



CITY OF BETHLEHEM

BUREAU OF PLANNING AND ZONING

10 East Church Street, Bethlehem, Pennsylvania 18018-6025

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October 10, 2023

Mr. Joseph Rentko
2455 Black Forest Dr
Coplay, PA 18037

RE: **(23-011 LD) – 23090012 – 1411-1435 GREENVIEW DR. – Land Development Plan – Ward 13, Zoned RG, plan dated September 5, 2023.**

Dear Mr. Rentko:

The above-referenced plan has been reviewed by the appropriate City offices. We offer the following comments:

PUBLIC WORKS

Forestry

1. Please include the tree well size on the landscape plan.
2. Incorporate low growing vegetation in parking lot around lighting.

Stormwater Engineering

1. An E&S Plan shall be required. The total disturbed area shall also be shown. An increase in impervious coverage of 7,790 SF is shown, therefore a fee of \$779 is due at the time of the developer's agreement. NPDES permits shall be provided.
2. A stormwater management report shall be submitted to the City and LVPC. A copy of the LVPC review letter shall be submitted.

Traffic

1. Submit trip generation calculations so it can be determined whether traffic study is required per the SALDO requirements.

Sanitary Engineering

1. In accordance with Ordinance No. 4342, at the time of a request for a building permit or at the execution of the developer's agreement, a sanitary sewer tapping fee of \$2,527 per EDU will need to be paid. The total amount will be determined by the City Sanitary Engineer based upon the sanitary sewer facilities planning module application provided with this submission.
2. The sanitary sewer facilities planning module application provided with this submission will be forwarded to the PADEP office for final approval once reviewed by the City. Please note that building permits cannot be issued until the Planning Module is reviewed and approved by the Pennsylvania Department of Environmental Protection.

Water

1. Please add a shut-off valve on the proposed fire line.

Miscellaneous Engineering

1. Engineering provides the following comments on the provided plan set:
 - North arrow only found on title page. Please provide a north arrow on all pages when applicable.
 - Include city ward & block map in the site data on the record plan (Ward 13 Block 113)
 - Include County Deed Book Number in the site data on the record plan.

- Include cartway width in R-O-W width on plan (10'-36'-10' for Greenview Dr, Primrose Ln, & Crestwood Rd)
 - Provide a shaded & dimensioned area indicating the extent of sidewalk and curb work needed to remove the existing curb cut & driveway apron.
 - Dimension the proposed driveway entrance & provide a copy of the City standard driveway detail type 1. (attached)
 - Provide dimensions from the lot lines to the proposed structures.
 - Provide profiles of the proposed private storm & sanitary systems including crossover inverts.
 - Provide a detail for the connection of the private main to the City sanitary sewer manhole.
 - Indicate locations of gas and electric utilities where applicable.
 - 5' Drainage & utility easement is indicated in note. Please call out on plan.
2. Include unit numbers of each house on plan. All units will be assigned a street address of 1411 Greenview Dr, Bethlehem, PA 18018. The individual units will be addressed as Units 1-24 ascending in the North direction with odd units on the western side & even units on the eastern side as shown in the attached addressing plan. These addresses shall be confirmed with all relevant authorities upon approval of this land development plan. (See attached)
 3. Permits shall be obtained from the Engineering office prior to beginning work within the public right-of-way including for sidewalk, curb, driveways, & utility connections.
 4. An engineer's estimate of probable cost shall be submitted prior to preparation of the developer's agreement.

ZONING

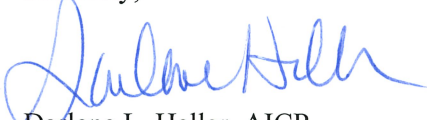
1. Per Section 1318.23(i)(2) a buffer yard is required. The landscape plan shows 102 Pragnese Viburnum for buffer plantings. Indicate in the planting schedule that the plantings will be at least 4 feet in height when planted.
2. Add note the Record Plan (Sheet 2 of 9) "The Land owner shall be responsible to ensure that the hitch, rack or locker for bicycle parking continues to be available and is will maintained and is replaced if damaged or removed."
3. An additional parking lot tree is required. The planting list (Sheet 6 of 9) shall indicate that all proposed trees will be a 2.5" caliper or greater.

GENERAL

1. A Recreation Fee of \$ 36,000 shall be paid prior to finalizing the Developer's Agreement.
2. Comments from The Environmental Advisory Committee are attached. Please respond.
3. Elevation drawings were submitted. As with prior plans reviewed by the Planning Commission, show side elevations fronting on Greenview Drive that include some elements of the front facades.

When these comments are addressed, please submit two (2) full sets and three (3) partial revised plans, an electronic plan, trip generation calculations, an erosion and sedimentation plan, and a comment/response letter for further review.

Sincerely,



Darlene L. Heller, AICP
Director of Planning and Zoning

C.
Basel Yandem
Robert Taylor
Olivia Teel

Enclosures



July 6, 2023

Darlene L. Heller, Director of Planning and Zoning
Craig Peiffer, Assistant Director of Planning and Zoning
City of Bethlehem
10 E. Church Street
Bethlehem, PA 18018

Dear Ms. Heller and Mr. Peiffer,

We appreciate the opportunity to comment on the proposed development of 1411-1435 Greenvue Drive. Our recommendations are in support of Bethlehem City's Climate Action Plan (CAP), which aims to reduce our carbon footprint, increase sustainability, utilize alternative energy sources and promote resilience to changing climate conditions.

New construction projects provide opportunities to employ energy saving strategies that will lower energy costs and at the same time reduce pollution from traditional energy sources. Therefore, we strongly recommend that the developer utilize sustainable building materials and energy efficiency measures beyond the building code, such as passive solar design features, advanced lighting controls, high efficiency HVAC equipment, increased insulation and advanced air sealing techniques to reduce infiltration.

Furthermore, we strongly recommend that the developer perform a solar assessment, and if feasible, include a rooftop solar system. At a minimum the building could be constructed with adequate structural rooftop capacity and electrical rough-ins so that solar could easily be added at a later date. Northampton County participates in the Commercial Property Assessed Clean Energy (C-PACE) program. C-PACE is an innovative financial tool that allows financing for solar, increased energy efficiency and water conservation projects to be attached to the property instead of the owner. This can free up developers' finances by placing the assessment on the property and structuring repayment through property taxes.

C-PACE has recently been expanded to allow for multi-family developments. The Sustainable Energy Fund (SEF) administers the C-PACE program for Northampton and Lehigh Counties and can provide information on the program (www.theSEF.org). Note that there are currently tax credits for new solar energy systems.

In order to make the site more conducive to bicyclists and as an added amenity to residents, we suggest the inclusion of bicycle parking. The CAP recommends the inclusion of "easily-accessible, secure, sheltered bicycle parking" (Transportation Strategies T1.2 and T1.9). Therefore, we recommend the inclusion of bicycle parking. In addition, we encourage the addition of EV charging stations.

Sincerely,

Lynn Rothman

Lynn Rothman, Chair

On behalf of the Bethlehem EAC:

Ben Felzer, Vice Chair

Ben Guthrie, Secretary

Vibhur Kumar

Mandy Tolino

Mike Topping

Katie Trembler

cc: Bethlehem City Council

Mayor J. William Reynolds