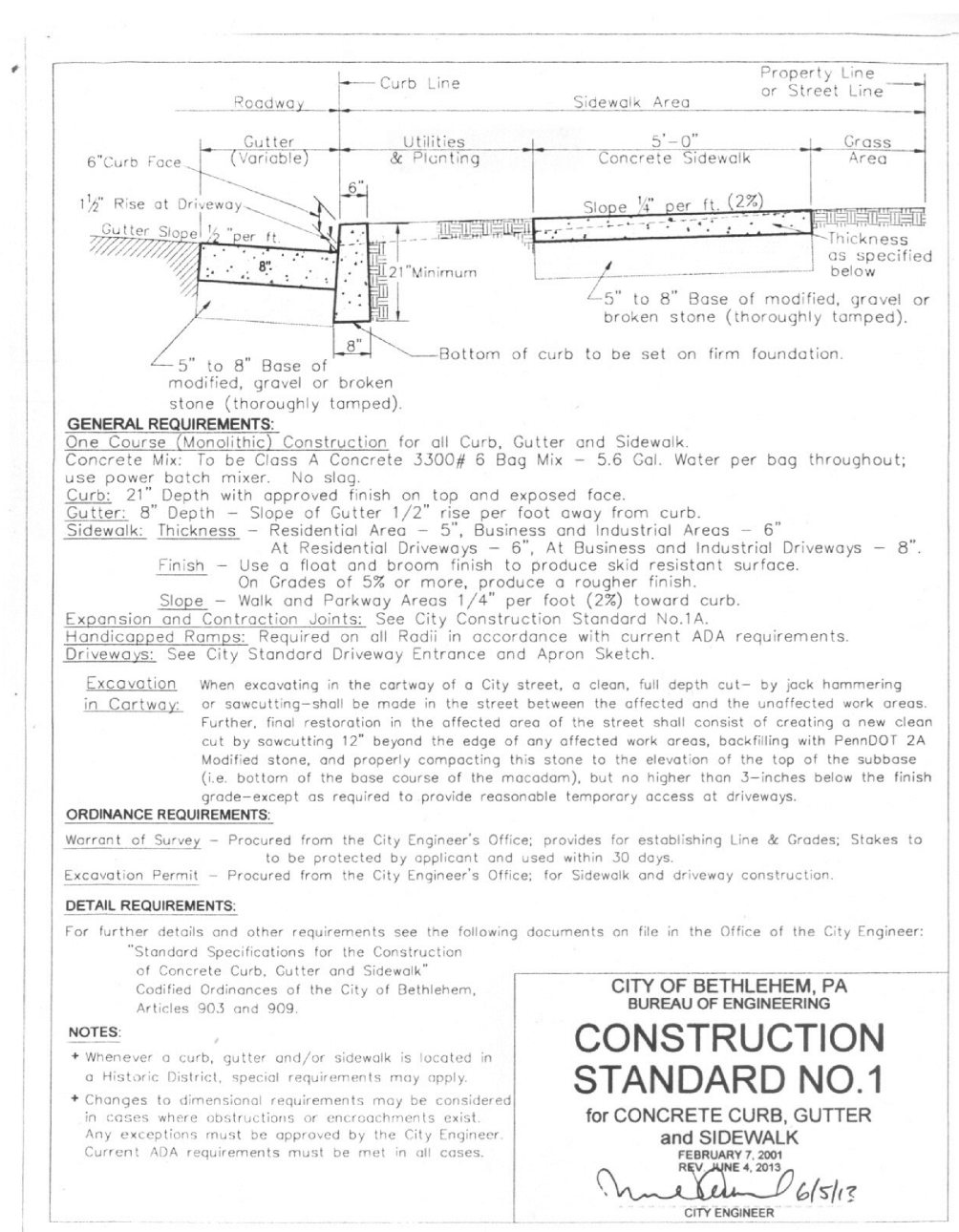
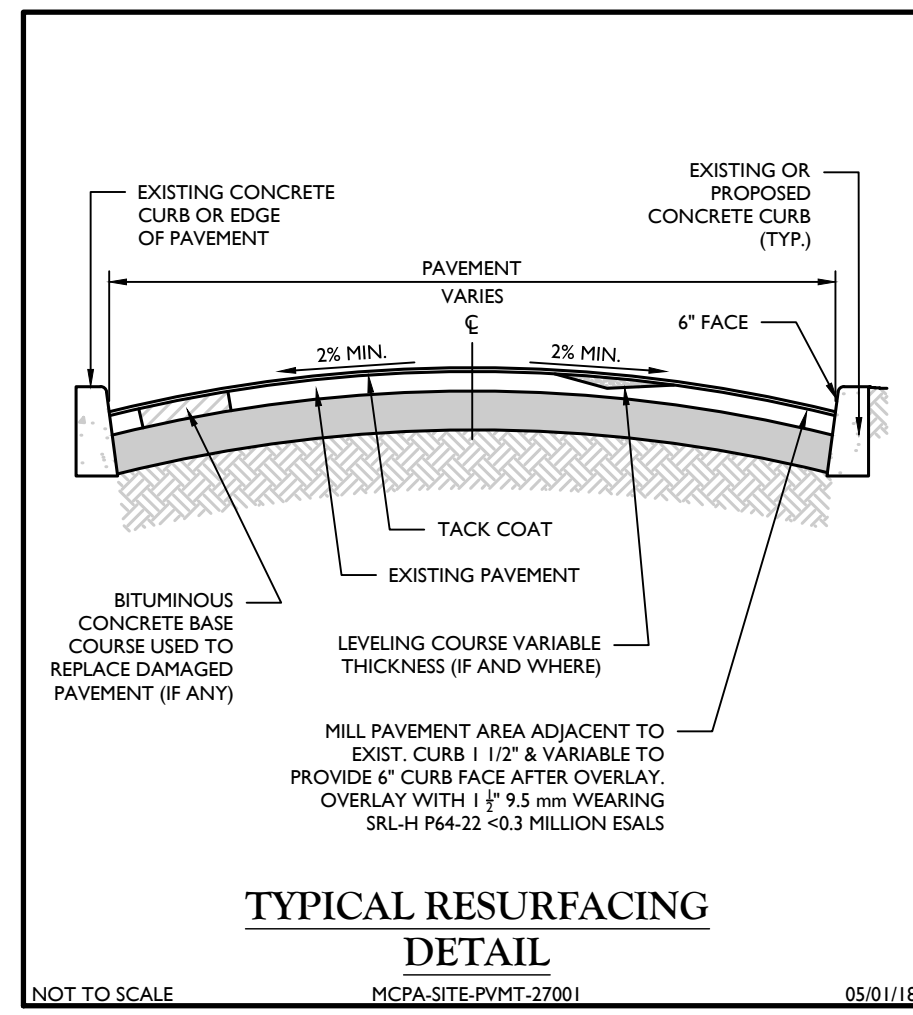
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PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: PE046162R  
COLLIERS ENGINEERING & DESIGN, INC.

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