



**CITY OF BETHLEHEM BUREAU OF PLANNING AND ZONING**

10 East Church Street, Bethlehem, Pennsylvania 18018-6025

Phone: 610-865-7094

Fax: 610-865-7330

TDD: 610-865-7086

October 3, 2023

Mr. Adam Patel  
Steel9, LLC  
6659 Forest Knoll Court  
Allentown, PA 18106-9171

RE: **(23-009 LD) – 23060017 – 1610 Spillman Drive - LAND DEVELOPMENT– Ward 17,  
Zoned IR, plans dated June 21, 2023, last revised August 21, 2023.**

Dear Mr. Patel:

The above-referenced plan has been reviewed by the appropriate City offices. We offer the following comments:

**PUBLIC WORKS**

**Stormwater**

1. Forward NPDES permit approval when obtained from PADEP prior to issuance of building permits.

**Sanitary**

1. In accordance with Ordinance No. 4342, at the time of execution of the developer's agreement, a sanitary sewer tapping fee of \$101,257 will need to be paid. The amount was calculated based upon the projected sanitary sewer flows submitted by the developer's engineer. Please note that building permits cannot be issued until the Planning Module is reviewed and approved by the Pennsylvania Department of Environmental Protection.

**Traffic**

1. The applicant shall prepare a post development study within six months of opening of the Tru by Hilton Hotel to document the actual site trip generation and submit the study to the City and PennDOT for review. In the event that the trip generation is greater by 10% or more than that predicted for the site, then the applicant shall perform an operational analysis of the Fourth Street intersection with Lynn Avenue to determine if signal timing/phasing modifications are required to accommodate the actual site's trip generation. If required, then the Applicant shall be prepared to update the Signal Permit Plan through PennDOT and update the signal timing/phasing as necessary. This requirement will be reflected in the Developer's Agreement and shall be noted on the final Record plan, Sheet 01 of 16.

**General**

1. An Engineer's opinion of probable cost shall be submitted for review at the time of the Developer's Agreement.
2. Sheet 4 shows the proposed 6" PVC sanitary line tapping into the existing 8" PVC public sewer. However, the detail on sheet 14 "Typical Sanitary Sewer Lateral Connection" shows a connection to a 12" main. Please correct.

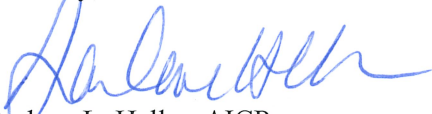
3. The (2) ADA curb ramps at the corner of Lynn Ave & Spillman Dr must be brought to current ADA specification. Please call out this work on the land development plan and include detail cutsheets of the ramp design. The City requires all proposed detectable warning surfaces be "Brick Red" in color.
4. Indicate that existing street trees along will be trimmed, the City engineering inspector found that they are currently hanging into the pedestrian right-of-way. Proper permits from the City Forester shall be obtained to complete this work.
5. Prior to any work within the Right-of-Way, permits must be obtained from City Engineering Office, including but not limited to work on driveways, sidewalks, curb, utility connections, etc.

**GENERAL**

1. A Recreation Fee of \$12,521 shall be paid prior to finalizing the Developer's Agreement.

**This item will be placed on the October 12, 2023 Planning Commission Meeting Agenda.**

Sincerely,



Darlene L. Heller, AICP  
Director of Planning and Zoning

C.  
Basel Yandem  
Adam Herbold  
Andy Bohl, Hanover Engineering