

OWNER

PACKER AVE, LLC.  
9002 LUPINE DEN DR  
VIENNA, VA 22182-2163  
(786) 297-9427  
dallas@blakeworth.com

APPLICANT

BLAKEWORTH  
66 WEST FLAGLER STREET, SUITE 900  
MIAMI, FL 33130  
(786) 297-9427  
dallas@blakeworth.com

SURVEY NOTES

1. THIS PLAN IS BASED UPON A FIELD SURVEY CONDUCTED AS OF FEBRUARY 16, 2023 BY KEYSTONE CONSULTING ENGINEERS INC.
2. UTILITY LOCATIONS DEPICTED HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF OBVIOUS ABOVE-GROUND EVIDENCE. UNDERGROUND LINES WHOSE PRESENCE IS NOT IMPLIED ON THE SURFACE BY MARKINGS OR STRUCTURES MAY NOT HAVE BEEN SHOWN. THIS PLAN DOES NOT GUARANTEE THAT ADDITIONAL UTILITIES DO NOT EXIST.
3. THE EXISTENCE AND LOCATIONS OF UNDERGROUND UTILITIES ON THE SITE SHALL BE VERIFIED BY THE CONTRACTOR IN ACCORDANCE WITH PA ACT 187 AND 121 PRIOR TO COMMENCING ANY EXCAVATION WORK.
4. PROPERTY OWNER NAME, DEED AND TAX PARCEL IDENTIFIER INFORMATION AS SHOWN IS BASED UPON NORTHAMPTON COUNTY TAX MAP RECORDS, AND IS SUBJECT TO THE ACCURACIES OR INACCURACIES THEREOF.
5. LINES AS SHOWN WITH BEARINGS AND DISTANCES OR CURVE INFORMATION INDICATE LINES MEASURED BY THIS SURVEY. LINES WITHOUT ANY GEOMETRIC ANNOTATION MAY HAVE BEEN PLOTTED USING RECORD INFORMATION AND ARE INTENDED FOR GENERAL SITE ORIENTATION ONLY.
6. BEARINGS AND COORDINATES AS SHOWN HEREON ARE BASED ON PA SOUTH ZONE STATE PLANE COORDINATE SYSTEM IN US FEET. DISTANCES AS SHOWN ARE GROUND MEASUREMENTS (NO GRID SCALE FACTOR HAS BEEN APPLIED).
7. PLAN REFERENCES: "BLOCK SURVEY SHOWING DEED AND OCCUPATION DISTANCES" PREPARED BY R.L. FOX, CITY ENG'R, DATED 1919, LAST REVISED DECEMBER 11, 1939, AND ARCHIVED IN THE CITY OF BETHLEHEM PLANNING DEPT.
8. THIS SURVEY AND PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH AND IS THEREFORE SUBJECT TO ANY EASEMENTS OR OTHER PERTINENT FACTS WHICH SUCH MIGHT DISCLOSE.
9. ELEVATIONS AND CONTOURS AS SHOWN HEREON ARE BASED UPON GPS OBSERVATIONS USING A TRIMBLE R-8 WITH KEYNET AND ARE ACCURATE WITHIN 0.15" OF USGS NORTH AMERICAN VERTICAL DATUM OF 1988.

SOIL TYPE TABULATION

THE FOLLOWING SOIL TYPE IS PRESENT ON THE ENTIRE PROJECT SITE AS DELINEATED HEREIN ACCORDING TO THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE WEB SOIL SURVEY.

1. UoD = URBAN LAND-DUFFIELD COMPLEX, 8-25% SLOPES

STATEMENT OF INTENT

THE APPLICANT INTENDS TO KEEP AN EXISTING BUILDING USED FOR COMMERCIAL SPACE AND RESIDENTIAL APARTMENTS FOR STUDENT HOUSING AND CONSTRUCT A MULTI-FAMILY SEMI-DETACHED RESIDENTIAL BUILDING (FIVE DWELLING UNITS TOTAL) FOR STUDENT HOUSING AND THEIR ASSOCIATED IMPROVEMENTS ALL AS DEPICTED HEREIN.

SITE DATA

PROPERTY ADDRESS: 608 PIERCE STREET  
NORTHAMPTON CO. MAP P65E1C / BLK. 11 / LOT 1  
TOTAL SITE AREA: 19,946 S.F. (0.4579 ACRE)  
CITY WARD AND BLOCK REFERENCE: WARD 4 / BLOCK 8B  
WATER: CITY OF BETHLEHEM  
SANITARY SEWER: CITY OF BETHLEHEM

IMPERVIOUS COVER TABULATION

ON-SITE

EXISTING  
BUILDING COVER: 2,707 S.F.  
CONCRETE/MACRAM/STONE COVER: 6,832 S.F.  
TOTAL IMPERVIOUS COVER: 9,539 S.F.

PROPOSED  
PATIO/WALKWAY(S)/CONCRETE/PARKING: 5,849 S.F.  
BUILDING COVER: 6,563 S.F.

TOTAL IMPERVIOUS COVER (EXISTING+PROPOSED): 12,412 S.F.

NOTE:

1. THE TOTAL PROJECT INCREASE IN IMPERVIOUS COVER IS 2,873 SQUARE FEET.

BENCHMARK FOR THIS PLAN

SANITARY SEWER MANHOLE RIM FOUND ON EAST PACKER AVENUE, AS DEPICTED ON PLAN.

RIM ELEV = 280.36

PROTECT YOURSELF

A PHONE CALL  
CAN BE YOUR INSURANCE POLICY



WHAT YOU DON'T KNOW CAN HURT YOU.

PENNSYLVANIA ACT 121 REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

DRAWING INDEX

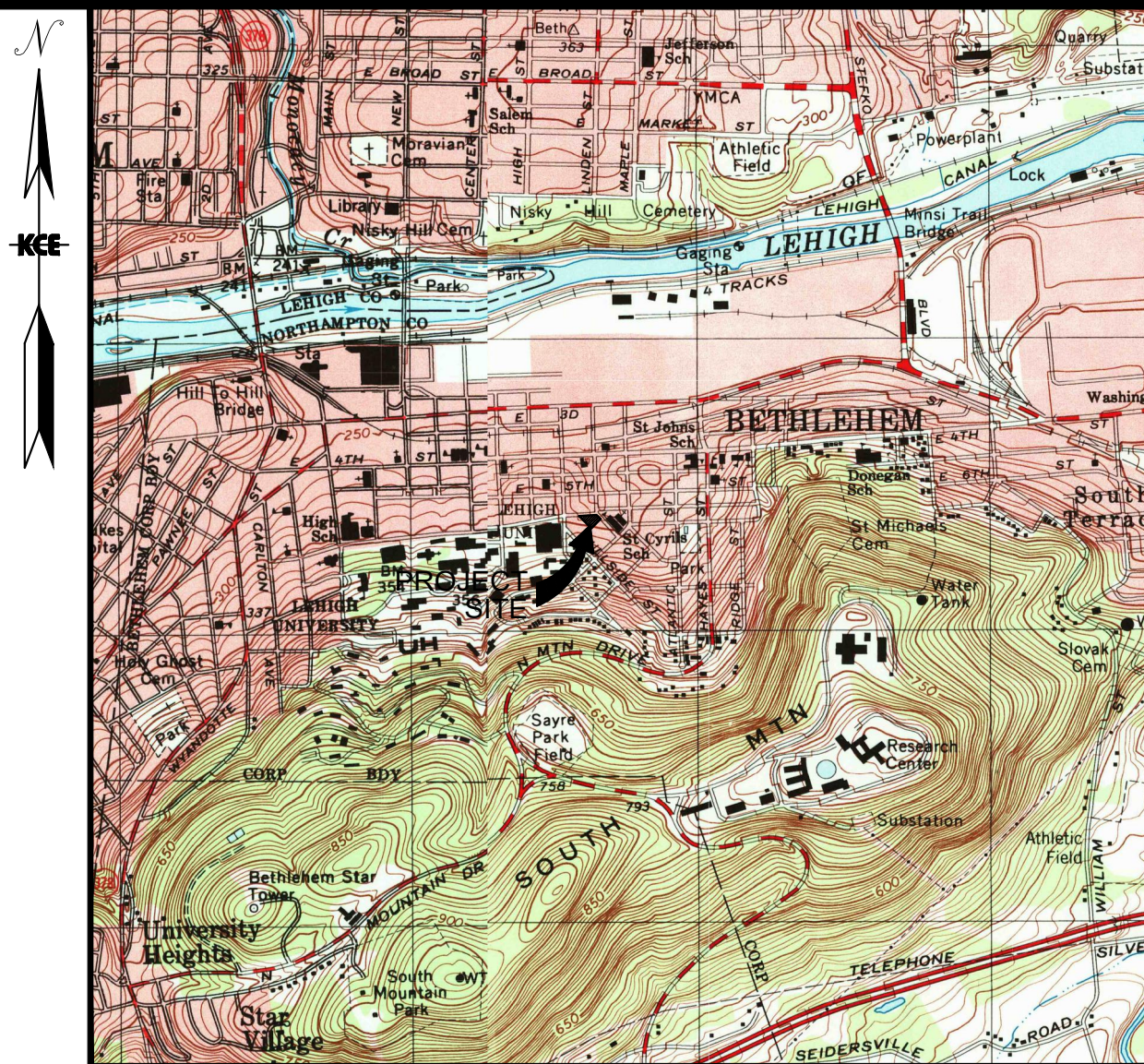
EXISTING CONDITIONS AND DEMOLITION PLAN	1 OF 4
SITE PLAN	2 OF 4
EROSION & SEDIMENT CONTROL PLAN	3 OF 4
NOTES AND DETAILS SHEET	4 OF 4

ENGINEER'S CERTIFICATION

I, KEITH T. LAWLER, A REGISTERED PROFESSIONAL ENGINEER IN THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THE ACCOMPANYING APPLICATION, PLANS AND SUPPORTING DOCUMENTATION ARE TRUE AND CORRECT, TO THE BEST OF MY KNOWLEDGE, SUBJECT TO ANY EASEMENTS OF RECORD AND OTHER PERTINENT FACTS WHICH A TITLE SEARCH MIGHT DISCLOSE.

KEYSTONE CONSULTING ENGINEERS, INC.  
BY KEITH T. LAWLER, P.E. (AGENT)  
REGISTRATION NO. PE-0465006

NOTE: ALL PLANS THAT DO NOT BEAR A RED INK OR CRIMP SEAL MAY HAVE BEEN FRAUDULENTLY ALTERED. THIS PLAN IS NULL AND VOID UNLESS IT CONTAINS AN ORIGINAL SIGNATURE, DATE AND PROFESSIONAL SEAL.



LEGEND

	SUBJECT PROPERTY LINE
	ADJOINER OR R/W LINE
	CENTERLINE ROADWAY
	EX. CONTOUR LINE
	EX. EDGE OF PAVE
	EX. OVERHEAD UTILITY LINES
	EX. GAS MAIN
	EX. STORM SEWER
	EX. WATER MAIN
	EX. SANITARY SEWER
	EX. TREE ROW OR EDGE OF WOODS
	EX. CONIFEROUS TREE
	EX. DECIDUOUS TREE
	PROPOSED CONCRETE CURB
	PROPOSED STORM SEWER
	PROPOSED WATER MAIN
	PROPOSED SANITARY SEWER
	PROPOSED CONTOUR LINE
	PROPOSED IMPROVEMENT
	EX. PROPERTY MONUMENTATION
	PROP. PROPERTY MONUMENTATION
	PROP. FIRST FLOOR ELEVATION
	PROP. BASEMENT FLOOR ELEVATION
	PROP. ROOF LEADER
	32" DIA. COMPOST FILTER SOCK

NOTE:  
ITALIC TEXT IN PLAN VIEW DENOTES EXISTING FEATURES WHILE UPRIGHT TEXT DENOTES PROPOSED FEATURES.

EXISTING CONDITIONS AND DEMOLITION PLAN

PIERCE STREET TOWNHOMES

608 PIERCE STREET

CITY OF BETHLEHEM  
NORTHAMPTON COUNTY, PENNSYLVANIA

DESIGNED BY: KRS

DRAWN BY: KRS

CHECKED BY: KTL

DATE: SEPT. 7, 2023

SCALE: 1" = 10'

JOB NUMBER: CB-21-121

SHEET: 1 OF 4

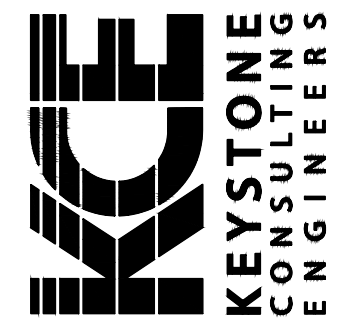
KEYSTONE CONSULTING ENGINEERS, INC.

Engineering firm of choice since 1972

2870 EMRICK BOULEVARD, BETHLEHEM, PA 18020 610-865-4555

East Office: Bethlehem, West Office: Allentown, North Office: Kresgeville

www.KCEINC.com





SITE DATA

PROPERTY ADDRESS: 608 PIERCE STREET  
NORTHAMPTON CO. MAP PESE1C / BLK. 11 / LOT 1  
TOTAL SITE AREA: 19,946 S.F. (0.4579 ACRE)  
CITY WARD AND BLOCK REFERENCE: WARD 4 / BLOCK 8B  
WATER: CITY OF BETHLEHEM  
SANITARY SEWER: CITY OF BETHLEHEM

HIGH DENSITY RESIDENTIAL ZONING DISTRICT (R-T)  
MULTI-FAMILY DWELLING (PERMITTED USE)

	PER ORD.	PROVIDED
MINIMUM LOT AREA:	9,000 S.F.	19,946 S.F.
MINIMUM LOT WIDTH:	90 FEET	200.90 FEET
FRONT YARD SETBACK:	0 FEET	0 FEET
SIDE YARD SETBACK (EACH):	15 FEET	21.23 FEET
REAR YARD SETBACK:	20 FEET	>20 FEET (PROP. BLDG)
BUILDING HEIGHT:	35 FEET MAX.	<35 FEET
BUILDING COVER:	2.5 STORIES MAX.	32.9% (EX. + PROP. BLDG)
IMPERVIOUS COVER:	N/A	67.0% (13,356 S.F.)

OWNER

PACKER AVE, LLC.  
9002 LUPINE DR  
VIENNA, VA 22182-2163  
(786) 297-9427  
dallas@blakeworth.com

APPLICANT

BLAKEWORTH  
66 WEST FLAGLER STREET, SUITE 900  
MIAMI, FL 33130  
(786) 297-9427  
dallas@blakeworth.com

STATEMENT OF INTENT

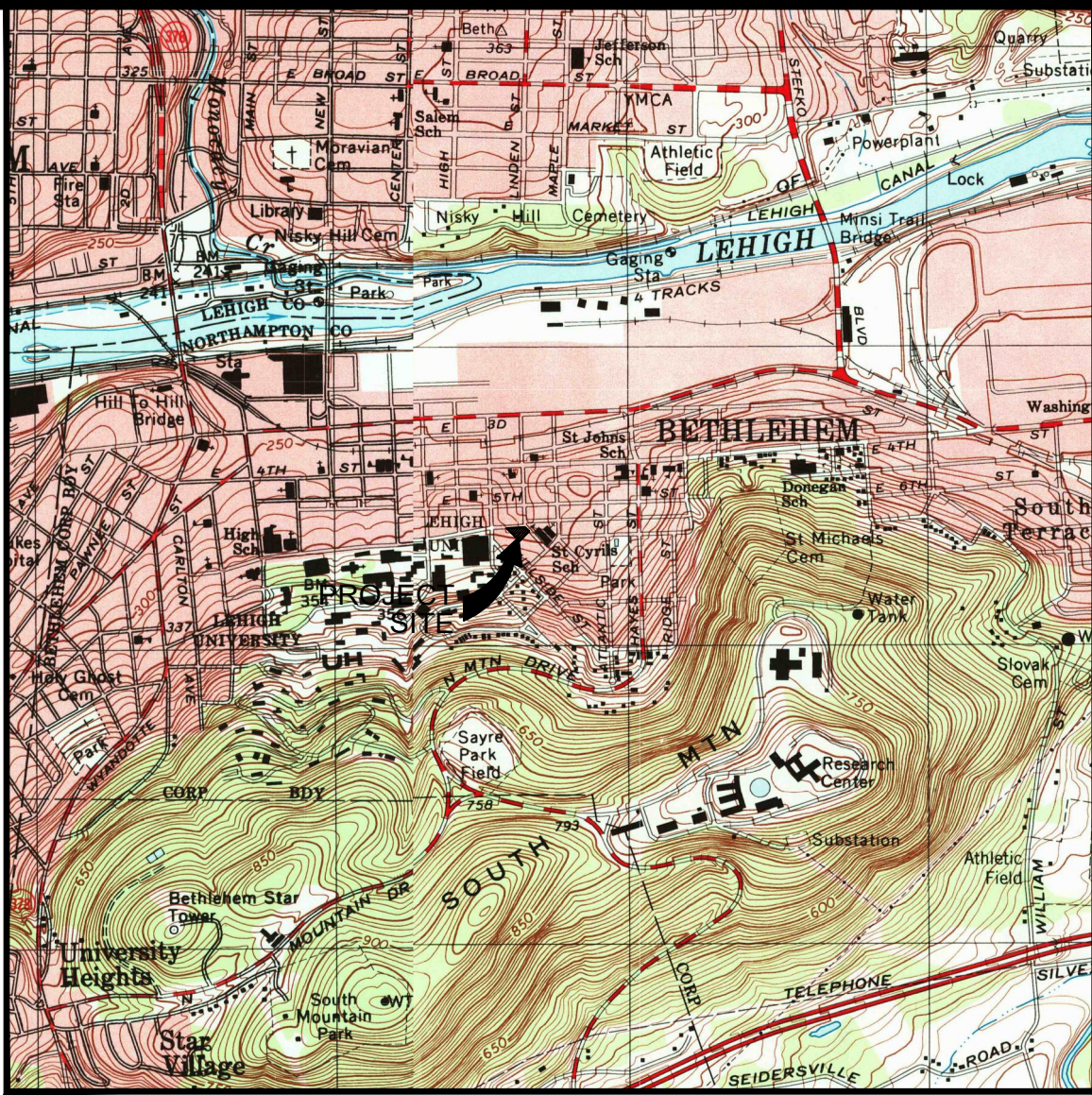
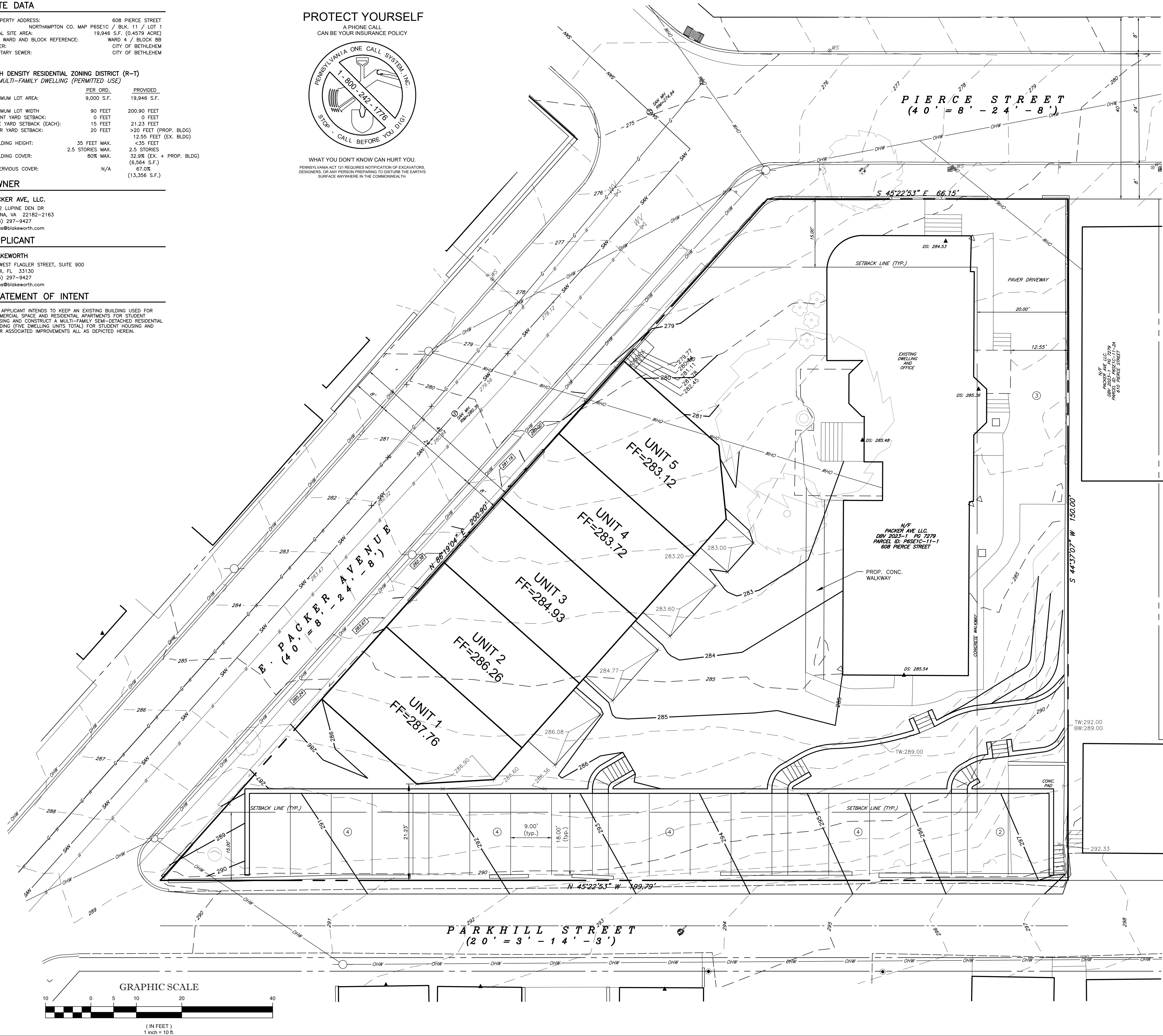
THE APPLICANT INTENDS TO KEEP AN EXISTING BUILDING USED FOR COMMERCIAL SPACE AND RESIDENTIAL APARTMENTS FOR STUDENT HOUSING AND CONSTRUCT A MULTI-FAMILY SEMI-DETACHED RESIDENTIAL BUILDING (THE DWELLING UNITS TOTAL) FOR STUDENT HOUSING AND THEIR ASSOCIATED IMPROVEMENTS ALL AS DEPICTED HEREIN.

PROTECT YOURSELF

A PHONE CALL  
CAN BE YOUR INSURANCE POLICY



WHAT YOU DON'T KNOW CAN HURT YOU.  
PENNSYLVANIA ACT 121 REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.



LOCATION MAP - ALLENTOWN EAST & HELLERTOWN QUADRANGLE  
1"=2000'

LEGEND

	SUBJECT PROPERTY LINE
	ADJOINER OR R/W LINE
	CENTERLINE ROADWAY
	EX. CONTOUR LINE
	EX. EDGE OF PAVE
	EX. OVERHEAD UTILITY LINES
	EX. GAS MAIN
	EX. STORM SEWER
	EX. WATER MAIN
	EX. SANITARY SEWER
	EX. TREE ROW OR EDGE OF WOODS
	EX. CONIFEROUS TREE
	EX. DECIDUOUS TREE
	PROPOSED CONCRETE CURB
	PROPOSED STORM SEWER
	PROPOSED WATER MAIN
	PROPOSED SANITARY SEWER
	PROPOSED CONTOUR LINE
	PROPOSED IMPROVEMENT
	EX. PROPERTY MONUMENTATION
	PROP. PROPERTY MONUMENTATION
	PROP. FIRST FLOOR ELEVATION
	PROP. BASEMENT FLOOR ELEVATION
	PROP. ROOF LEADER
	32" DIA. COMPOST FILTER SOCK

NOTE:  
ITALIC TEXT IN PLAN VIEW DENOTES EXISTING FEATURES WHILE UPRIGHT TEXT DENOTES PROPOSED FEATURES.

IMPERVIOUS COVER TABULATION

ON-SITE  
EXISTING  
BUILDING COVER: 2,707 S.F.  
CONCRETE/MACADAM/STONE COVER: 6,832 S.F.  
TOTAL IMPERVIOUS COVER: 9,539 S.F.  
PROPOSED  
PATIO/WALKWAY(S)/CONCRETE/PARKING: 5,849 S.F.  
BUILDING COVER: 6,583 S.F.  
TOTAL IMPERVIOUS COVER (EXISTING+PROPOSED): 12,412 S.F.

NOTE:  
1. THE TOTAL PROJECT INCREASE IN IMPERVIOUS COVER IS 2,873 SQUARE FEET.

ENGINEER'S CERTIFICATION

I, KEITH T. LAWLER, A REGISTERED PROFESSIONAL ENGINEER IN THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THE ACCOMPANYING APPLICATION, PLANS AND SUPPORTING DOCUMENTATION ARE TRUE AND CORRECT, TO THE BEST OF MY KNOWLEDGE, SUBJECT TO ANY EASEMENTS OF RECORD AND OTHER PERTINENT FACTS WHICH A TITLE SEARCH MIGHT DISCLOSE.

KEYSTONE CONSULTING ENGINEERS, INC.  
BY KEITH T. LAWLER, P.E. (AGENT)  
REGISTRATION NO. PE-0455006

NOTE: ALL PLANS THAT DO NOT BEAR A RED INK OR CRIMP SEAL MAY HAVE BEEN FRAUDULENTLY ALTERED. THIS PLAN IS NULL AND VOID UNLESS IT CONTAINS AN ORIGINAL SIGNATURE, DATE AND PROFESSIONAL SEAL.

KEYSTONE CONSULTING ENGINEERS, INC.

Engineering firm of choice since 1972

2870 EMRICK BOULEVARD, BETHLEHEM, PA 18020 610-865-4555  
East Office: Bethlehem, West Office: Allentown, North Office: Kresgeville  
www.KCEINC.com



SITE PLAN

PIERCE STREET TOWNHOMES  
608 PIERCE STREET

CITY OF BETHLEHEM  
NORTHAMPTON COUNTY, PENNSYLVANIA

REVISIONS

BY DATE

DESIGNED BY: KRS

DRAWN BY: KRS

CHECKED BY: KTL

DATE: SEPT. 7, 2023

SCALE: 1" = 10'

JOB NUMBER: CB-21-121

SHEET: 2 OF 4



### SURVEY NOTES

- THIS PLAN IS BASED UPON A FIELD SURVEY CONDUCTED AS OF FEBRUARY 16, 2023 BY KEYSTONE CONSULTING ENGINEERS INC.
- UTILITY LOCATIONS DEPICTED HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF OBVIOUS ABOVE-GROUND EVIDENCE. UNDERGROUND LINES WHOSE PRESENCE IS NOT IMPLIED ON THE SURFACE BY MARKINGS OR STRUCTURES MAY NOT HAVE BEEN SHOWN. THIS PLAN DOES NOT GUARANTEE THAT ADDITIONAL UTILITIES DO NOT EXIST.
- THE EXISTENCE AND LOCATIONS OF UNDERGROUND UTILITIES ON THE SITE SHALL BE VERIFIED BY THE CONTRACTOR IN ACCORDANCE WITH PA ACT 187 AND 121 PRIOR TO COMMENCING ANY EXCAVATION WORK.
- PROPERTY OWNER NAME, DEED AND TAX PARCEL IDENTIFIER INFORMATION AS SHOWN IS BASED UPON NORTHAMPTON COUNTY TAX MAP RECORDS, AND IS SUBJECT TO THE ACCURACIES OR INACCURACIES THEREOF.
- LINES AS SHOWN WITH BEARINGS AND DISTANCES OR CURVE INFORMATION INDICATE LINES MEASURED BY THIS SURVEY. LINES WITHOUT ANY GEOMETRIC ANNOTATION MAY HAVE BEEN PLOTTED USING RECORD INFORMATION AND ARE INTENDED FOR GENERAL SITE ORIENTATION ONLY.
- BEARINGS AND COORDINATES AS SHOWN HEREON ARE BASED ON PA SOUTH ZONE STATE PLANE COORDINATE SYSTEM IN US FEET. DISTANCES AS SHOWN ARE GROUND MEASUREMENTS (NO GRID SCALE FACTOR HAS BEEN APPLIED).
- PLAN REFERENCES: "BLOCK SURVEY SHOWING DEED AND OCCUPATION DISTANCES" PREPARED BY R.L. FOX, CITY ENG'R, DATED 1919, LAST REVISED DECEMBER 11, 1939, AND ARCHIVED IN THE CITY OF BETHLEHEM PLANNING DEPT.
- THIS SURVEY AND PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH AND IS THEREFORE SUBJECT TO ANY EASEMENTS OR OTHER PERTINENT FACTS WHICH SUCH MIGHT DISCLOSE.
- ELEVATIONS AND CONTOURS AS SHOWN HEREON ARE BASED UPON GPS OBSERVATIONS USING A TRIMBLE R-8 WITH KEYNET AND ARE ACCURATE WITHIN 0.15' OF USGS NORTH AMERICAN VERTICAL DATUM OF 1988.

### PROTECT YOURSELF

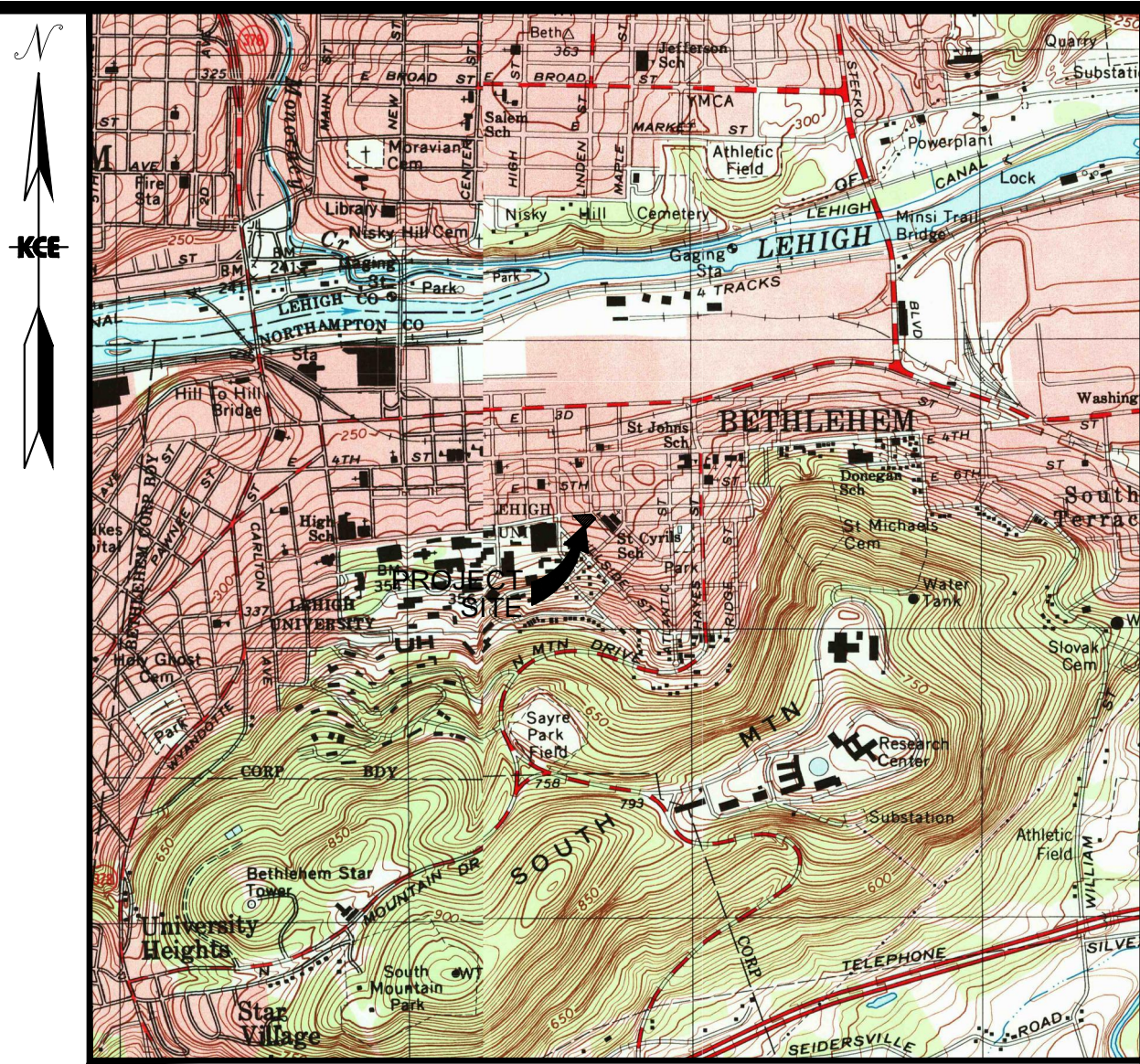
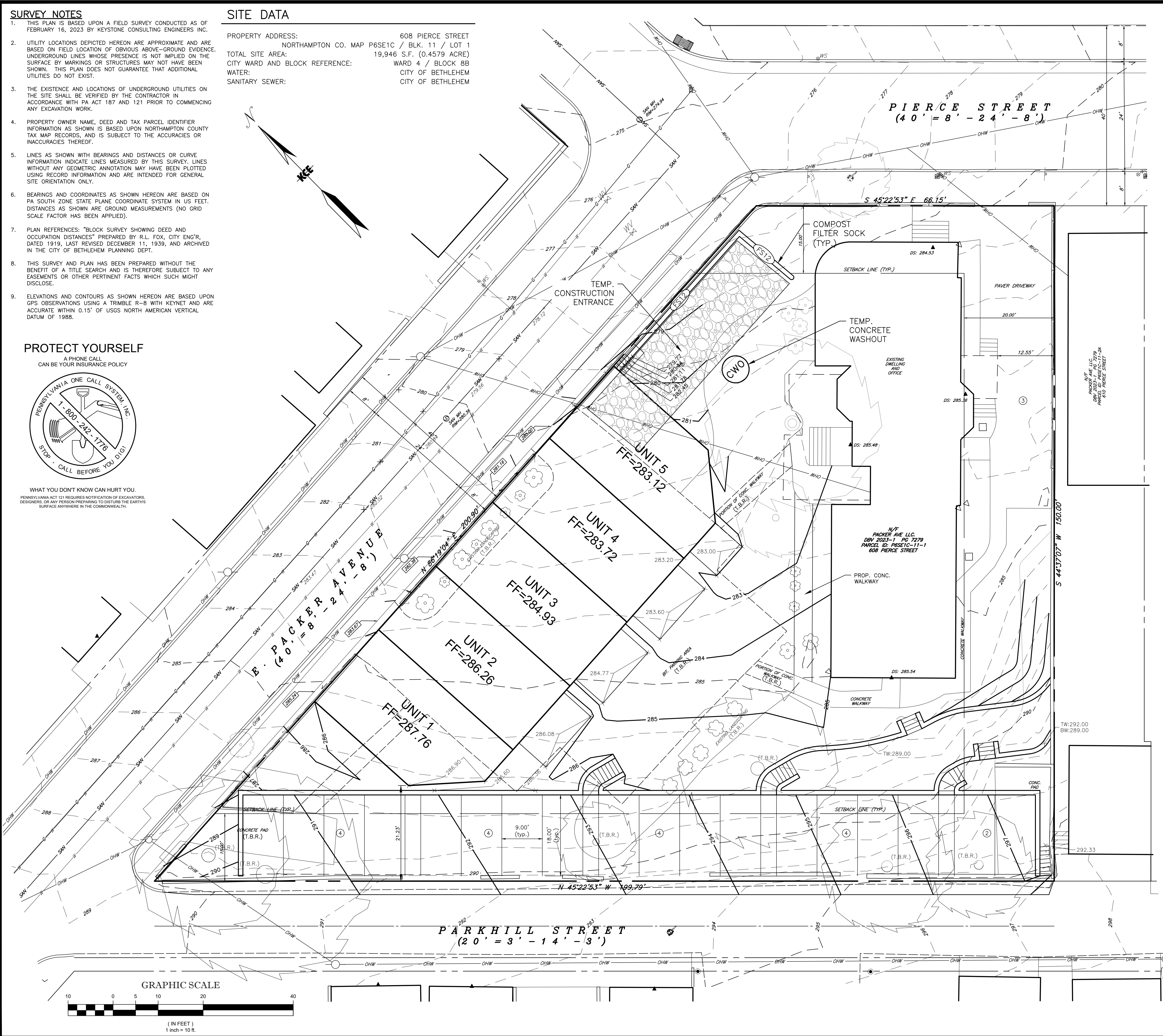
PHONE CALL  
CAN BE YOUR INSURANCE POLICY



WHAT YOU DON'T KNOW CAN HURT YOU.  
PENNSYLVANIA ACT 121 REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

### SITE DATA

PROPERTY ADDRESS: 608 PIERCE STREET  
NORTHAMPTON CO. MAP P85E1C / BLK. 11 / LOT 1  
TOTAL SITE AREA: 19,946 S.F. (0.4579 ACRE)  
CITY WARD AND BLOCK REFERENCE: WARD 4 / BLOCK 8B  
WATER: CITY OF BETHLEHEM  
SANITARY SEWER: CITY OF BETHLEHEM



LOCATION MAP - ALLENTOWN EAST & HELLERTOWN QUADRANGLE  
1"=2000'

### LEGEND

	SUBJECT PROPERTY LINE
	ADJOINER OR R/W LINE
	CENTERLINE ROADWAY
	EX. CONTOUR LINE
	EX. EDGE OF PAVE
	EX. OVERHEAD UTILITY LINES
	EX. GAS MAIN
	EX. STORM SEWER
	EX. WATER MAIN
	EX. SANITARY SEWER
	EX. TREE ROW OR EDGE OF WOODS
	EX. CONIFEROUS TREE
	EX. DECIDUOUS TREE
	PROPOSED CONCRETE CURB
	PROPOSED STORM SEWER
	PROPOSED WATER MAIN
	PROPOSED SANITARY SEWER
	PROPOSED CONTOUR LINE
	PROPOSED IMPROVEMENT
	EX. PROPERTY MONUMENTATION
	PROP. PROPERTY MONUMENTATION
	PROP. FIRST FLOOR ELEVATION
	PROP. BASEMENT FLOOR ELEVATION
	PROP. ROOF LEADER

NOTE:  
ITALIC TEXT IN PLAN VIEW DENOTES EXISTING FEATURES WHILE UPRIGHT TEXT DENOTES PROPOSED FEATURES.

### APPLICANT

BLAKEWORTH  
66 WEST FLAGLER STREET, SUITE 900  
MIAMI, FL 33130  
(786) 297-9427

### STATEMENT OF INTENT

THE APPLICANT INTENDS TO KEEP AN EXISTING BUILDING USED FOR COMMERCIAL SPACE AND RESIDENTIAL APARTMENTS FOR STUDENT HOUSING AND CONSTRUCT A MULTI-FAMILY SEMI-DETACHED RESIDENTIAL BUILDING (FIVE DWELLING UNITS TOTAL) FOR STUDENT HOUSING AND THEIR ASSOCIATED IMPROVEMENTS ALL AS DEPICTED HEREIN.

### ENGINEER'S CERTIFICATION

I, KEITH T. LAWLER, A REGISTERED PROFESSIONAL ENGINEER IN THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THE ACCOMPANYING APPLICATION, PLANS AND SUPPORTING DOCUMENTATION ARE TRUE AND CORRECT, TO THE BEST OF MY KNOWLEDGE. SUBJECT TO ANY EASEMENTS OF RECORD AND OTHER PERTINENT FACTS WHICH A TITLE SEARCH MIGHT DISCLOSE.

KEYSTONE CONSULTING ENGINEERS, INC.  
BY KEITH T. LAWLER, P.E. (AGENT)  
REGISTRATION NO. PE-045500E

NOTE: ALL PLANS THAT DO NOT BEAR A RED INK OR CRIMP SEAL MAY HAVE BEEN FRAUDULENTLY ALTERED. THIS PLAN IS NULL AND VOID UNLESS IT CONTAINS AN ORIGINAL SIGNATURE, DATE AND PROFESSIONAL SEAL.

KEYSTONE CONSULTING ENGINEERS, INC.  
Engineering firm of choice since 1972

2870 EMRICK BOULEVARD, BETHLEHEM, PA 18020 610-865-4555  
East Office: Bethlehem, West Office: Allentown, North Office: Kresgeville  
www.KCEINC.com



EROSION & SEDIMENT CONTROL PLAN

PIERCE STREET TOWNHOMES

608 PIERCE STREET

CITY OF BETHLEHEM  
NORTHAMPTON COUNTY, PENNSYLVANIA

DESIGNED BY: KRS  
DRAWN BY: KRS  
CHECKED BY: KTL  
DATE: SEPT. 7, 2023  
SCALE: 1" = 10'  
JOB NUMBER: CB-21-121  
SHEET: 3 OF 4



GENERAL NOTES

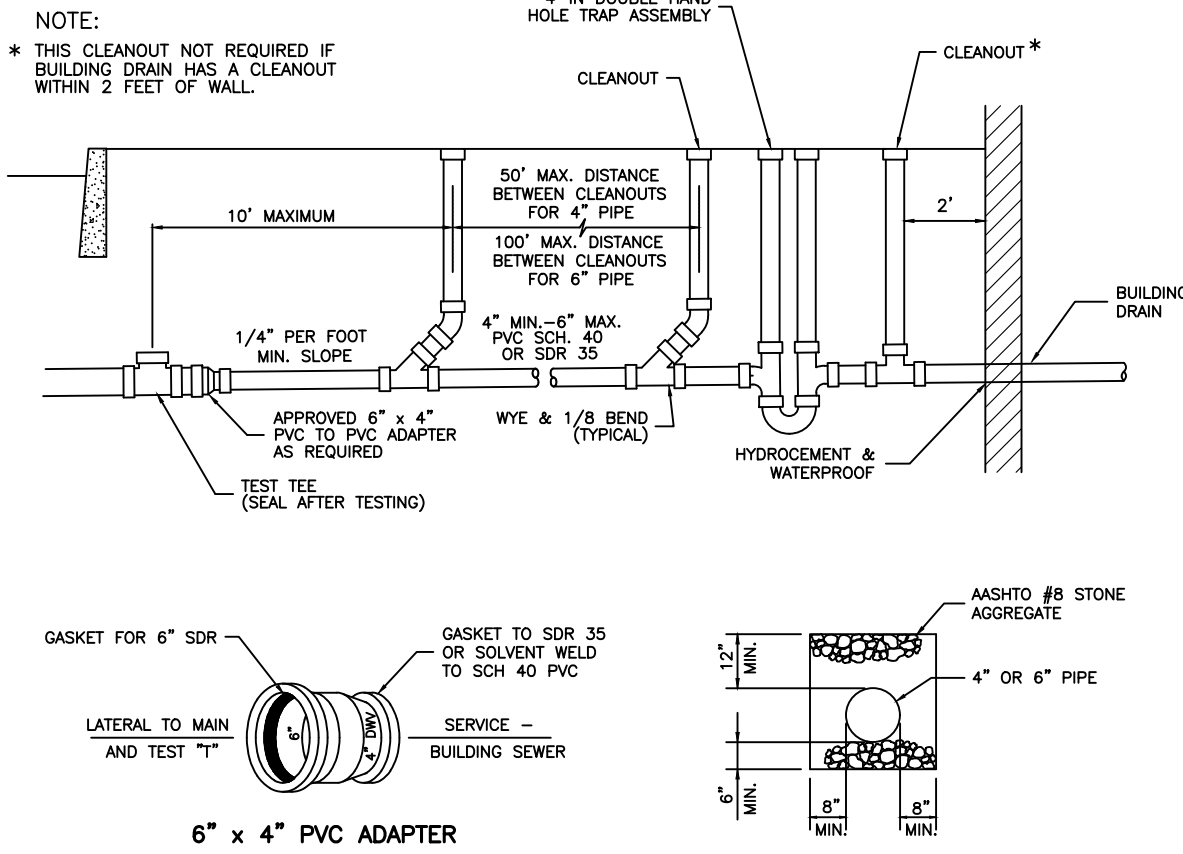
- ANY AND ALL IMPROVEMENTS PROPOSED HEREIN (I.E.: SANITARY SEWER AND WATER SERVICE LATERALS, DRIVEWAYS AND APRONS, CURB AND SIDEWALK, ROADWAY OVERLAY, UTILITY TRENCH RESTORATION, STREET TREES, ETC.) SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT CITY OF BETHLEHEM CONSTRUCTION STANDARDS.
- MATERIALS AND CONSTRUCTION FOR THE PROPOSED BUILDING SHALL CONFORM TO INTERNATIONAL BUILDING CODE STANDARDS, LATEST EDITION.
- CLEAR SIGHT EASEMENTS, AS DELINEATED HEREIN, SHALL BE MAINTAINED BY RESPECTIVE PROPERTY OWNERS FREE OF ALL VEGETATION AND OTHER VISUAL OBSTRUCTIONS GREATER THAN TWO AND ONE-HALF FEET IN HEIGHT AS MEASURED ABOVE THE ROAD GRADE. CLEAR SIGHT EASEMENTS SHALL MEASURE 8 FEET IN BOTH DIRECTIONS ALONG EDGES OF DRIVEWAYS AND THE STREET LINE FROM THEIR POINTS OF INTERSECTION. FUTURE OWNERS OF 630 AND 632 WILLIAM STREET SHALL BE RESPONSIBLE TO MAINTAIN AS DESCRIBED ABOVE PORTIONS OF CLEAR SIGHT EASEMENTS FROM ADJACENT PROPERTIES THAT ENCROACH INTO THEIR RESPECTIVE PROPERTIES. ANY EXISTING TREES OR OTHER VISUAL OBSTRUCTIONS WITHIN PROPOSED CLEAR SIGHT EASEMENTS SHALL BE REMOVED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY CITY OF BETHLEHEM.
- PRIOR TO ANY WORK WITHIN PUBLIC RIGHTS-OF-WAY, PERMITS MUST BE OBTAINED FROM THE CITY OF BETHLEHEM ENGINEERING OFFICE.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ANY AND ALL UNDERGROUND UTILITIES IN ACCORDANCE WITH PA ACT 121 PRIOR TO ANY EXCAVATION.
- CONTOURS AND GRADES DEPICTED HEREIN ARE BASED ON THE CITY OF BETHLEHEM DATUM.
- WATER SERVICE LATERALS SHALL BE 3/4-INCH TYPE 'K' FLEXIBLE COPPER TUBING. WATER SYSTEM MATERIALS AND APPURTENANCES SHALL MEET CITY OF BETHLEHEM AND AMERICAN WATER WORKS ASSOCIATION PERFORMANCE STANDARDS.
- SANITARY SEWER LATERALS SHALL BE 6-INCH DIAMETER SDR-35 PIPE WITH GASKETED BELLS. SANITARY SEWER SYSTEM MATERIALS AND APPURTENANCES SHALL MEET ALL APPLICABLE CITY OF BETHLEHEM AND PennDEP PERFORMANCE STANDARDS.
- CONTRACTOR SHALL USE GENECO E40 TAPPING WYES TO CONNECT NEW SANITARY SEWER LATERALS TO THE EXISTING 8-INCH DIAMETER MAIN.
- PROPOSED IRON PINS WILL CONSIST OF A 5/8 INCH DIAMETER REINFORCING BAR WITH YELLOW PLASTIC CAP INSCRIBED "KEYSTONE ENG." AND WILL BE SET BY KEYSTONE CONSULTING ENGINEERS, INC. UPON APPROVAL OF THIS SUBDIVISION.
- CONTRACTOR SHALL REMOVE OR ABANDON-IN-PLACE AS APPLICABLE ALL EXISTING ABOVE AND BELOW-GRADE STRUCTURES, SITE IMPROVEMENTS, AND UTILITIES ON THE PROJECT SITE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
- CONTRACTOR SHALL REMOVE FROM THE PROJECT SITE, RECYCLE OR DISPOSE OF ALL CONSTRUCTION MATERIALS AND WASTE IN ACCORDANCE WITH PennDEP SOLID WASTE MANAGEMENT REGULATIONS CONTAINED IN CHAPTER 25 PA CODE 260.1 ET. SEQ., 271.1 ET. SEQ. AND 287.1 ET. SEQ. CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY CONSTRUCTION MATERIALS OR WASTE ON THE PROJECT SITE.
- EROSION AND SEDIMENT POLLUTION CONTROL MEASURES AND PRACTICES INCLUDING BUT NOT LIMITED TO FILTER FABRIC FENCE, ROCK CONSTRUCTION ENTRANCE, TOPSOIL STOCKPILES AND TEMPORARY AND PERMANENT SEEDING SHALL BE INSTALLED AND MAINTAINED IN STRICT ACCORDANCE WITH PennDEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL, REVISED MARCH 2000. CONTRACTOR SHALL BE RESPONSIBLE TO IMMEDIATELY EMPLOY ANY AND ALL ADDITIONAL CONTROL MEASURES WHEN AND IF DETERMINED NECESSARY DURING CONSTRUCTION TO PREVENT THE TRANSPORT OF SEDIMENT BEYOND THE LIMITS OF THE SUBJECT PROPERTY.

PROTECT YOURSELF

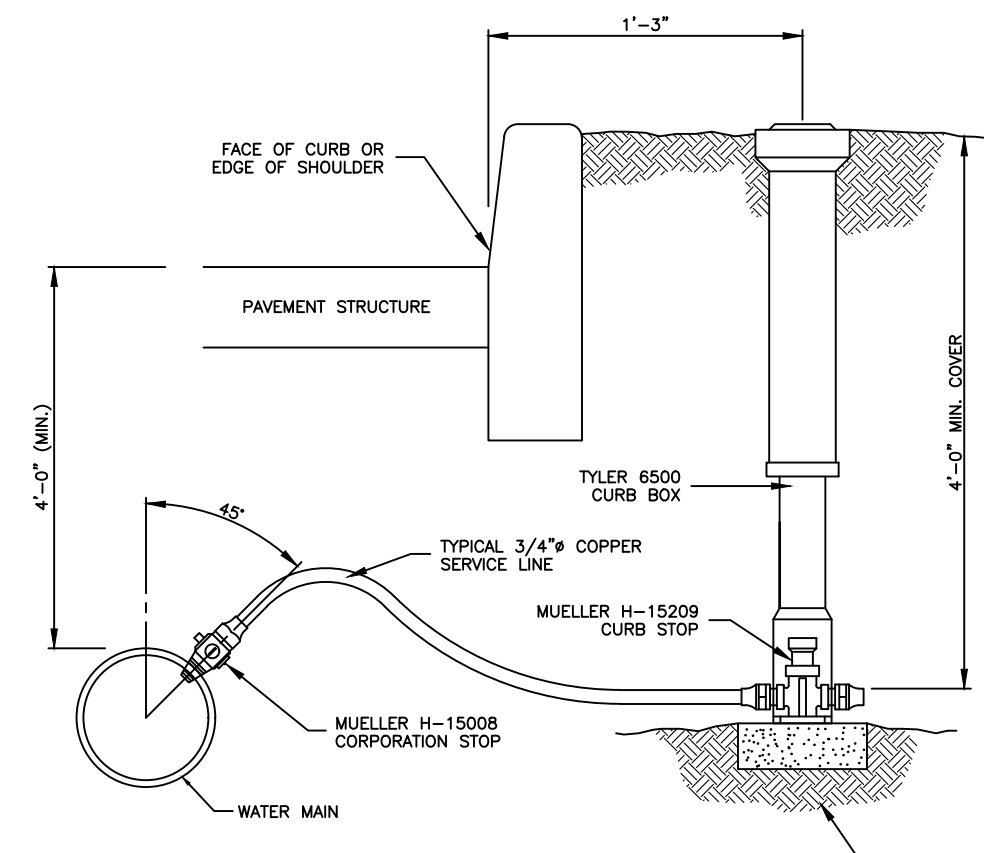
A PHONE CALL  
 CAN BE YOUR INSURANCE POLICY



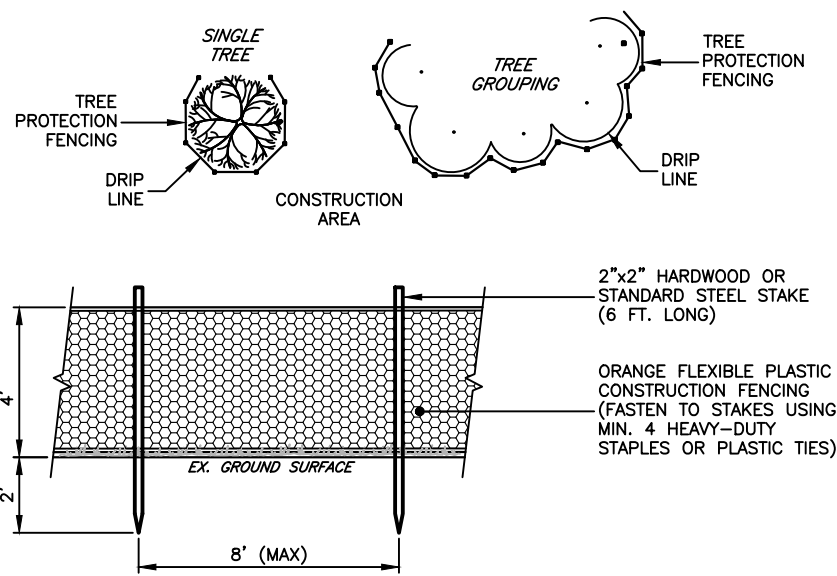
WHAT YOU DON'T KNOW CAN HURT YOU.  
 PENNSYLVANIA ACT 121 REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.



SANITARY SEWER LATERAL DETAIL  
 NO SCALE



WATER SERVICE CONNECTION DETAIL  
 NO SCALE

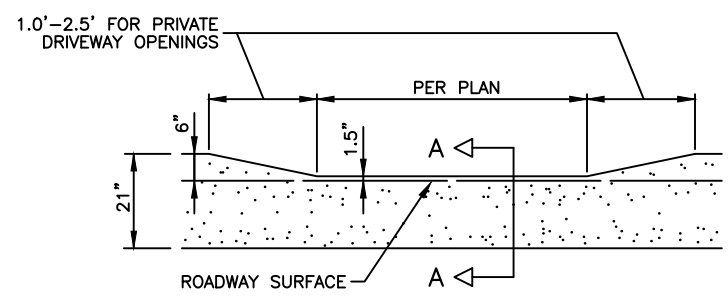


NOTES:

- ERECT APPROVED CONSTRUCTION FENCING AROUND EXISTING TREES AND SHRUBS TO REMAIN WITHIN AND ADJACENT TO THE CONSTRUCTION AREA IN ACCORDANCE WITH THIS DETAIL TO PREVENT DAMAGE TO TRUNKS AND COMPACTION OF THE SURROUNDING SOIL BY CONSTRUCTION EQUIPMENT.
- INSTALL FENCING IN A SECURE AND TAUT FASHION.
- WHEREVER PRACTICAL, ERECT FENCING TO ENCOMPASS THE TREE DRIFLINE OR AN AREA WITH A RADIAL DIMENSION EQUAL TO ONE FOOT FOR EVERY INCH OF TUNK CALIPER MEASURED FROM THE TREE TRUNK, WHICHEVER IS GREATER.
- FENCING SHALL REMAIN IN PLACE AND FUNCTIONAL FOR THE ENTIRE DURATION OF THE CONSTRUCTION PROJECT.

TREE PROTECTION FENCING DETAIL

NO SCALE

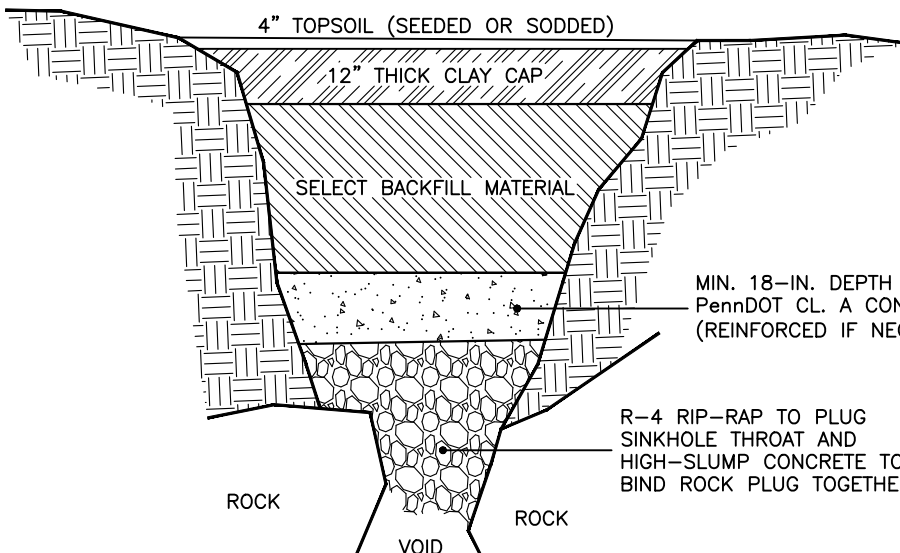


NOTES:

- MATERIALS AND CONSTRUCTION SHALL COMPLY WITH SECTIONS 740 AND 1001 OF PennDOT PUBLICATION 408.
- REMOVE EXISTING CURB IN COMPLETE SECTIONS (JOINT TO JOINT).
- SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS (10'-0\"/>
- PLACE 1/2-INCH PRE-MOLDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT MAXIMUM 30'-0\"/>

DEPRESSED CEMENT CONCRETE CURB DETAIL

NO SCALE

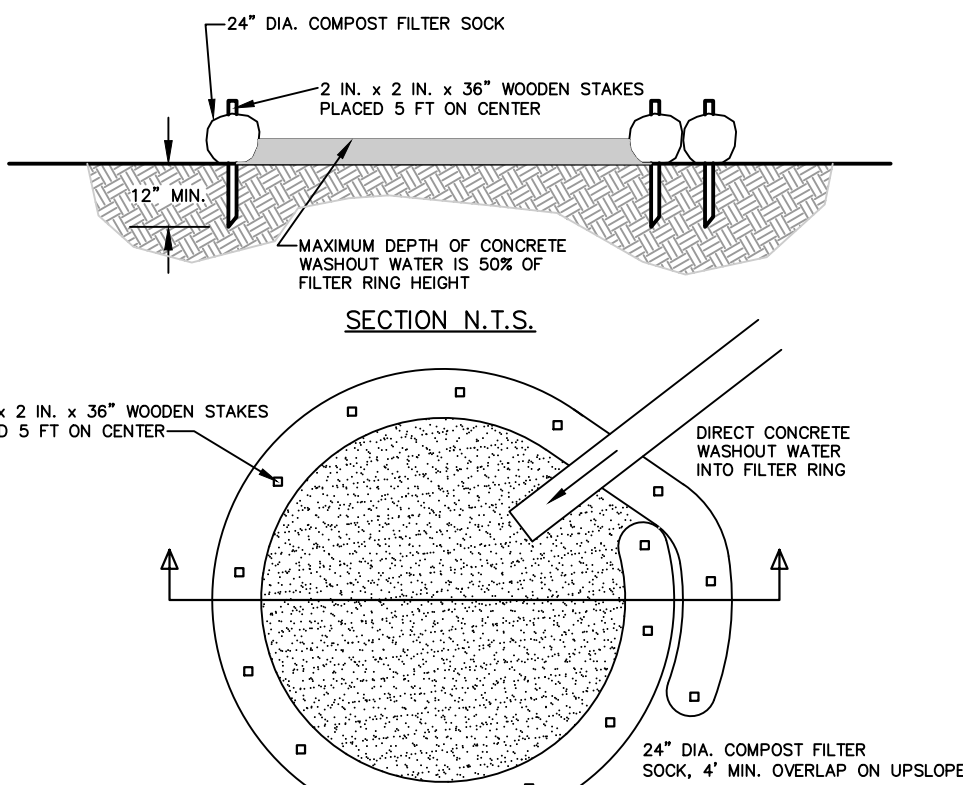


NOTES:

- EXCAVATE TO EXPOSE THROAT AND FIRM SURROUNDING MATERIAL PRIOR TO PLACEMENT OF RIP-RAP PLUG.
- AFTER PLACEMENT OF TOPSOIL, GRADE AREA SURROUNDING SINKHOLE TO DRAIN RUNOFF AWAY FROM REPAIR.
- THIS DETAIL IS PROVIDED FOR GENERAL REFERENCE ONLY AND MAY NOT BE APPLICABLE FOR ALL SINKHOLE REPAIRS. IF A SINKHOLE DEVELOPS, CONSULT A LICENSED GEOLOGIST OR CIVIL ENGINEER TO INSURE THAT THE SINKHOLE IS REPAIRED PROPERLY.

SINKHOLE REPAIR DETAIL

NO SCALE



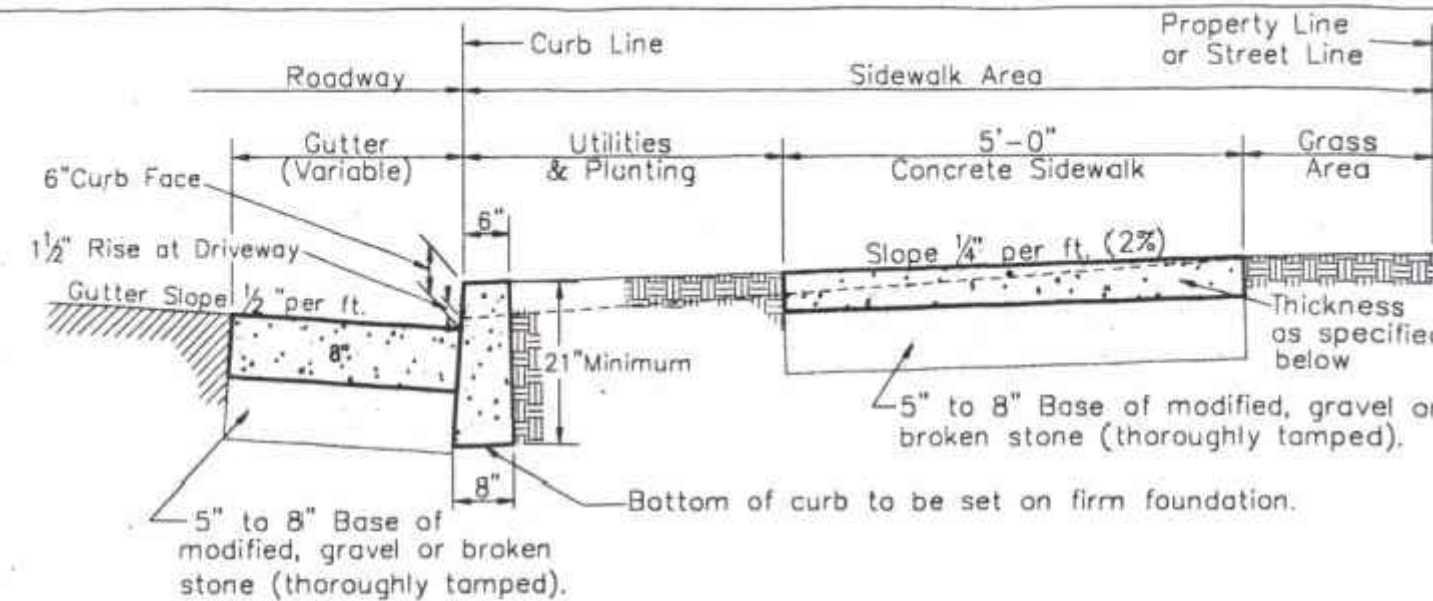
PLAN N.T.S.

- INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
- 18\"/>
- A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.

CONSTRUCTION DETAIL  
COMPOST SOCK WASHOUT

ROCK CONSTRUCTION ENTRANCE

NOT TO SCALE



GENERAL REQUIREMENTS:

**One Course (Municipal) Construction for all Curb, Gutter and Sidewalk.**  
 Concrete Mix: To be Class A Concrete 3300# 6 Bag Mix - 5.6 Gal. Water per bag throughout; use power batch mixer. No slag.  
**Curb:** 21" Depth with approved finish on top and exposed face.  
**Gutter:** 8" Depth - Slope of Gutter 1/2" rise per foot away from curb.  
**Sidewalk:** Thickness - Residential Area - 5", Business and Industrial Areas - 6".  
**Finish** - Use a float and broom finish to produce skid resistant surface.  
 On Grades of 5% or more, produce a rougher finish.  
**Slope** - Walk and Parkway Areas 1/4" per foot (2%) toward curb.  
**Expansion and Contraction Joints:** See City Construction Standard No.1A.  
**Handicapped Ramps:** Required on all Road in accordance with current ADA requirements.  
**Driveways:** See City Standard Driveway Entrance and Apron Sketch.

**Excavation in Cartway:** When excavating in the cartway of a City street, a clean, full depth cut- by jack hammering or sawcutting- shall be made in the street between the affected and the unaffected work areas. Further, final restoration in the affected area of the street shall consist of creating a new clean cut by sawcutting 12" beyond the edge of any affected work areas, backfilling with PenDOT 2A Modified stone, and properly compacting this stone to the elevation of the top of the subbase (i.e. bottom of the base course of the macadam), but no higher than 3-inches below the finish grade- except as required to provide reasonable temporary access at driveways.

ORDINANCE REQUIREMENTS:

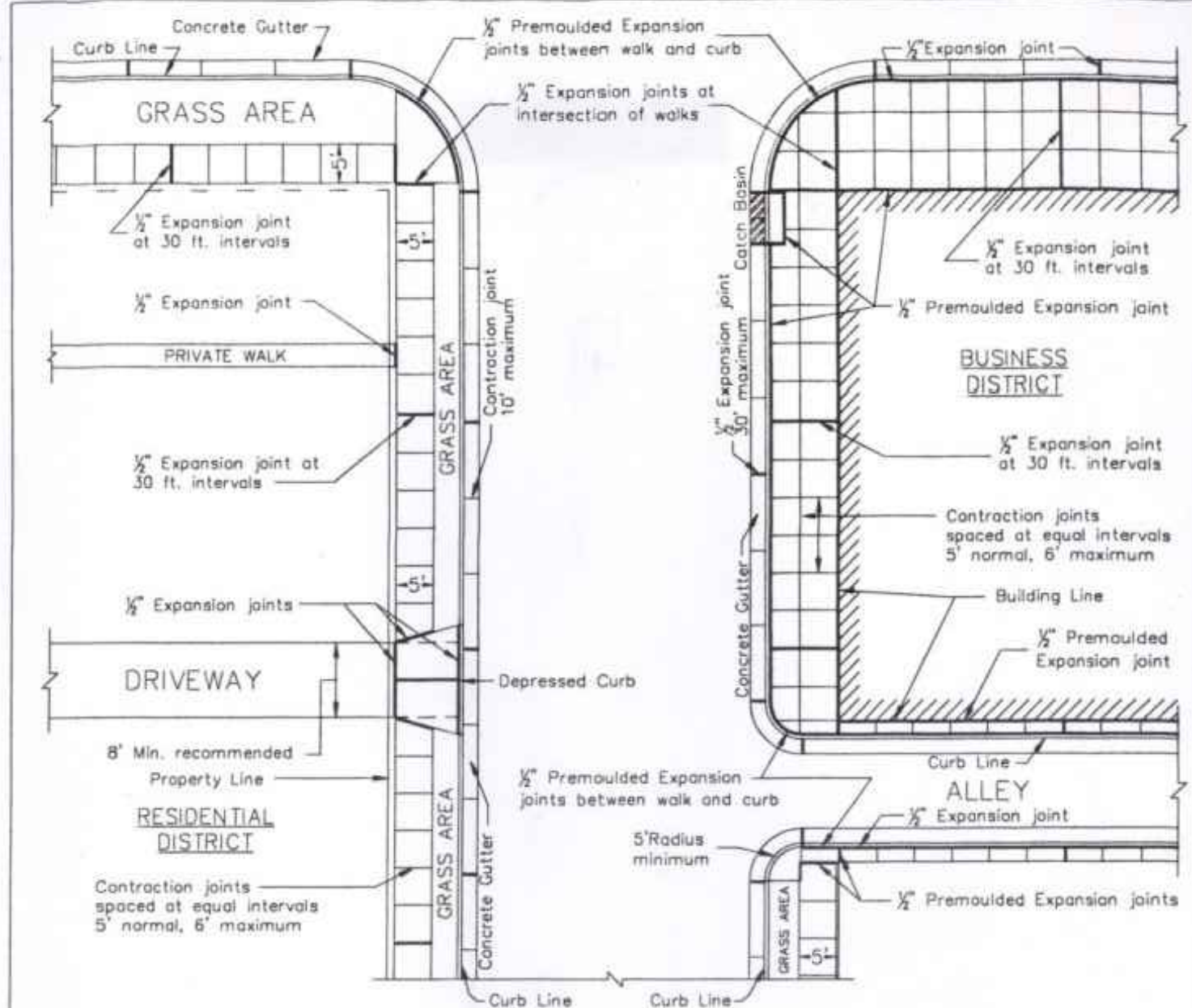
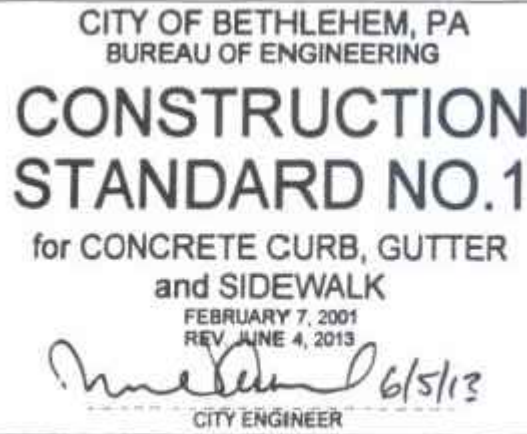
**Warrant of Survey** - Procured from the City Engineer's Office; provides for establishing Line & Grades; Stakes to be protected by applicant and used within 30 days.  
**Excavation Permit** - Procured from the City Engineer's Office; for Sidewalk and driveway construction.

DETAIL REQUIREMENTS:

For further details and other requirements see the following documents on file in the Office of the City Engineer:  
 "Standard Specifications for the Construction of Concrete Curb, Gutter and Sidewalk"  
 Codified Ordinances of the City of Bethlehem, Articles 903 and 909.

NOTES:

- Whenever a curb, gutter and/or sidewalk is located in a Historic District, special requirements may apply.
- Changes to dimensional requirements may be considered in cases where obstructions or encroachments exist. Any exceptions must be approved by the City Engineer. Current ADA requirements must be met in all cases.



NOTES:

- Contractor shall place appropriately sized plastic sleeves (usually 4-inch) in any sidewalk area requiring placement or replacement of signposts or other similar items that penetrate through any newly placed concrete structure. Posts or other items that are replaced shall be located at the same location they were originally, unless otherwise specified by the City Engineer or his designee.
- Large items, such as utility poles and foundations of traffic signal posts, penetrating any newly placed concrete structure shall be properly isolated and boxed out with a 1/2-inch expansion joint.
- Whenever a curb, gutter and/or sidewalk is located in the Historical Area, special requirements apply.
- Changes to dimensional requirements may be considered in cases where obstructions or encroachments exist. Any exceptions must be approved by the City Engineer. Current ADA requirements be must met in all cases.



LAWN STABILIZATION SPECIFICATIONS

TEMPORARY STABILIZATION

FORMULA "E" (AS PER PENNDOT 408, SEC. 804)

SPECIES - ANNUAL RYEGRASS:

PURITY/GERMINATION:	98%/90%
APPLICATION RATE:	10 LBS/1,000 SY
FERTILIZER TYPE:	10-10-10
FERT. APPLICATION RATE:	100 LBS/1,000 S.Y.
LIMING RATE:	410 LBS/1,000 S.Y.
TEMPORARY MULCH TYPE:	HAY OR STRAW
MULCH APPLICATION RATE:	3 TONS/ACRE
SEEDING PERIOD:	3/15-10/15

MULCH (PER PDT 408, SEC. 805)

TEMPORARY MULCH TYPE:	HAY OR STRAW
APPLICATION RATE:	3 TONS/ACRE

PERMANENT VEGETATIVE STABILIZATION

FORMULA "B" (AS PER PENNDOT 408, SEC. 804)

SPECIES	% BY WT.	PURITY (%)	GERM. (%)
PERENNIAL RYEGRASS	20	98	90
CREeping RED FESCUE	30	98	85
KENTUCKY BLUEGRASS	50	98	80
APPLICATION RATE:	21 LBS/1,000 SY		
FERTILIZER TYPE:	10-20-20		
FERT. APPLICATION RATE:	210 LBS/1,000 SY		
LIMING RATE:	2,480 LBS/1,000 SY		
TEMPORARY MULCH TYPE:	HAY OR STRAW		
MULCH APPLICATION RATE:	3 TONS/ACRE		
SEEDING PERIODS:	3/15-6/1, 8/1-10/15		

THE CUTOFF DATE FOR HYDROSEEDING IS NOVEMBER 15.

SLURRY APPLICATIONS OF SEED USING A CELLULOSE TACKIFIER SHALL INCLUDE A STRAW MULCH BINDER AT A RATE OF 3 TONS PER ACRE.

SOIL RESTORATION:  
 PRIOR TO PERMANENT SEEDING AND STABILIZATION OF LAWN AREAS, CONTRACTOR SHALL RIP, SUBSOIL, SCARIFY, OR OTHERWISE LOOSEN AND PROPERLY AERATE SOIL WITHIN ALL AREAS SUBJECTED TO VEHICLE TRAFFIC OR HEAVY CONSTRUCTION ACTIVITIES DURING CONSTRUCTION.

WHEREVER SEED AND MULCH ARE APPLIED BY HYDROSEEDING METHODS, THE SEED AND MULCH SHOULD BE APPLIED IN SEPARATE APPLICATIONS WITH THE SEED BEING APPLIED FIRST AND THE MULCH SPRAYED ON TOP OF THE SEED.

NOTES AND DETAILS SHEET

PIERCE STREET TOWNHOMES

608 PIERCE STREET

CITY OF BETHLEHEM  
NORTHAMPTON COUNTY, PENNSYLVANIA

REVISIONS

BY DATE

KRS

KRS

KTL

SEPT. 7, 2023

1" = 10'

CB-21-121

4 OF 4

SHEET:

JOB NUMBER:

SCALE:

DATE:

CHECKED BY:

DRAWN BY:

DESIGNED BY:



KEYSTONE  
CONSULTING  
ENGINEERS

KEYSTONE CONSULTING ENGINEERS, INC.

Engineering firm of choice since 1972

2870 EMRICK BOULEVARD, BETHLEHEM, PA 18020 610-865-4555  
 East Office: Bethlehem, West Office: Allentown, North Office: Kresgeville  
 www.KCEINC.com