

MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION

CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA

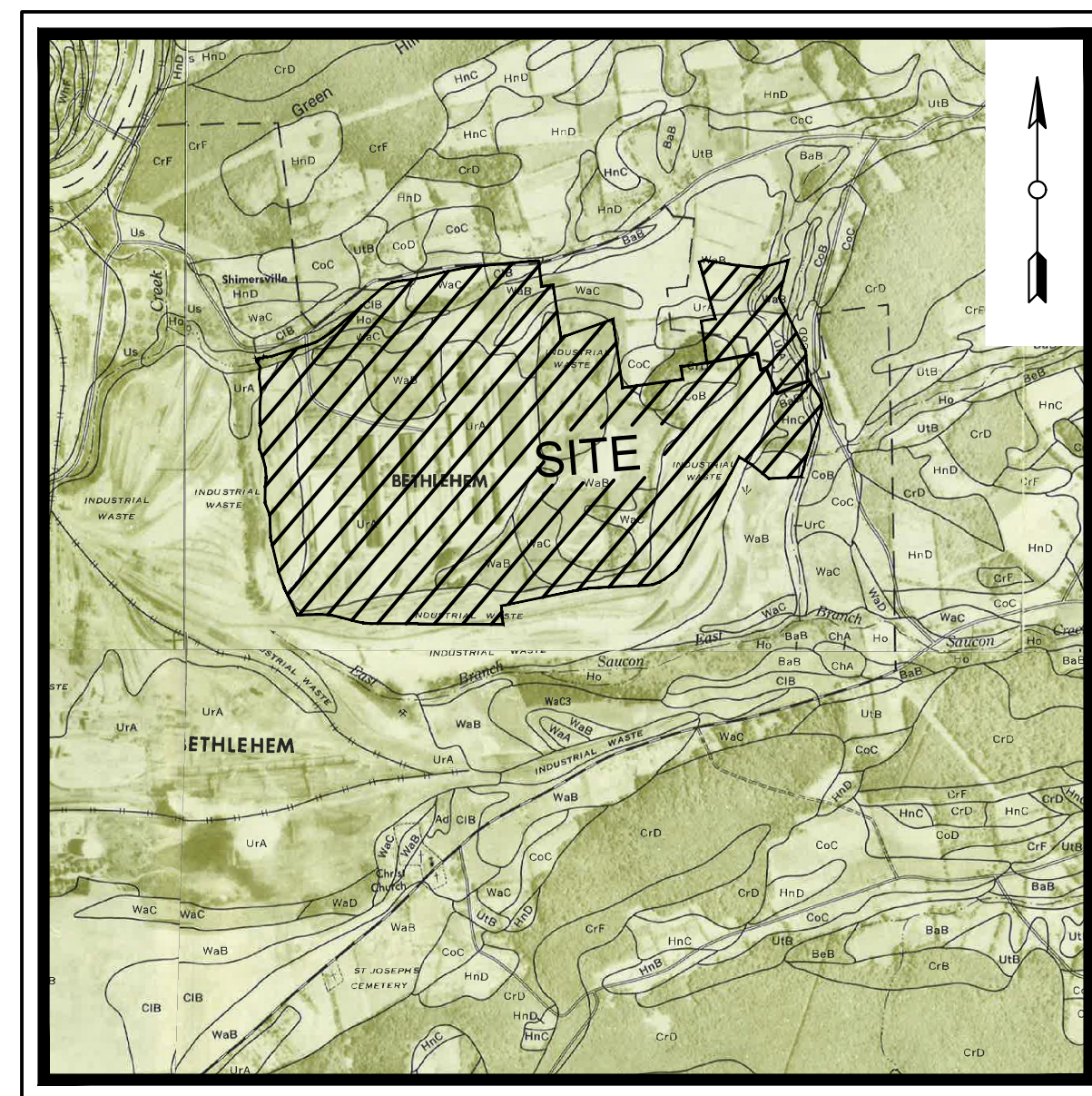
PRELIMINARY/FINAL LAND DEVELOPMENT PLANS JULY 14, 2023

PREPARED FOR:
OWNER/DEVELOPER

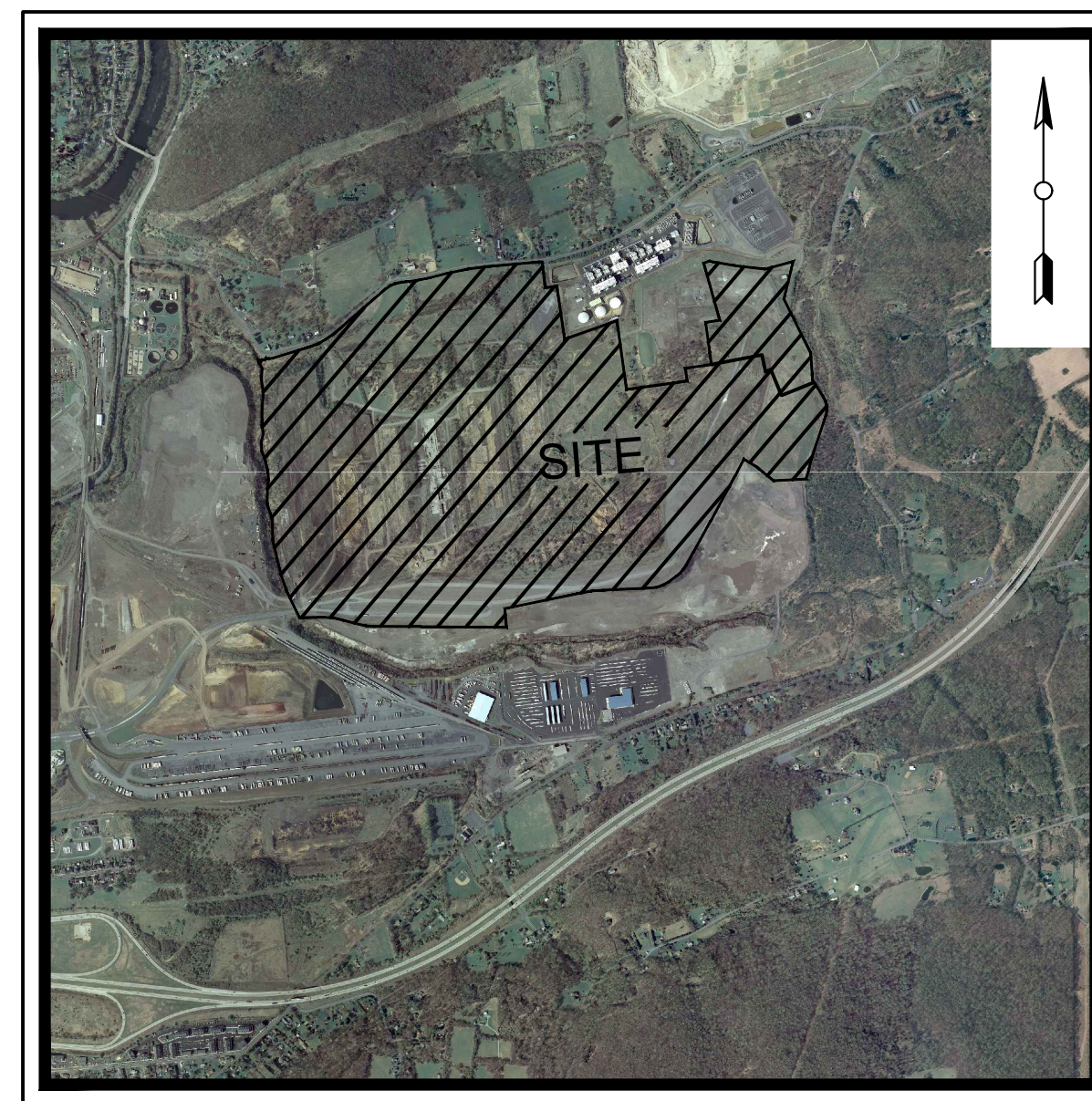
BETHLEHEM COMMERCE CENTER, LLC.

3001 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

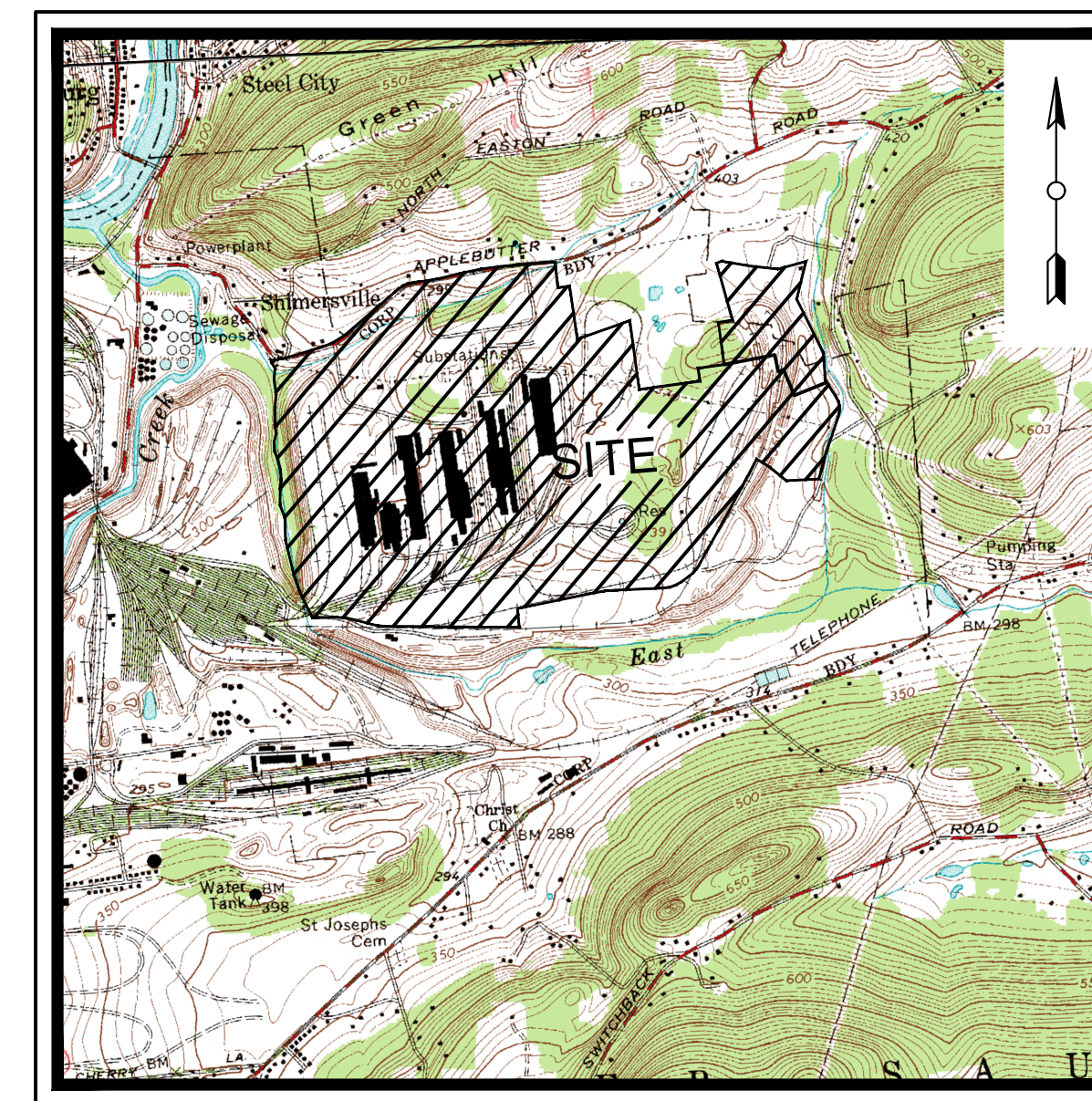
STATEMENT OF INTENT:
THE INTENT OF THESE PLANS IS TO PROPOSE A 81,840 SF EXPANSION TO THE EXISTING BUILDING ON LOT 5 (MCKESSON) AT THE MAJESTIC BETHLEHEM CENTER, ALONG WITH AN ADDITIONAL PARKING LOT AT THE SOUTHEAST CORNER OF THE EXISTING BUILDING.



SOILS MAP
Scale: 1" = 2000'



LOCATION MAP
Scale: 1" = 2000'



USGS MAP
Scale: 1" = 2000'

PREPARED BY:

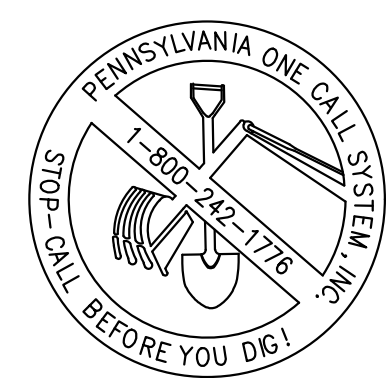
PENNONI ASSOCIATES INC.



81 Highland Ave, Suite 230
Bethlehem, PA 18017
T 610.231.0600
F 610.231.2033

CIVIL SITE DRAWINGS				
SHEET NUMBER	PAGE	DESCRIPTION	DATE	LAST REVISED
CS0001	1 OF 26	COVER SHEET	5/31/2023	7/14/2023
CS0002-CS0003	2 THRU 3 OF 26	NOTES SHEETS	5/31/2023	7/14/2023
CS0201-CS0202	4 THRU 5 OF 26	EXISTING FEATURES AND DEMOLITION PLAN	5/31/2023	7/14/2023
CS1000	6 OF 26	OVERALL RECORD PLAN	5/31/2023	7/14/2023
CS1001-CS1002	7 THRU 8 OF 26	SITE PLAN	5/31/2023	7/14/2023
CS1501-CS1502	9 THRU 10 OF 26	GRADING PLAN	5/31/2023	7/14/2023
CS1701-CS1702	11 THRU 12 OF 26	DRAINAGE AND UTILITY PLAN	5/31/2023	7/14/2023
CS2001-CS2002	13 THRU 14 OF 26	LANDSCAPE PLAN	5/31/2023	7/14/2023
CS2201-CS2202	15 THRU 16 OF 26	LIGHTING PHOTOMETRIC PLAN	5/31/2023	7/14/2023
CS4001	17 OF 26	PROFILE PLAN	5/31/2023	7/14/2023
CS6001-CS6005	18 THRU 22 OF 26	SITE DETAILS	5/31/2023	7/14/2023
CS8000	23 OF 26	OVERALL EROSION AND SEDIMENTATION PLAN	5/31/2023	7/14/2023
CS8001	24 OF 26	EROSION AND SEDIMENTATION CONTROL PLAN	5/31/2023	7/14/2023
CS8501	25 OF 26	EROSION AND SEDIMENTATION CONTROL DETAILS	5/31/2023	7/14/2023
CS9801	26 OF 26	TRUCK MOVEMENT PLAN	5/31/2023	7/14/2023

NOT FOR CONSTRUCTION

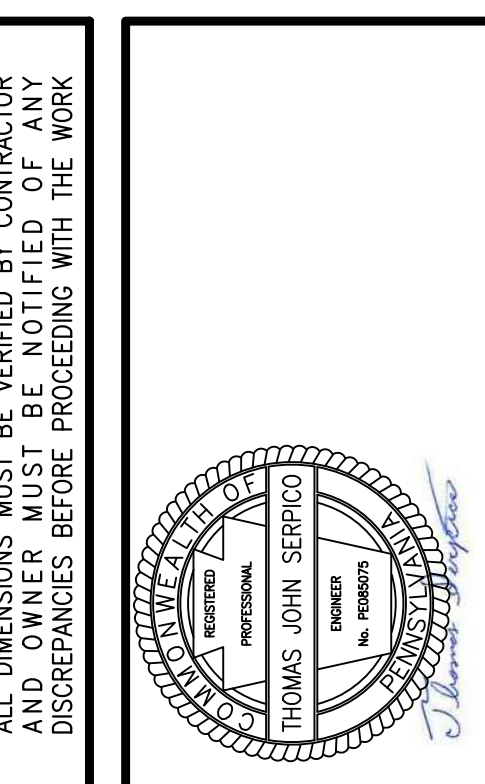


CALL BEFORE YOU DIG
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA
CALL 1-800-242-1776
P.A. ACT 287 OF 1974 REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC. SERIAL NO. 1167253

Pennoni Associates Inc. Engineers • Surveyors • Planners • Landscape Architects



NO.	DATE	REVISIONS	BY
1	7/14/23	PER CITY COMMENTS	KDH



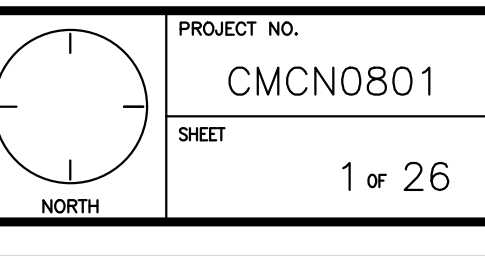
81 Highland, Suite 230
Bethlehem, PA 18017 - 610.231.0600

MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
3769 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

COVER SHEET

BETHLEHEM COMMERCE CENTER, LLC.
3001 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.



SCALE	DATE
AS SHOWN	5/31/23

DRAWN BY	APPROVED
1005	KDH

DRAWING NO. **CS0001**

ZONING COMPLIANCE SUMMARY:

CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA
ZONING DISTRICT: IN-O (INDUSTRIAL OVERLAY DISTRICT)
EXISTING USE: INDUSTRIAL (FORMER BETHLEHEM STEEL)
PROPOSED USE: WAREHOUSE AND INDUSTRIAL OR MANUFACTURING

Table with 3 columns: AREA REQUIREMENTS, REQUIRED/PERMITTED (NC), LOT 5. Rows include FRONT YARD, REAR YARD, SIDE YARD, and MAX BUILDING HEIGHT.

*SETBACKS APPLICABLE ONLY IF THE ADJACENT PROPERTY AFFECTED IS IN A RESIDENTIAL DISTRICT. IF NOT RESIDENTIAL DISTRICT, THEN THE FRONT YARD SETBACK MAY BE REDUCED TO 20' AND THERE SHALL BE NO REAR OR SIDE YARD REQUIREMENTS.

LOT COVERAGE:

Table with 3 columns: MIN LOT SIZE (AC), REQUIRED/PERMITTED (NC), LOT 5. Rows include MAX BUILDING COVERAGE (%) and IMPERVIOUS SURFACE COVERAGE (%).

PARKING REQUIREMENTS

Table with 4 columns: OPTION 1: INDUSTRIAL OR MANUFACTURING PARKING REQUIREMENTS ARTICLE 1319.01(A)(19)**. Rows include 1 SPACE PER 1.5 EMPLOYEES and PLUS 1 SPACE PER 1,000 SF OF GROSS FLOOR AREA.

Table with 4 columns: OPTION 2: WAREHOUSES, DISTRIBUTION, AND TRUCKING TERMINALS PARKING REQUIREMENTS ARTICLE 1319.01(A)(40). Rows include 1 SPACE (PARKING OR STORAGE) FOR ALL VEHICLES and PLUS 1 SPACE FOR EACH PERSON REGULARLY EMPLOYED ON PREMISES.

** MAXIMUM PARKING REQUIREMENTS BASED ON BUILDING BEING 100% USE.

EXISTING PARKING AND PROPOSED EMPLOYEES

Table with 4 columns: PROVIDED OFF STREET PARKING SPACES, EX LOT 5, PROPOSED, TOTAL. Rows include PROVIDED ACCESSIBLE SPACES*** and REQUIRED NUMBER OF EMPLOYEES****.

*** REQUIRED ACCESSIBLE SPACES DETERMINED FROM CODE OF FEDERAL REGULATIONS, 28 CFR PART 36 PAGE 497.
**** NUMBER OF EMPLOYEES CALCULATED AS 1 EMPLOYEE FOR EVERY 10,000 SF OF PROPOSED BUILDING AREA.

SOILS TABLE:

Large table with columns: SYMBOL, NAME, HYDROLOGIC SOIL GROUP, CONTAINS HYDRI COMPONENTS, WATER TABLE (IN), BEDROCK (IN), LIMITATIONS (PIPELINES, BUILDING SITES), RESOLUTIONS. Rows include CaB, CIB, CnB, GIB, GIC, GmD, Ho, UDB, UDD, UkaB, WaB, WaC.

* DEWATER EXCAVATIONS THROUGH A PUMPED WATER FILTER BAG AS NECESSARY.
AVOID PONDING OF WATER DURING CONSTRUCTION; CLOSE ALL EXCAVATIONS AS SOON AS PRACTICAL; ENSURE ALL INSTALLED PIPE IS WATERTIGHT; IF SINKHOLE FORMS, CONSULT GEOTECHNICAL ENGINEER AND REPAIR ACCORDING TO APPROVED DETAILS.

GENERAL NOTES:

- 1. OWNER/APPLICANT: BETHLEHEM COMMERCE CENTER, LLC BY MAJESTIC REALTY CO.
2. THE PURPOSE OF THE PLAN IS TO DEPICT THE CONSTRUCTION OF A 81,840 S.F. EXPANSION TO THE EXISTING WAREHOUSE DISTRIBUTION BUILDING WITH RELATED SITE IMPROVEMENTS ON LOT 5 OF THE MAJESTIC BETHLEHEM CENTER LOCATED IN THE CITY OF BETHLEHEM.
3. SITE DATA: THE SITE IS LOCATED SOUTH OF APPLEBUTTER ROAD, WEST OF RINGHOFFER ROAD AND NORTH OF COMMERCE CENTER BOULEVARD IN THE CITY OF BETHLEHEM/LOWER SAUCON TOWNSHIP, NORTHAMPTON COUNTY, PA AND IS 19,234,988 SF OR 441.54 ACRES.
4. SURVEY REFERENCES NOTES: A. AN ALTA SURVEY WAS PREPARED FOR THE PROPERTY TITLED, ALTA/ASCM LAND TITLE SURVEY PLANS, PREPARED FOR MAJESTIC REALTY CO., CITY OF BETHLEHEM (16TH WARD) & LOWER SAUCON TOWNSHIP, NORTHAMPTON COUNTY, PENNSYLVANIA, BY BARRY ISEIT & ASSOCIATES, INC., DATED AUGUST 7, 2006, LAST REVISED MAY 10, 2007.

CS-0002, CS-0003 [NOTES SHEETS], CS-1000 [OVERALL SITE PLAN], CS-1001 AND CS-1002 [SITE PLANS] ARE CONSIDERED TO BE A COMPLETE RECORD PLAN SET FOR FILING PURPOSES IN THE NORTHAMPTON COUNTY RECORDER OF DEEDS OFFICE

SANITARY SEWER NOTES:

- 1. IN ACCORDANCE WITH ORDINANCE NO. 4342, AT THE TIME OF EXECUTION OF THE DEVELOPERS AGREEMENT, A SANITARY SEWER TAPPING FEE SHALL BE PAID.
2. ALL SANITARY SEWER CONSTRUCTION MUST CONFORM TO THE CITY OF BETHLEHEM SEWER REGULATIONS, STANDARDS, AND SPECIFICATIONS.
3. LOW PRESSURE AIR TESTING REQUIRED FOR ALL SANITARY SEWER SYSTEMS. THIS TEST, AT A MINIMUM, MUST MEET ALL REQUIREMENTS AS OUTLINED IN ASTM C-828-80 OR CURRENT REVISION.

STORMWATER NOTES PER CITY OF BETHLEHEM:

- 1. THE MAINTENANCE OF STORM WATER FACILITIES SHALL BE THE OWNER'S RESPONSIBILITY. THE OWNER'S DEED, AND THE DEED TO ANY SUBSEQUENT OWNER, SHALL NOTE THAT THE OWNER SHALL ACCEPT THE MAINTENANCE RESPONSIBILITIES.
2. THE DRAINAGE EASEMENT PROVIDES FOR THE FLOW OF STORM WATER ACROSS LOTS, AND MAY NOT BE ALTERED WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER.
3. ALL PUBLIC INLETS SHOULD HAVE INLET MARKERS. THE DESIGN OF THE INLET MARKERS SHALL BE APPROVED BY THE CITY ENGINEER.
4. A NPDES PERMIT AND APPROVED EROSION AND SEDIMENTATION CONTROL PLAN ARE REQUIRED PRIOR TO ANY EARTHWORK COMMENCING.

GENERAL UTILITY NOTES:

- 1. THE LOCATION OF THE EXISTING OVERHEAD UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM FIELD OBSERVATION.
2. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
3. IN ACCORDANCE WITH PA ACT 287 AMENDED, THE CONTRACTOR SHALL NOTIFY ALL UTILITIES WITHIN THE WORK AREA VIA THE PENNSYLVANIA ONE CALL SYSTEM, INC. (800-242-1776) A MINIMUM OF 3 WORKING DAYS BEFORE THE START OF EXCAVATION.
4. THE CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.

STORM SEWER NOTES:

- 1. ALL STORM DRAINAGE PIPE SHALL BE LAID ON SMOOTH CONTINUOUS GRADES WITH NO VISIBLE BENDS AT JOINTS.
2. ALL STORM DRAINAGE PIPE SHALL BE CONSTRUCTED WITH WATERTIGHT JOINTS. PROVIDE GASKETS, SUITABLE FOR REINFORCED CONCRETE PIPE OR HIGH-DENSITY POLYETHYLENE PIPE AS NECESSARY.
3. EXISTING STORM SEWER STRUCTURES TO BE MODIFIED SHALL BE ADJUSTED BY THE USE OF PRECAST CONCRETE RISER SECTIONS, IF STRUCTURE CANNOT BE MODIFIED, IT SHALL BE REPLACED. CONTRACTOR TO VERIFY DIMENSIONS OF ALL EXISTING STRUCTURES TO BE MODIFIED.

RECORDER OF DEEDS OFFICE

RECORDED IN THE OFFICE FOR RECORDING OF DEEDS, ETC. IN AND FOR THE COUNTY OF NORTHAMPTON, AT EASTON, PENNSYLVANIA IN PLAN BOOK _____, PAGE _____, ON THE _____ DAY OF _____, 20____.

RECORDER OF DEEDS

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND, WHERE APPLICABLE, THE LOTS, BUILDINGS, STREETS, PARKING AREAS, WALKWAYS, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN THEREON.

THOMAS JOHN SERPICO, P.E. (DATE)
LICENSE NO. PE085075
81 HIGHLAND AVENUE, SUITE 230
BETHLEHEM, PA 18017

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND, WHERE APPLICABLE, THE LOTS, BUILDINGS, STREETS, PARKING AREAS, WALKWAYS, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN THEREON.

DAVID RUSSEL BOYER, P.L.S. (DATE)
LICENSE NO. 061141
81 HIGHLAND AVENUE, SUITE 230
BETHLEHEM, PA 18017

CITY OF BETHLEHEM PLANNING COMMISSION

APPROVED BY THE CITY OF BETHLEHEM PLANNING COMMISSION ON _____

CHAIRMAN _____ SECRETARY _____

REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION

LVPC STAFF PERSON RESPONSIBLE FOR REVIEW _____ DATE _____

OWNER
BETHLEHEM COMMERCE CENTER, LLC, A DELAWARE LIMITED LIABILITY COMPANY BY: MAJESTIC REALTY CO., A CALIFORNIA CORPORATION, ITS MANAGER'S AGENT

CERTIFICATION OF OWNERSHIP

I, EDWARD P. ROSK JR. OF MAJESTIC REALTY CO.
NAME _____ CORPORATION NAME _____
A CALIFORNIA CORPORATION AS ITS MANAGER'S AGENT, BEING DULY SWORN ACCORDING TO LAW, AND ACTING IN MY CAPACITY AS _____ PRESIDENT AND CHAIRMAN OF THE BOARD, DEPOSE

AND SAY THAT THE ABOVE NAMED LIMITED LIABILITY COMPANY IS THE TRUE AND LAWFUL OWNER OF PROPERTY KNOWN AS MAJESTIC BETHLEHEM CENTER, THAT THE ABOVE DESCRIBED PROPERTY IS IN PEACEFUL POSSESSION OF SAID LIMITED LIABILITY COMPANY AND THAT THERE ARE NO SUITS OR LIENS PENDING AFFECTING THE TITLE THEREOF.

MAJESTIC REALTY CO.
BY: _____ CORPORATION OFFICIAL

SWORN ON THIS SUBSCRIBED BEFORE THIS _____ DAY OF _____, 20____

NOTARY PUBLIC

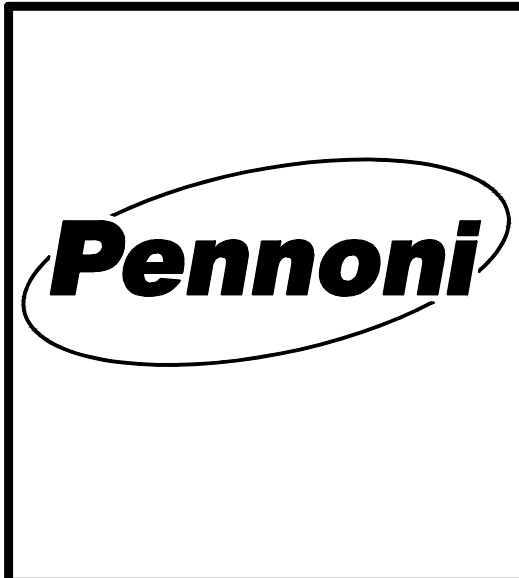


Table with 4 columns: NO., DATE, PER CITY COMMENTS, REVISIONS. Row 1: 7/13/23, 1, PER CITY COMMENTS, NO.

Professional Engineer and Surveyor seal for Thomas John Serpico, P.E. License No. PE085075, State of Pennsylvania.

NOTES SHEET
MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
3769 COMMERCE CENTER BOULEVARD BETHLEHEM, PA 18015
BETHLEHEM COMMERCE CENTER, LLC.
3001 COMMERCE CENTER BOULEVARD BETHLEHEM, PA 18015

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES, AND OWNERS SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT NO. MCNCN0801
SHEET 2 OF 26

SCALE: NTS DATE: 5/31/23
DRAWN BY: 1005 APPROVED: KDH
DRAWING NO. CS0002

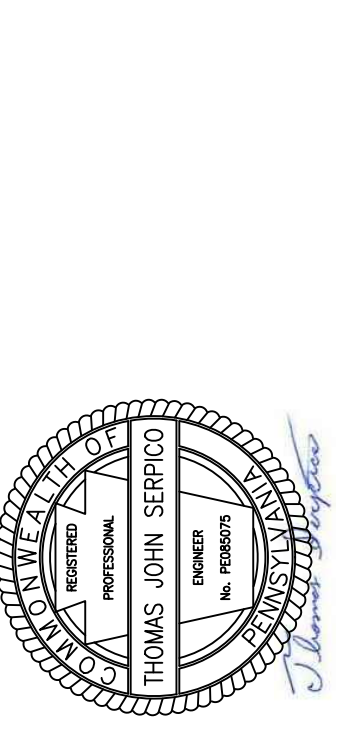
Pennoni Associates Inc. Engineers • Surveyors • Planners • Landscape Architects



Engineers • Surveyors • Planners • Landscape Architects

NO.	DATE	REVISIONS	BY
1	7/14/23	PEP CITY COMMENTS	KDH

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK



LANDSCAPE COMPLIANCE SUMMARY:

CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA
ZONING DISTRICT: IN-O (INDUSTRIAL OVERLAY DISTRICT)
EXISTING USE: INDUSTRIAL (FORMER BETHLEHEM STEEL)
PROPOSED USE: WAREHOUSE AND INDUSTRIAL OR MANUFACTURING

CODE REFERENCE	REQUIRED	PROPOSED	COMPLIANT
1319.02(4) SHADE TREES. A MINIMUM AVERAGE OF ONE DECIDUOUS SHADE TREE SHALL BE REQUIRED FOR EVERY 15 SURFACE PARKING SPACES. SUCH DECIDUOUS TREES SHALL MEET THE STREET TREES REQUIREMENTS OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. NO MORE THAN 20 CONSECUTIVE PARKING SPACES SHALL BE LOCATED IN A STRAIGHT ROW WITHOUT BEING SEPERATED BY A LANDSCAPED ISLAND WITH A DECIDUOUS TREE.	22	>22	YES
1349.08(0)(1) LANDSCAPE OFF-STREET PARKING AND LOADING AREAS SHALL HAVE A MINIMUM OF 10% OF THE AREA REPRESENTED BY APPROVED PLANTINGS. THESE PLANTINGS SHALL BE IN ADDITION TO ANY BUFFER PLANTINGS WHICH MAY BE NECESSARY.	13,564 S.F.	>13,564 S.F. (SEE NOTE 1 BELOW)	YES

1. ACCORDING TO 1349.08(e) THE FOLLOWING PLANTING SHALL RECEIVE THE FOLLOWING CREDIT TOWARDS LANDSCAPE AREA REQUIREMENT AS AN APPROVED PLANTING.
LARGE TREE/SHADE TREE RECEIVES A 200 SF CREDIT.
EVERGREEN TREES RECEIVE A 100 SF CREDIT.
SHRUBS RECEIVE CREDIT FOR THE AREA IN WHICH IS OCCUPIED BY THE PLANTINGS.

LANDSCAPE CALCULATIONS FOR OFF-STREET PARKING:

CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA
ZONING DISTRICT: IN-O (INDUSTRIAL OVERLAY DISTRICT)
EXISTING USE: INDUSTRIAL (FORMER BETHLEHEM STEEL)
PROPOSED USE: WAREHOUSE AND INDUSTRIAL OR MANUFACTURING

NUMBER OF PARKING SPACES	PARKING/LOADING AREA	10% OF PARKING/LOADING AREA	REQUIRED	PROVIDED	COMPLIANT
332 CAR SPACES	135,643 SF	13,564 SF	40 LARGE TREES 28 EVERGREEN TREES (OR EQUIVALENT CALCULATION - SEE NOTE 2 BELOW)	31 LARGE TREES 14 ORNAMENTAL TREES 22 EVERGREEN TREES 238 SHRUBS (SEE NOTE 3 BELOW)	YES

1. CAR PARKING AREA BASED ON STANDARD 9'X19' PARKING STALL, ACCESS AISLES AND DRIVE AISLES. AND TRUCK PARKING ON 11'X25' PARKING STALL
2. ACCORDING TO 1349.08(e) THE FOLLOWING PLANTING SHALL RECEIVE THE FOLLOWING CREDIT TOWARDS LANDSCAPE AREA REQUIREMENT AS AN APPROVED PLANTING.
LARGE TREE/SHADE TREE RECEIVES A 200 SF CREDIT.
EVERGREEN TREES RECEIVE A 100 SF CREDIT.
SHRUBS RECEIVE CREDIT FOR THE AREA IN WHICH IS OCCUPIED BY THE PLANTINGS.
3. LANDSCAPE AREA CALCULATIONS ASSUMES 100 SF CREDIT FOR ORNAMENTAL TREES.
4. LANDSCAPE AREA CALCULATIONS ASSUMES 16 SF CREDIT PER INDIVIDUAL SHRUB.
5. PLANT MATERIAL SATISFYING THIS REQUIREMENT ARE AS FOLLOWS:
20 ACER RUBRUM 'OCTOBER GLORY' x 200 SF each = 3,800 SF
9 QUERCUS IMPRICATION x 200 SF each = 1,800 SF
2 CLADRASTIS KENTUCKEA x 200 SF each = 400 SF
8 ANELANCHIER LAEVIS 'CUMMULUS' x 100 SF each = 800 SF
5 CERCIIS CANADENSIS X 100 SF each = 500 SF
1 ACER GINNALA X 100 SF each = 100 SF
10 PICEA ABIES X 100 SF each = 1,000 SF
5 PINUS STROBUS X 100 SF each = 500 SF
7 PICEA GLAUCA X 100 SF each = 700 SF
238 VARIOUS SHRUBS LISTED x 16 SF each = 3,808 SF
TOTAL 13,608 SF

DEMOLITION, CONSTRUCTION AND GRADING NOTES:

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
 - THE PENNDOT SPECIFICATIONS, PUB 408/2007 OR LATEST EDITION.
 - THE PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION, PUBLICATION 722004 OR LATEST EDITION, LAST REVISED 09/19/2008, OR MORE RECENT VERSION.
 - THE PENNDOT HANDBOOK OF APPROVED SIGNS, PUB 2362006 OR LATEST EDITION.
 - THE PENNSYLVANIA CLEAN STREAM LAW (35 P.S. SECTION 691.1 ET SEQ.).
 - REGULATIONS OF PA CODE TITLE 25, CHAPTER 102.
 IN EVENT OF A CONFLICT AMONG THESE REQUIREMENTS AND/OR THE PLANS, THE MORE RESTRICTIVE REGULATION SHALL APPLY OR A CLARIFICATION SHALL BE OBTAINED FROM THE ENGINEER.
- THE CONTRACTOR SHALL BE REQUIRED TO REVIEW AND ABIDE BY ALL DOCUMENTS, PERMITS, AND REPORTS FOR THIS SITE, INCLUDING, BUT NOT LIMITED TO:
 - BASELINE ENVIRONMENTAL REPORT (BER).
 - APPROVED EROSION AND SEDIMENTATION CONTROL PLAN.
 - APPROVED POST CONSTRUCTION STORMWATER MANAGEMENT PLAN.
 - NPDES PERMIT #PA62-1554-08-001.
- NO EXCAVATED SOIL/FILL MATERIAL WILL BE REMOVED FROM THE SITE, EXCEPT AS OUTLINED IN THE SOIL MANAGEMENT PLAN (SEE BER, APPENDIX BB).
- COMMERCE CONSTRUCTION CO., LP SHALL HAVE DESIGNATED REPRESENTATIVE WITH EXPERIENCE IN ASSESSING ENVIRONMENTAL CONDITIONS AVAILABLE WHENEVER INTRUSIVE ACTIVITIES ARE BEING CONDUCTED ON THE SITE.
- DEMOLITION NOTES
 - ALL SURFACE FEATURES SUCH AS EXISTING VEGETATION AND STRUCTURES SHALL BE REMOVED.
 - ALL SUBSURFACE FEATURES CAN BE ABANDONED WITH THE FOLLOWING EXCEPTIONS
 - IF FEATURE POSSES A CONFLICT WITH PROPOSED SCOPE OF WORK, IT SHALL BE REMOVED.
 - EXISTING STORM SEWER SHALL BE MAINTAINED UNLESS SPECIFICALLY IDENTIFIED AS 'TO BE ABANDONED'.
 - CLARIFICATION OF TERMS
 - TO BE ABANDONED - MEANS FEATURE CAN REMAIN IN PLACE AND FILLED WITH FLOWABLE FILL OR EQUIVALENT SUBSTITUTE OR CAN BE COMPLETELY REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
 - TO BE REMOVED - MEANS FEATURE MUST BE COMPLETELY REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
 - TO BE REPLACED - MEANS FEATURE CAN BE RESET AND REUSED IF POSSIBLE OR MUST BE REMOVED AND REPLACED IF IT POSSES A CONFLICT WITH THE PROPOSED SCOPE OF WORK AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LAYERS NOT TO EXCEED 6 INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE PUBLIC WORKS INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR REGRADING AS REQUIRED BY THE ENGINEER. EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE, NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
- THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST, AND CERTIFY TO THE COMPACTION OF ALL LOAD BEARING FILLS. THE GEOTECHNICAL ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
- CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AREA AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
- TOP OF WALL/BOTTOM OF WALL (TW/BW) SHOTS SHOWN ON THE GRADING PLAN INDICATE TOPOGRAPHIC ELEVATIONS ADJACENT TO THE WALL AND ARE NOT THE PHYSICAL TOP OF WALL OR BOTTOM OF WALL.
- ALL RADI ARE 5' UNLESS OTHERWISE NOTED ON THE PLAN.

WATER/FIRE NOTES:

- THE WATER PURVEYOR IS THE CITY OF BETHLEHEM. ALL WORK ON THE WATER DISTRIBUTION SYSTEM SHALL BE IN ACCORDANCE WITH THE CITY OF BETHLEHEM STANDARDS AND SPECIFICATIONS. CONTACT THE CITY BEFORE TAPPING EXISTING WATER MAIN. WATER LINE SHALL HAVE A BEDDING CONSISTENT WITH THE WATER CITY'S REQUIREMENTS AND SPECIFICATIONS.
- FIRE HYDRANT AND WATER MAINS/FIRE MAINS TO BE INSTALLED AND UNDER PRESSURE BEFORE ANY COMBUSTIBLE CONSTRUCTION IS STARTED.
- ALL PROPOSED WATER MAINS AND APPURTENANCES SHALL BE HYDROSTATICALLY TESTED AND BACTERIOLOGICALLY TESTED IN THE PRESENCE OF A CITY OF BETHLEHEM REPRESENTATIVE PRIOR TO CONNECTING TO THE EXISTING SYSTEM. ALL BACTERIOLOGICAL SAMPLES SHALL BE COLLECTED BY CITY PERSONNEL FOR DELIVERY TO ITS LAB FOR ANALYSIS.
- WATER LINE CONSTRUCTION SHALL BE SEQUENCED IN SUCH A MANNER AS TO MINIMIZE LOSS OF SERVICE TO ANY OTHER AUTHORITY CUSTOMER. CONTRACTOR SHALL NOTIFY THE CITY OF BETHLEHEM AND THE OWNER 48 HOURS IN ADVANCE OF ANY LOSS OF SERVICE. DEPENDING UPON THE NATURE OF THE LOSS OF SERVICE, THE CITY MAY REQUIRE THAT WORK BE COMPLETED IN THE EVENING AFTER NORMAL BUSINESS. ALL VALVES NEEDED FOR SHUT-DOWN SHALL BE OPERATED BY CITY PERSONNEL ONLY, UNLESS OTHERWISE APPROVED.
- MINIMUM COVER OF ALL WATER MAIN AND APPURTENANCES SHALL BE FOUR FEET (4') AND THE MAXIMUM COVER SHALL NOT EXCEED FIVE FEET (5') UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY.
- A SEPARATE WATER METER, SHUT-OFF VALVE AND TAPPING FEE WILL BE REQUIRED FOR EACH INDIVIDUAL TENANT CONNECTION.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND CUT SHEETS FOR ALL WATER SYSTEM CONSTRUCTION FOR REVIEW AND APPROVAL BY THE CITY OF BETHLEHEM PRIOR TO CONSTRUCTION.
- ALL FITTINGS SHALL BE MECHANICAL JOINTS WITH MEGALUG GLANDS.
- A MINIMUM VERTICAL CLEARANCE OF EIGHTEEN (18) INCHES BETWEEN ANY UTILITY AND THE WATER MAIN AND APPURTENANCES OF THE CITY.
- FIRE SERVICE DESIGN, ALIGNMENT, VALVE MANAGEMENT, PIV, ETC. SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLANS PREPARED BY THE FIRE SUPPRESSION ENGINEER. SCHEMATIC SHOWN ON THESE PLANS IS FOR BID PURPOSES ONLY AND NOT FOR CONSTRUCTION.
- SLAG WILL NOT BE PERMITTED FOR PIPE BEDDING AND BACKFILL AROUND ANY METAL-BASED PIPE, UNLESS THE PIPE IS WRAPPING IN PLASTIC LINER. PLASTIC LINER SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER AND BE IN ACCORDANCE WITH AWWA C105/A21.5-82, SECTION 5.4 PRIOR TO INSTALLATION.
- THE PROPOSED FIRE HYDRANTS (NOT INCLUDING THE VALVE AND RISER) ALONG THE OUTER ROAD SHALL BE PROVIDED BY CITY OF BETHLEHEM.
- ALL PROPOSED SANITARY LINES THAT CROSS OVER A WATER LINE SHALL BE ENCASED WITH CONCRETE FOR 10 FEET ON EITHER SIDE OF THE WATER LINE.
- DETAILED SPECIFICATIONS FOR LAYING WATER MAIN ARE AVAILABLE UPON REQUEST.
- FIRE RISERS WITHIN THE BUILDING WILL BE SUPPLIED BY THE FIRE LOOP AROUND THE BUILDING.
- BUILDING MUST MEET IBC 903.4.2 ALARMS. APPROVED AUDIBLE DEVICES SHALL BE CONNECTED TO EVERY AUTOMATIC SPRINKLER SYSTEM. SUCH SPRINKLER WATER FLOW ALARM DEVICES SHALL BE ACTIVATED BY WATER FLOW EQUIVALENT TO THE FLOW OF A SINGLE SPRINKLER OF THE SMALLEST ORIFICE SIZE INSTALLED IN THE SYSTEM. ALARM DEVICES SHALL BE PROVIDED ON THE EXTERIOR OF THE BUILDING IN AN APPROVED LOCATION, WHERE A FIRE ALARM SYSTEM IS INSTALLED. ACTUATION OF THE AUTOMATIC SPRINKLER SYSTEM SHALL ACTUATE THE BUILDING FIRE ALARM SYSTEM. IN AUTOMATIC SPRINKLER SYSTEMS WHERE MULTIPLE SPRINKLER RISERS ARE REQUIRED, AND THE RISERS ARE LOCATED IN SEPARATE AREAS WITHIN THE BUILDING, AN OUTSIDE VISIBLE ALARM NOTIFICATION APPLIANCE SHALL BE REQUIRED FOR EACH RISER. SUCH APPLIANCE SHALL BE A WHITE STROBE (MINIMUM 95 CANDELA STROBE RATING) PLACED IN AN APPROVED LOCATION ON THE EXTERIOR WALL, AS CLOSE AS PRACTICABLE, TO EACH SPRINKLER RISER. THE STROBE WILL ACTIVATE WHEN THE WATER FLOW ALARM FOR ITS RESPECTIVE RISER IS ACTIVATED. (ORD. 2014-21 - PASSED 8/5/14).
- VERTICAL CLEARANCE FOR FIRE TRUCKS HAS BEEN CHECKED ALONG THE FIRE TRUCK ROUTE.
- THE CITY OF BETHLEHEM FIRE DEPARTMENT WILL RETAIN JURISDICTION TO ENFORCE THE INTERNATIONAL FIRE CODE IN ITS ENTIRETY AS ADOPTED BY CITY ORDINANCE AND CONDUCT FIRE INSPECTIONS AS PER ARTICLE 150 FOR THE LIFETIME OF THE BUILDINGS.
- BOTH BUILDINGS MUST BE CONSTRUCTED IN COMPLIANCE WITH INTERNATIONAL FIRE CODE, 2015 EDITION, AS ADOPTED BY CITY OF BETHLEHEM.

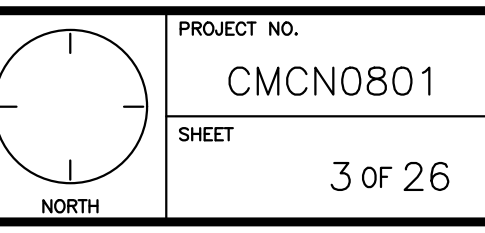
CS-0002, CS-0003 [NOTES SHEETS], CS-1000 [OVERALL SITE PLAN], CS-1001 AND CS-1002 [SITE PLANS] ARE CONSIDERED TO BE A COMPLETE RECORD PLAN SET FOR FILING PURPOSES IN THE NORTHAMPTON COUNTY RECORDER OF DEEDS OFFICE

MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
3769 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

NOTES SHEET

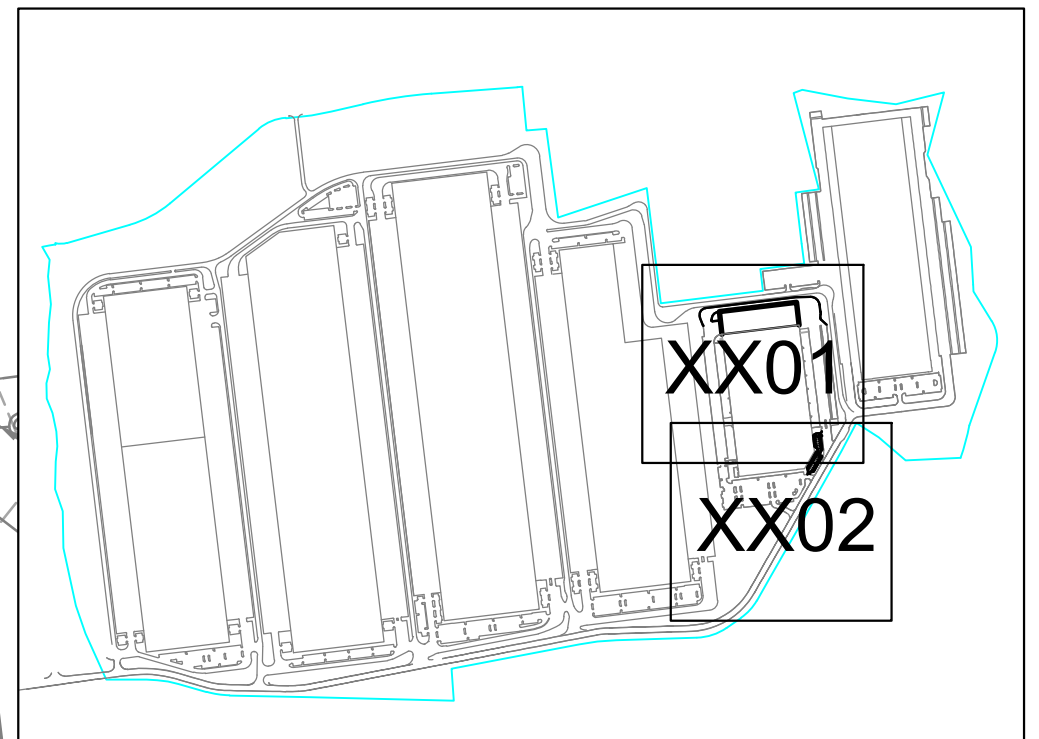
BETHLEHEM COMMERCE CENTER, LLC.
3001 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PRODUCT THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES, AND OWNERS SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

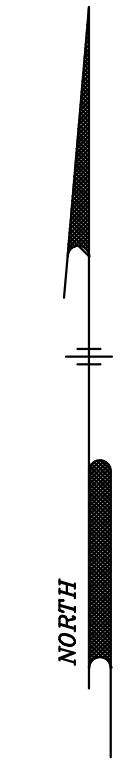


SCALE	DATE
NTS	5/31/23
DRAWN BY	APPROVED
1005	KDH
DRAWING NO.	
CS0003	

Pennoni Associates Inc.

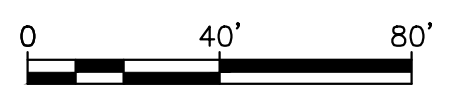


KEY MAP
N.T.S.



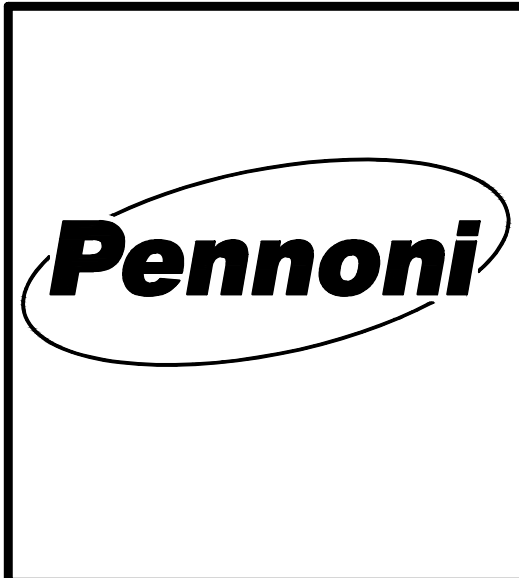
LEGEND

	PROPERTY LINE
	PROPERTY LINE TO BE EXTINGUISHED
	ADJOINING PROPERTY OWNER'S LINE
	PROPERTY CORNER FOUND MONUMENTS
	EX. MUNICIPAL BOUNDARY
	EX. FLOOD PLAIN
	EX. CENTERLINE OF STREAM
	EX. EDGE OF PAVEMENT
	EX. FENCE LINE
	EX. EDGE OF VEGETATION
	EX. TREE/SHRUB
	EX. MINOR CONTOUR
	EX. MAJOR CONTOUR
	EX. WATER LINES
	EX. WATER VALVE
	EX. WATER METER
	EX. FIRE HYDRANT
	EX. SANITARY SEWER PIPE
	EX. SANITARY MANHOLE
	EX. STORMWATER PIPE
	EX. STORMWATER STRUCTURES
	EX. OVERHEAD ELECTRIC
	EX. UTILITY POLE
	EX. GAS
	SOILS BOUNDARY LINES
	SOILS TEXT
	EX. WATERS OF THE US
	EX. WETLANDS
	BENCHMARK

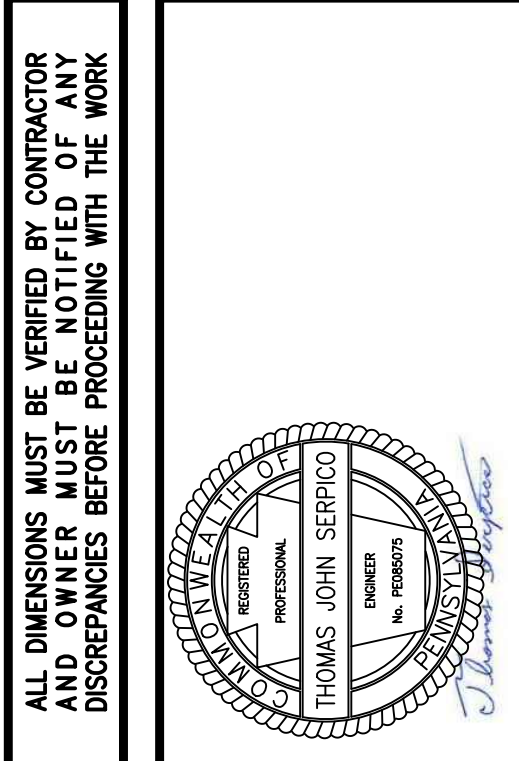


Pennoni Associates Inc. 81 Highland Ave, Suite 220
Bethlehem, PA 18017 - 610.231.0600

Enginers • Surveyors • Planners • Landscape Architects



NO.	DATE	REVISIONS	BY
1	7/14/23	PER CITY COMMENTS	KDH



MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
3769 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

EXISTING FEATURES AND DEMOLITION PLAN

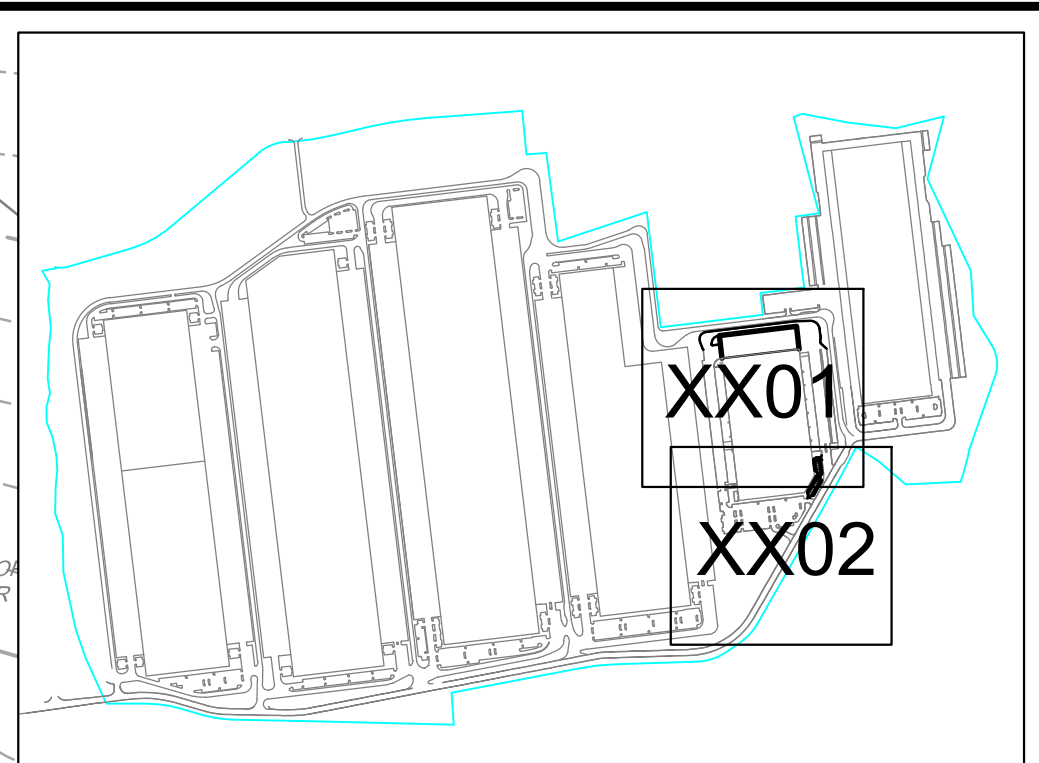
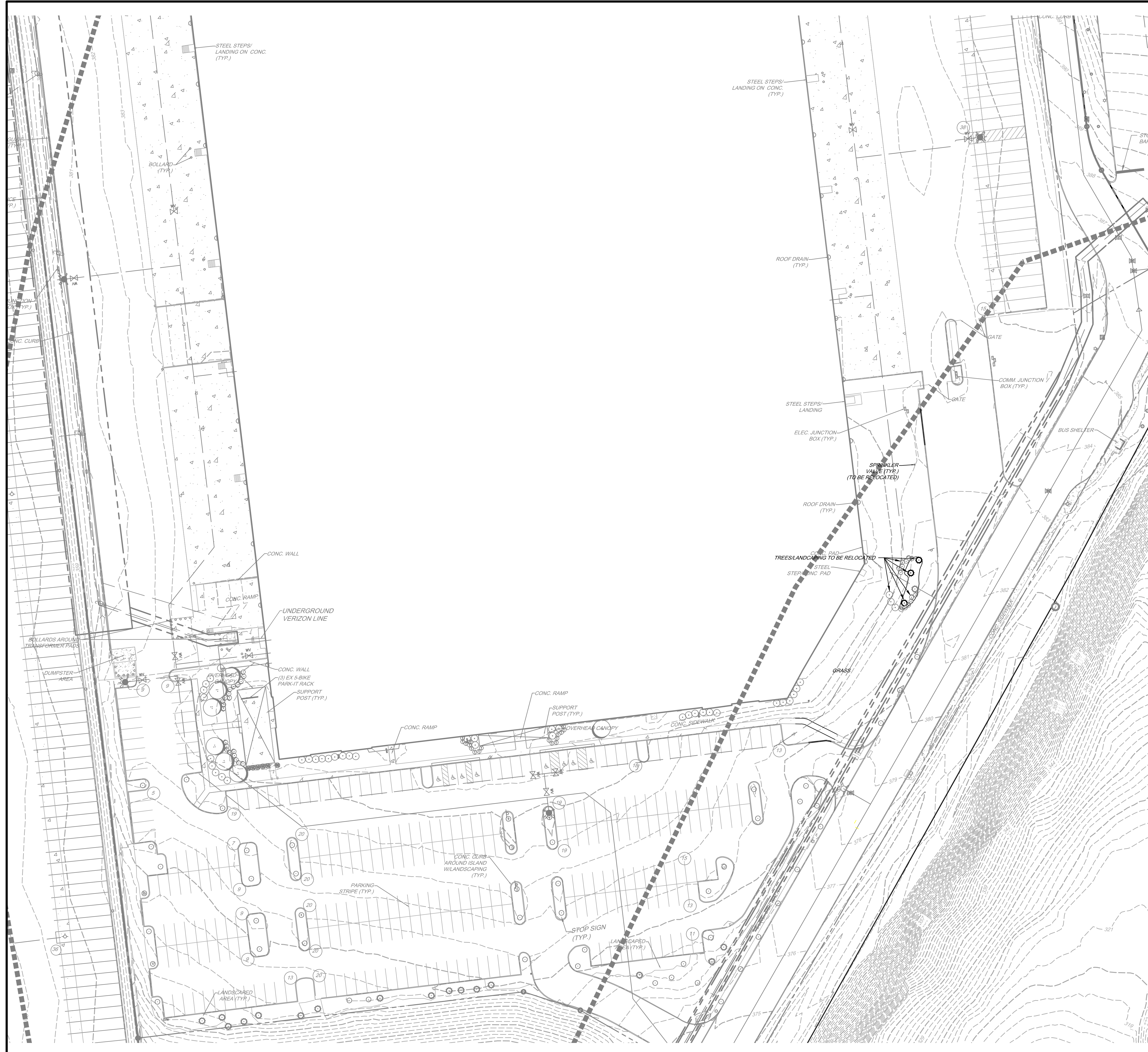
BETHLEHEM COMMERCIAL CENTER, LLC.
3001 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THIS PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

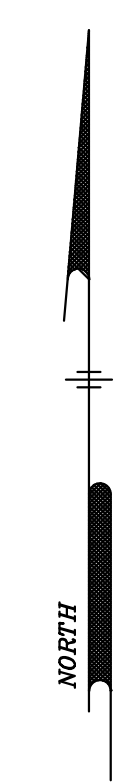
PROJECT NO.	CMCN0801
SHEET	4 OF 26

SCALE	DATE
1"=40'	5/31/23
DRAWN BY	APPROVED
1005	KDH
DRAWING NO.	
CS0201	

PROJECT'S CMCN0801 - BETHLEHEM COMMERCIAL CENTER (PUB) - PHASE 5 EXPANSION (CS0201).DWG PLOTTED: 7/14/23 10:58:58 AM BY: KYLE HAYDEN, PENNONI ASSOCIATES, PROJECT STATUS: -----



KEY MAP
N.T.S.

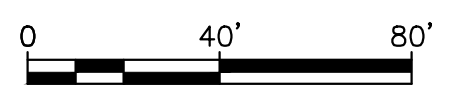


LEGEND

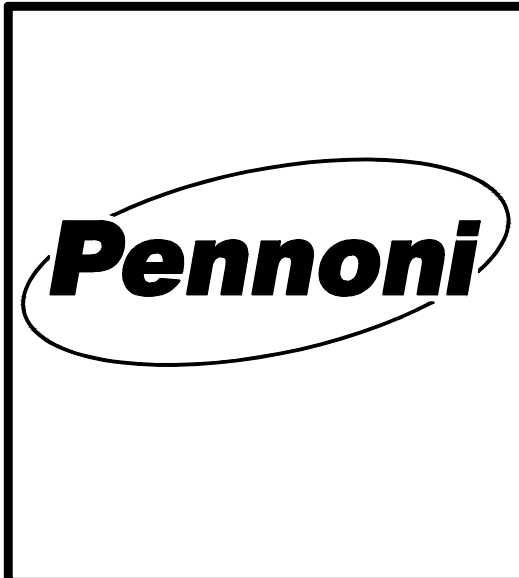
- PROPERTY LINE
- PROPERTY LINE TO BE EXTINGUISHED
- ADJOINING PROPERTY OWNERS LINE
- PROPERTY CORNER FOUND/MONUMENTS
- EX. MUNICIPAL BOUNDARY
- EX. FLOOD PLAIN
- EX. CENTERLINE OF STREAM
- EX. EDGE OF PAVEMENT
- EX. FENCE LINE
- EX. EDGE OF VEGETATION
- EX. TREE/SHRUB
- EX. MINOR CONTOUR
- EX. MAJOR CONTOUR
- EX. WATER LINES
- EX. WATER VALVE
- EX. WATER METER
- EX. FIRE HYDRANT
- EX. SANITARY SEWER PIPE
- EX. SANITARY MANHOLE
- EX. STORMWATER PIPE
- EX. STORMWATER STRUCTURES
- EX. OVERHEAD ELECTRIC
- EX. UTILITY POLE
- EX. GAS
- SOILS BOUNDARY LINES
- SOILS TEXT
- EX. WATERS OF THE US
- EX. WETLANDS
- BENCHMARK

WaA

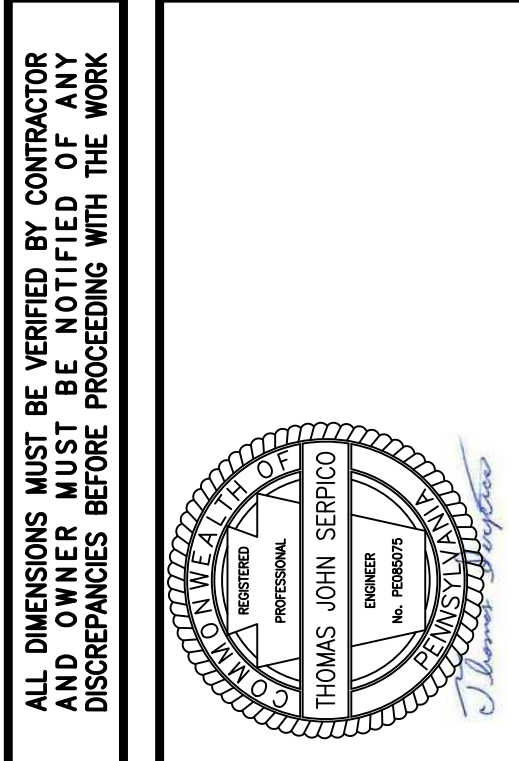
- SOILS TEXT
- EX. WATERS OF THE US
- EX. WETLANDS
- BENCHMARK



Pennoni Associates Inc. 81 Highland Ave, Suite 220 Bethlehem, PA 18017 - 610.231.0600
Enginers • Surveyors • Planners • Landscape Architects



NO.	DATE	REVISIONS	BY
1	7/14/23	PER CITY COMMENTS	KDH



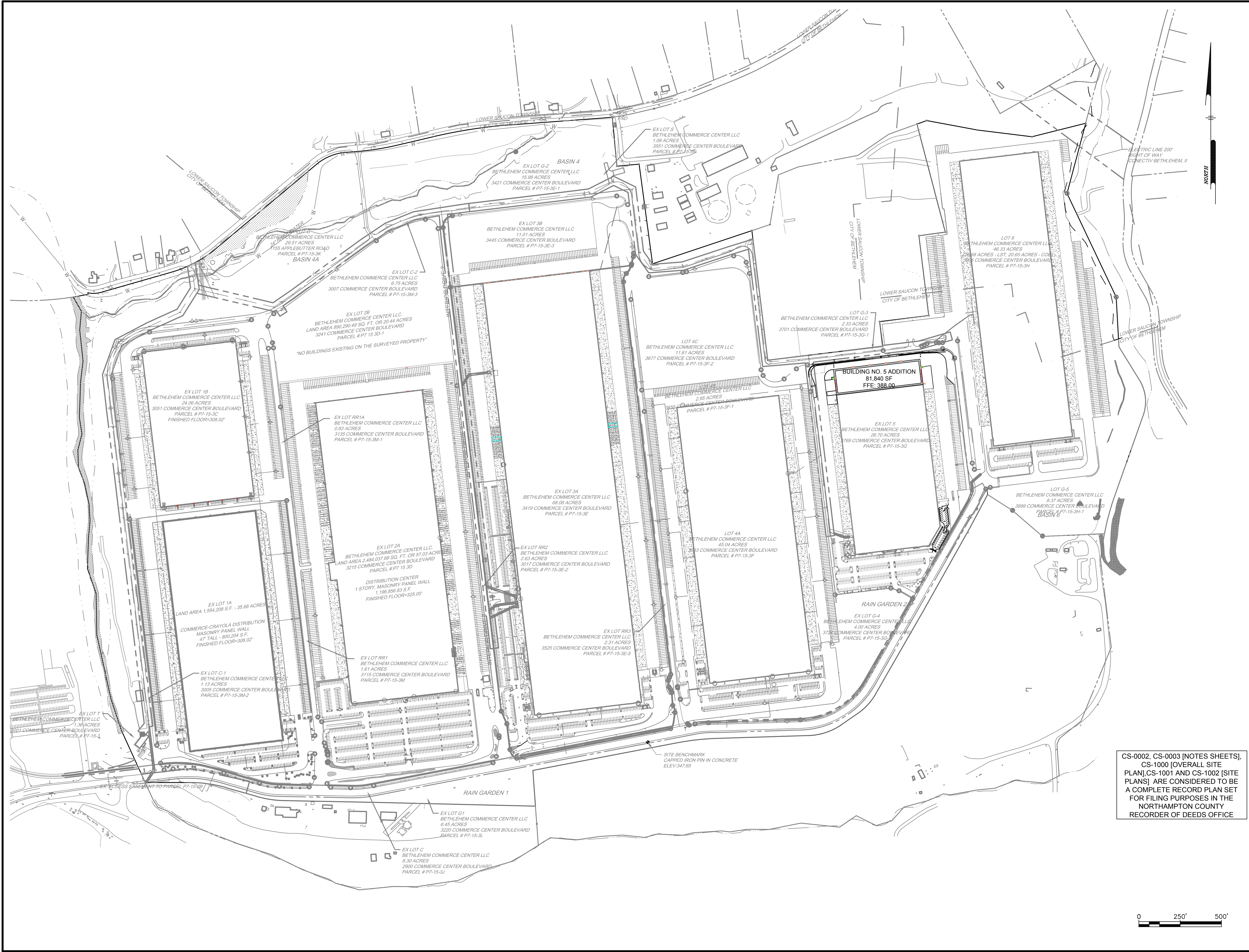
MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
 3769 COMMERCE CENTER BOULEVARD
 BETHLEHEM, PA 18015
EXISTING FEATURES AND DEMOLITION PLAN
 BETHLEHEM COMMERCE CENTER, LLC.
 3001 COMMERCE CENTER BOULEVARD
 BETHLEHEM, PA 18015

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PRODUCT THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THIS PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNERS SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

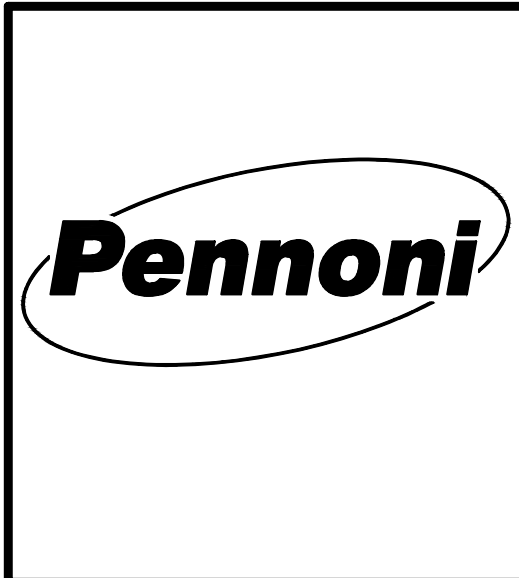
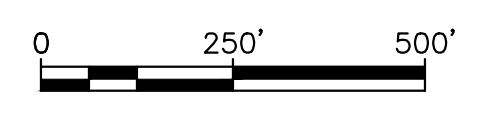
PROJECT NO.	CMCN0801
SHEET	5 OF 26

SCALE	DATE
1"=40'	5/31/23
DRAWN BY	APPROVED
1005	KDH
DRAWING NO.	
CS0202	

PROJECT: CMCN0801 - BETHLEHEM COMMERCE CENTER (PUB) - PHASE 5 EXPANSION (CS0202).DWG PLOTTED: 7/14/23 10:58 AM BY: KITE, HAVDWIN, NCS,SRB, PROJECT STATUS: -----



CS-0002, CS-0003 [NOTES SHEETS],
CS-1000 [OVERALL SITE
PLAN], CS-1001 AND CS-1002 [SITE
PLANS] ARE CONSIDERED TO BE
A COMPLETE RECORD PLAN SET
FOR FILING PURPOSES IN THE
NORTHAMPTON COUNTY
RECORDER OF DEEDS OFFICE



NO.	DATE	REVISIONS	BY
1	7/14/23	PER CITY COMMENTS	KDH

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
3769 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

OVERALL RECORD PLAN

BETHLEHEM COMMERCIAL CENTER, LLC.
3001 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

PROJECT NO. MCN0801
SHEET 6 OF 26

SCALE: 1"=100'
DATE: 5/31/23

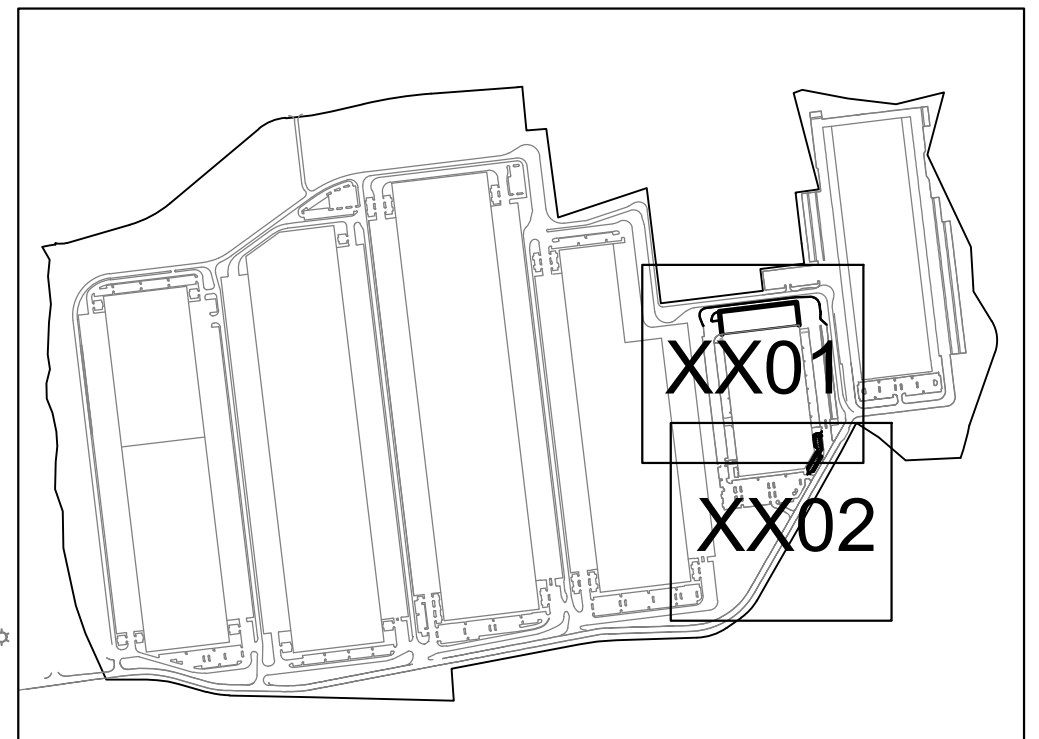
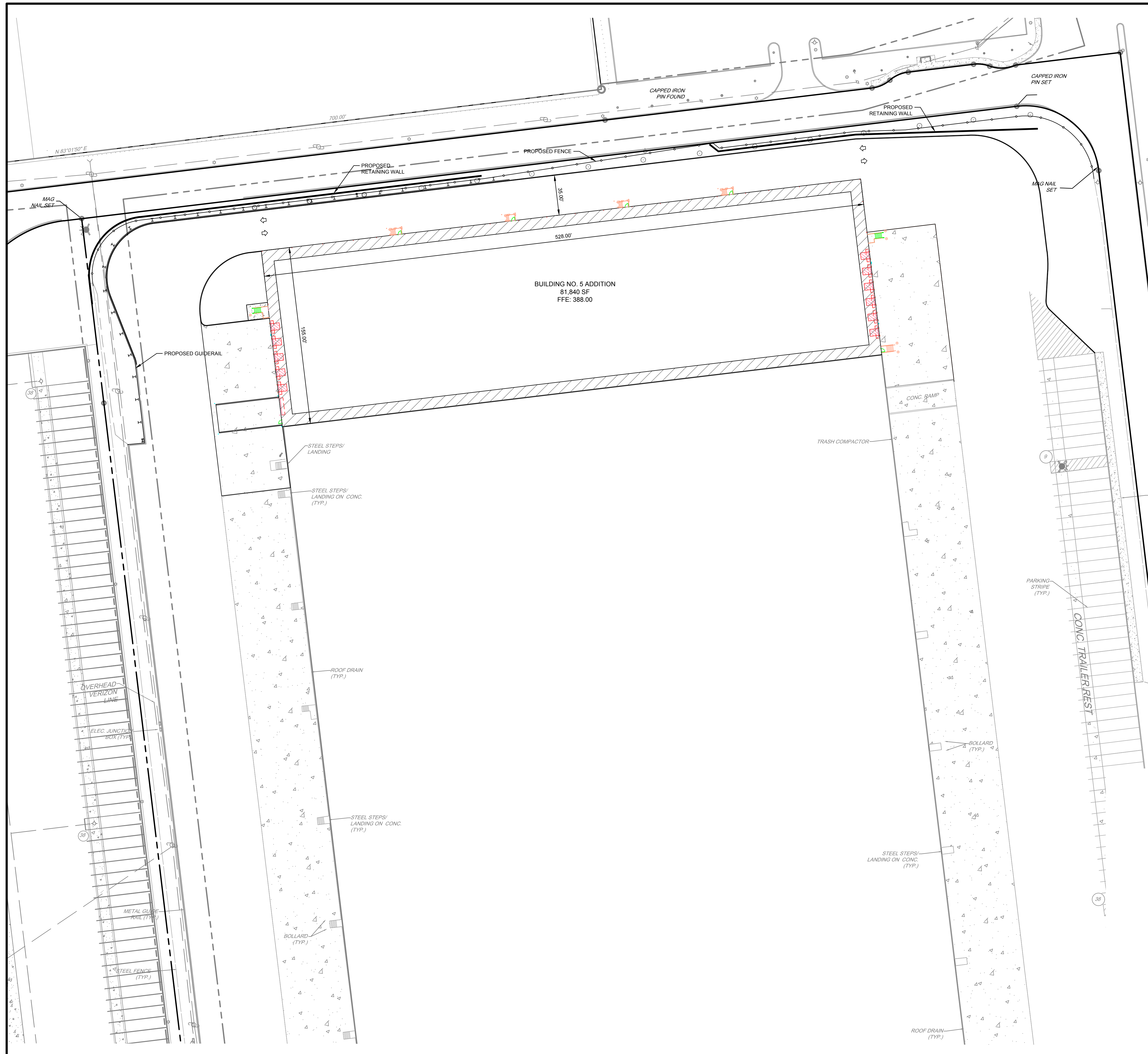
DRAWN BY: 1005
APPROVED: KDH

DRAWING NO. CS1000

Pennoni Associates Inc. Engineers • Surveyors • Planners • Landscape Architects

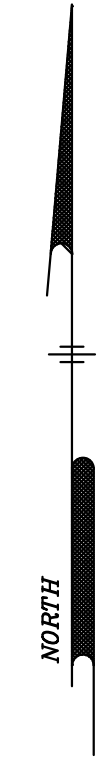
81 Highland Ave, Suite 230
Bethlehem, PA 18017 - 610.231.0600

PROJECT: MAJESTIC BETHLEHEM COMMERCIAL CENTER (EXPANSION) - PUBLISH PHASE 5 EXPANSION (CS1000.DWG) PLOTTED: 7/14/23 10:00 AM BY: KYLE HAVDICH PENNONI NCS/SJB PROJECT STATUS: -----

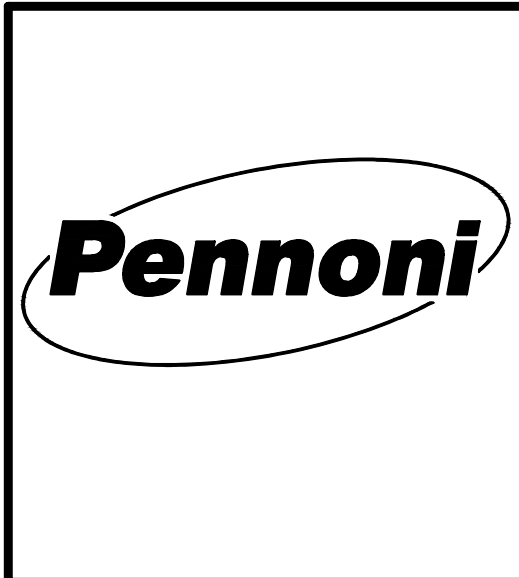
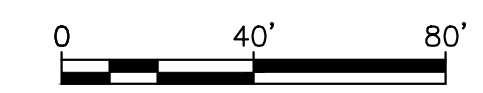


KEY MAP
N.T.S.

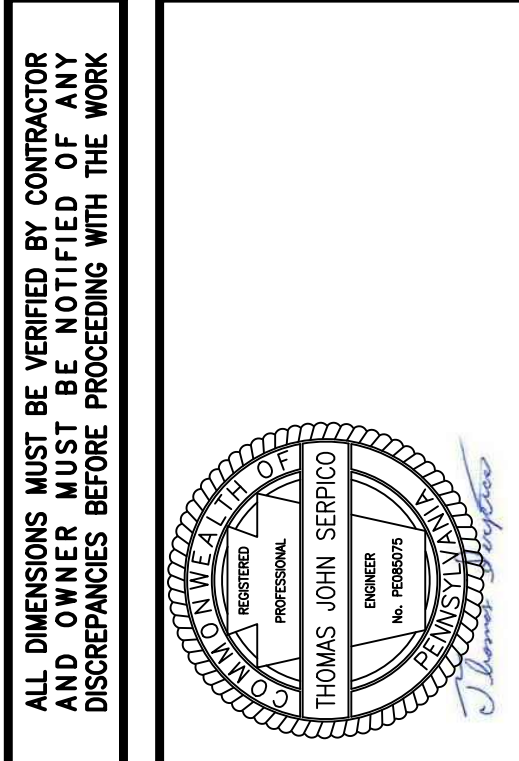
CS-0002, CS-0003 [NOTES SHEETS],
CS-1000 [OVERALL SITE
PLAN], CS-1001 AND CS-1002 [SITE
PLANS] ARE CONSIDERED TO BE
A COMPLETE RECORD PLAN SET
FOR FILING PURPOSES IN THE
NORTHAMPTON COUNTY
RECORDER OF DEEDS OFFICE



- LEGEND**
- PROPERTY LINE
 - PROPERTY LINE TO BE EXTINGUISHED
 - ADJOINING PROPERTY OWNERS LINE
 - PROPERTY CORNER FOUND/MONUMENTS
 - EX. MUNICIPAL BOUNDARY
 - EX. FLOOD PLAIN
 - EX. CENTERLINE OF STREAM
 - EX. EDGE OF PAVEMENT
 - EX. FENCE LINE
 - EX. EDGE OF VEGETATION
 - EX. TREE/SHRUB
 - 342 EX. MINOR CONTOUR
 - 340 EX. MAJOR CONTOUR
 - W W EX. WATER LINES
 - EX. WATER VALVE
 - EX. WATER METER
 - EX. FIRE HYDRANT
 - S S EX. SANITARY SEWER PIPE
 - EX. SANITARY MANHOLE
 - EX. STORMWATER PIPE
 - EX. STORMWATER STRUCTURES
 - EX. OVERHEAD ELECTRIC
 - EX. UTILITY POLE
 - G G EX. GAS
 - SOILS BOUNDARY LINES
 - BENCHMARK
 - PROPOSED EASEMENT
 - PROPOSED BUILDING
 - PROPOSED CONCRETE CURB
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED CENTER OF ROAD/DRIVE AISLE
 - PROPOSED GORE STRIPING
 - PROPOSED CONCRETE AREA
 - PROPOSED SIGN
 - PROPOSED BOLLARD
 - PROPOSED PROPERTY CORNER



NO.	DATE	REVISIONS	BY
1	7/14/23	PER CITY COMMENTS	KDH



SITE PLAN

MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
3769 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

BETHLEHEM COMMERCIAL CENTER, LLC.
3001 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

Pennoni Associates Inc. 81 Highland Ave, Suite 220 Bethlehem, PA 18017 - 610.231.0600 **Engineers • Surveyors • Planners • Landscape Architects**

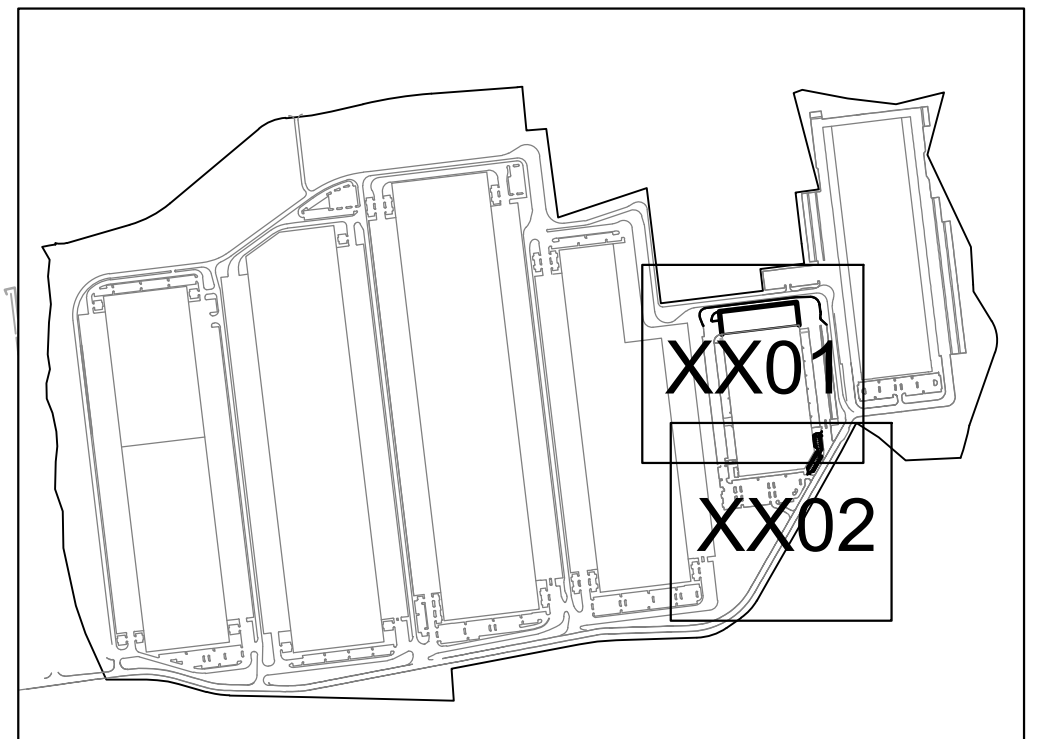
ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT NO.	CMCN0801
SHEET	7 of 26

SCALE	DATE
1"=40'	5/31/23
DRAWN BY	APPROVED
1005	KDH

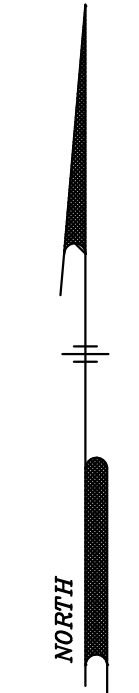
DRAWING NO. **CS1001**

LV:\PROJECTS\CMCN\0801-BETHLEHEM COMMERCIAL CENTER\DESIGN_PUBLISH\PHASE 5 EXPANSION\CS1001.DWG PLOTTED: 7/14/23 10:58:58 AM BY: KYLE HAVDICH PENNONI NCS,SB, PROJECT STATUS: -----



KEY MAP
N.T.S.

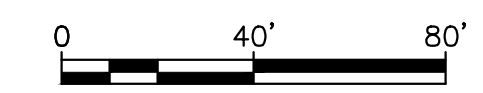
CS-0002, CS-0003 [NOTES SHEETS],
CS-1000 [OVERALL SITE
PLAN], CS-1001 AND CS-1002 [SITE
PLANS] ARE CONSIDERED TO BE
A COMPLETE RECORD PLAN SET
FOR FILING PURPOSES IN THE
NORTHAMPTON COUNTY
RECORDER OF DEEDS OFFICE



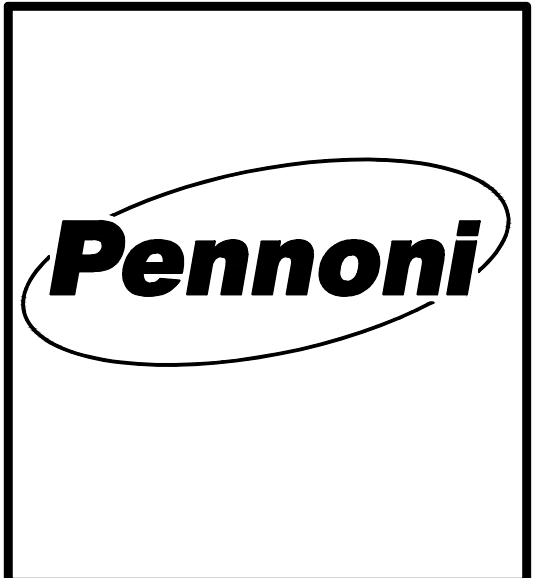
- LEGEND**
- PROPERTY LINE
 - PROPERTY LINE TO BE EXTINGUISHED
 - ADJOINING PROPERTY OWNERS LINE
 - PROPERTY CORNER FOUND/MONUMENTS
 - EX. MUNICIPAL BOUNDARY
 - EX. FLOOD PLAIN
 - EX. CENTERLINE OF STREAM
 - EX. EDGE OF PAVEMENT
 - EX. FENCE LINE
 - EX. EDGE OF VEGETATION
 - EX. TREE/SHRUB
 - 342 EX. MINOR CONTOUR
 - 340 EX. MAJOR CONTOUR
 - W W EX. WATER LINES
 - EX. WATER VALVE
 - EX. WATER METER
 - EX. FIRE HYDRANT
 - S S EX. SANITARY SEWER PIPE
 - EX. SANITARY MANHOLE
 - EX. STORMWATER PIPE
 - EX. STORMWATER STRUCTURES
 - EX. OVERHEAD ELECTRIC
 - EX. UTILITY POLE
 - G G EX. GAS
 - SOILS BOUNDARY LINES
 - BENCHMARK
 - PROPOSED EASEMENT
 - PROPOSED BUILDING
 - PROPOSED CONCRETE CURB
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED CENTER OF ROAD/DRIVE AISLE
 - PROPOSED GORE STRIPING
 - PROPOSED CONCRETE AREA
 - PROPOSED SIGN
 - PROPOSED BOLLARD
 - PROPOSED PROPERTY CORNER

SIGN TABLE

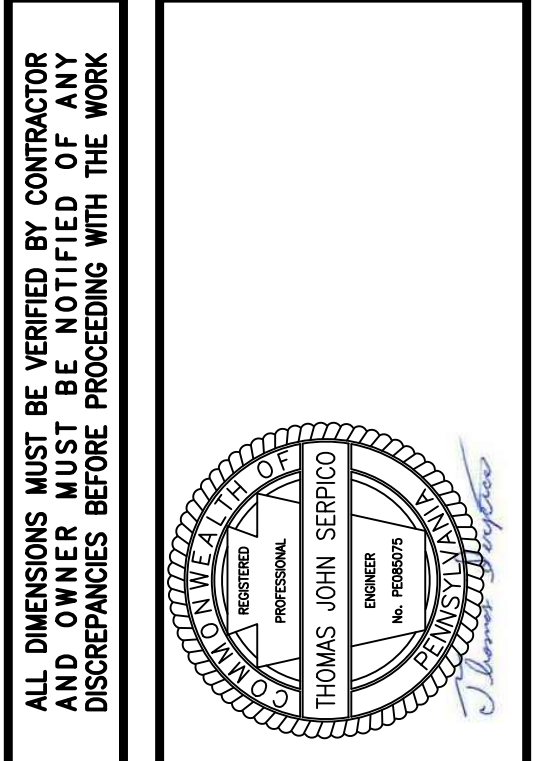
SYMBOL	SIGN CHARACTERISTICS	PADOT #	SIZE
□	STOP	R1-1	30"X30"



Pennoni Associates Inc. 81 Highland Ave, Suite 220 Bethlehem, PA 18017 - 610.231.0600
Enginers • Surveyors • Planners • Landscape Architects



NO.	DATE	REVISIONS	BY
1	7/14/23	PER CITY COMMENTS	KDH

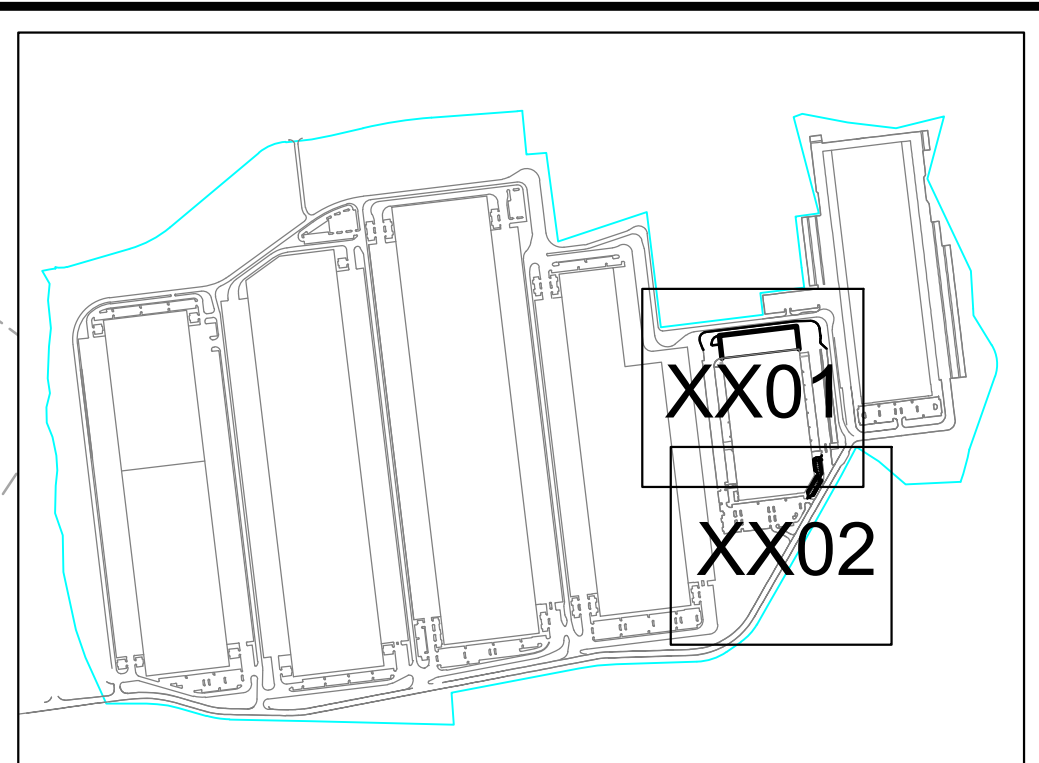
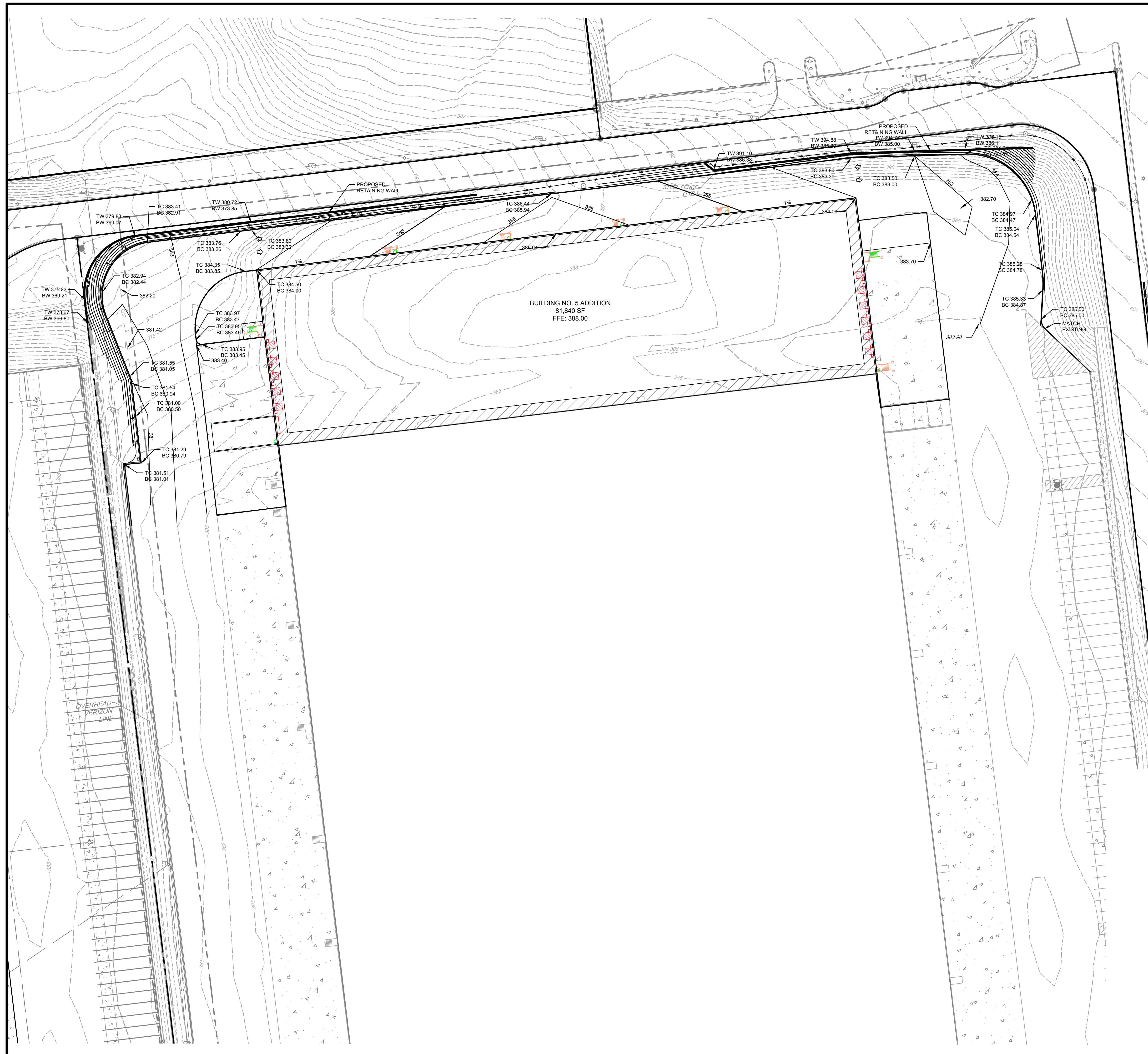


MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
 3769 COMMERCE CENTER BOULEVARD
 BETHLEHEM, PA 18015
SITE PLAN
 BETHLEHEM COMMERCE CENTER, LLC.
 3001 COMMERCE CENTER BOULEVARD
 BETHLEHEM, PA 18015

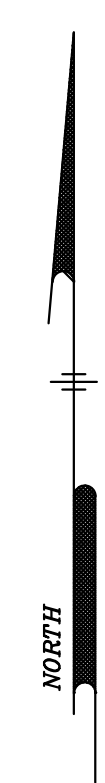
ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATE, AND OWNERS SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT NO.	CMCN0801
SHEET	8 OF 26

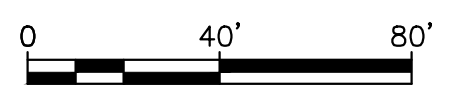
SCALE	1"=40'	DATE	5/31/23
DRAWN BY	1005	APPROVED	KDH
DRAWING NO.	CS1002		



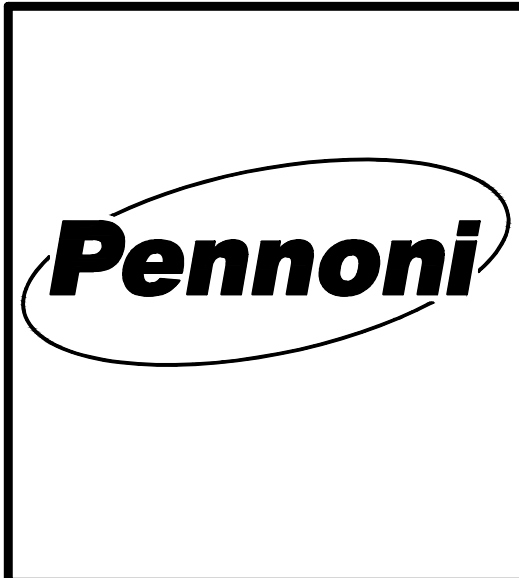
KEY MAP
N.T.S.



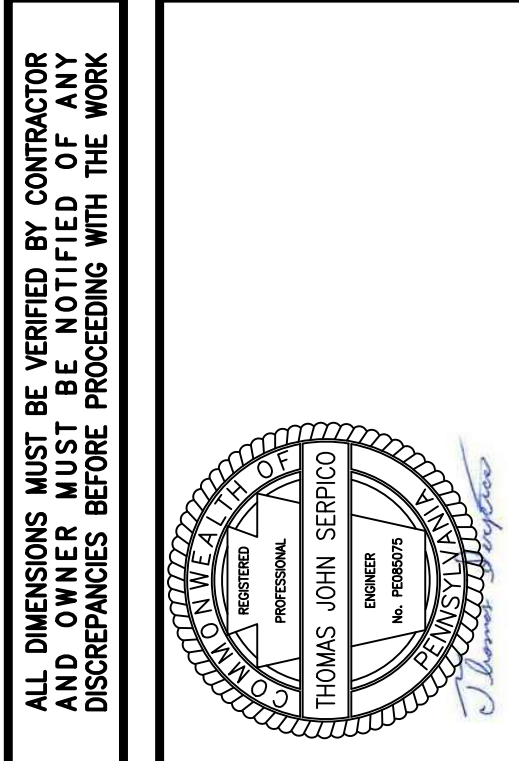
- LEGEND**
- PROPERTY LINE
 - - - PROPERTY LINE TO BE EXTINGUISHED
 - - - ADJOINING PROPERTY OWNERS LINE
 - PROPERTY CORNER FOUND/MONUMENTS
 - EX. MUNICIPAL BOUNDARY
 - EX. FLOOD PLAIN
 - EX. CENTERLINE OF STREAM
 - EX. EDGE OF PAVEMENT
 - EX. FENCE LINE
 - EX. EDGE OF VEGETATION
 - EX. TREE/SHRUB
 - - - 342 EX. MINOR CONTOUR
 - - - 340 EX. MAJOR CONTOUR
 - EX. WATER LINES
 - EX. WATER VALVE
 - EX. WATER METER
 - EX. FIRE HYDRANT
 - EX. SANITARY SEWER PIPE
 - EX. SANITARY MANHOLE
 - EX. STORMWATER PIPE
 - EX. STORMWATER STRUCTURES
 - EX. OVERHEAD ELECTRIC
 - EX. UTILITY POLE
 - EX. GAS
 - SOILS BOUNDARY LINES
 - BENCHMARK
 - - - PROPOSED EASEMENT
 - PROPOSED BUILDING
 - PROPOSED CONCRETE CURB
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED CENTER OF ROAD/DRIVE AISLE
 - PROPOSED GORE STRIPING
 - PROPOSED CONCRETE AREA
 - PROPOSED SIGN
 - PROPOSED BOLLARD
 - PROPOSED PROPERTY CORNER
 - 340 PROPOSED MAJOR CONTOUR
 - 342 PROPOSED MINOR CONTOUR



Pennoni Associates Inc. 81 Highland Ave, Suite 220 Bethlehem, PA 18017 - 610.231.0600
Engineers • Surveyors • Planners • Landscape Architects



NO.	DATE	REVISIONS	BY
1	7/14/23	PER CITY COMMENTS	KDH



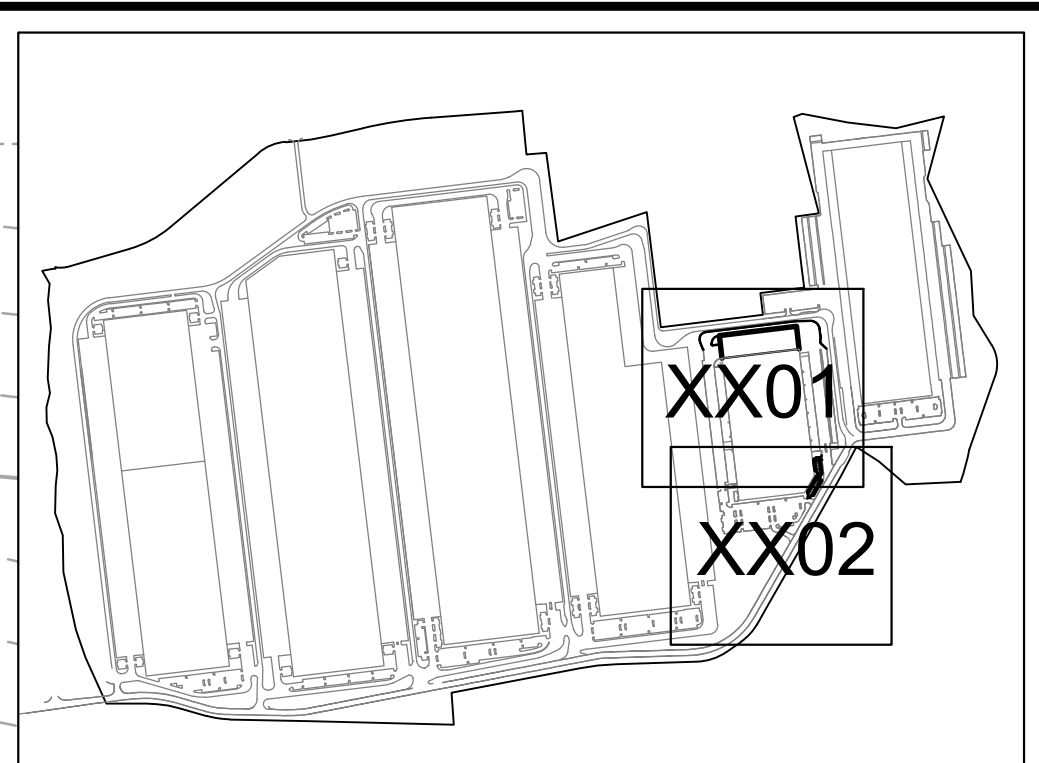
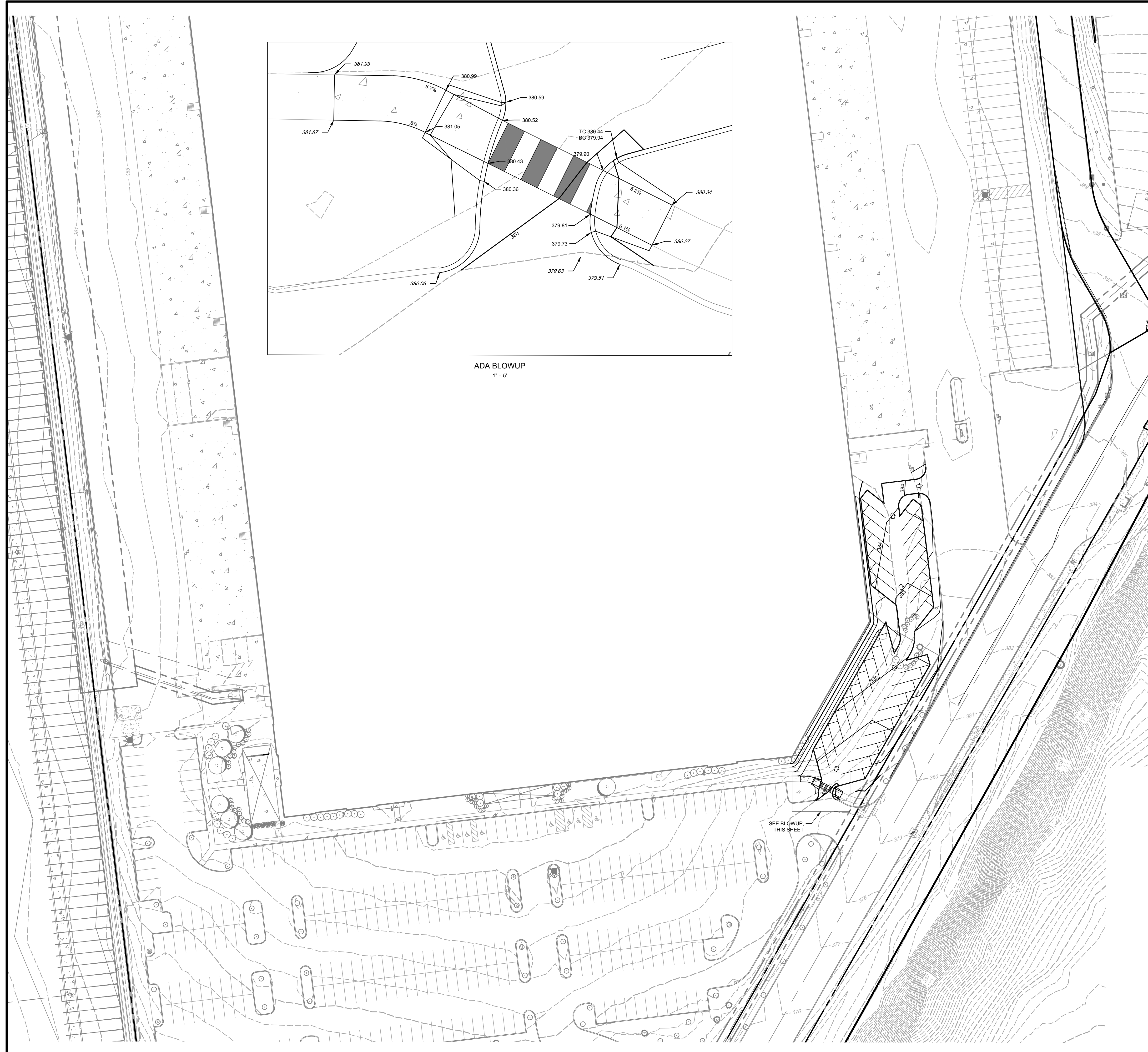
MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
 3769 COMMERCE CENTER BOULEVARD
 BETHLEHEM, PA 18015
GRADING PLAN
 BETHLEHEM COMMERCE CENTER, LLC.
 3001 COMMERCE CENTER BOULEVARD
 BETHLEHEM, PA 18015

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THIS PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATE AND OWNER SHALL INSTANTLY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

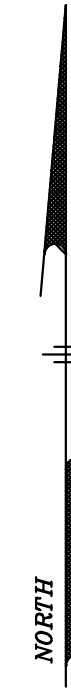
PROJECT NO.	CMCN0801
SHEET	9 OF 26

SCALE	1"=40'	DATE	5/31/23
DRAWN BY	1005	APPROVED	KDH
DRAWING NO.	CS1501		

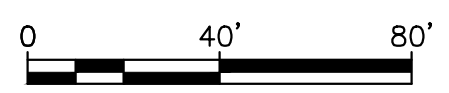
L:\PROJECTS\CMCN0801-BETHLEHEM COMMERCE CENTER\DESIGN_PUBLISH\PHASE 5 EXPANSION\CS1501.DWG PLOTTED: 7/14/23 10:58 AM BY: KYLE HAYDICHAK PENNONI NCS/SB PROJECT STATUS: -----



KEY MAP
N.T.S.



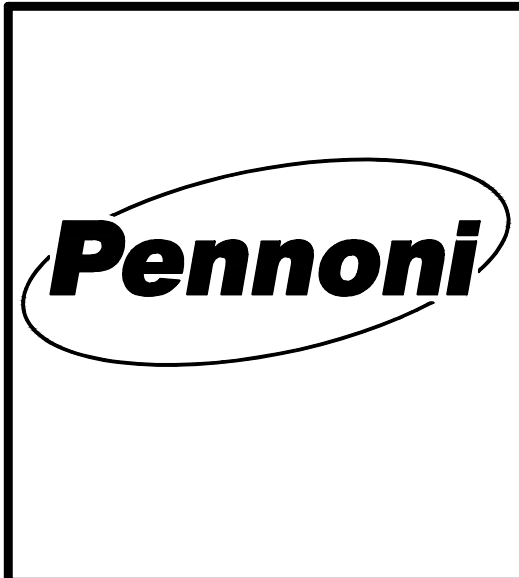
- LEGEND**
- PROPERTY LINE
 - PROPERTY LINE TO BE EXTINGUISHED
 - ADJOINING PROPERTY OWNERS LINE
 - + PROPERTY CORNER FOUND/MONUMENTS
 - EX. MUNICIPAL BOUNDARY
 - EX. FLOOD PLAN
 - EX. CENTERLINE OF STREAM
 - EX. EDGE OF PAVEMENT
 - EX. FENCE LINE
 - EX. EDGE OF VEGETATION
 - EX. TREE/SHRUB
 - 342 EX. MINOR CONTOUR
 - 340 EX. MAJOR CONTOUR
 - W W EX. WATER LINES
 - EX. WATER VALVE
 - EX. WATER METER
 - EX. FIRE HYDRANT
 - S S EX. SANITARY SEWER PIPE
 - EX. SANITARY MANHOLE
 - EX. STORMWATER PIPE
 - EX. STORMWATER STRUCTURES
 - O E EX. OVERHEAD ELECTRIC
 - EX. UTILITY POLE
 - G G EX. GAS
 - SOILS BOUNDARY LINES
 - BENCHMARK
 - PROPOSED EASEMENT
 - /// PROPOSED BUILDING
 - PROPOSED CONCRETE CURB
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED CENTER OF ROAD/DRIVE AISLE
 - /// PROPOSED GORE STRIPING
 - PROPOSED CONCRETE AREA
 - PROPOSED SIGN
 - PROPOSED BOLLARD
 - PROPOSED PROPERTY CORNER
 - 340 PROPOSED MAJOR CONTOUR
 - 342 PROPOSED MINOR CONTOUR



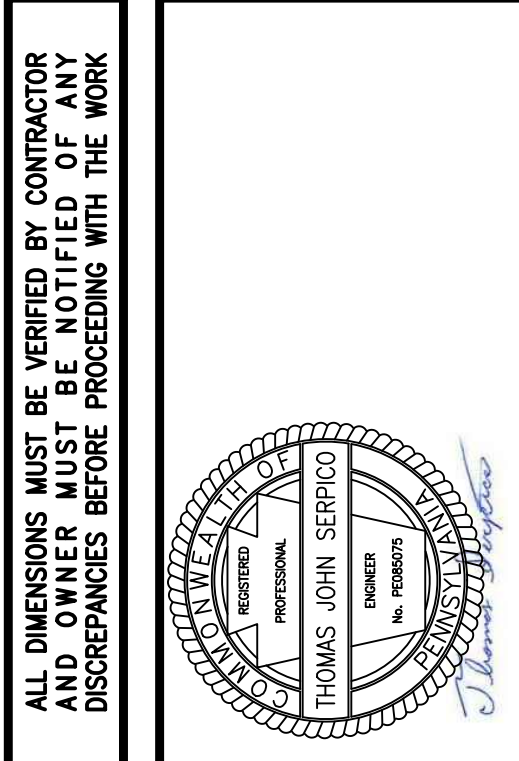
ADA BLOWUP
1" = 5'

SEE BLOWUP
THIS SHEET

Pennoni Associates Inc. 81 Highland Ave, Suite 230 Bethlehem, PA 18017 - 610.231.0600



NO.	DATE	REVISIONS	BY
1	7/14/23	PER CITY COMMENTS	KDH



MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
3769 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

GRADING PLAN

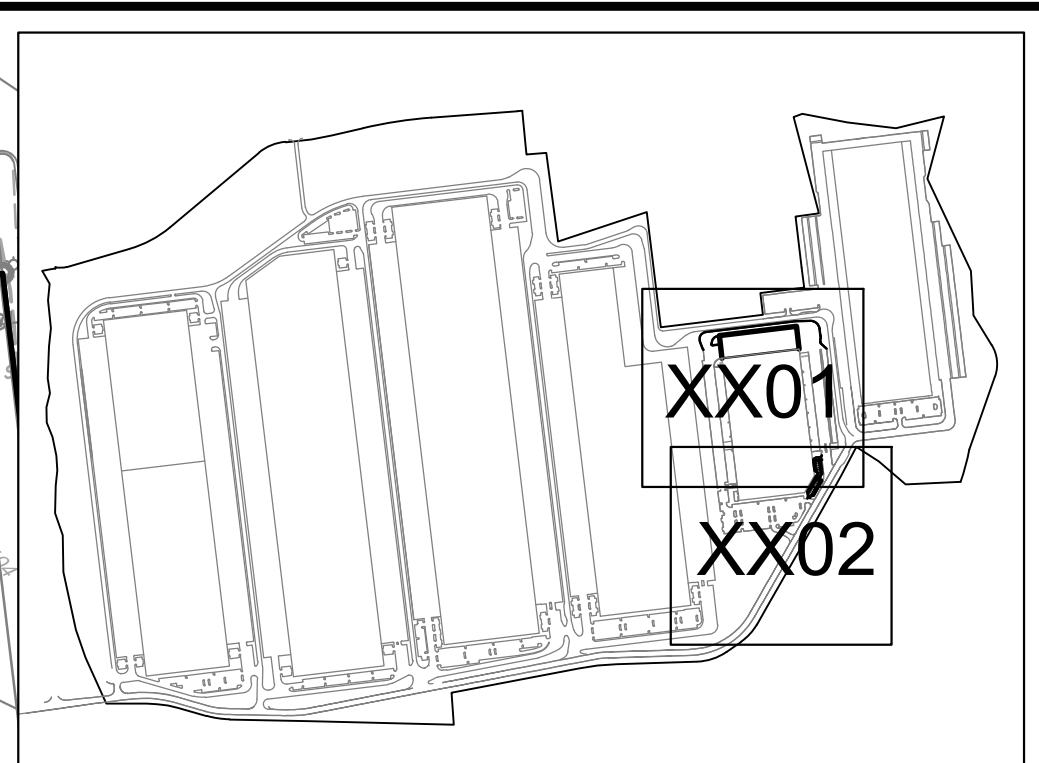
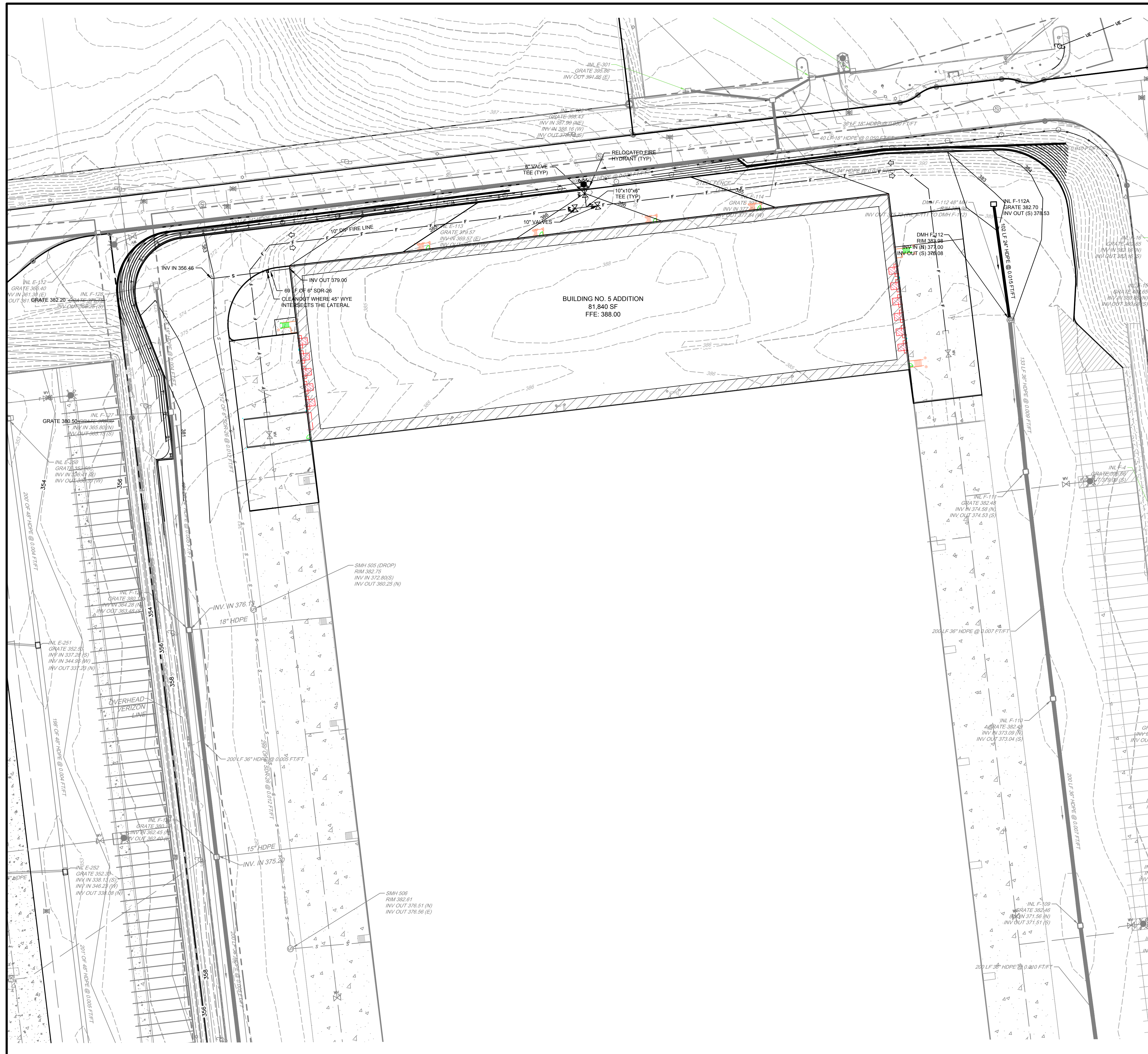
BETHLEHEM COMMERCE CENTER, LLC.
3001 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THIS PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT NO.	CMCN0801
SHEET	10 OF 26

SCALE	1"=40'	DATE	5/31/23
DRAWN BY	1005	APPROVED	KDH
DRAWING NO.	CS1502		

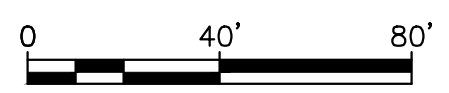
PROJECT: CMCN0801 - BETHLEHEM COMMERCE CENTER (P/SECTION) - PUBLISH/PHASE 5 EXPANSION/ST/2022.DWG PLOTTED: 7/14/23 10:58 AM BY: KYLE HAVDISH/PHASE 5 EXPANSION/ST/2022.DWG



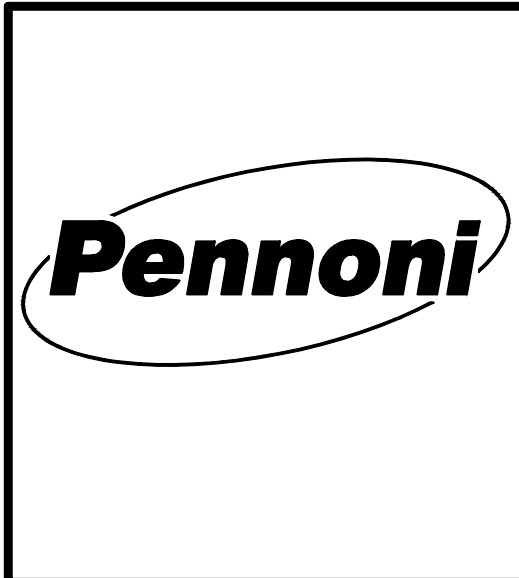
KEY MAP
N.T.S.

LEGEND

- PROPERTY LINE
- PROPERTY LINE TO BE EXTINGUISHED
- ADJOINING PROPERTY OWNERS LINE
- PROPERTY CORNER FOUND MONUMENTS
- EX. MUNICIPAL BOUNDARY
- EX. FLOOD PLAIN
- EX. CENTERLINE OF STREAM
- EX. EDGE OF PAVEMENT
- EX. FENCE LINE
- EX. EDGE OF VEGETATION
- EX. TREE/SHRUB
- EX. MINOR CONTOUR
- EX. MAJOR CONTOUR
- EX. WATER LINES
- EX. WATER VALVE
- EX. WATER METER
- EX. FIRE HYDRANT
- EX. SANITARY SEWER PIPE
- EX. SANITARY MANHOLE
- EX. STORMWATER PIPE
- EX. STORMWATER STRUCTURES
- EX. OVERHEAD ELECTRIC
- EX. UTILITY POLE
- EX. GAS
- SOILS BOUNDARY LINES
- BENCHMARK
- PROPOSED EASEMENT
- PROPOSED BUILDING
- PROPOSED CONCRETE CURB
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CENTER OF ROAD/DRIVE AISLE
- PROPOSED GORE STRIPING
- PROPOSED CONCRETE AREA
- PROPOSED SIGN
- PROPOSED BOLLARD
- PROPOSED PROPERTY CORNER
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED STORMWATER PIPE
- PROPOSED STORMWATER INLET
- PROPOSED STORMWATER MANHOLE
- PROPOSED WATER LINE
- PROPOSED FIRE LINE
- PROPOSED WATER VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY MANHOLE
- PROPOSED CLEAN OUT
- PROPOSED OVERHEAD ELECTRIC
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED UTILITY POLE
- PROPOSED GAS LINE



Pennoni Associates Inc.
 81 Highland Ave, Suite 220
 Bethlehem, PA 18017 - 610.231.0600
Engineers • Surveyors • Planners • Landscape Architects



DATE	NO.	REVISIONS	BY
7/14/23	1	PER CITY COMMENTS	KDH

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

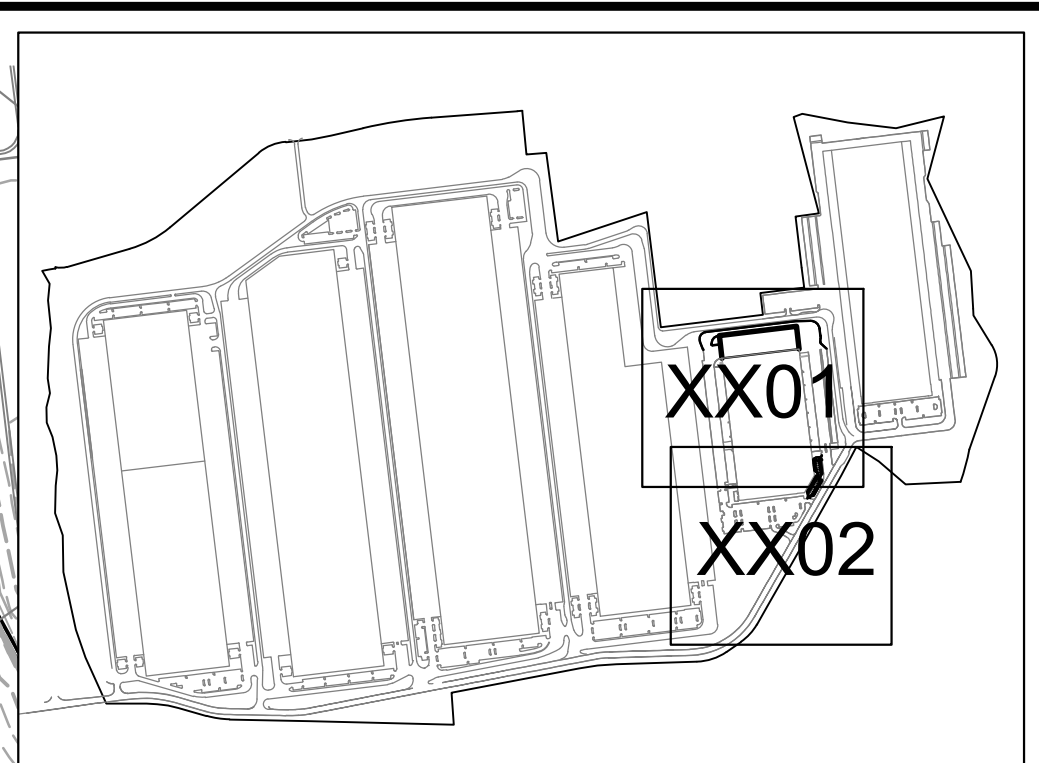
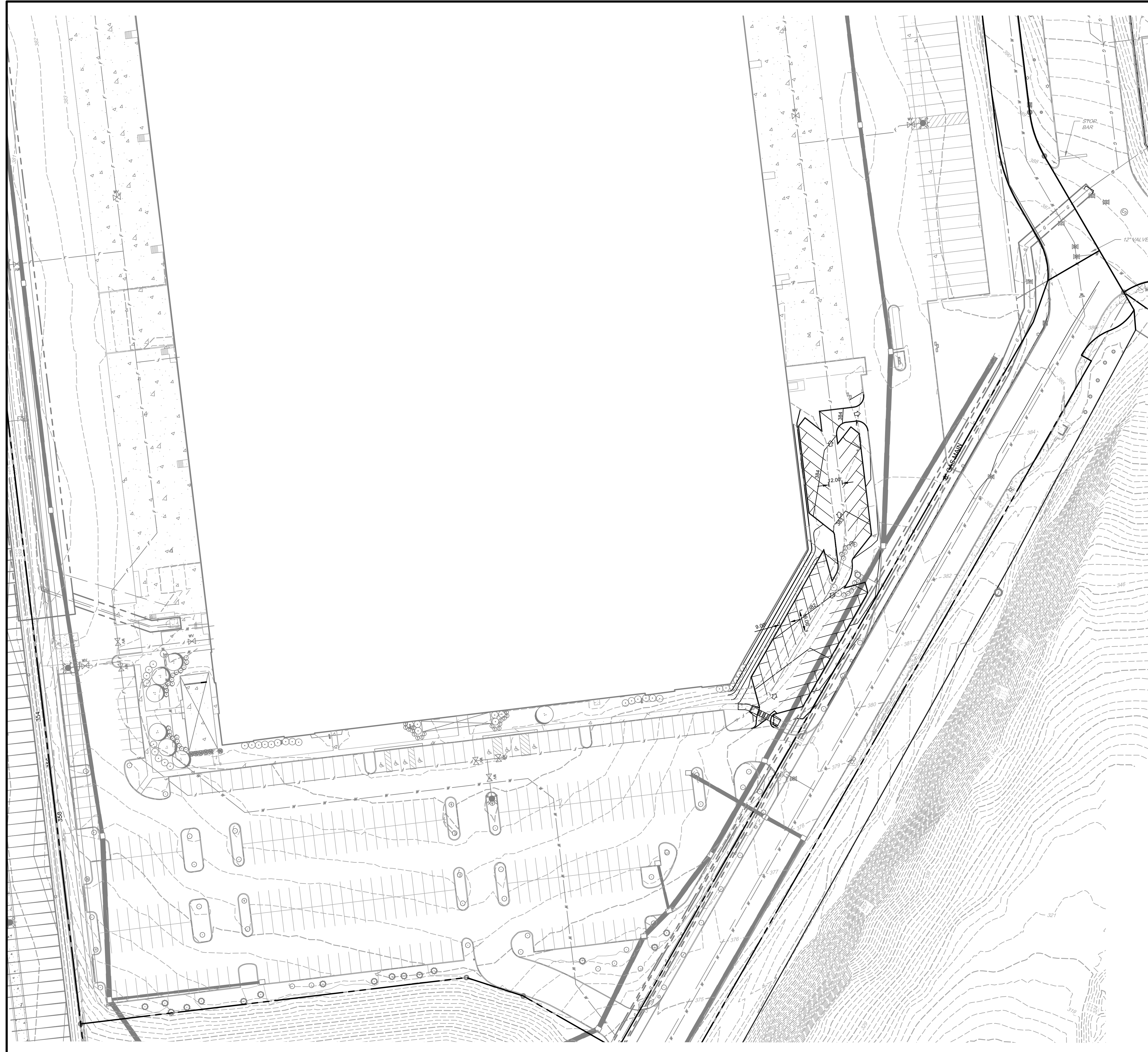
MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
 3769 COMMERCE CENTER BOULEVARD
 BETHLEHEM, PA 18015
DRAINAGE AND UTILITY PLAN
 BETHLEHEM COMMERCE CENTER, LLC.
 3001 COMMERCE CENTER BOULEVARD
 BETHLEHEM, PA 18015

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THIS PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES, AND OWNERS SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

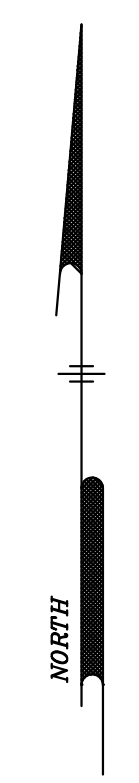
PROJECT NO.	CMCN0801
SHEET	110f 26

SCALE	DATE
1"=40'	5/31/23
DRAWN BY	APPROVED
1005	KDH
DRAWING NO.	
CS1701	

L:\PROJECTS\CMCN0801-BETHLEHEM COMMERCE CENTER\DESIGN_PUBLISH\PHASE 5 EXPANSION\CS1701.DWG PLOTTED: BY: KYLE HAVDICH PENNONI NCSLSB, PROJECT STATUS: -----

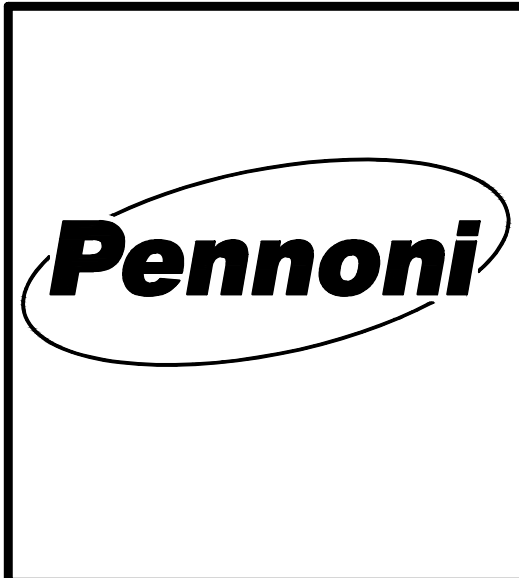
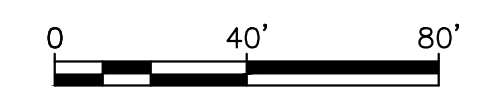


KEY MAP
N.T.S.

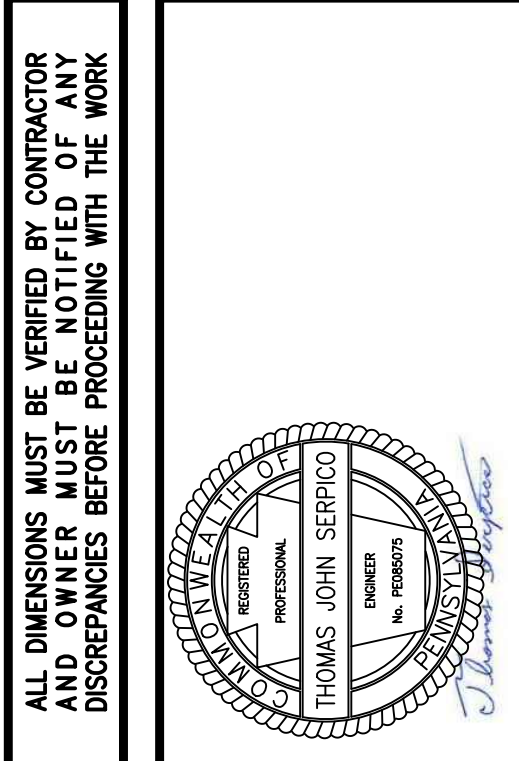


LEGEND

- PROPERTY LINE
- PROPERTY LINE TO BE EXTINGUISHED
- ADJOINING PROPERTY OWNERS LINE
- PROPERTY CORNER FOUNDIMONUMENTS
- EX. MUNICIPAL BOUNDARY
- EX. FLOOD PLAIN
- EX. CENTERLINE OF STREAM
- EX. EDGE OF PAVEMENT
- EX. FENCE LINE
- EX. EDGE OF VEGETATION
- EX. TREE/SHRUB
- EX. MINOR CONTOUR
- EX. MAJOR CONTOUR
- EX. WATER LINES
- EX. WATER VALVE
- EX. WATER METER
- EX. FIRE HYDRANT
- EX. SANITARY SEWER PIPE
- EX. SANITARY MANHOLE
- EX. STORMWATER PIPE
- EX. STORMWATER STRUCTURES
- EX. OVERHEAD ELECTRIC
- EX. UTILITY POLE
- EX. GAS
- SOILS BOUNDARY LINES
- BENCHMARK
- PROPOSED EASEMENT
- PROPOSED BUILDING
- PROPOSED CONCRETE CURB
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CENTER OF ROAD/DRIVE AISLE
- PROPOSED GORE STRIPING
- PROPOSED CONCRETE AREA
- PROPOSED SIGN
- PROPOSED BOLLARD
- PROPOSED PROPERTY CORNER
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED STORMWATER PIPE
- PROPOSED STORMWATER INLET
- PROPOSED STORMWATER MANHOLE
- PROPOSED WATER LINE
- PROPOSED FIRE LINE
- PROPOSED WATER VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY MANHOLE
- PROPOSED CLEAN OUT
- PROPOSED OVERHEAD ELECTRIC
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED UTILITY POLE
- PROPOSED GAS LINE



DATE	NO.	PER CITY COMMENTS	KDH	BY
7/14/23	1			



MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
3769 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

DRAINAGE AND UTILITY PLAN

BETHLEHEM COMMERCE CENTER, LLC.
3001 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

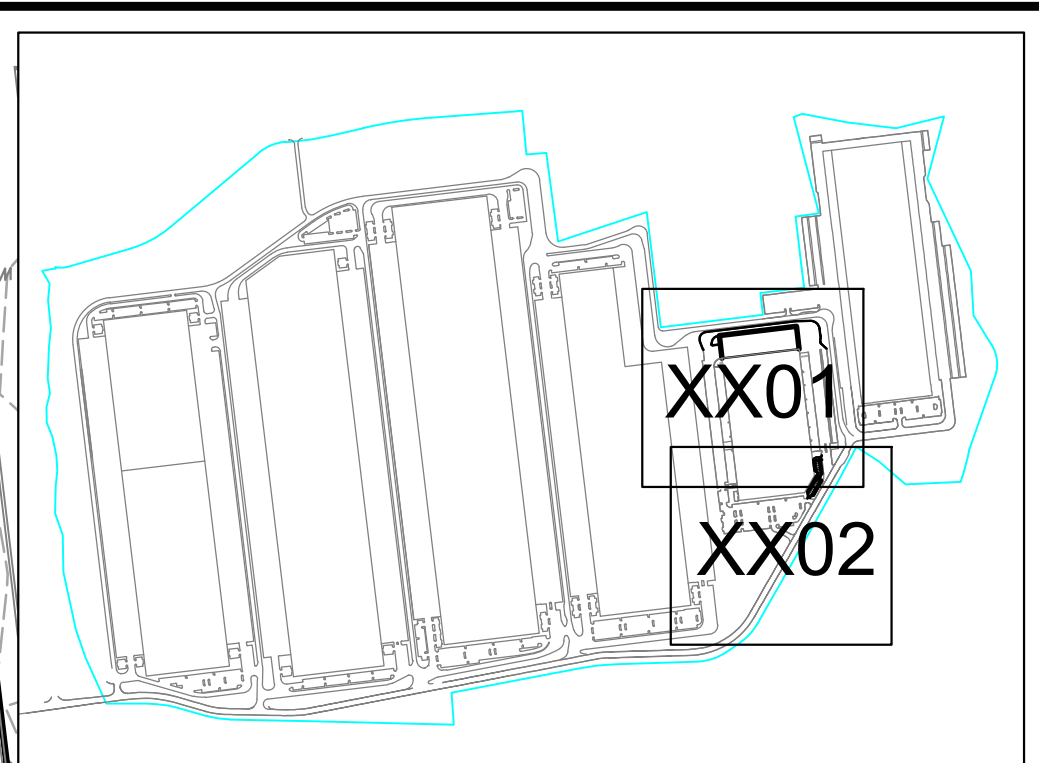
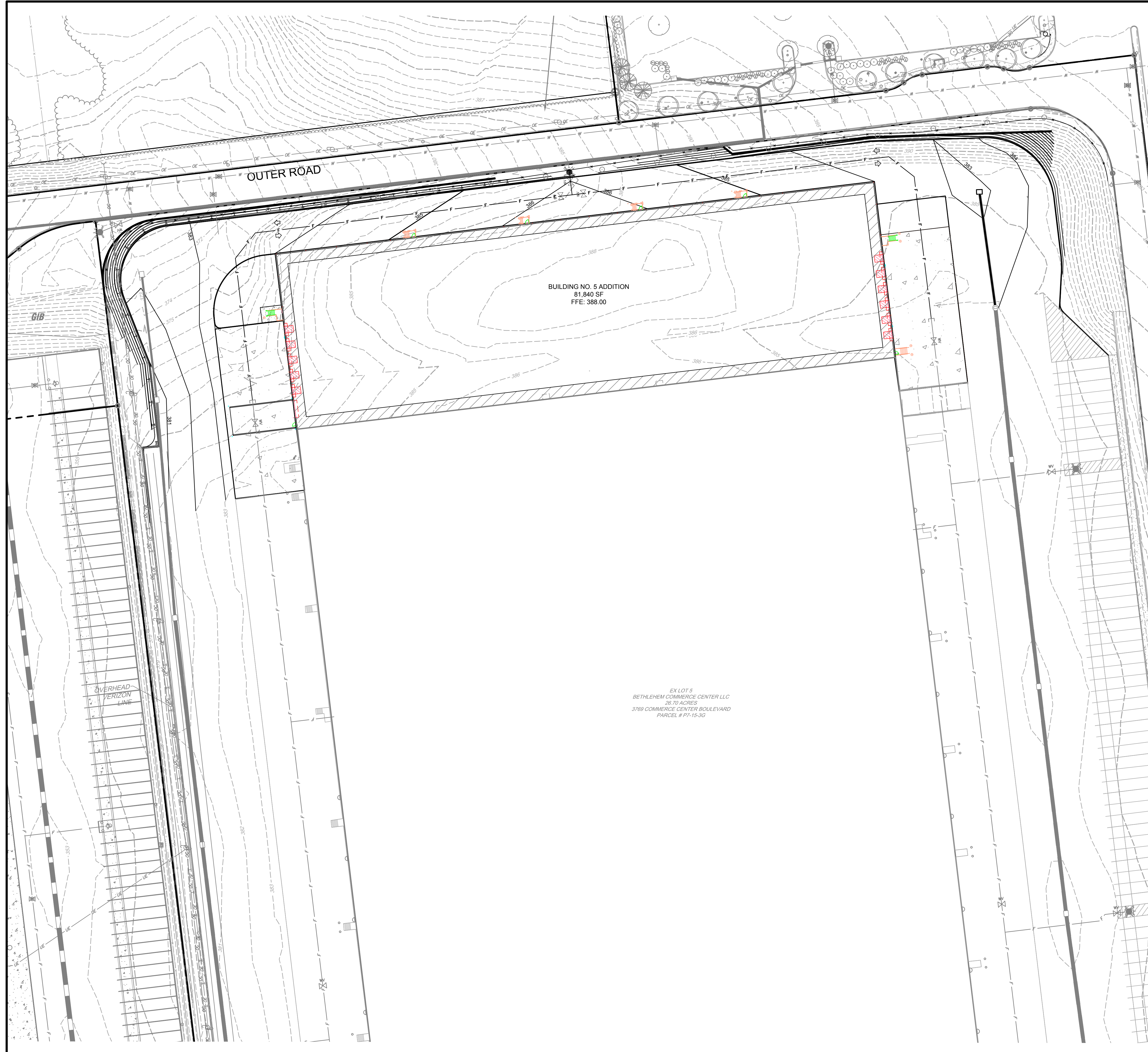
ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATE, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT NO.	CMCN0801
SHEET	12 OF 26

SCALE	DATE
1"=40'	5/31/23
DRAWN BY	APPROVED
1005	KDH
DRAWING NO.	
CS1702	

Pennoni Associates Inc. 81 Highland Ave, Suite 220 Bethlehem, PA 18017 - 610.231.0600
 Engineers • Surveyors • Planners • Landscape Architects

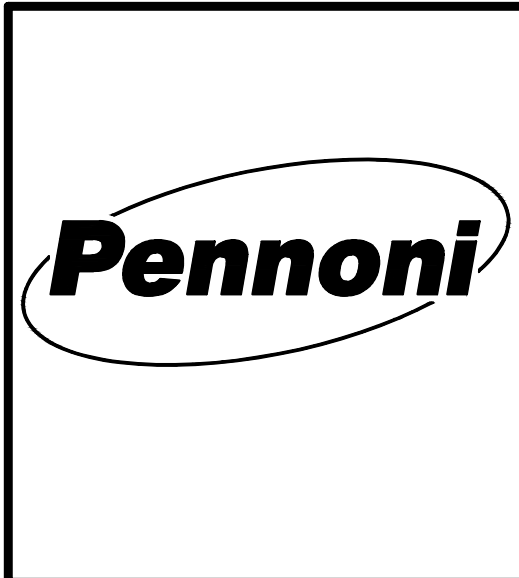
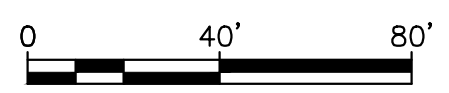
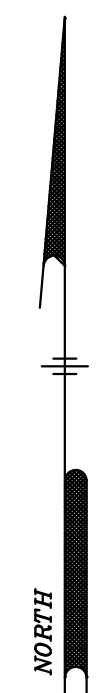
L:\PROJECTS\CMCN\CMCN0801-BETHLEHEM COMMERCE CENTER\DESIGN_PUBLISH\PHASE 5 EXPANSION\051702.DWG PLOTTED: 7/14/23 10:58 AM BY: KYLE HAVDICH PENNONI NCS,SR. PROJECT STATUS: -----



KEY MAP
N.T.S.

- LEGEND**
- PROPERTY LINE
 - PROPERTY LINE TO BE EXTINGUISHED
 - - - ADJOINING PROPERTY OWNERS LINE
 - ⊕ PROPERTY CORNER FOUND/MONUMENTS
 - EX. MUNICIPAL BOUNDARY
 - - - EX. FLOOD PLAIN
 - - - EX. CENTERLINE OF STREAM
 - EX. EDGE OF PAVEMENT
 - - - EX. FENCE LINE
 - - - EX. EDGE OF VEGETATION
 - EX. TREE/SHRUB
 - - - 342 EX. MINOR CONTOUR
 - - - 340 EX. MAJOR CONTOUR
 - EX. WATER LINES
 - W W EX. WATER VALVE
 - W W EX. WATER METER
 - S S EX. FIRE HYDRANT
 - S S EX. SANITARY SEWER PIPE
 - ⊕ EX. SANITARY MANHOLE
 - EX. STORMWATER PIPE
 - EX. STORMWATER STRUCTURES
 - EX. OVERHEAD ELECTRIC
 - EX. UTILITY POLE
 - EX. GAS
 - SOILS BOUNDARY LINES
 - ⊕ BENCHMARK
 - - - PROPOSED EASEMENT
 - ▨ PROPOSED BUILDING
 - PROPOSED CONCRETE CURB
 - PROPOSED EDGE OF PAVEMENT
 - - - PROPOSED CENTER OF ROAD/DRIVE AISLE
 - ▨ PROPOSED GORE STRIPING
 - ▨ PROPOSED CONCRETE AREA
 - PROPOSED SIGN
 - PROPOSED BOLLARD
 - 340 PROPOSED PROPERTY CORNER
 - 342 PROPOSED MAJOR CONTOUR
 - PROPOSED STORMWATER PIPE
 - PROPOSED STORMWATER INLET
 - PROPOSED STORMWATER MANHOLE
 - PROPOSED WATER LINE
 - PROPOSED FIRE LINE
 - PROPOSED WATER VALVE
 - PROPOSED FIRE HYDRANT
 - PROPOSED SANITARY SEWER
 - PROPOSED SANITARY MANHOLE
 - O.C.O. PROPOSED CLEAN OUT
 - PROPOSED OVERHEAD ELECTRIC
 - PROPOSED UNDERGROUND ELECTRIC
 - PROPOSED UTILITY POLE
 - PROPOSED GAS LINE

- LANDSCAPING LEGEND**
- PROPOSED STREET TREE
 - PROPOSED SHADE TREE
 - PROPOSED ORNAMENTAL TREE
 - PROPOSED EVERGREEN TREE
 - PROPOSED SHRUB
 - PROPOSED SEED MIX 'A'
 - PROPOSED SEED MIX 'B'
 - PROPOSED SEED MIX 'C'



DATE	NO.	PER CITY COMMENTS	BY
7/14/23	1		KDH

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

Pennoni Associates Inc. 81 Highland Ave, Suite 230 Bethlehem, PA 18017 - 610.231.0600 Engineers • Surveyors • Planners • Landscape Architects

MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
 3769 COMMERCE CENTER BOULEVARD
 BETHLEHEM, PA 18015

LANDSCAPE PLAN

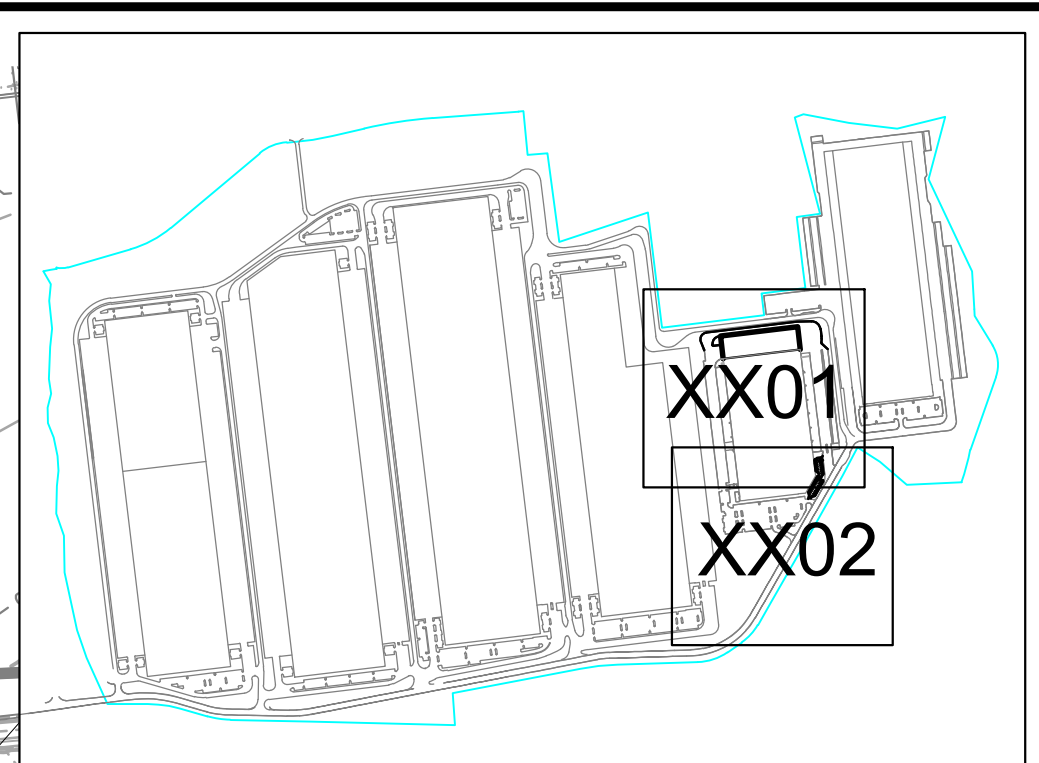
BETHLEHEM COMMERCE CENTER, LLC.
 3001 COMMERCE CENTER BOULEVARD
 BETHLEHEM, PA 18015

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE OF THIS PROJECT OR ON ANY OTHER PROJECT WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATE, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT NO.	CMCN0801
SHEET	13 OF 26

SCALE	DATE
1"=40'	5/31/23
DRAWN BY	APPROVED
1005	KDH
DRAWING NO.	
CS2001	

L:\PROJECTS\CMCN0801-BETHLEHEM COMMERCE CENTER\DESIGN_PUBLISH\PHASE 5 EXPANSION\CS2001.DWG PLOTTED: 5/31/23 10:00 AM, BY: KYLE HAVDUST, PENNONI NCS,STB, PROJECT STATUS: -----



KEY MAP
N.T.S.

LEGEND

- PROPERTY LINE
- PROPERTY LINE TO BE EXTINGUISHED
- ADJOINING PROPERTY OWNERS LINE
- PROPERTY CORNER FOUNDATION MONUMENTS
- EX. MUNICIPAL BOUNDARY
- EX. FLOOD PLAIN
- EX. CENTERLINE OF STREAM
- EX. EDGE OF PAVEMENT
- EX. FENCE LINE
- EX. EDGE OF VEGETATION
- EX. TREE/SHRUB
- EX. MINOR CONTOUR
- EX. MAJOR CONTOUR
- EX. WATER LINES
- EX. WATER VALVE
- EX. WATER METER
- EX. FIRE HYDRANT
- EX. SANITARY SEWER PIPE
- EX. SANITARY MANHOLE
- EX. STORMWATER PIPE
- EX. STORMWATER STRUCTURES
- EX. OVERHEAD ELECTRIC
- EX. UTILITY POLE
- EX. GAS
- SOILS BOUNDARY LINES
- BENCHMARK
- PROPOSED EASEMENT
- PROPOSED BUILDING
- PROPOSED CONCRETE CURB
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CENTER OF ROAD/DRIVE AISLE
- PROPOSED GORE STRIPING
- PROPOSED CONCRETE AREA
- PROPOSED BOLLARD
- PROPOSED PROPERTY CORNER
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED STORMWATER PIPE
- PROPOSED STORMWATER INLET
- PROPOSED STORMWATER MANHOLE
- PROPOSED WATER LINE
- PROPOSED FIRE LINE
- PROPOSED WATER VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY MANHOLE
- PROPOSED CLEAN OUT
- PROPOSED OVERHEAD ELECTRIC
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED UTILITY POLE
- PROPOSED GAS LINE

LANDSCAPING LEGEND

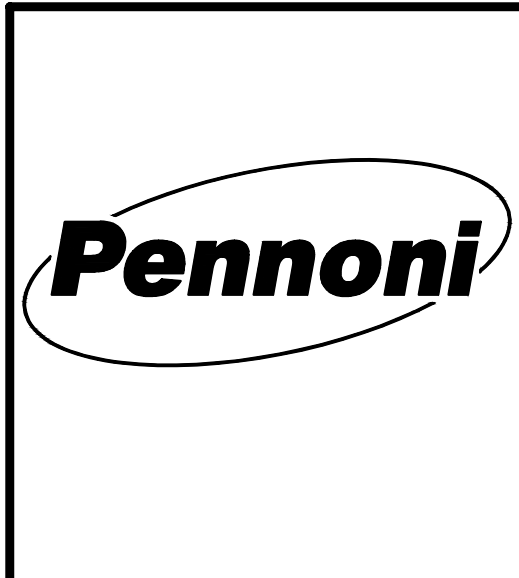
- PROPOSED STREET TREE
- PROPOSED SHADE TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUB
- PROPOSED SEED MIX 'A'
- PROPOSED SEED MIX 'B'
- PROPOSED SEED MIX 'C'

SCALE
0 40' 80'

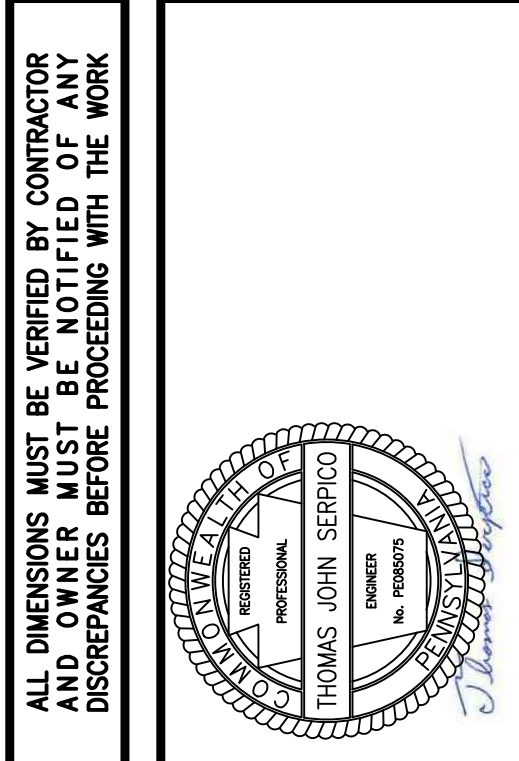
NOTE:
ANY LANDSCAPING DISTURBED OR DESTROYED DURING
CONSTRUCTION SHALL BE REMOVED AND REPLACED.

(1) 5-BIKE
PARK-IT RACK

Pennoni Associates Inc. Engineers • Surveyors • Planners • Landscape Architects



NO.	DATE	REVISIONS	BY
1	7/14/23	PER CITY COMMENTS	KDH



81 Highland Ave, Suite 230
Bethlehem, PA 18017 - 610.231.0600

MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
3769 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

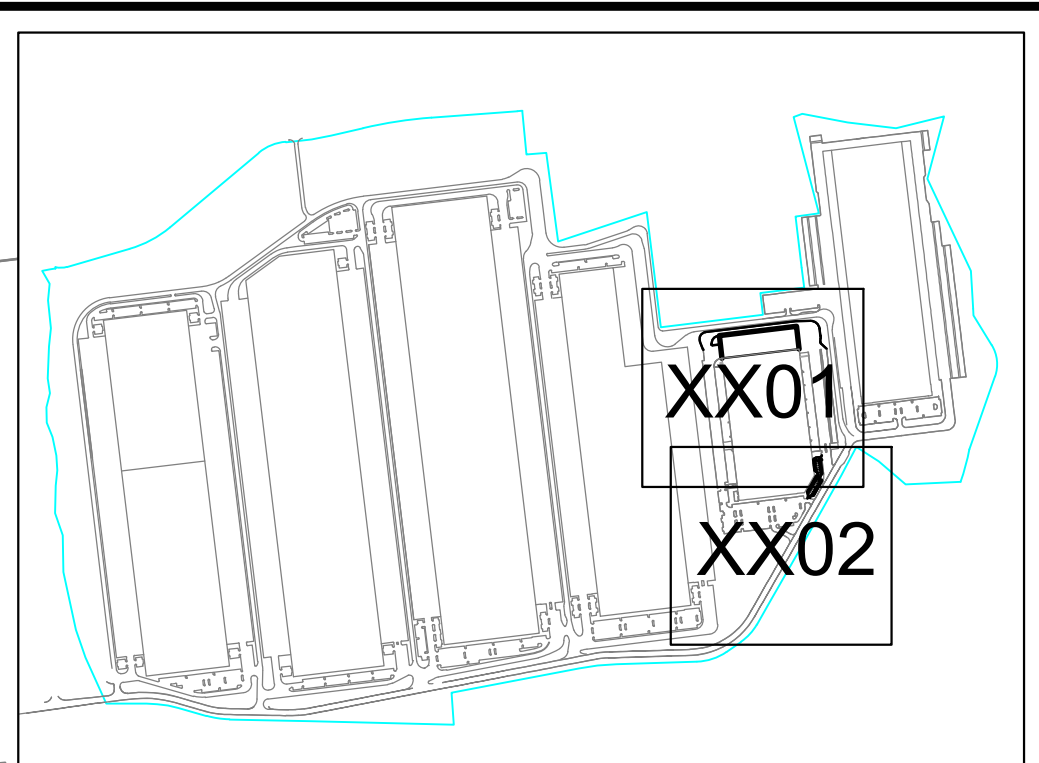
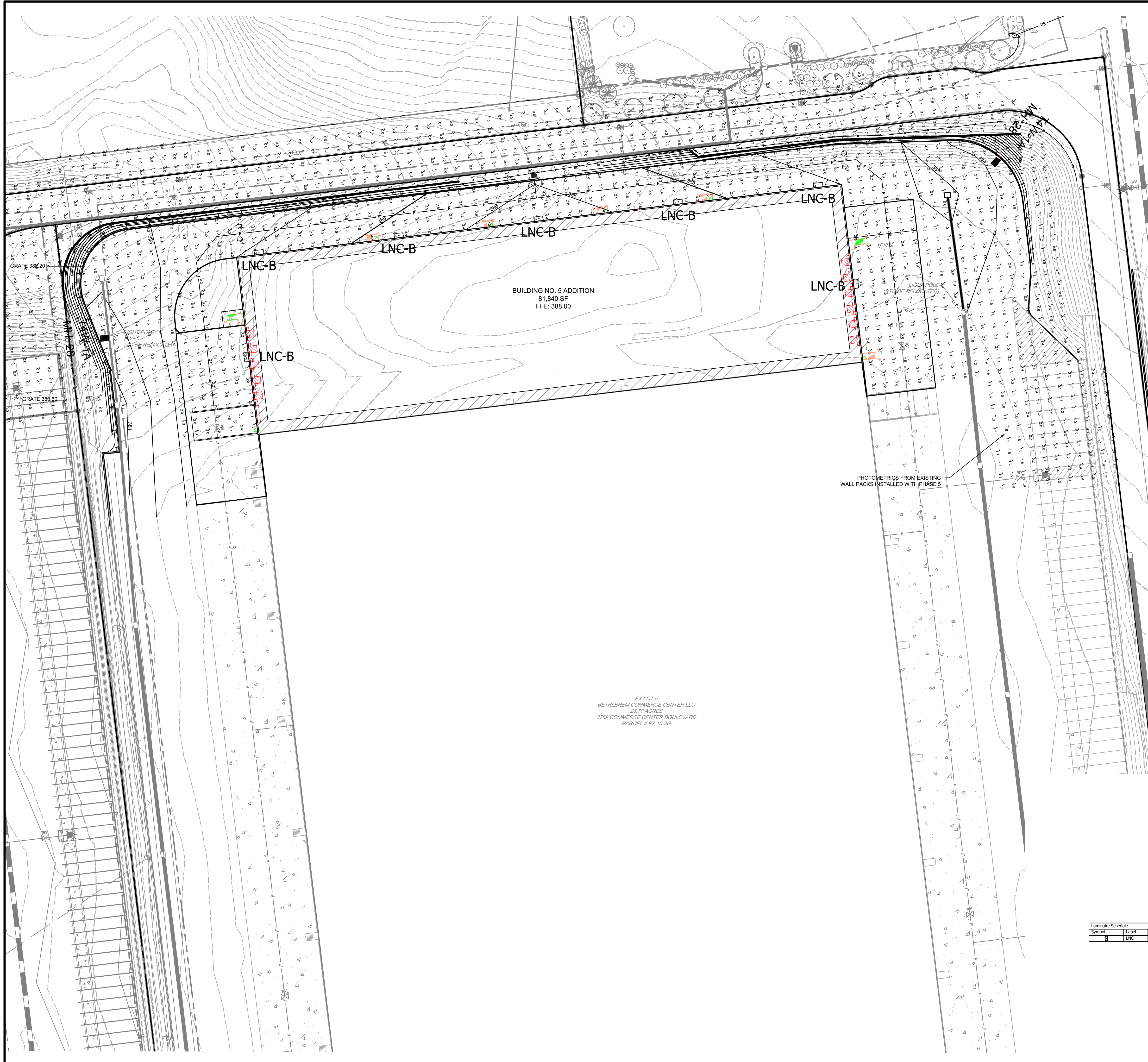
LANDSCAPE PLAN

BETHLEHEM COMMERCE CENTER, LLC.
3001 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS' SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNERS SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

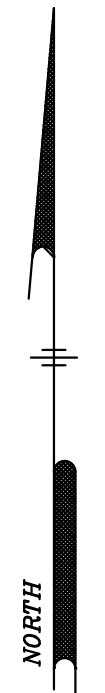
PROJECT NO.	CMCN0801
SHEET	14 OF 26

SCALE	DATE
1"=40'	5/31/23
DRAWN BY	APPROVED
1005	KDH
DRAWING NO.	
CS2002	



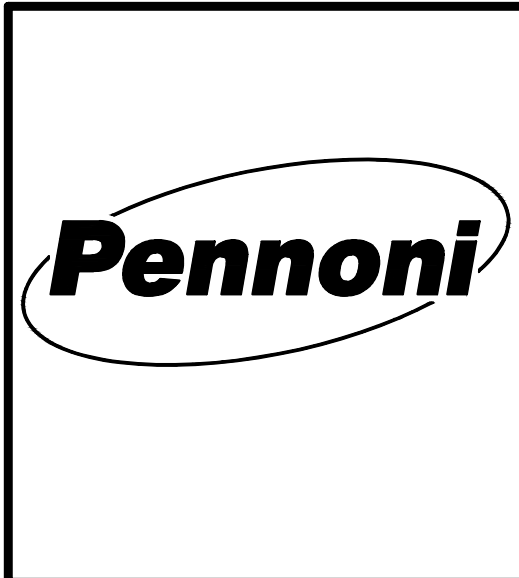
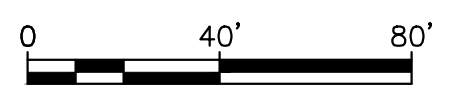
KEY MAP
N.T.S.

- LEGEND**
- PROPERTY LINE
 - PROPERTY LINE TO BE EXTINGUISHED
 - ADJOINING PROPERTY OWNERS LINE
 - PROPERTY CORNER FOUND/MONUMENTS
 - EX. MUNICIPAL BOUNDARY
 - EX. FLOOD PLAIN
 - EX. CENTERLINE OF STREAM
 - EX. EDGE OF PAVEMENT
 - EX. FENCE LINE
 - EX. EDGE OF VEGETATION
 - EX. TREE/SHRUB
 - EX. MINOR CONTOUR
 - EX. MAJOR CONTOUR
 - EX. WATER LINES
 - EX. WATER VALVE
 - EX. WATER METER
 - EX. FIRE HYDRANT
 - EX. SANITARY SEWER PIPE
 - EX. SANITARY MANHOLE
 - EX. STORMWATER PIPE
 - EX. STORMWATER STRUCTURES
 - EX. OVERHEAD ELECTRIC
 - EX. UTILITY POLE
 - EX. GAS
 - SOILS BOUNDARY LINES
 - BENCHMARK
 - PROPOSED EASEMENT
 - PROPOSED BUILDING
 - PROPOSED CONCRETE CURB
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED CENTER OF ROAD/DRIVE AISLE
 - PROPOSED GORE STRIPING
 - PROPOSED CONCRETE AREA
 - PROPOSED SIGN
 - PROPOSED BOLLARD
 - PROPOSED PROPERTY CORNER
 - 340 PROPOSED MAJOR CONTOUR
 - 342 PROPOSED MINOR CONTOUR
 - PROPOSED STORMWATER PIPE
 - PROPOSED STORMWATER INLET
 - PROPOSED STORMWATER MANHOLE
 - PROPOSED WATER LINE
 - PROPOSED FIRE LINE
 - PROPOSED WATER VALVE
 - PROPOSED FIRE HYDRANT
 - PROPOSED SANITARY SEWER
 - PROPOSED SANITARY MANHOLE
 - PROPOSED CLEAN OUT
 - PROPOSED OVERHEAD ELECTRIC
 - PROPOSED UNDERGROUND ELECTRIC
 - PROPOSED UTILITY POLE
 - PROPOSED GAS LINE



EX LOT 5
BETHLEHEM COMMERCE CENTER LLC
26.70 ACRES
3769 COMMERCE CENTER BOULEVARD
PARCEL # P7-15-3G

Symbol	Label	Qty	Mounting Height	LLF	Watts	Lumens	Description
□	LNC	2	28'-0" AYC	0.900	140	11598	LINC-K-300-4K-105-4-1



DATE	NO.	REVISIONS	BY
7/14/23	1	PER CITY COMMENTS	KDH

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

Pennoni Associates Inc. 81 Highland Ave, Suite 230 Bethlehem, PA 18017 - 610.231.0600
 Engineers • Surveyors • Planners • Landscape Architects

MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
3769 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

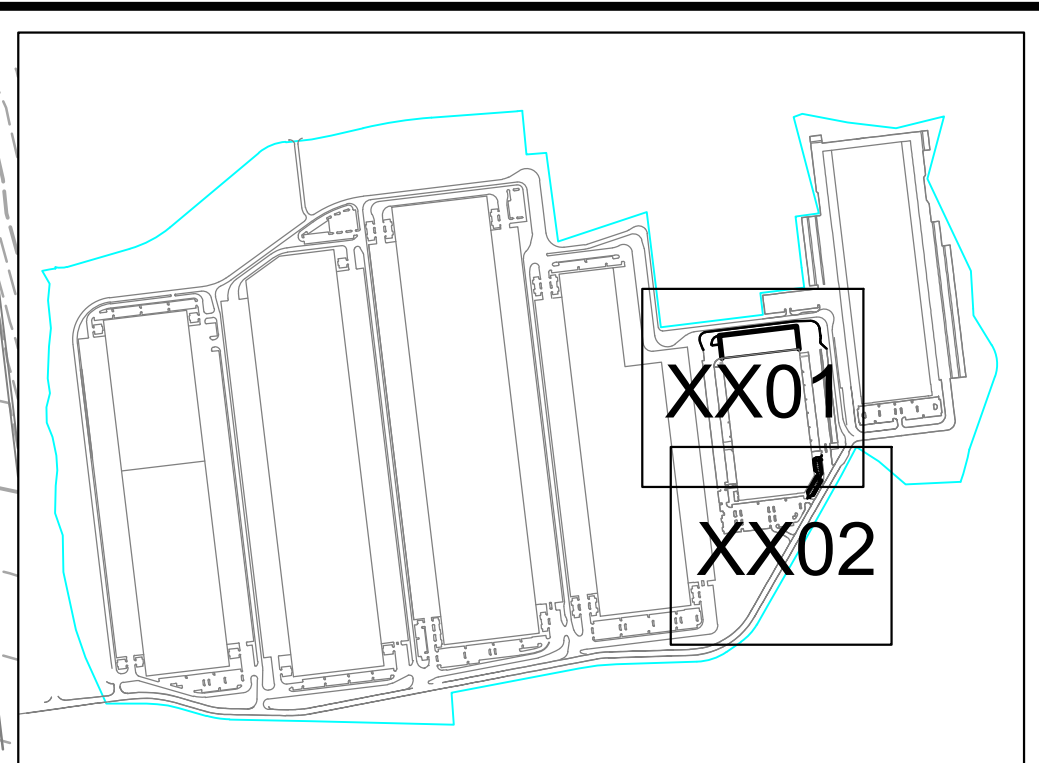
LIGHTING PHOTOMETRIC PLAN

BETHLEHEM COMMERCE CENTER, LLC.
3001 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

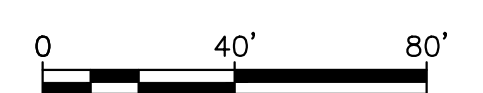
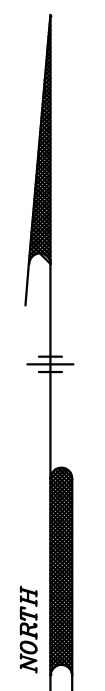
PROJECT NO. MCN0801
SHEET 15 OF 26

SCALE: 1"=40' DATE: 5/31/23
DRAWN BY: 1005 APPROVED: KDH
DRAWING NO. CS2201



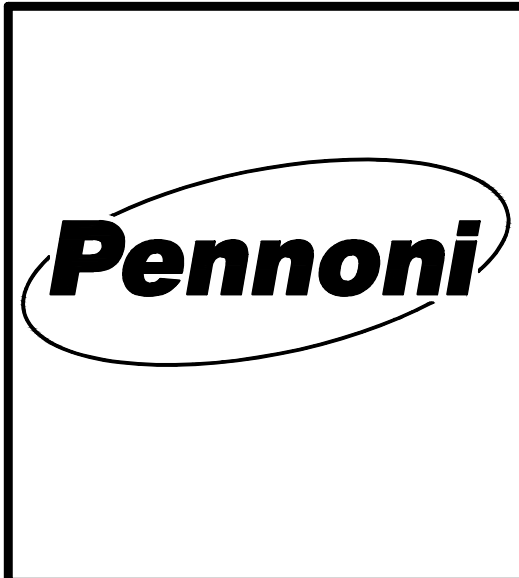
KEY MAP
N.T.S.

- LEGEND**
- PROPERTY LINE
 - PROPERTY LINE TO BE EXTINGUISHED
 - ADJOINING PROPERTY OWNERS LINE
 - PROPERTY CORNER FOUND/MONUMENTS
 - EX. MUNICIPAL BOUNDARY
 - EX. FLOOD PLAIN
 - EX. CENTERLINE OF STREAM
 - EX. EDGE OF PAVEMENT
 - EX. FENCE LINE
 - EX. EDGE OF VEGETATION
 - EX. TREE/SHRUB
 - 342 EX. MINOR CONTOUR
 - 340 EX. MAJOR CONTOUR
 - EX. WATER LINES
 - EX. WATER VALVE
 - EX. WATER METER
 - EX. FIRE HYDRANT
 - EX. SANITARY SEWER PIPE
 - EX. SANITARY MANHOLE
 - EX. STORMWATER PIPE
 - EX. STORMWATER STRUCTURES
 - EX. OVERHEAD ELECTRIC
 - EX. UTILITY POLE
 - EX. GAS
 - SOILS BOUNDARY LINES
 - BENCHMARK
 - PROPOSED EASEMENT
 - PROPOSED BUILDING
 - PROPOSED CONCRETE CURB
 - PROPOSED EDGE OF PAVEMENT
 - PROPOSED CENTER OF ROAD/DRIVE AISLE
 - PROPOSED GORE STRIPING
 - PROPOSED CONCRETE AREA
 - PROPOSED SIGN
 - PROPOSED BOLLARD
 - PROPOSED PROPERTY CORNER
 - 340 PROPOSED MAJOR CONTOUR
 - 342 PROPOSED MINOR CONTOUR
 - PROPOSED STORMWATER PIPE
 - PROPOSED STORMWATER INLET
 - PROPOSED STORMWATER MANHOLE
 - PROPOSED WATER LINE
 - PROPOSED FIRE LINE
 - PROPOSED WATER VALVE
 - PROPOSED FIRE HYDRANT
 - PROPOSED SANITARY SEWER
 - PROPOSED SANITARY MANHOLE
 - O.C.O. PROPOSED CLEAN OUT
 - PROPOSED OVERHEAD ELECTRIC
 - PROPOSED UNDERGROUND ELECTRIC
 - PROPOSED UTILITY POLE
 - PROPOSED GAS LINE

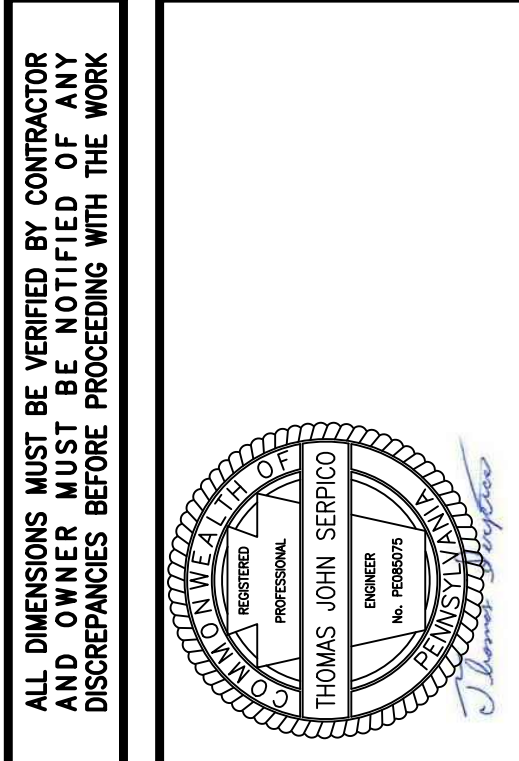


Pennoni Associates Inc. 81 Highland Ave, Suite 220 Bethlehem, PA 18017 - 610.231.0600

Enginers • Surveyors • Planners • Landscape Architects



NO.	DATE	PER CITY COMMENTS	BY
1	7/14/23		KDH



MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
 3769 COMMERCE CENTER BOULEVARD
 BETHLEHEM, PA 18015

LIGHTING PHOTOMETRIC PLAN

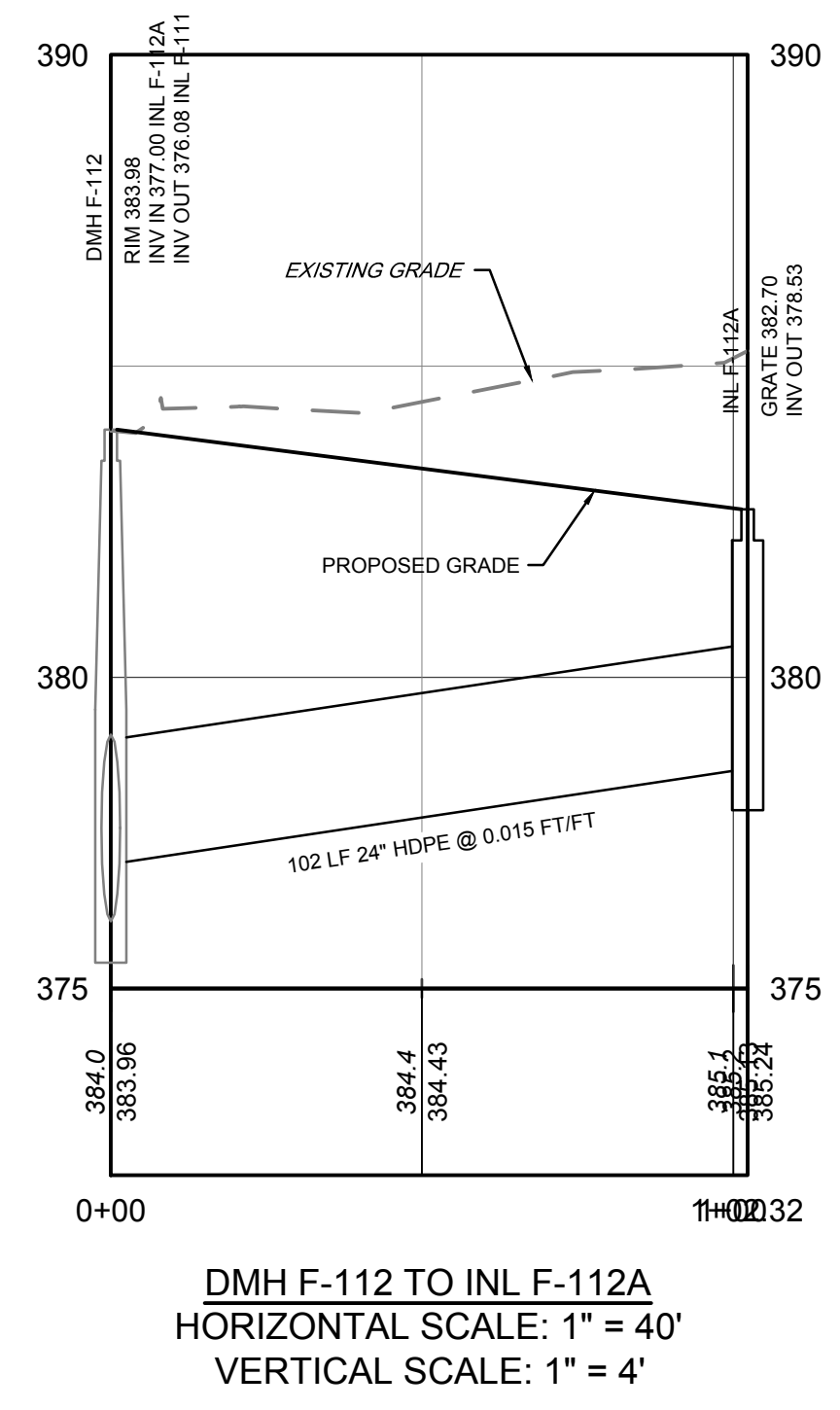
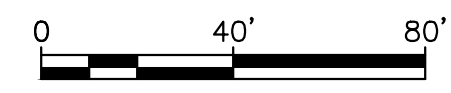
BETHLEHEM COMMERCE CENTER, LLC.
 3001 COMMERCE CENTER BOULEVARD
 BETHLEHEM, PA 18015

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATE, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT NO.	CMCN0801
SHEET	16 OF 26

SCALE	1"=40'	DATE	5/31/23
DRAWN BY	1005	APPROVED	KDH
DRAWING NO.	CS2202		

PROJECT: CMCN0801-BETHLEHEM COMMERCE CENTER (PUB) PHASE 5 EXPANSION (CS2202) DWG. PLOTTED: 7/14/23, BY: KYLE HAVDUST, PENNONI NCS/SR, PROJECT STATUS: -----



Pennoni Associates Inc.

81 Highland Ave, Suite 230
 Bethlehem, PA 18017 - 610.231.0600

Engineers • Surveyors • Planners • Landscape Architects

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATE, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT NO. CMCN0801
SHEET 17 OF 26
SCALE 1" = 40'
DATE 5/31/23
DRAWN BY 1005
APPROVED KDH
DRAWING NO. CS4001

MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
 3769 COMMERCE CENTER BOULEVARD
 BETHLEHEM, PA 18015

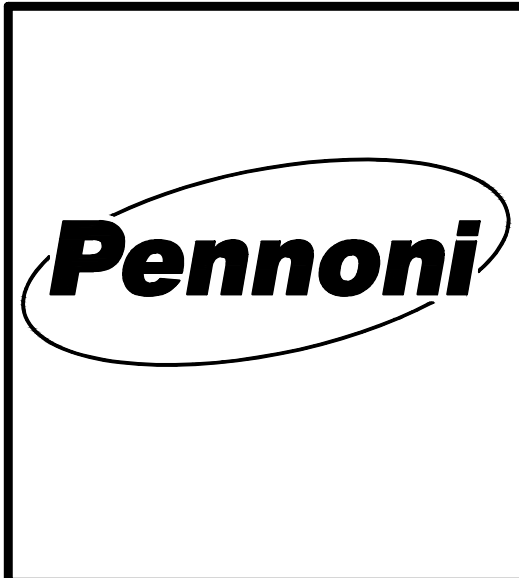
PROFILE PLAN

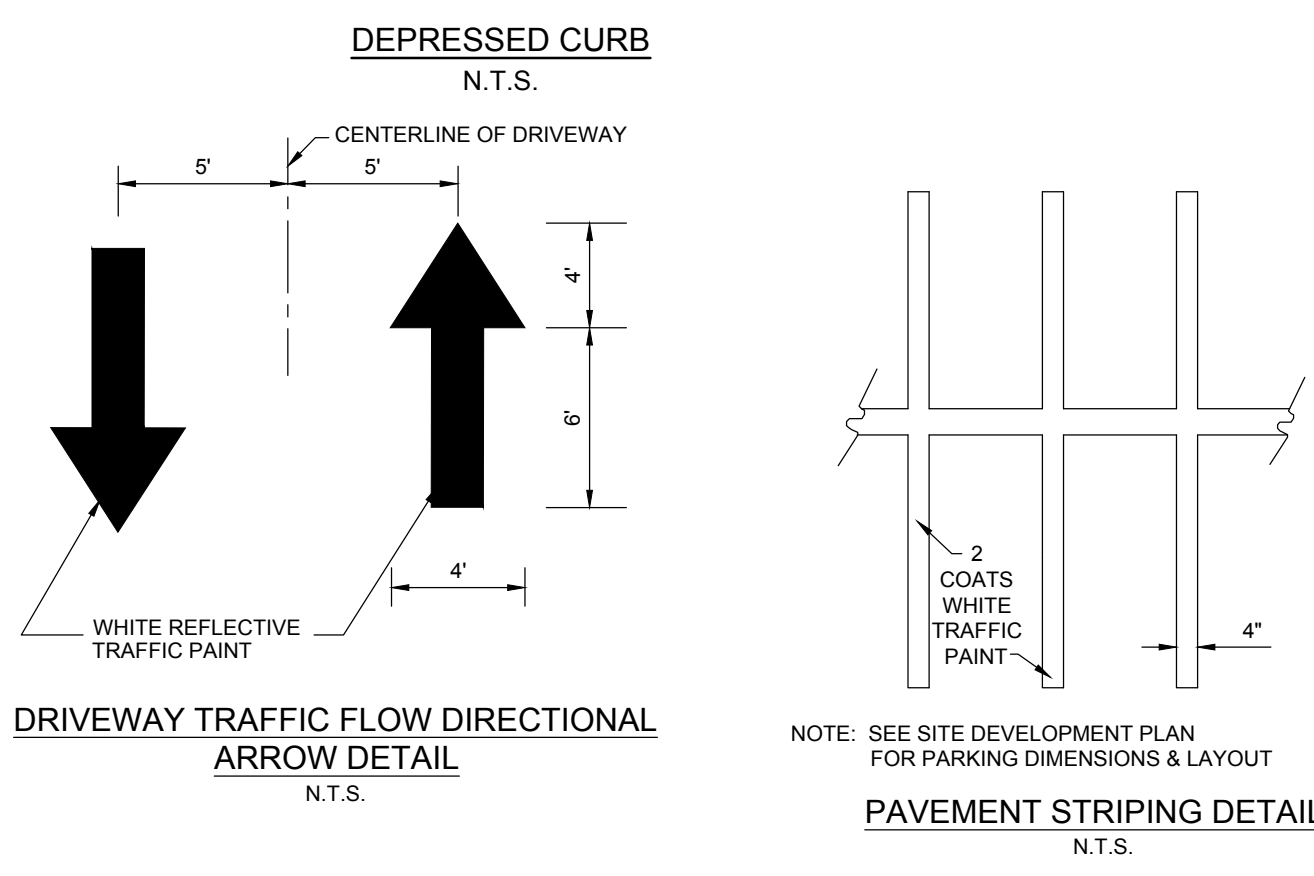
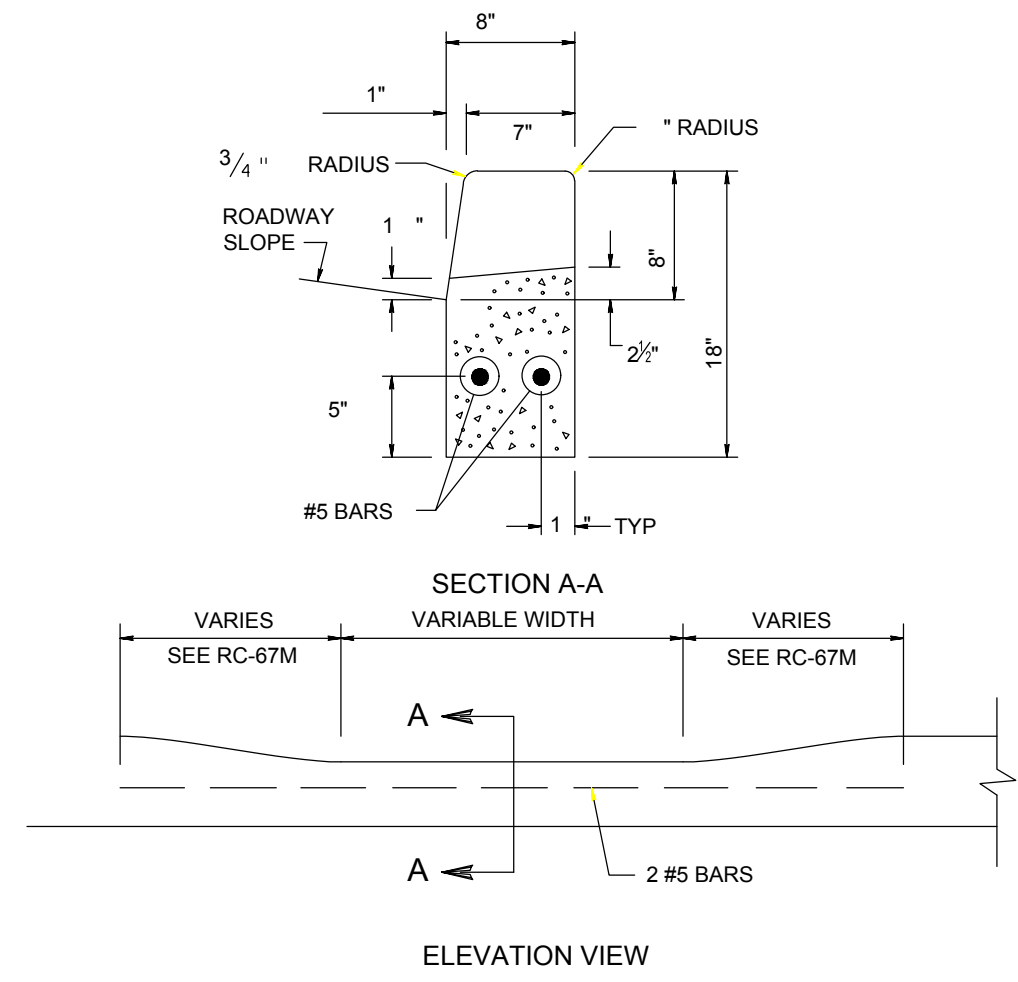
BETHLEHEM COMMERCE CENTER, LLC.
 3001 COMMERCE CENTER BOULEVARD
 BETHLEHEM, PA 18015

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

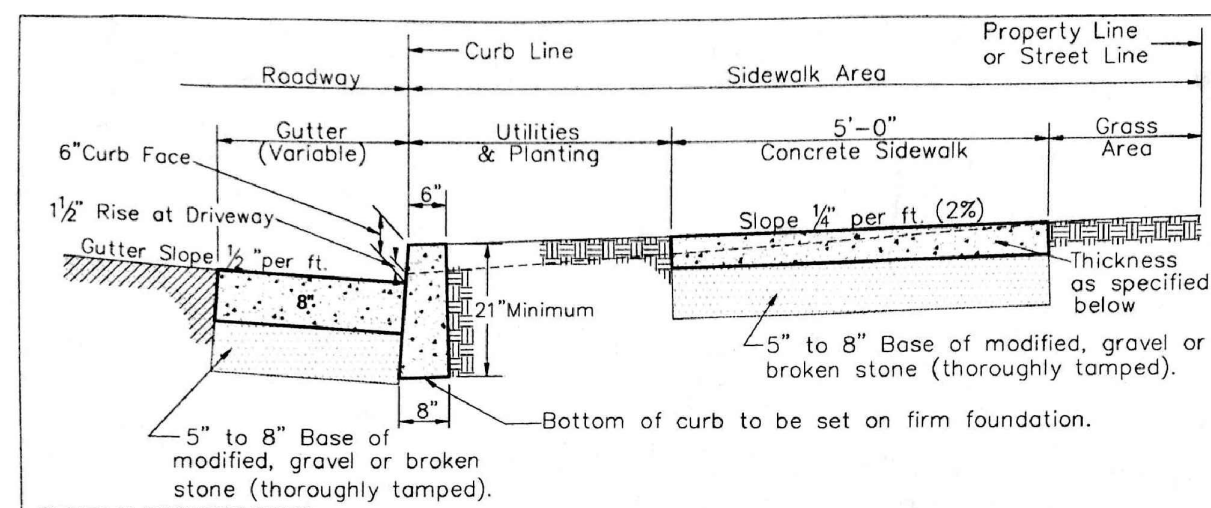
THOMAS JOHN SERRICO
 PROFESSIONAL ENGINEER
 No. 100079
 STATE OF PENNSYLVANIA

DATE	NO.	REVISIONS	BY
7/14/23	1	PER CITY COMMENTS	KDH





NOTE: SEE SITE DEVELOPMENT PLAN FOR PARKING DIMENSIONS & LAYOUT



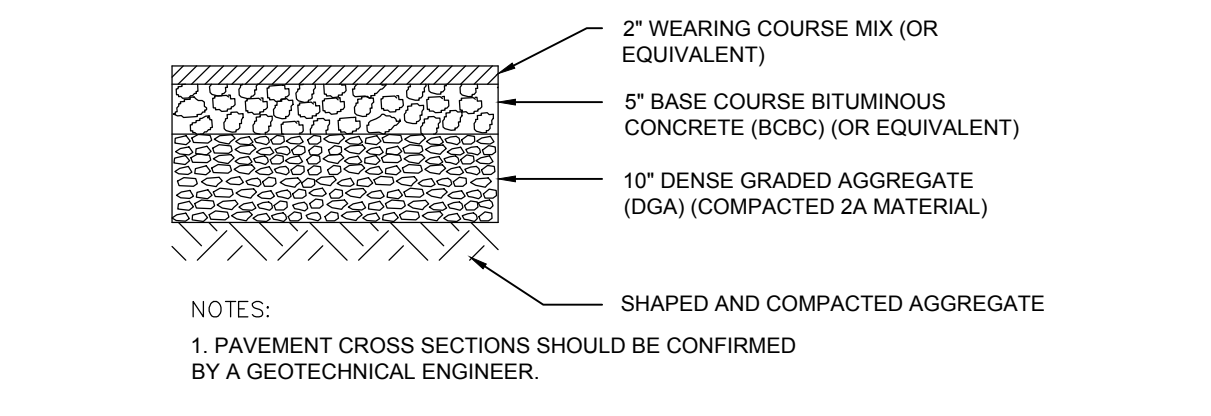
GENERAL REQUIREMENTS:
One Course (Monolithic) Construction for all Curb, Gutter and Sidewalk.
 Concrete Mix: To be Class A Concrete 3300# 6 Bag Mix - 5.6 Gal. Water per bag throughout; use power batch mixer. No stop.
 Curb: 21" Depth with approved finish on top and exposed face.
 Gutter: 8" Depth - Slope of Gutter 1/2" rise per foot away from curb.
 Sidewalk: Thickness - Residential Area - 5", Business and Industrial Areas - 6"
 At Residential Driveways - 6", At Business and Industrial Driveways - 8".
 Finish - Use a float and broom finish to produce skid resistant surface.
 On Grades of 5% or more, produce a rougher finish.
 Slope - Walk and Parkway Areas 1/4" per foot (2%) toward curb.
Expansion and Contraction Joints: See City Construction Standard No.1A.
Handicapped Ramps: Required on all Ramps in accordance with current ADA requirements.
Driveways: See City Standard Driveway Entrance and Apron Sketch.

Excavation in Carriway: When excavating in the carriway of a City street, a clean, full depth cut - by jack hammering or sawcutting - shall be made in the street between the affected and the unaffected work areas. Further, final restoration in the affected area of the street shall consist of creating a new clean cut by sawcutting 12" beyond the edge of any affected work areas, backfilling with PennDOT 2A Modified stone, and properly compacting this stone to the elevation of the top of the subbase (i.e. bottom of the base course of the macadam), but no higher than 3-inches below the finish grade - except as required to provide reasonable temporary access to driveways.

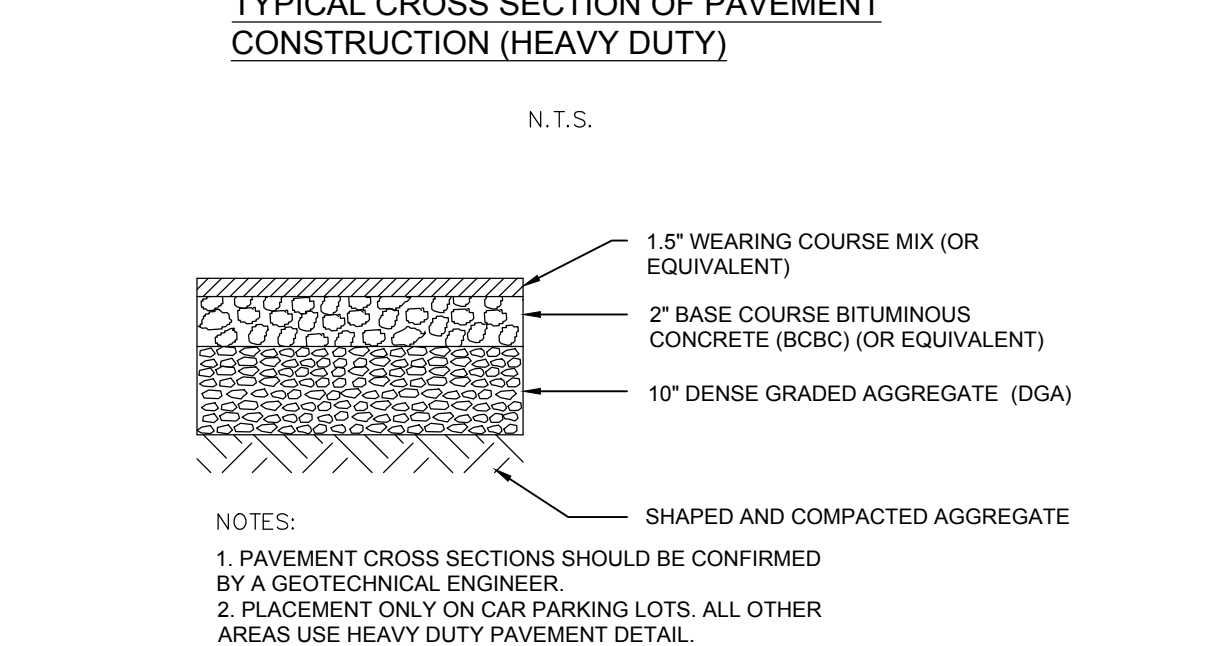
ORDINANCE REQUIREMENTS:
 Warrant of Survey - Procured from the City Engineer's Office; provides for establishing Line & Grades; Stakes to be protected by applicant and used within 30 days.
 Excavation Permit - Procured from the City Engineer's Office; for Sidewalk and driveway construction.

DETAIL REQUIREMENTS:
 For further details and other requirements see the following documents on file in the Office of the City Engineer:
 "Standard Specifications for the Construction of Concrete Curb, Gutter and Sidewalk"
 Codified Ordinances of the City of Bethlehem, Articles 903 and 909.

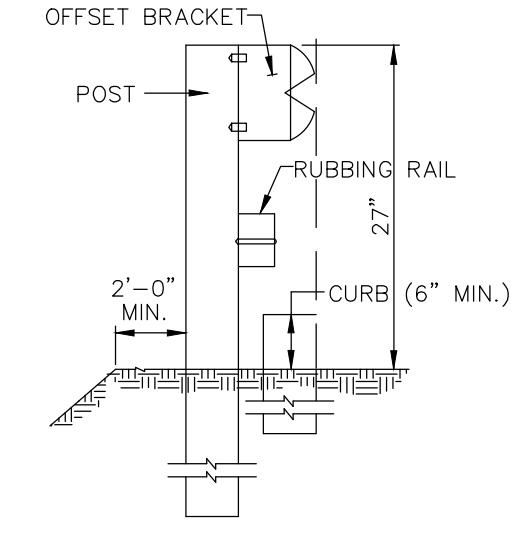
CITY OF BETHLEHEM, PA
BUREAU OF ENGINEERING
CONSTRUCTION STANDARD NO.1
for CONCRETE CURB, GUTTER and SIDEWALK
 FEBRUARY 7, 2001
 REV. JUNE 4, 2003
 [Signature]
 CITY ENGINEER



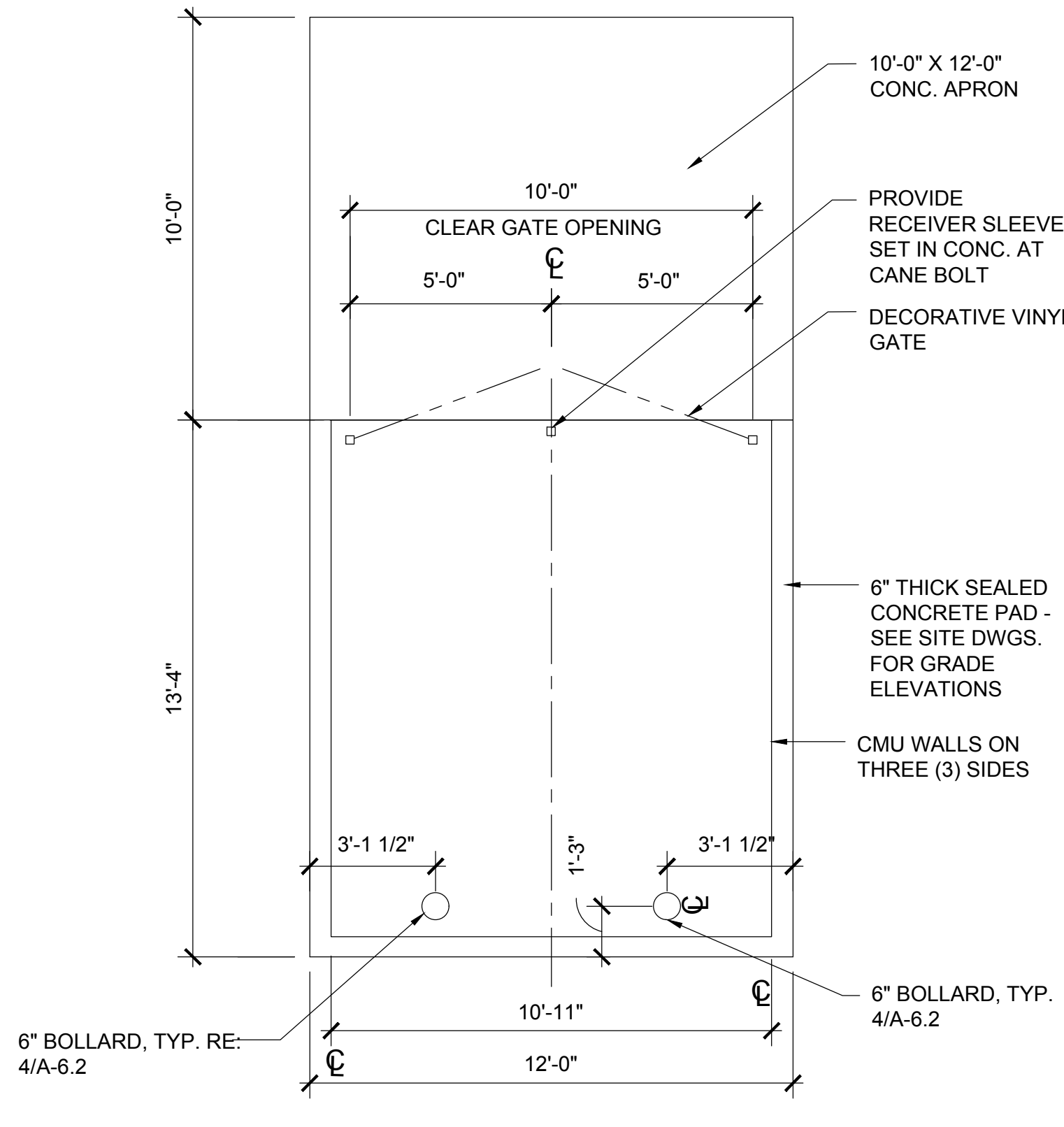
NOTES:
 1. PAVEMENT CROSS SECTIONS SHOULD BE CONFIRMED BY A GEOTECHNICAL ENGINEER.



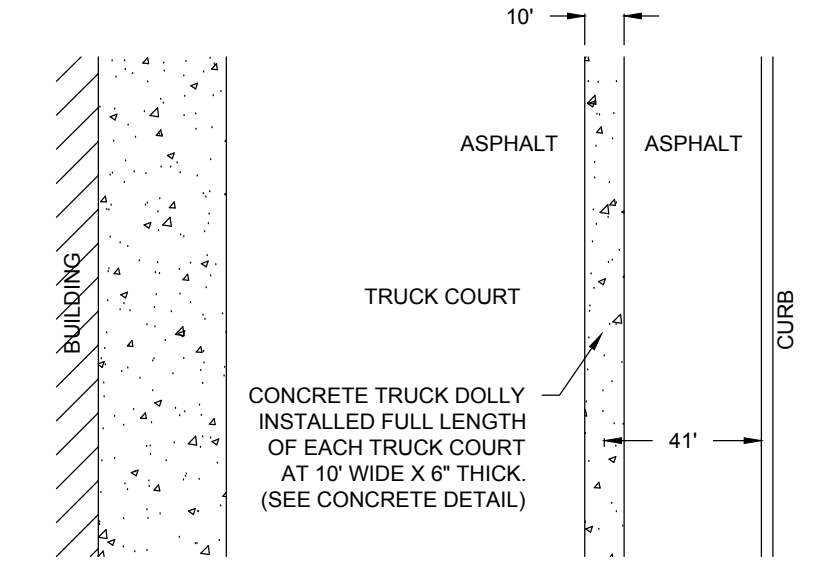
NOTES:
 1. PAVEMENT CROSS SECTIONS SHOULD BE CONFIRMED BY A GEOTECHNICAL ENGINEER.
 2. PLACEMENT ONLY ON CAR PARKING LOTS. ALL OTHER AREAS USE HEAVY DUTY PAVEMENT DETAIL.



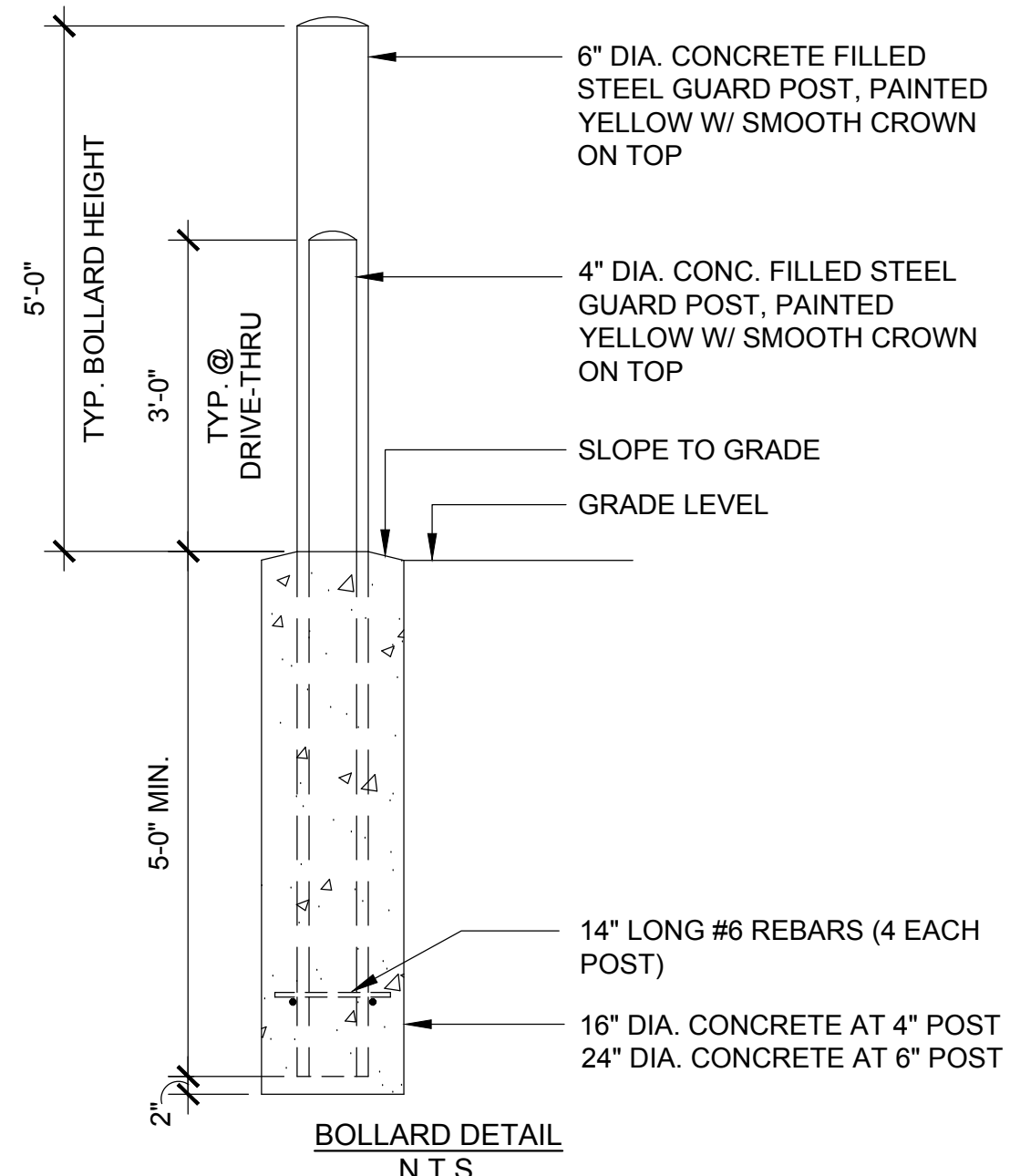
GUIDE RAIL PAN WITH CURB OR RUBBING RAIL
 N.T.S.



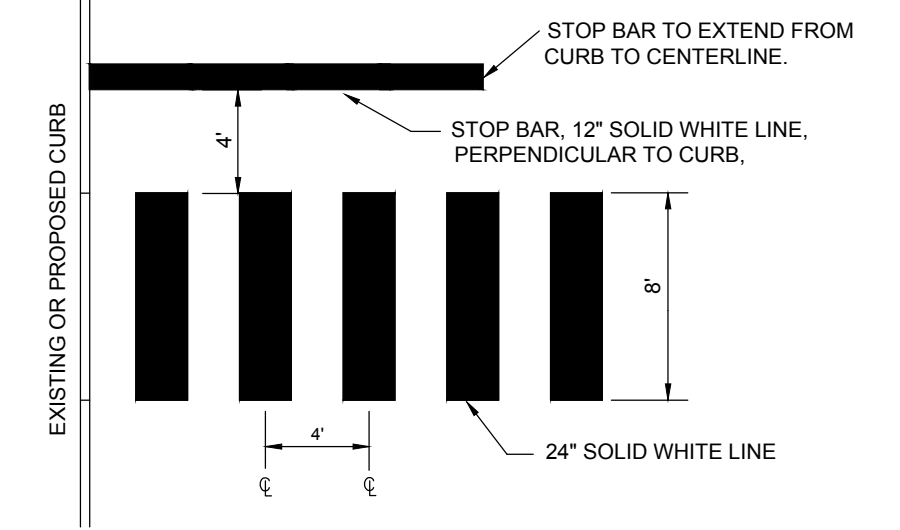
COMPACTOR/RECYCLING/TRASH ENCLOSURE DETAIL
 N.T.S.



TRUCK CONCRETE DOLLY DETAIL
 N.T.S.

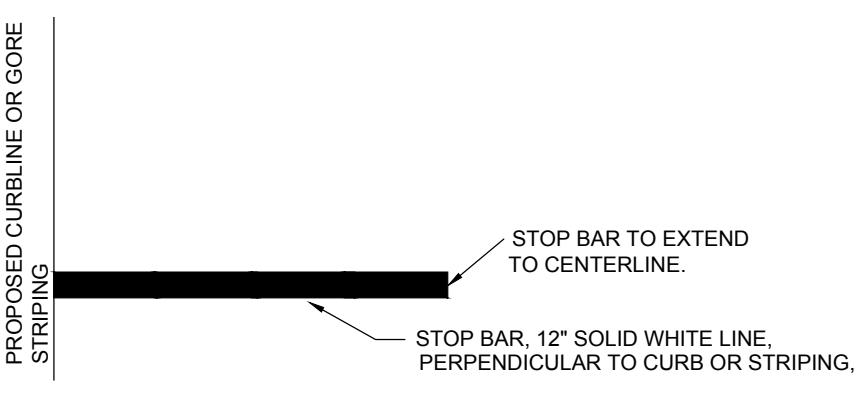


BOLLARD DETAIL
 N.T.S.

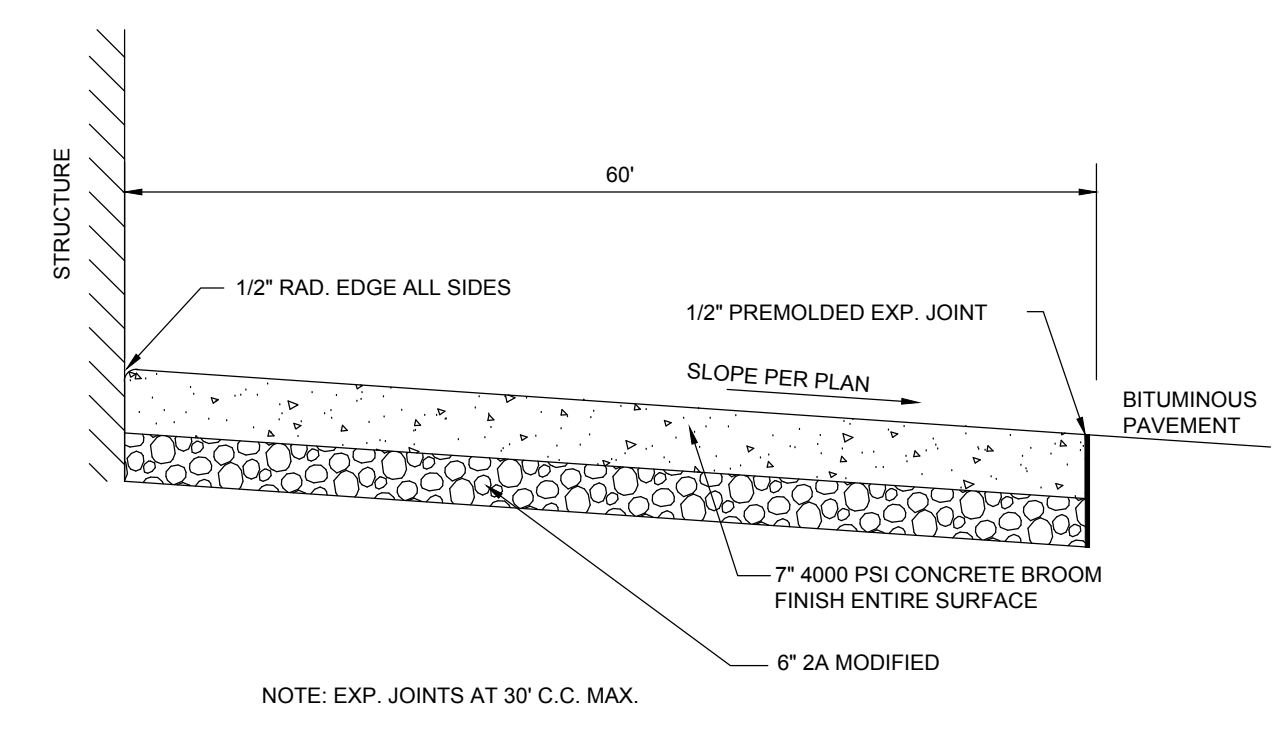


NOTES:
 1. CROSSWALK STRIPING TO BE ALIGNED WITH THE DIRECTION OF TRAFFIC FLOW.
 2. LOCATION OF STREET MARKINGS TO BE APPROVED BY THE CITY OF BETHLEHEM TRAFFIC DEPARTMENT PRIOR TO INSTALLATION.

CROSSWALK MARKINGS AND STOP BAR

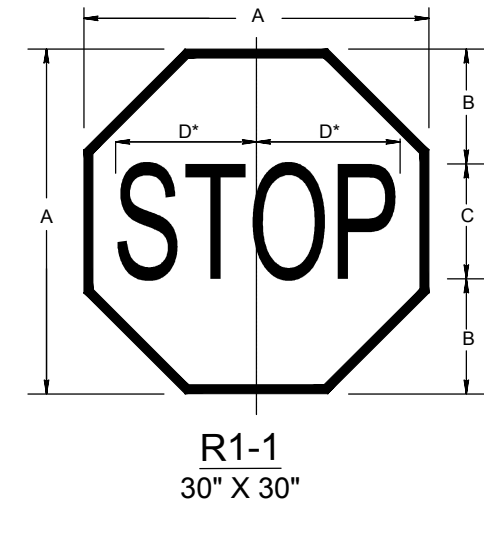


NOTES:
 LOCATION OF STREET MARKINGS TO BE APPROVED BY THE CITY OF BETHLEHEM TRAFFIC DEPARTMENT PRIOR TO INSTALLATION.



NOTE: EXP. JOINTS AT 30' C.C. MAX.

UNREINFORCED CONCRETE PAVEMENT FOR TRUCK LOADING AREA AND DOLLY PAD
 N.T.S.



NOTES:
 1. SEE PA DOT PUB. 236, MOST RECENT EDITION, FOR TEXT/GEOMETRY, DIMENSIONS, COLOR, AND PLACEMENT.
 2. ALL SIGNS SHALL BE INSTALLED PER PA DOT PUB 236, MOST RECENT EDITION.
 3. IN EVENT OF A CONFLICT BETWEEN THE PLAN AND PUB 236, CLARIFICATION SHALL BE OBTAINED FROM THE ENGINEER.



Pennoni Associates Inc. Engineers • Surveyors • Planners • Landscape Architects

NO.	DATE	PER CITY COMMENTS	REVISIONS	BY
1	7/14/23			KDH

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

81 Highland Ave, Suite 220
 Bethlehem, PA 18017 - 610.231.0000

MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
 3769 COMMERCE CENTER BOULEVARD
 BETHLEHEM, PA 18015

SITE DETAILS

BETHLEHEM COMMERCE CENTER, LLC.
 3001 COMMERCE CENTER BOULEVARD
 BETHLEHEM, PA 18015

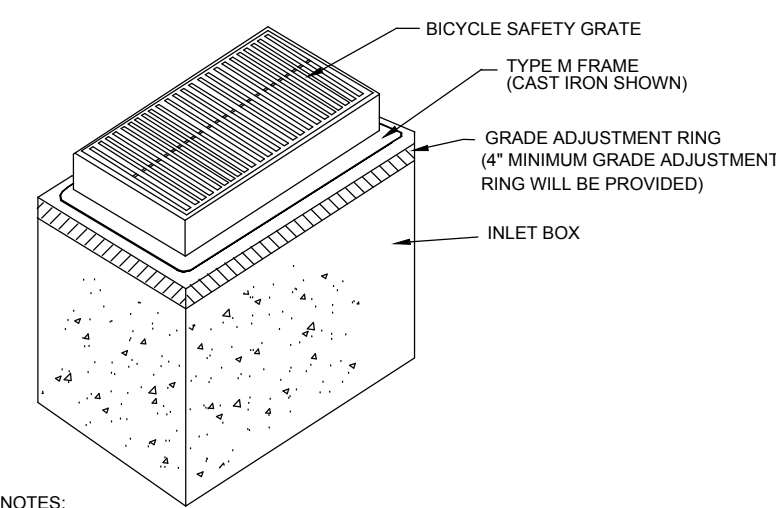
ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT NO.	CMC0801
SHEET	18 of 26

SCALE	1"=40'	DATE	5/31/23
DRAWN BY	1005	APPROVED	KDH

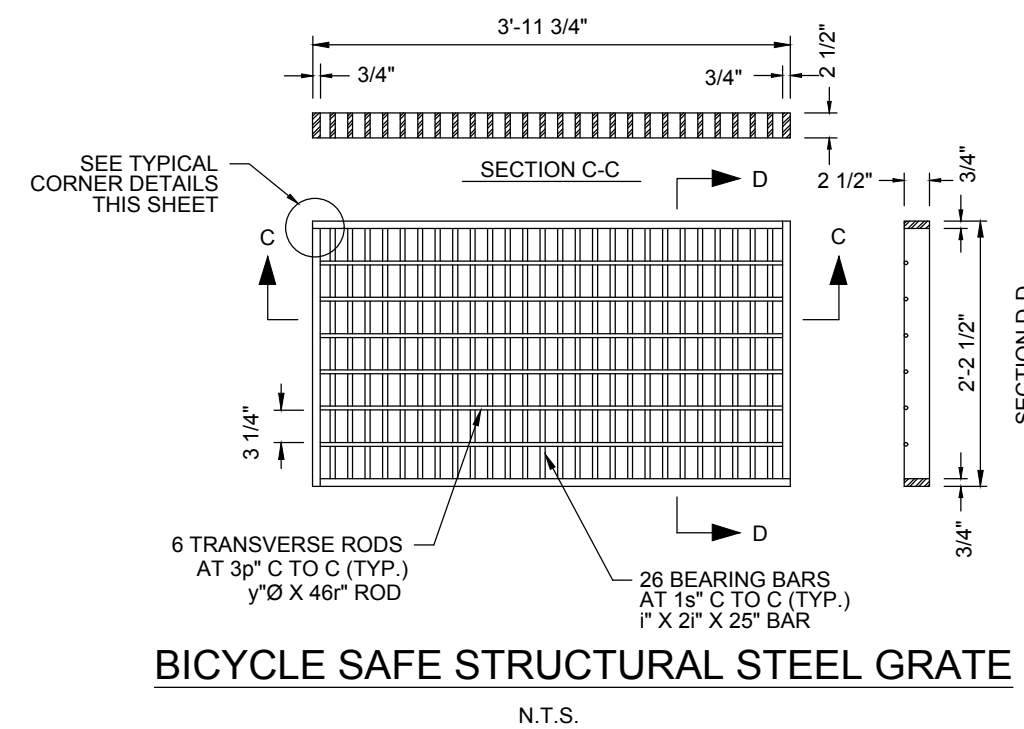
DRAWING NO. **CS6001**

Pennoni Associates Inc.

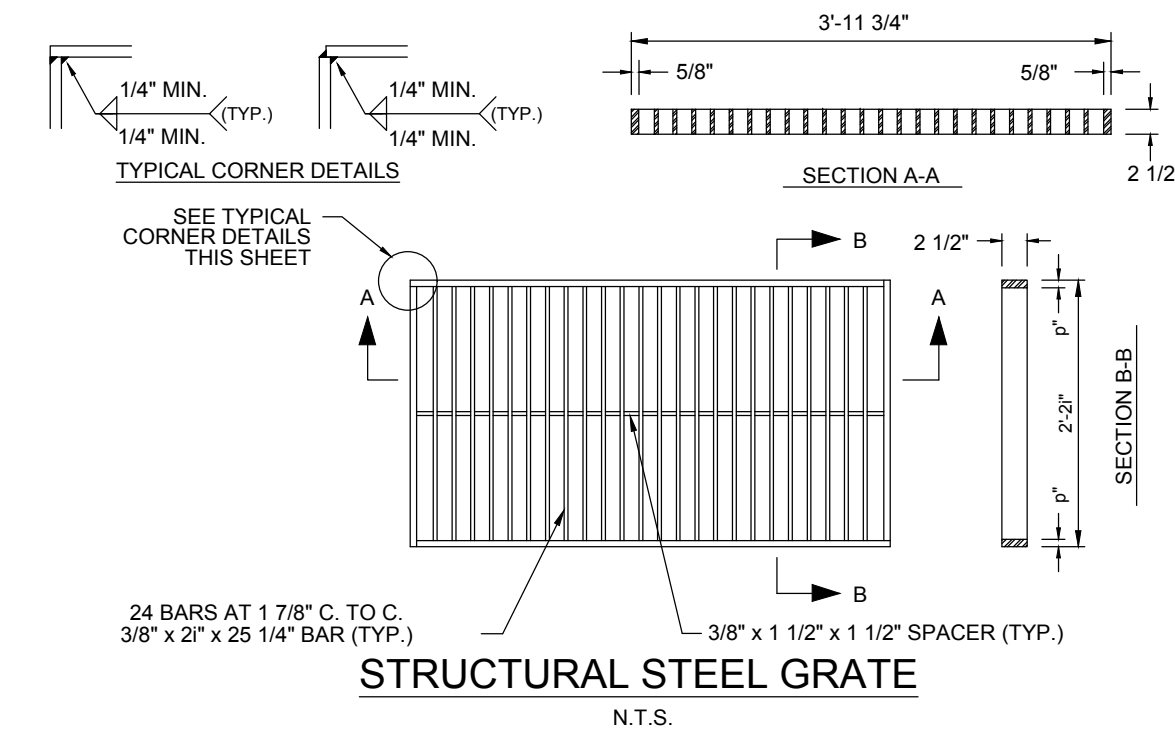


- *NOTES:
1. INLETS OVER 4 FEET DEEP WILL BE CONSTRUCTED WITH INLET STEPS.
 2. A POURED CONCRETE FLOW CHANNEL IS REQUIRED IN EACH INLET.
 3. WHERE STRUCTURE DEPTH ALLOWS, FOR DURING CONSTRUCTION, THE BOX SHOULD BE ORDERED 12\"/>

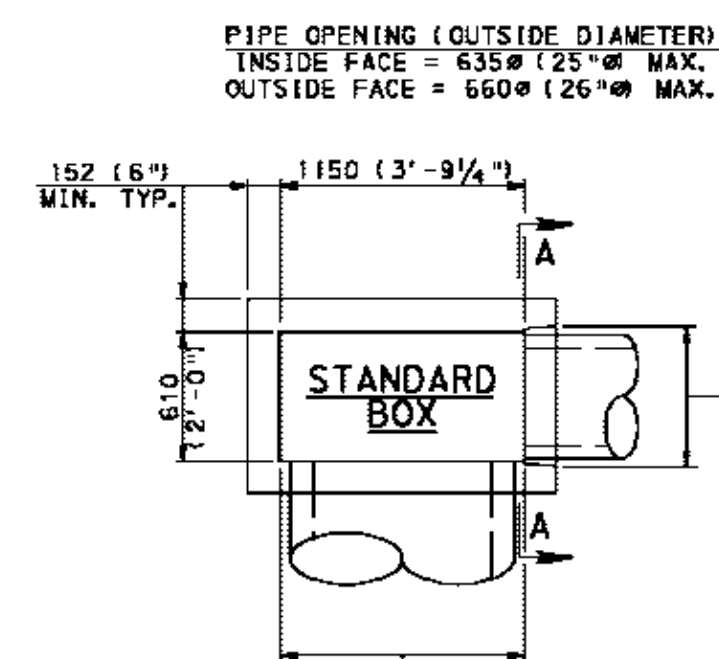
TYPE M INLET
N.T.S.



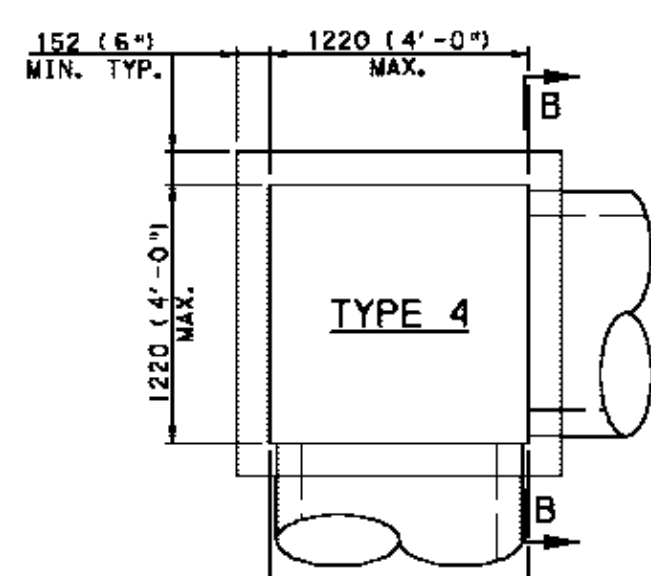
BICYCLE SAFE STRUCTURAL STEEL GRATE
N.T.S.



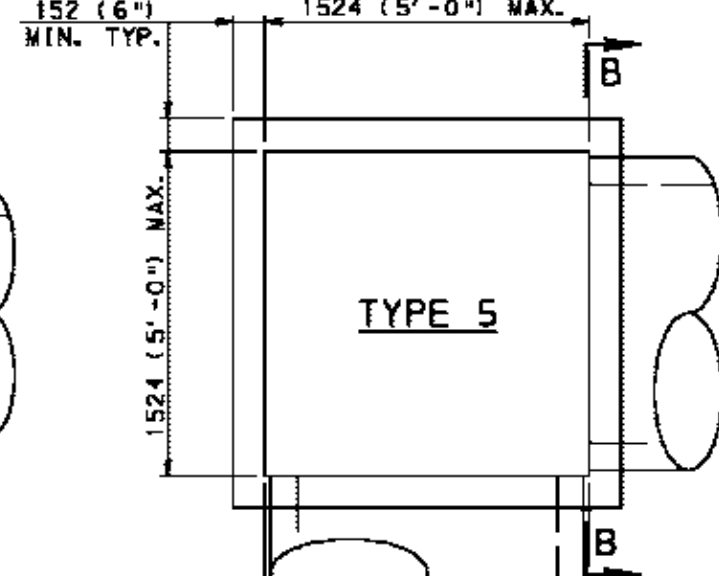
STRUCTURAL STEEL GRATE
N.T.S.



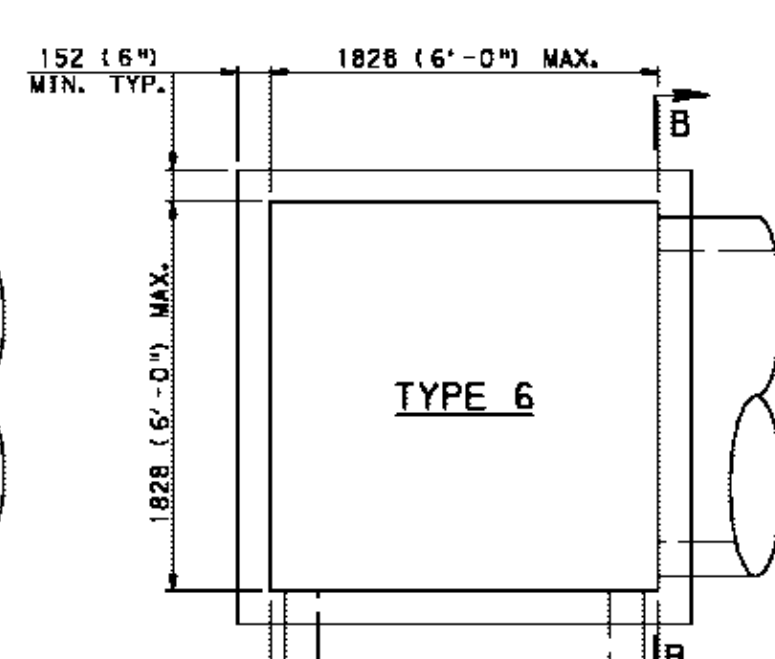
STANDARD BOX
PIPE OPENING (OUTSIDE DIAMETER)
INSIDE FACE = 635ø (25\"/>



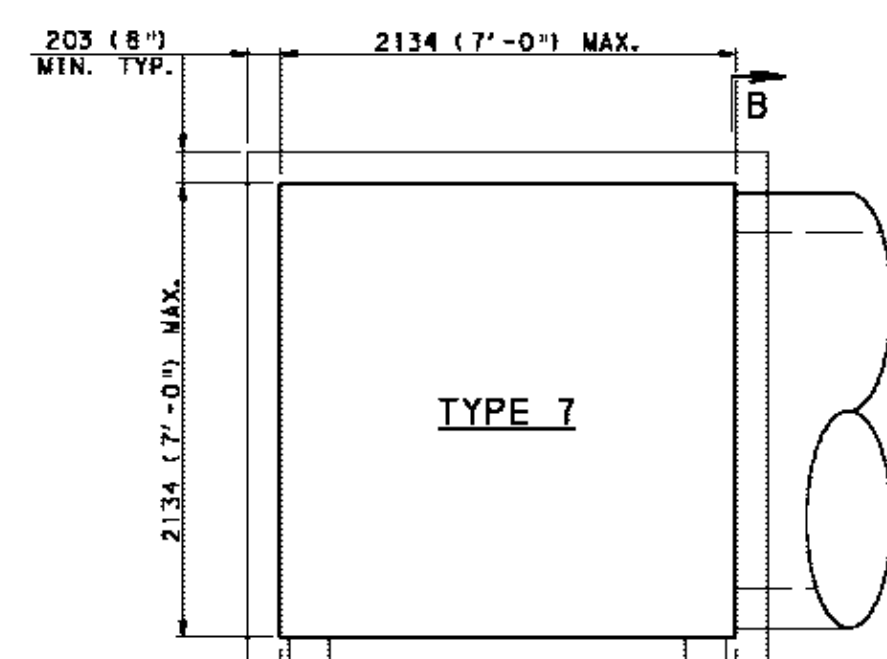
TYPE 4
PIPE OPENING (OUTSIDE DIAMETER)
1220ø (48\"/>



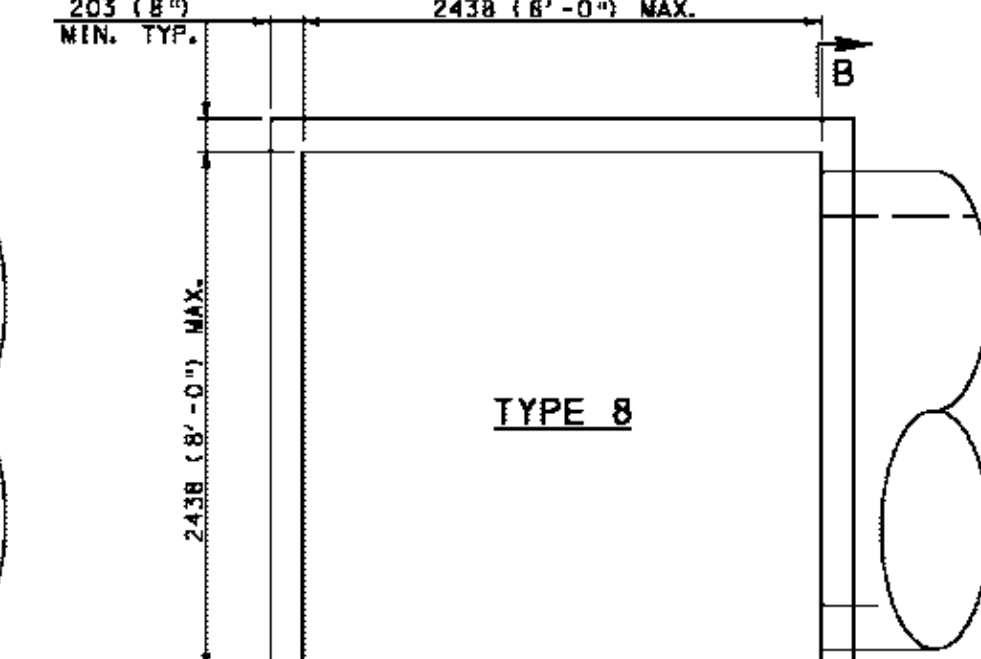
TYPE 5
PIPE OPENING (OUTSIDE DIAMETER)
1524ø (60\"/>



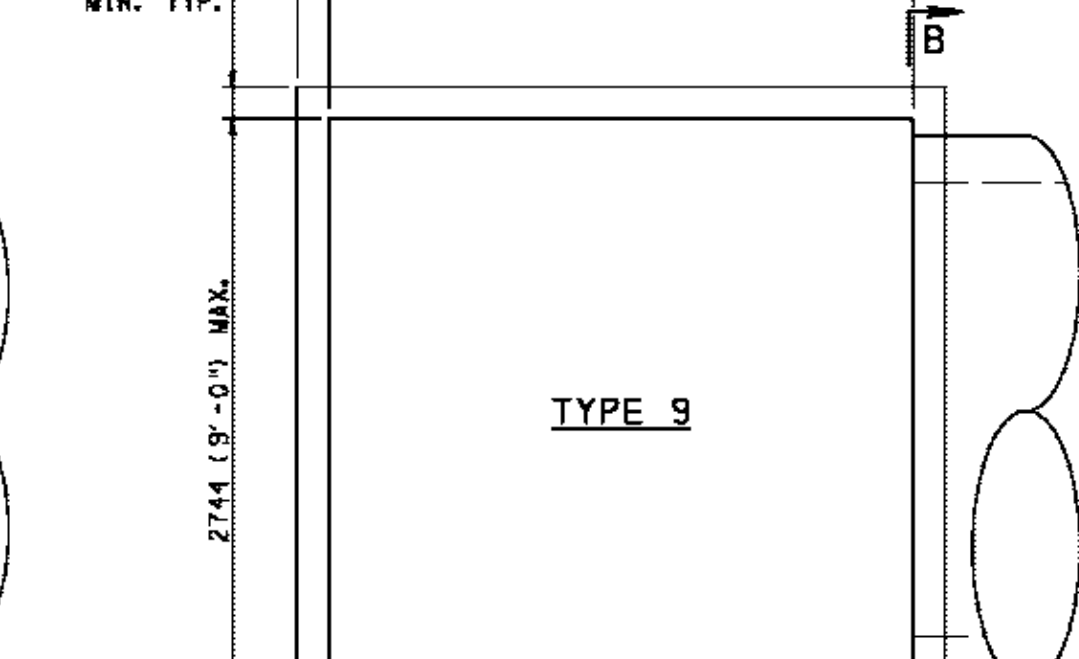
TYPE 6
PIPE OPENING (OUTSIDE DIAMETER)
1828ø (72\"/>



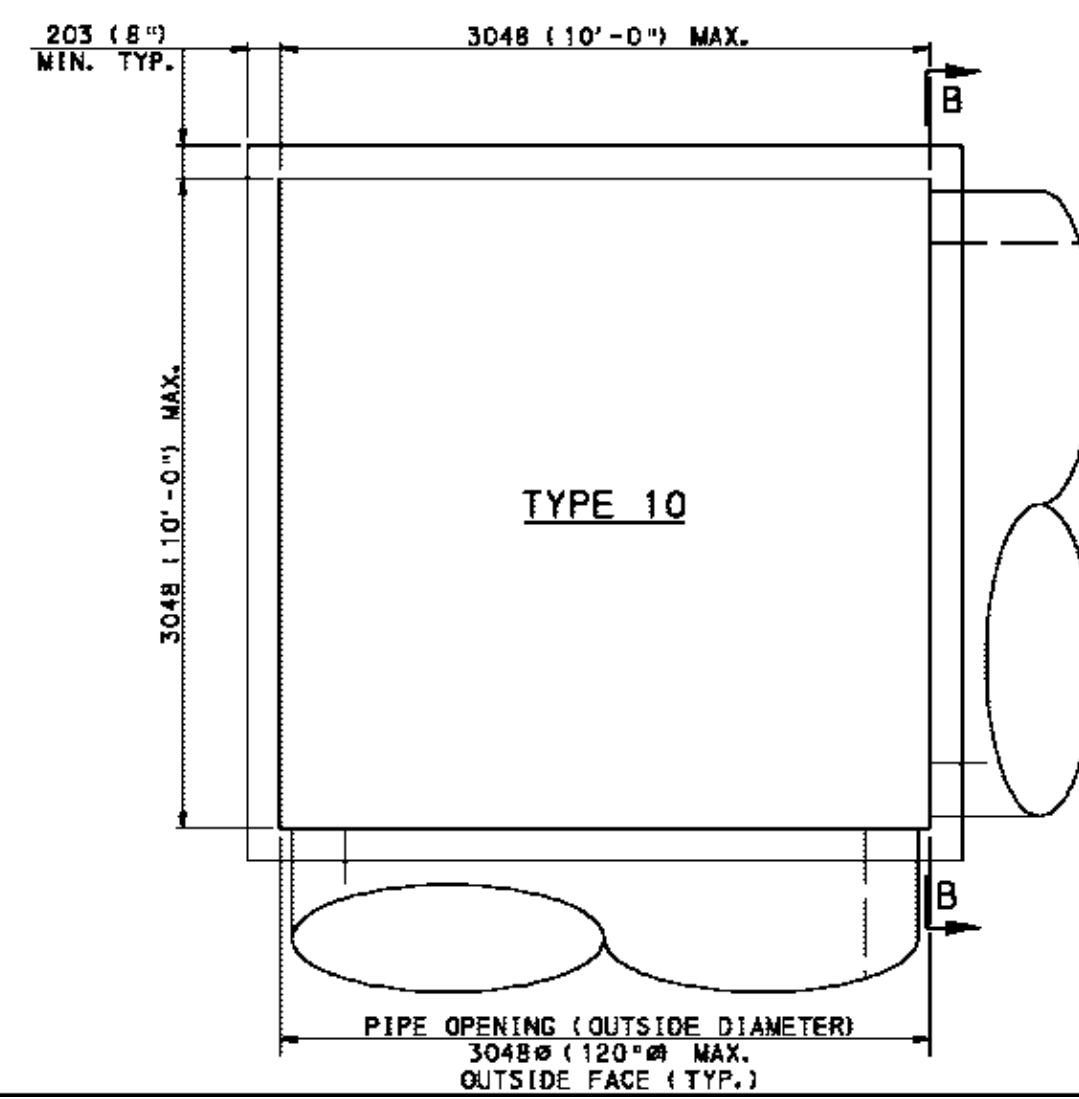
TYPE 7
PIPE OPENING (OUTSIDE DIAMETER)
2134ø (84\"/>



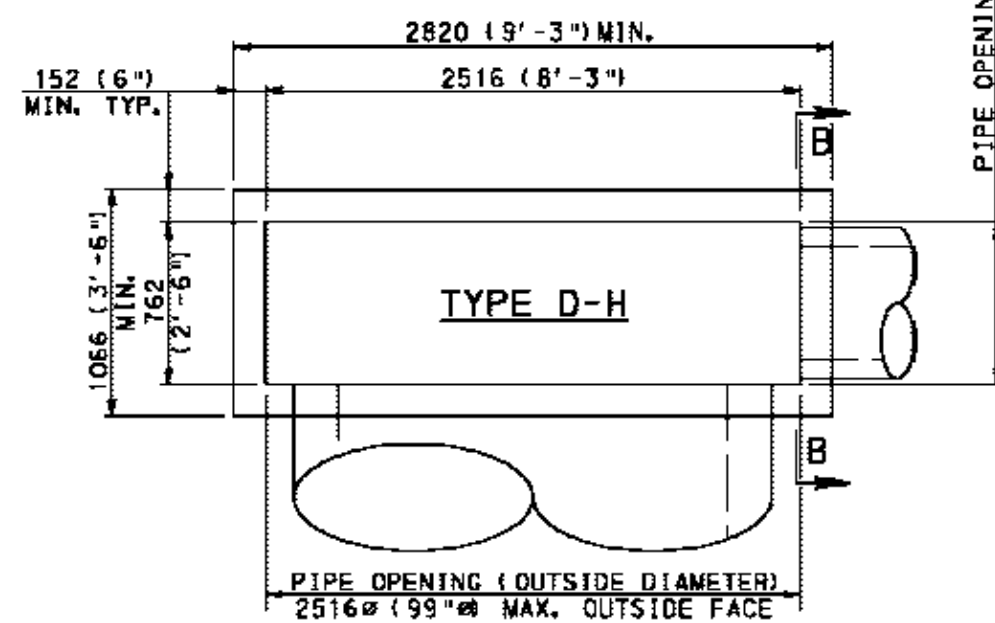
TYPE 8
PIPE OPENING (OUTSIDE DIAMETER)
2438ø (96\"/>



TYPE 9
PIPE OPENING (OUTSIDE DIAMETER)
2744ø (108\"/>

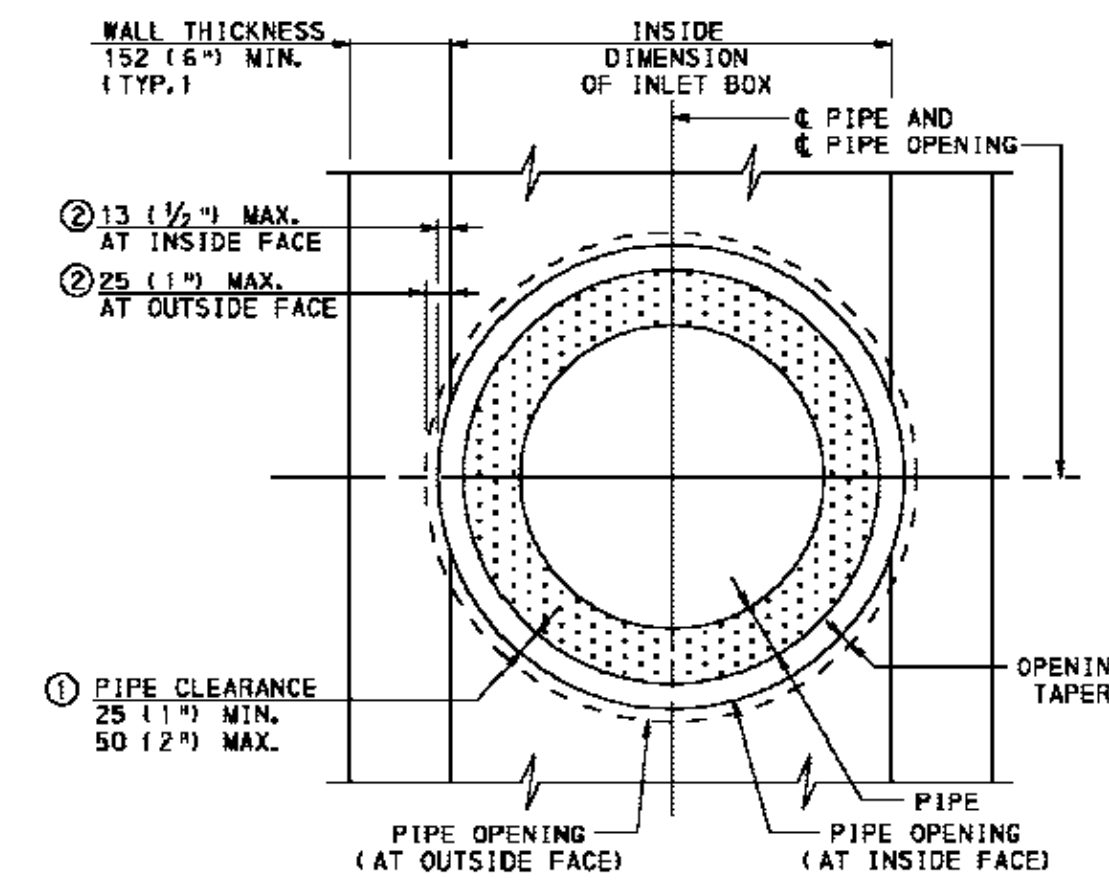


TYPE 10
PIPE OPENING (OUTSIDE DIAMETER)
3048ø (120\"/>

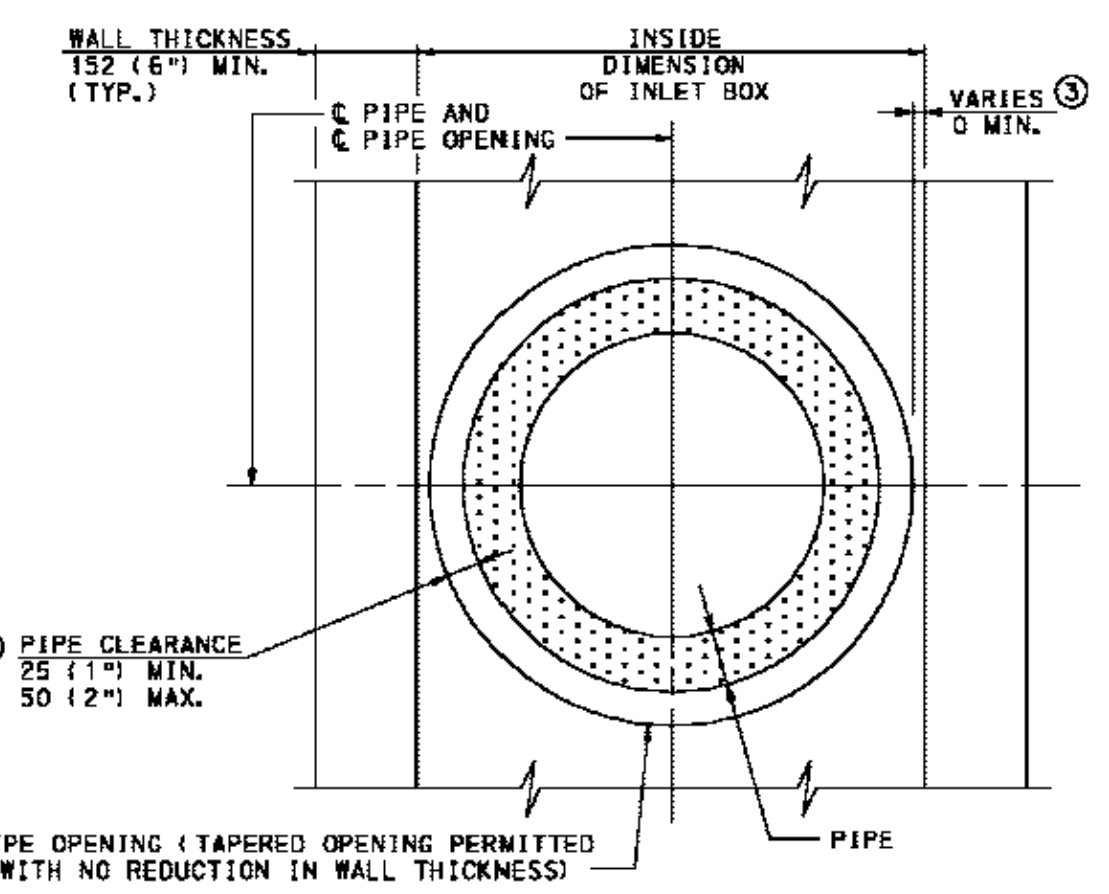


TYPE D-H
PIPE OPENING (OUTSIDE DIAMETER)
2516ø (99\"/>

PLAN - INLET BOXES



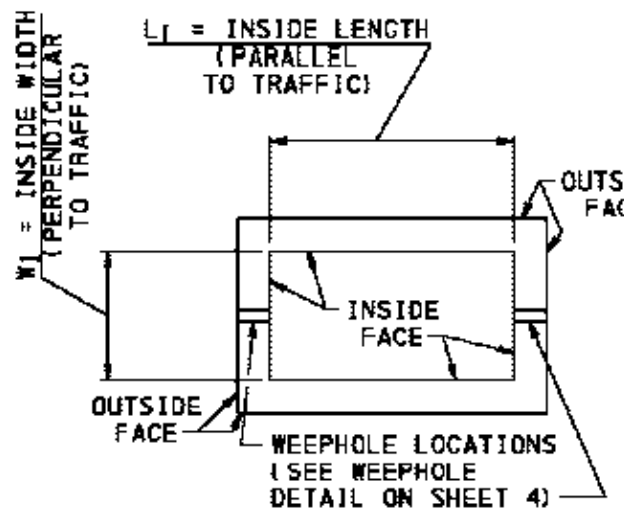
SECTION A-A
(STANDARD INLET BOX ONLY)



SECTION B-B
(TYPICAL ALL TYPES EXCEPT STANDARD)

NOTES

1. FOR ADDITIONAL NOTES, SEE SHEETS 1 - 3.
2. FOR PIPE LOCATION AND PIPE OPENING NOTES, SEE SHEET 2.



INLET BOX SCHEMATIC

LEGEND

- OUTSIDE FACE - OUTSIDE FACE OF INLET BOX WALL
- INSIDE FACE - INSIDE FACE OF INLET BOX WALL

LEGEND

- ① OUTSIDE DIAMETER OF PIPE TO PIPE OPENING
- ② REDUCTION IN WALL THICKNESS DIMENSION
- ③ INSIDE FACE OF BOX WALL TO OUTSIDE DIAMETER OF PIPE OPENING

NOTE: EITHER ALL METRIC OR ALL ENGLISH VALUES MUST BE USED ON PLANS. METRIC AND ENGLISH VALUES SHOWN MAY NOT BE MIXED.

COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF TRANSPORTATION
BUREAU OF DESIGN

INLET BOXES
INLET BOX TYPES

RECOMMENDED JUN. 1, 2010
CHIEF, HRT. DIVISION

RECOMMENDED JUN. 1, 2010
DIRECTOR, BUREAU OF DESIGN

SHT. 6 OF 45
RC-46M



Engineers • Surveyors • Planners • Landscape Architects

NO.	DATE	REVISIONS	BY
1	7/14/23	PER CITY COMMENTS	KDH

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
3769 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

SITE DETAILS

BETHLEHEM COMMERCE CENTER, LLC.
3001 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

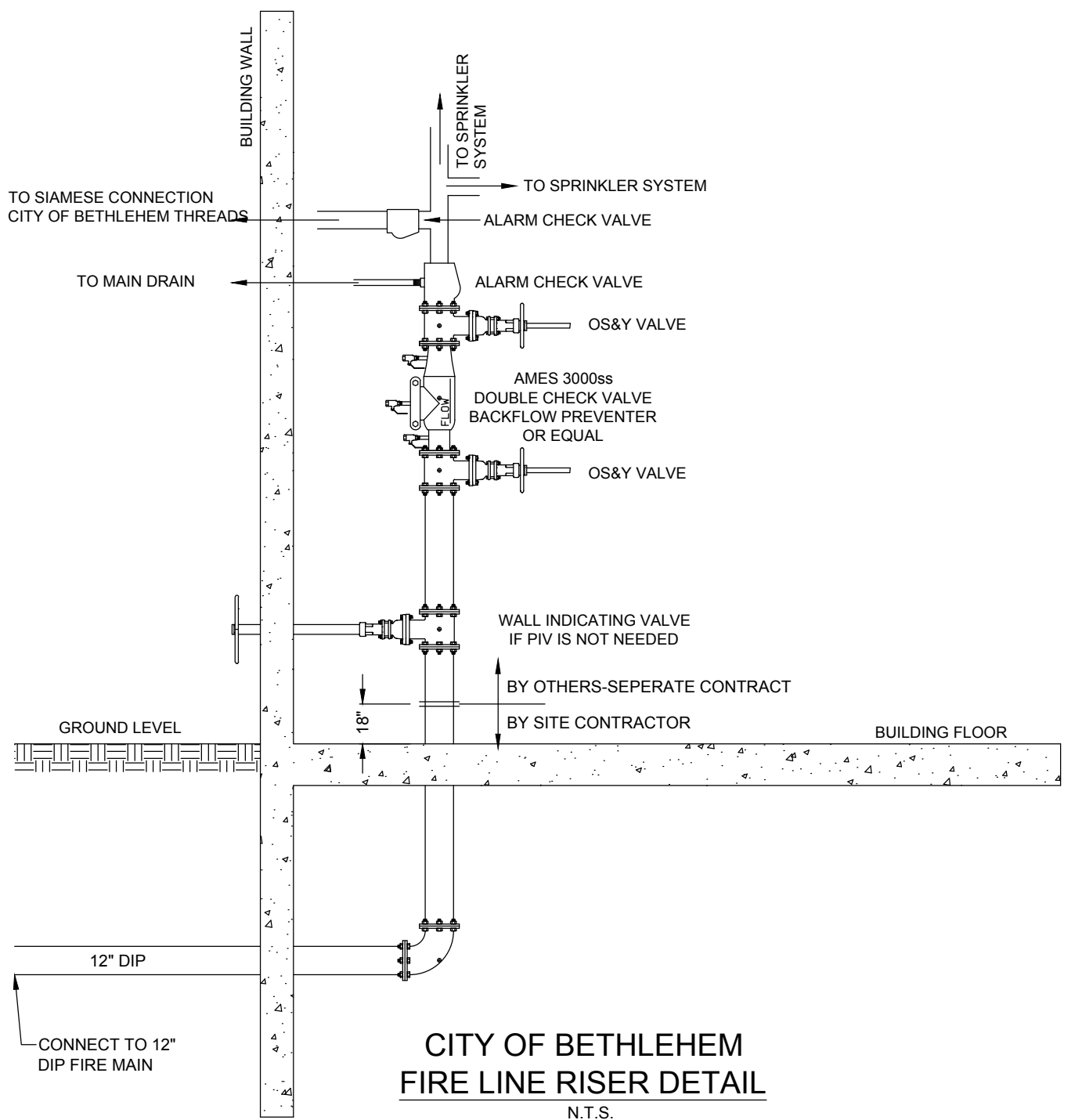
PROJECT NO. **CMCN0801**
SHEET **19 of 26**

SCALE **1"=40'** DATE **5/31/23**

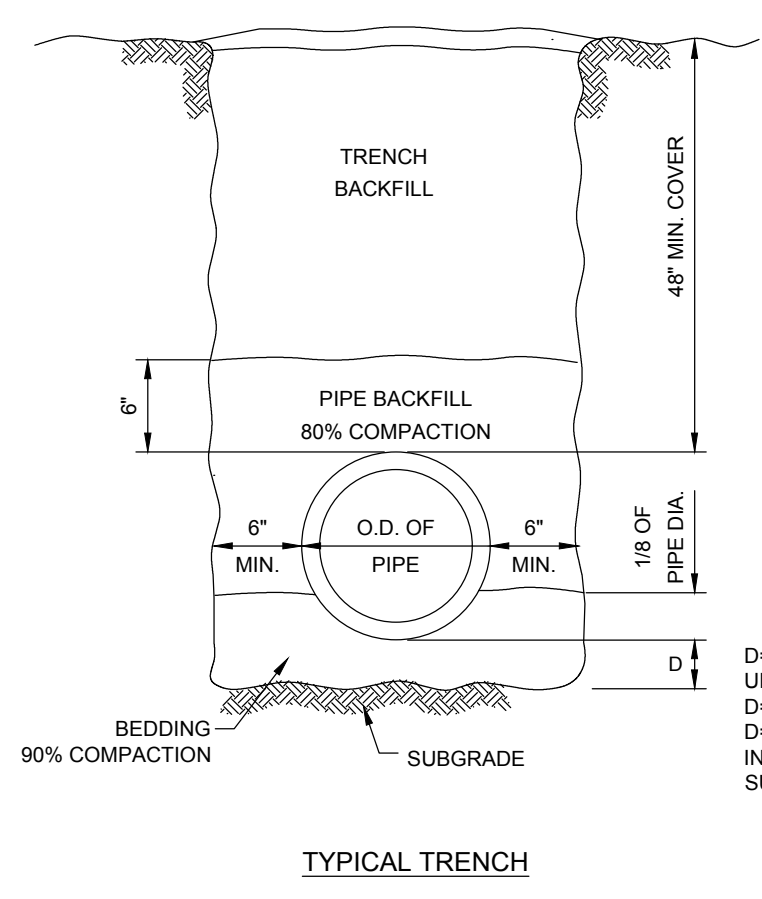
DRAWN BY **1005** APPROVED **KDH**

DRAWING NO. **CS6002**

Pennoni Associates Inc.

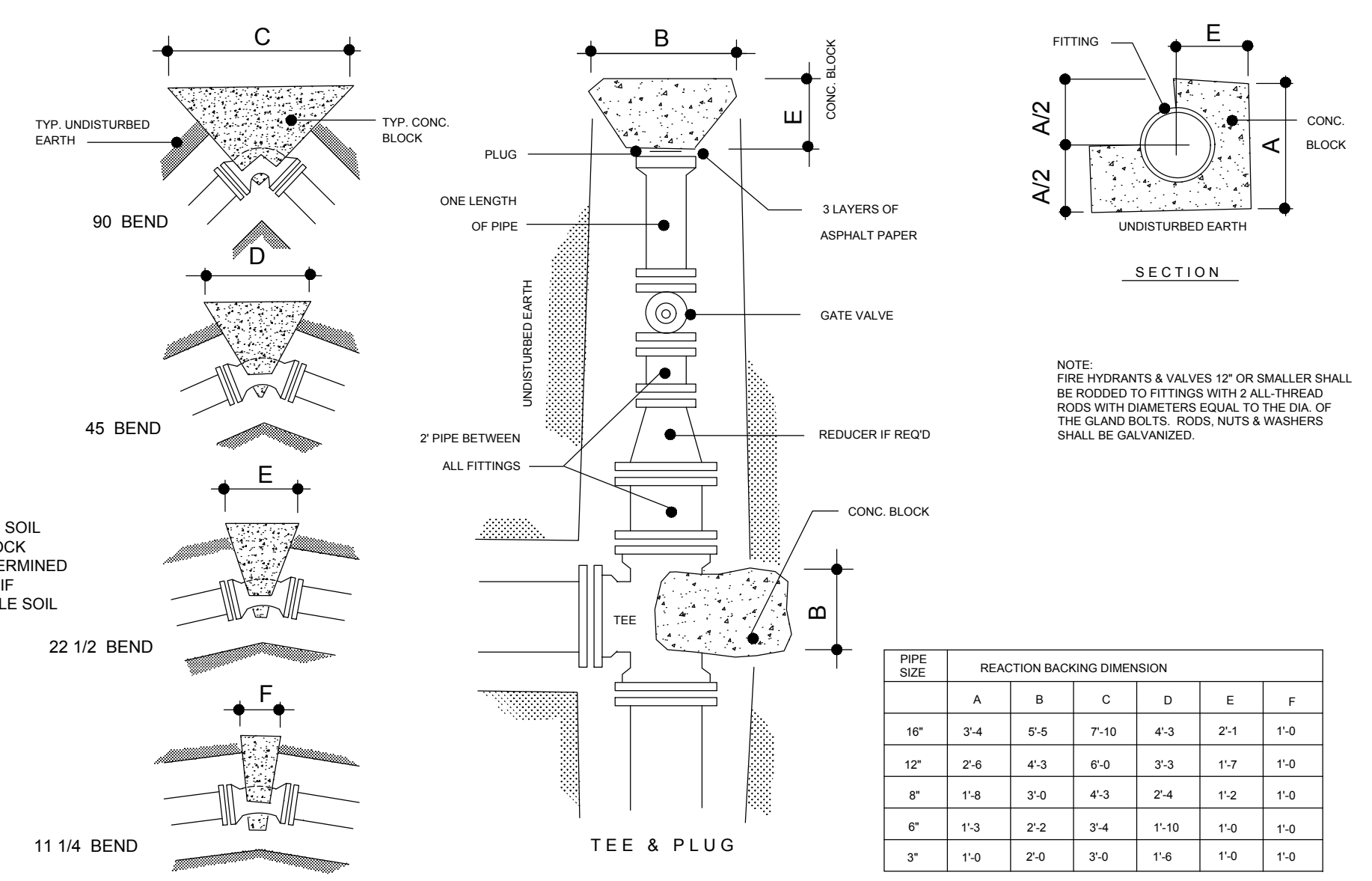


**CITY OF BETHLEHEM
FIRE LINE RISER DETAIL**
N.T.S.



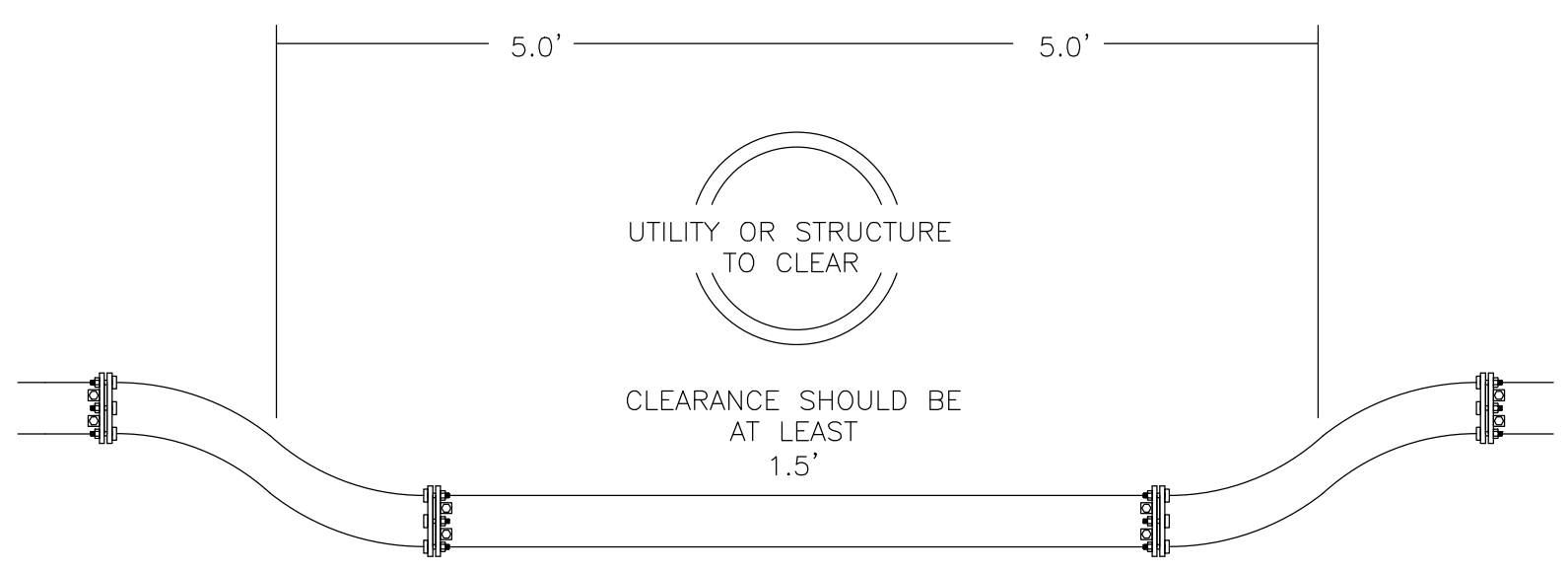
NOTES:
 1. ALL BACKFILL MATERIAL IS SUBJECT TO AUTHORITY APPROVAL.
 2. BEDDING AND PIPE BACKFILL LIMESTONE SCREENINGS, COARSE SAND, OR OTHER APPROVED MATERIAL HAVING A MAXIMUM STONE SIZE OF 1/2\"/>

**CITY OF BETHLEHEM
PIPE BEDDING AND BACKFILL DETAIL**
N.T.S.



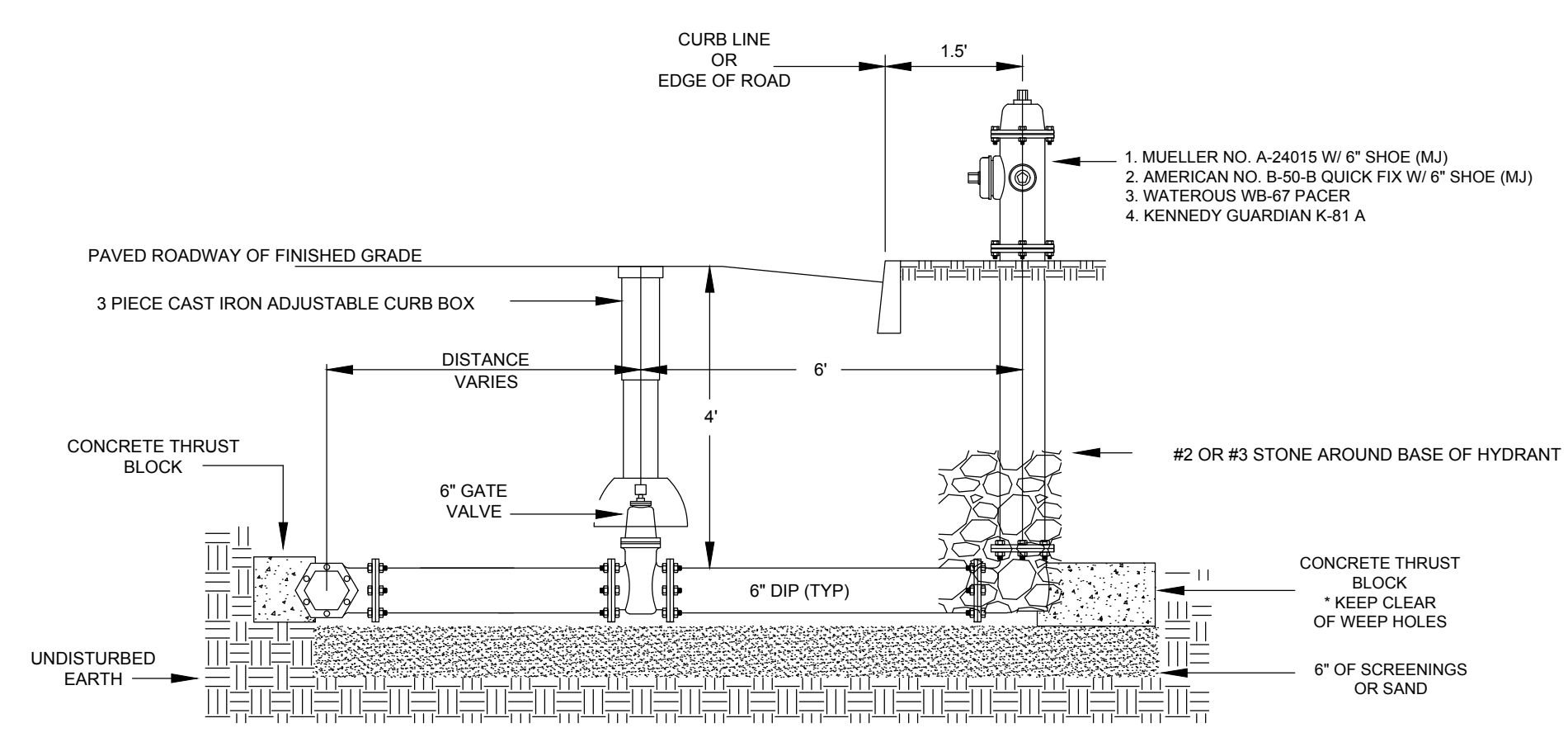
**CITY OF BETHLEHEM
THRUST BLOCK DETAILS**
N.T.S.

PIPE SIZE	REACTION BACKING DIMENSION					
	A	B	C	D	E	F
18"	3-4	5-5	7-10	4-3	2-1	1-0
12"	2-6	4-3	6-0	3-3	1-7	1-0
8"	1-8	3-0	4-3	2-4	1-2	1-0
6"	1-3	2-2	3-4	1-10	1-0	1-0
3"	1-0	2-0	3-0	1-6	1-0	1-0

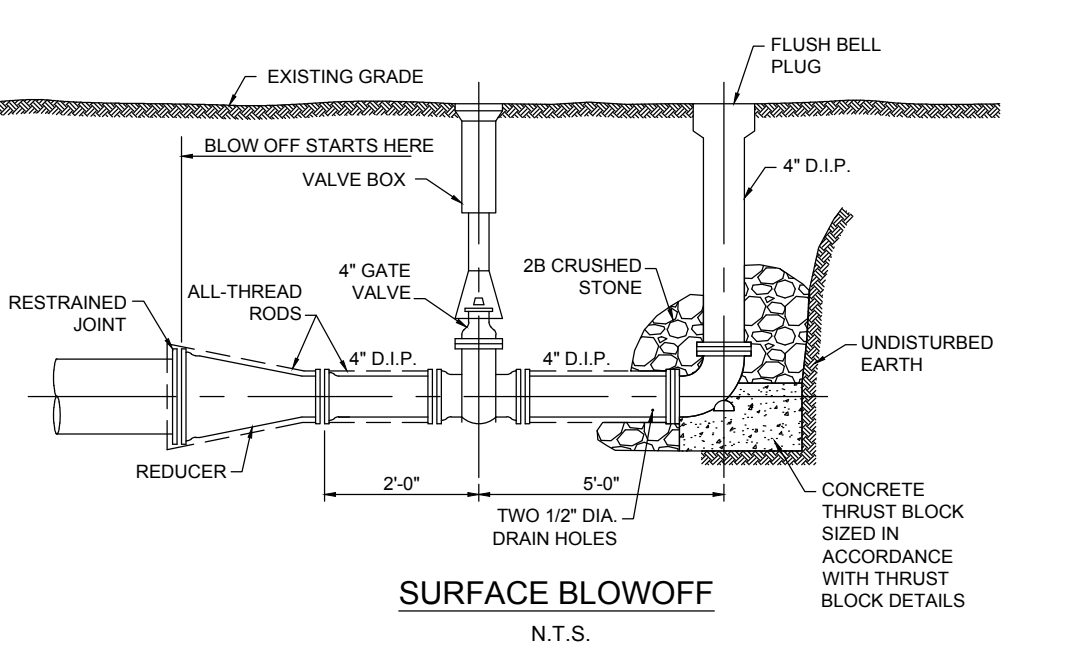


NOTE:
 RETAINER GLANDS OR MEG-A-LUGS ARE REQUIRED FOR ALL FITTINGS. OFFSETS AVAILABLE IN 0.5', 1.0', 1.5', 2.0' VERTICAL DIFFERENCE. WHEN USING OFFSETS NO CONCRETE KICKERS ARE NEEDED.

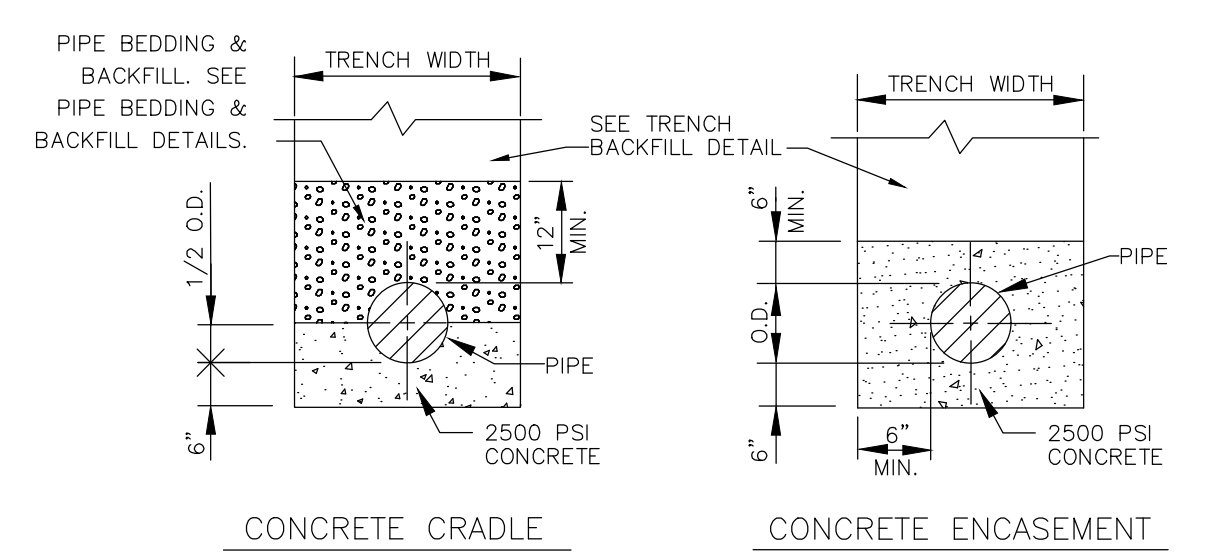
**CITY OF BETHLEHEM
WATER MAIN LOWERING DETAIL**
N.T.S.



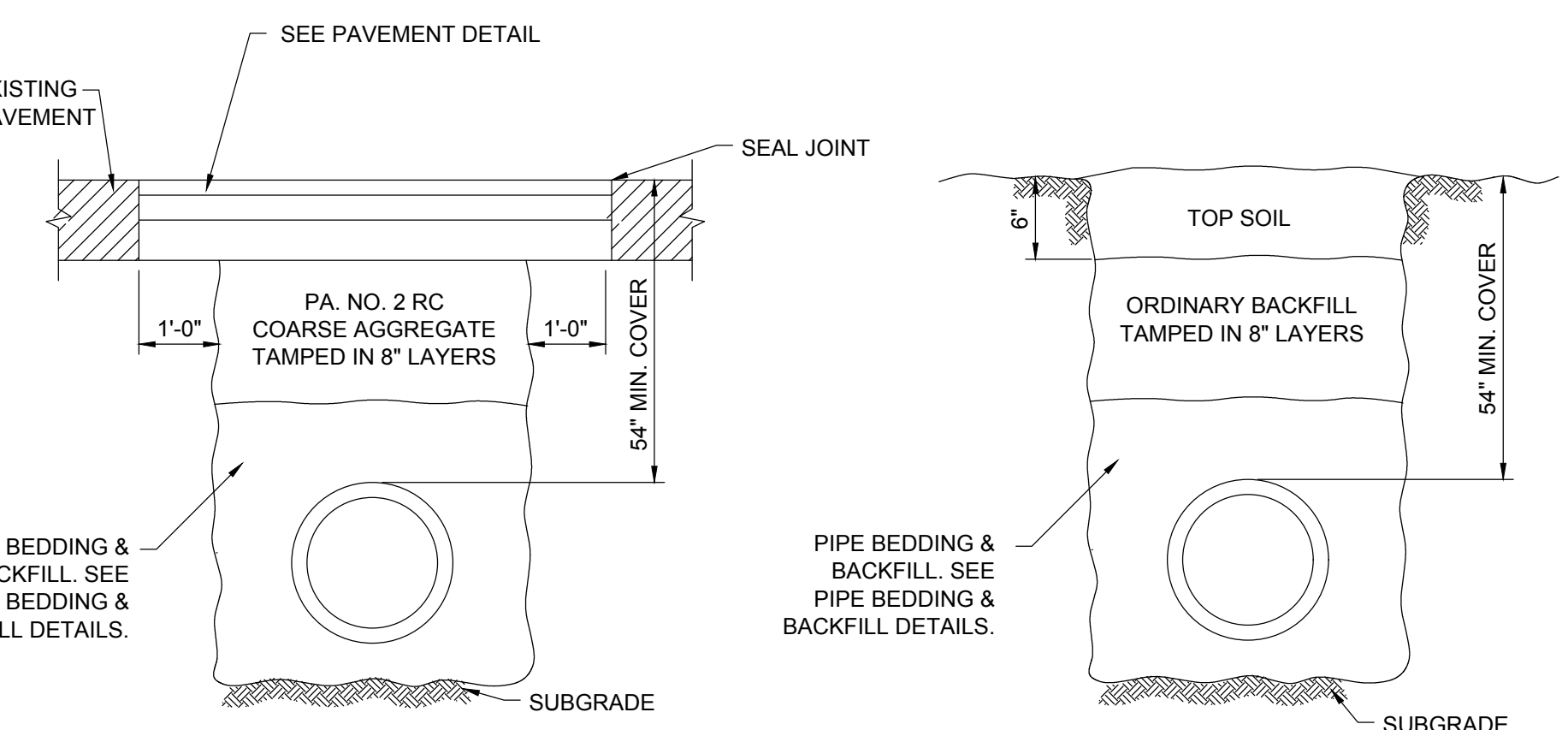
**FIRE HYDRANT
CITY OF BETHLEHEM THREADS ONLY**
N.T.S.



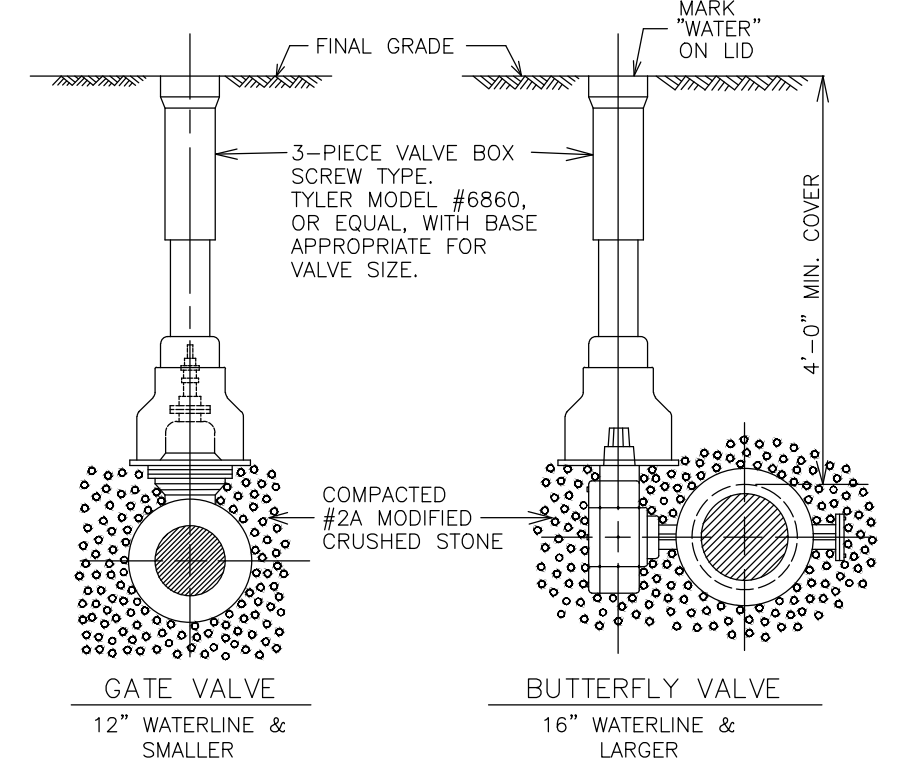
SURFACE BLOWOFF
N.T.S.



CRADLE & ENCASEMENT DETAILS
N.T.S.

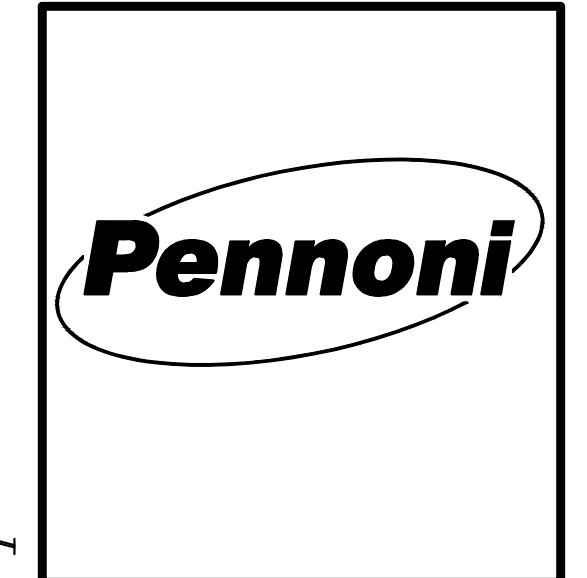


TRENCH BACKFILL - TRENCH SECTIONS
N.T.S.



NOTE:
 VALVES SHALL BE RESTRAINED TO A FITTING USING MEGALUGS, OR AN APPROVED EQUAL.

WATER VALVE DETAIL
N.T.S.



NO.	DATE	REVISIONS	BY
1	7/14/23	PER CITY COMMENTS	KDH

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
 3769 COMMERCE CENTER BOULEVARD
 BETHLEHEM, PA 18015

SITE DETAILS

BETHLEHEM COMMERCE CENTER, LLC.
 3001 COMMERCE CENTER BOULEVARD
 BETHLEHEM, PA 18015

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

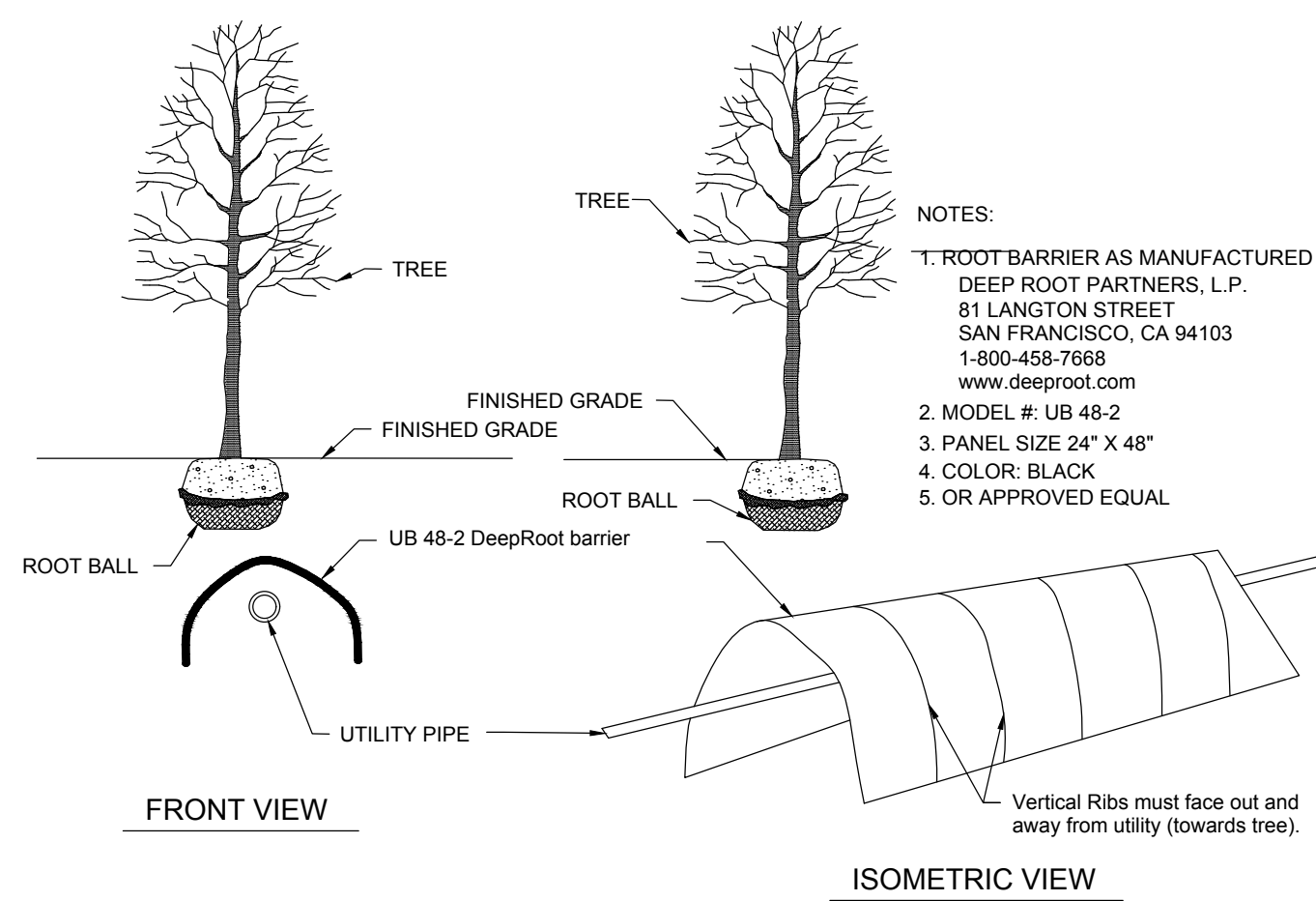
PROJECT NO.	CMCN0801
SHEET	20 OF 26

SCALE	1"=40'	DATE	5/31/23
DRAWN BY	1005	APPROVED	KDH
DRAWING NO.	CS6003		

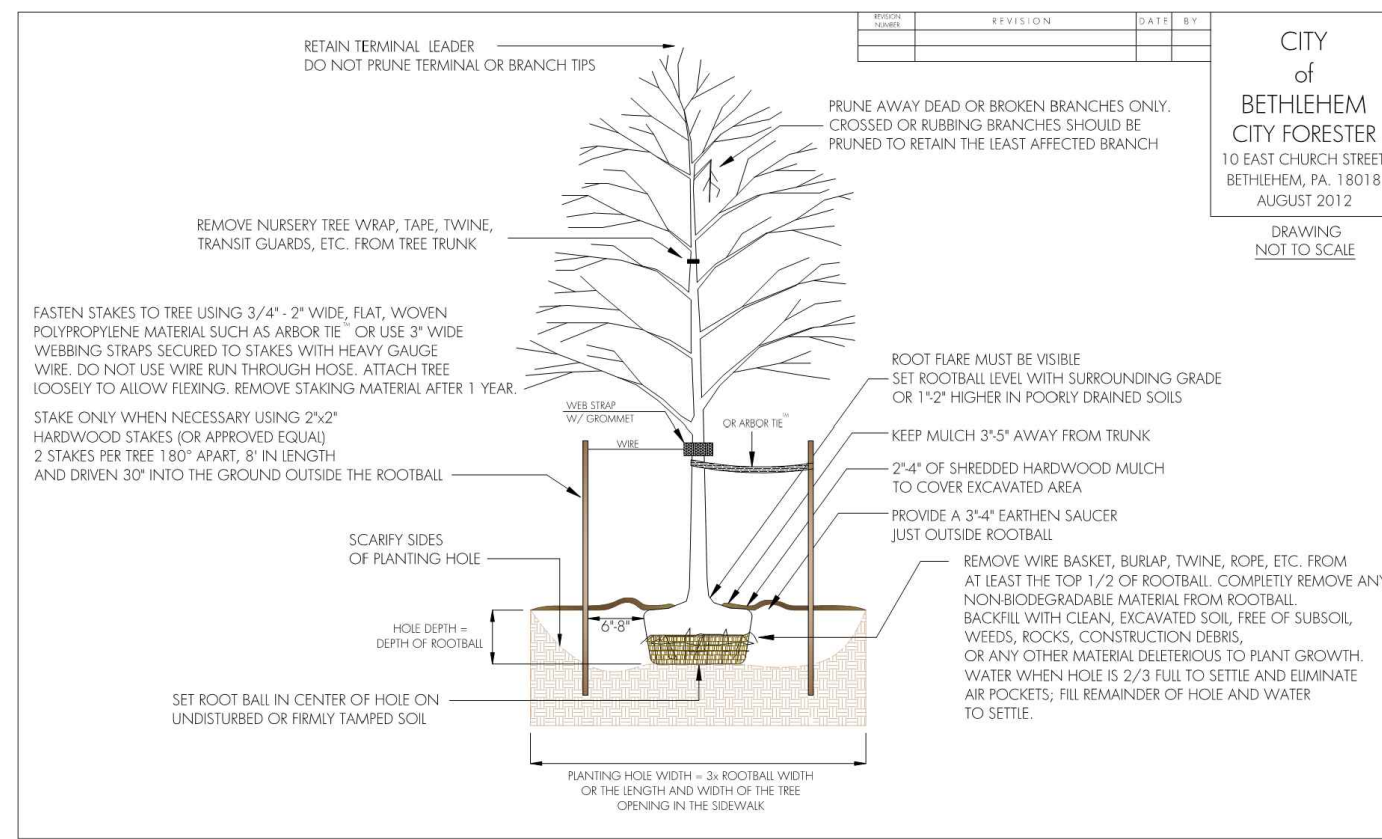
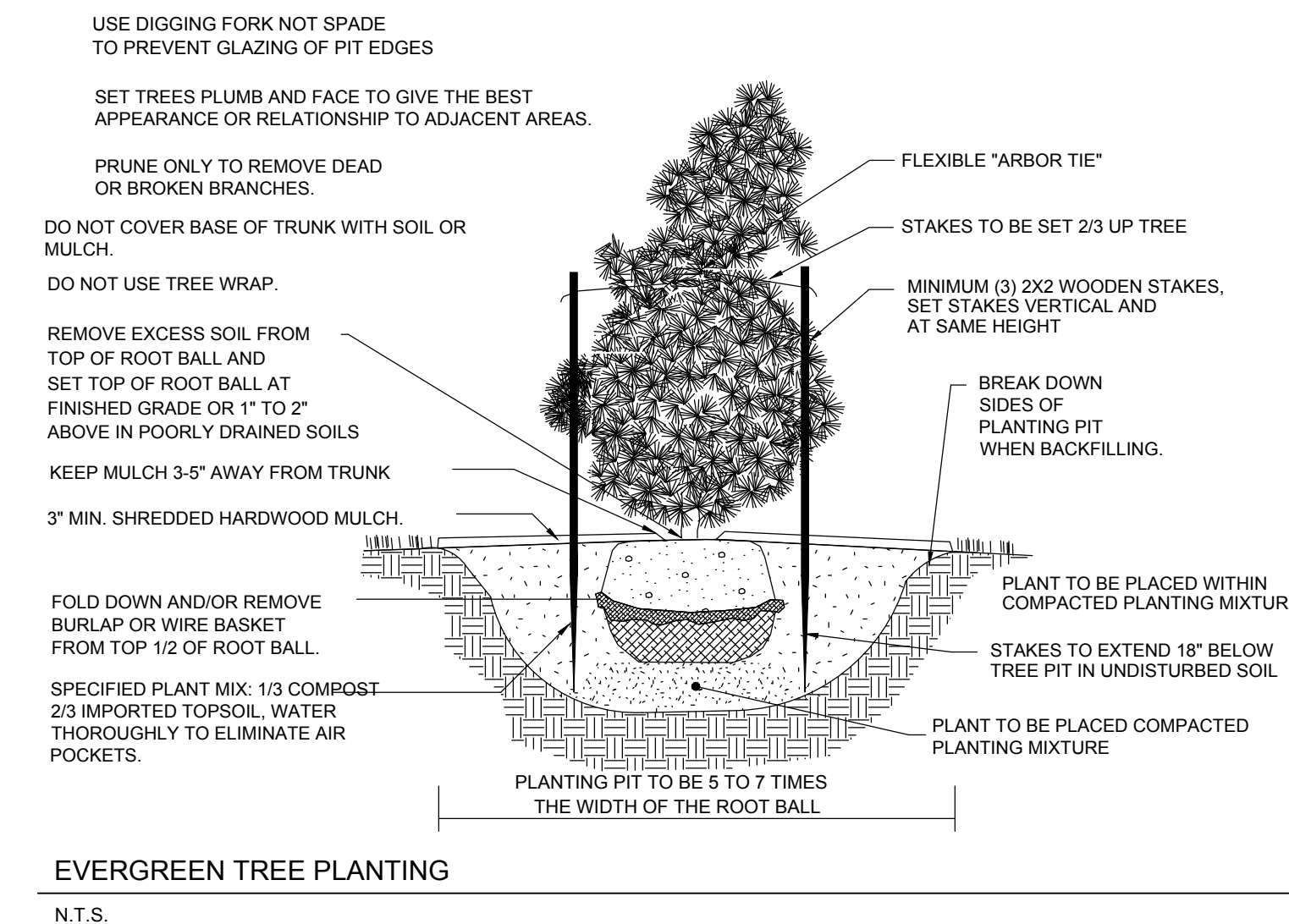
Pennoni Associates Inc. Engineers • Surveyors • Planners • Landscape Architects

81 Highland Ave, Suite 230
 Bethlehem, PA 18017 - 610.231.0600

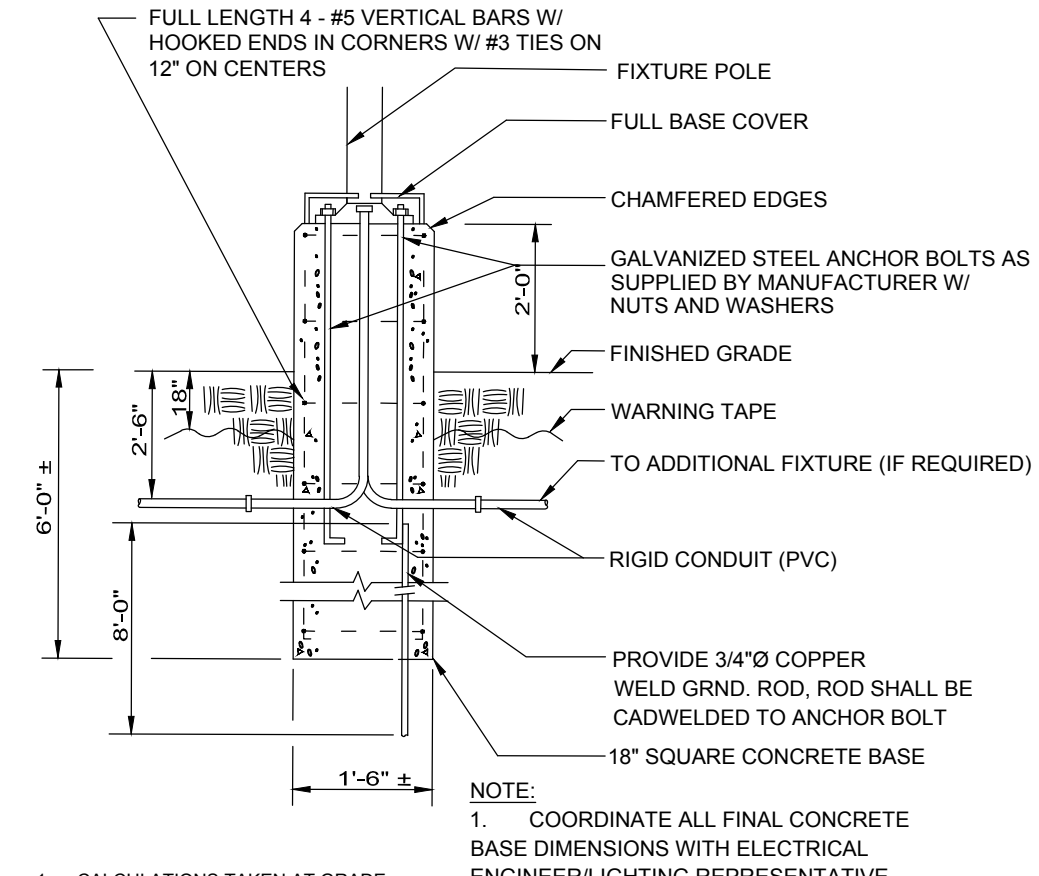
L:\PROJECTS\CMCN\CMCN0801-BETHLEHEM COMMERCE CENTER\DESIGN\LABOR\PHASE 3 EXPANSION\CMCN0801.DWG PLOTED: 5/31/23 10:58:10 AM PENNONI ASSOCIATES PROJECT SHEETS 11-11



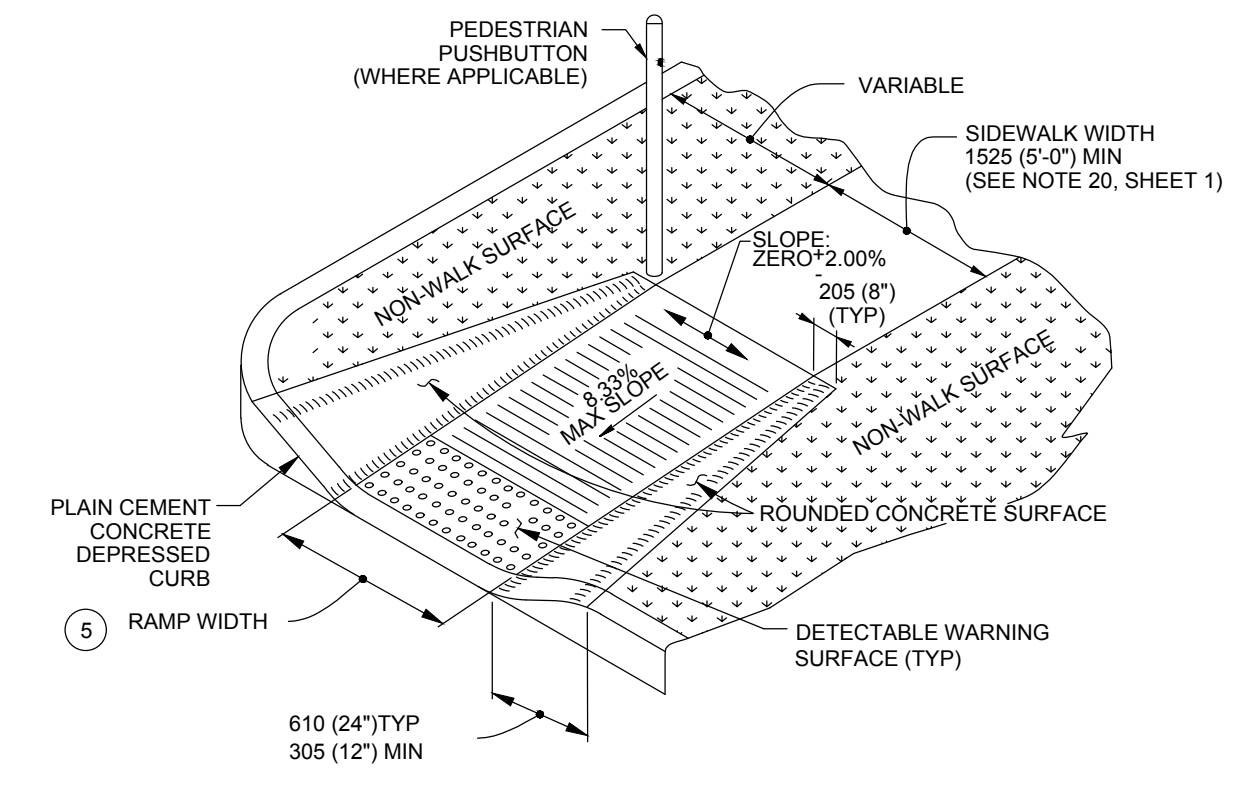
ROOT PROTECTION FABRIC
N.T.S.



DECIDUOUS TREE PLANTING DETAIL
N.T.S.

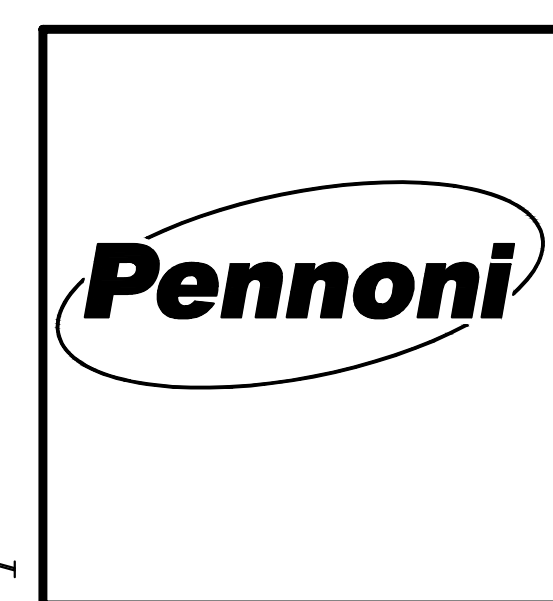


LIGHT POLE BASE DETAIL
N.T.S.



5 CURB RAMP WIDTH IS EQUAL TO SIDEWALK WIDTH WHEN THE SIDEWALK WIDTH IS GREATER THAN OR EQUAL TO THE MINIMUM 1220 (4'-0").

ADA CURB RAMP (PENNDOT ALT. TYPE 4A, PARALLEL)
N.T.S.



NO.	DATE	REVISIONS	BY
1	7/14/23	PER CITY COMMENTS	KDH

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
3769 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

SITE DETAILS

BETHLEHEM COMMERCIAL CENTER, LLC.
3001 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT TO THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT NO.	CMCN0801
SHEET	21 of 26

SCALE	DATE
1" = 40'	5/31/23
DRAWN BY	APPROVED
1005	KDH
DRAWING NO.	
CS6004	

Pennoni Associates Inc. Engineers • Surveyors • Planners • Landscape Architects

PROJECT: MAJESTIC BETHLEHEM COMMERCIAL CENTER/LOT 5 EXPANSION/PHASE 3 PLOTTED: 5/31/23 BY: KDH (AWG) PLOTTED: PENNONI NCS376 PROJECT STATUS: 100%

PLANTING NOTES

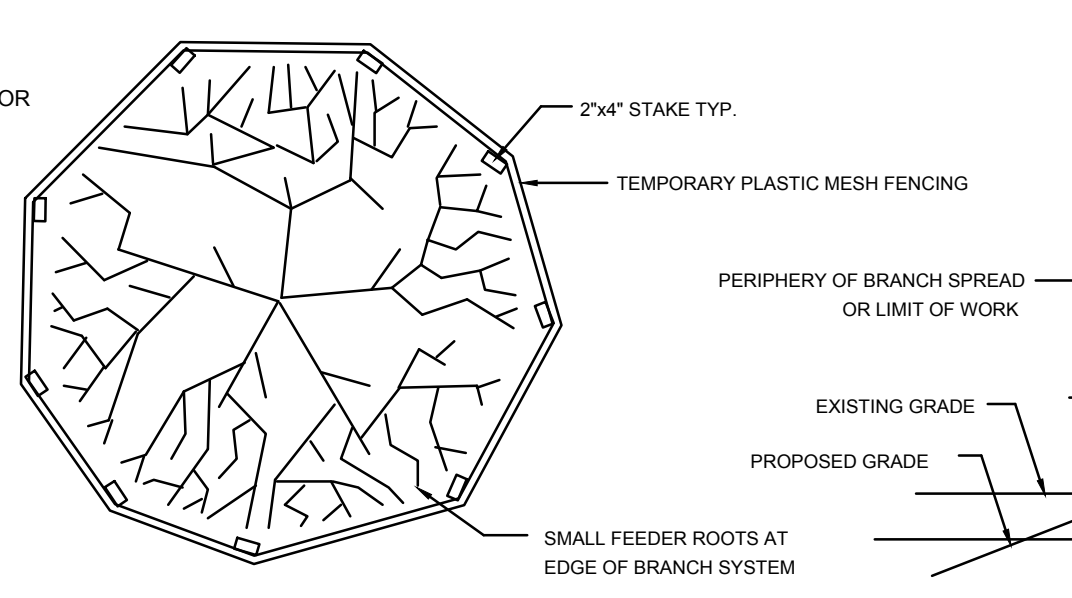
- 1. ALL PLANT LOCATIONS SHALL BE STAKED IN THE FIELD AND LOCATIONS APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- 2. TOPSOIL WITH A QUALITY ORGANIC SOIL AMENDMENT SHALL BE USED FOR ALL PLANTING AND SEEDING OPERATIONS.
- 3. NOTIFY ALL UTILITY COMPANIES AND LOCATE ALL UTILITIES PRIOR TO EXCAVATING PLANT PITS. PLANT LOCATIONS MAY BE ADJUSTED IN THE FIELD TO AVOID INTERFERENCE WITH UNDERGROUND UTILITIES.
- 4. SHOULD ANY DISCREPANCY ARISE BETWEEN THE PLANTING PLAN AND THE PLANTING SCHEDULE, THE PLAN SHALL GOVERN AS TO THE QUANTITY OF PLANT MATERIAL.
- 5. ALL PLANT MATERIAL SHALL BE GUARANTEED TO LIVE AT LEAST 18 MONTHS FOLLOWING INSTALLATION.
- 6. ALL NON-BIODEGRADABLE ROOT WRAPPING TO BE REMOVED COMPLETELY BEFORE PLANTING.
- 7. ALL PLANT MATERIAL SHALL BE APPROVED UPON ARRIVAL TO THE SITE, UNLESS OTHERWISE NOTIFIED.
- 8. PROPOSED PLANT MATERIAL MAY BE SUBSTITUTED BY SIMILAR PLANTS PRIOR TO INSTALLATION, SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND THE CITY OF BETHLEHEM.
- 9. DISTURBANCE OF EXISTING VEGETATION SHALL BE LIMITED TO WORK AREA. CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND SEEDING ALL DISTURBED AREAS.
- 10. NO TOPSOIL IS AVAILABLE ON-SITE. ALL TOPSOIL FOR SEEDING AND PLANTING OPERATIONS SHALL BE IMPORTED FROM OFF-SITE.
- 11. STREET AND PARKING LOT TREES SHALL HAVE A CENTRAL LEADER ALONG WHICH PERMANENT SCAFFOLD LIMBS CAN BE ESTABLISHED AS THE TREE GROWS.
- 12. DEER CONTROL MEASURES SHALL BE ADDED TO ALL TREES OTHER THAN TRUNK WRAP. TO PREVENT DEER RUBBING, ACCEPTABLE MEASURES SHALL BE, BUT NOT LIMITED TO, LOOSE FITTING WIRE, PLASTIC CONSTRUCTION FENCE, AND CORRUGATED OR PERFORATED TUBING.
- 13. BIODERIVATIVE TYPE ROOT BARRIER SHALL BE INSTALLED BETWEEN ALL STREET TREES AND ADJACENT SIDEWALK.

UTILITY NOTES

- 1. THE CONTRACTOR MUST CALL PA ONE CALL (800) 242-1776 PRIOR TO ANY EXCAVATION.
- 2. THE CONTRACTOR MUST VERIFY LOCATION, SIZE, DEPTH AND MATERIAL OF ALL UNDERGROUND STRUCTURES WITHIN THE LIMIT OF DISTURBANCE PRIOR TO BEGINNING WORK. NOTIFY PROJECT ENGINEER OF ANY POTENTIAL CONFLICTS OR DISCREPANCIES PRIOR TO BEGINNING WORK.
- 3. THIS PLAN INDICATES IDENTIFIED UTILITIES AND UTILITY COMPANY STRUCTURES BASED ON VISUAL SURVEY AND EXISTING UTILITY COMPANY PLANS. CONTRACTOR IS CAUTIONED THAT OTHER UTILITIES NOT SHOWN MAY EXIST WITHIN THE PROJECT LIMITS. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITIES.

NOTES:

- 1. ALL EXISTING TREES TO REMAIN SHALL RECEIVE PLASTIC MESH PROTECTIVE FENCING AT THE EDGE OF THE CROWN OF EACH TREE. (SEE DETAIL THIS SHEET).
- 2. IF IT IS NECESSARY TO DRIVE OVER THE TREE ROOT SYSTEM THEN PROTECTIVE MATTING MUST BE USED TO PREVENT THE GROUND FROM BECOMING TOO COMPACTED.
- 3. PRUNING OF TREE LIMBS TO ALLOW FOR MOVEMENT OF CONSTRUCTION EQUIPMENT MAY BE DONE WHERE NECESSARY IN ACCORDANCE WITH NATIONAL ARBORIST ASSOCIATION STANDARDS.
- 4. PROTECTIVE FENCING TO BE INSTALLED PRIOR TO THE START OF WORK.



LANDSCAPE CALCULATIONS FOR OFF-STREET PARKING:

Table with 5 columns: NUMBER OF PARKING SPACES, PARKING/LOADING AREA, 10% OF PARKING/LOADING AREA, REQUIRED, PROVIDED, COMPLIANT. Row 1: 332 CAR SPACES, 135,643 SF, 13,564 SF, 40 LARGE TREES, 31 LARGE TREES, YES.

SEEDING NOTES

- 1. SEED AREAS DISTURBED BY CONSTRUCTION NOT OTHERWISE INDICATED TO BE SEED MIX, PLANTING BEDS, SIDEWALKS, BUILDINGS, ETC.
- 2. BEFORE SEEDING, CONTRACTOR SHALL PROVIDE SOIL TESTS, AND APPLICATIONS OF FERTILIZER AND/OR GROUND LIMESTONE SHALL BE MADE PER SOIL TEST RECOMMENDATIONS. INCORPORATE FERTILIZER OR LIMESTONE INTO TOPSOIL TO A 2\"/>
- 3. MULCH SEEDED AREAS WITH CLEAN STRAW AND TACKIFIER.
- 4. MAINTAIN ALL SEED AREAS PER MANUFACTURER'S RECOMMENDATION.
- 5. RESEED BARE OR THIN AREAS AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- 6. SEED MIXTURE: SEE PLANT SCHEDULE FOR TYPE AND PLAN FOR LOCATION.
- 7. SEED TO BE INSTALLED WITH HYDROSEEDER OR SLIT SEEDER PER MANUFACTURER RECOMMENDATION.

LIGHTING NOTES

- 1. LUMINAIRE FIXTURE AND POLE SHALL BE MANUFACTURED BY VISIONAIRE LIGHTING OR AN APPROVED EQUAL.
- 2. POLE PER MANUFACTURER'S RECOMMENDATION. POLE MOUNTING HEIGHT PER LUMINAIRE SCHEDULE.
- 3. PERFORM ALL WORK IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, ALL REGULATIONS AND CODES OF ALL JURISDICTIONAL AUTHORITIES.
- 4. ALL EQUIPMENT SHALL BE LISTED BY UNDERWRITERS LABORATORIES, INC. AND SHALL BEAR THE U.L. LABEL. PROVIDE ONLY NEW UNDAMAGED EQUIPMENT.
- 5. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS EMPLOYED ON THE PROJECT.
- 6. THIS DRAWING IS DIAGRAMMATIC IN NATURE AND INDICATES THE GENERAL ARRANGEMENT OF THE VARIOUS SYSTEMS AND APPROXIMATE LOCATIONS OF THE EQUIPMENT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THAT THERE IS ADEQUATE SPACE AT THE LOCATIONS INDICATED FOR ALL EQUIPMENT PRIOR TO INSTALLATION OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL DIMENSIONS IN THE FIELD, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- 7. ALL WIRING SHALL BE RUN IN CONDUIT. MINIMUM SIZE OF CONDUIT AND WIRING SHALL BE 3/4\"/>
- 8. CONTRACTOR SHALL OBTAIN ALL PERMITS.
- 9. PROVIDE 2\"/>
- 10. CONTRACTOR SHALL SUBMIT AN APPLICATION FOR SERVICE AND METER WITH REC'D AND ASSUME ALL EXPENSES.
- 11. MATERIAL QUANTITIES SHOWN IN THE DRAWINGS ARE INTENDED TO ASSIST IN DEFINING THE SCOPE OF THE WORK. IT IS NOT A COMPLETE LISTING OF ALL MATERIALS REQUIRED TO PERFORM THE WORK.
- 12. CONTRACTOR IS RESPONSIBLE FOR PERFORMING THE WORK AND CONSTRUCTING ALL PROPOSED IMPROVEMENTS AS SHOWN ON THE PLAN SHEETS. CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES AND NO ALLOWANCE WILL BE MADE FOR ANY CLAIM THAT THE BID WAS BASED ON INCOMPLETE INFORMATION PROVIDED ON THE QUANTITY LIST.
- 13. ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF CITY OF BETHLEHEM. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA STANDARDS.
- 14. ALL WORK AND MATERIALS SHALL BE INSPECTED BY THE CITY ENGINEER AND/OR THEIR APPROVED REPRESENTATIVE.
- 15. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY TO COMPLETE THE LIGHTING PLAN.
- 16. CONTRACTOR RESPONSIBLE FOR THE CONDUIT RUNS OR DIRECT BURIAL ELECTRIC SERVICE.
- 17. FINAL LOCATION OF LIGHT FIXTURES AND POLES SHALL BE APPROVED BY A MUNICIPAL REPRESENTATIVE.
- 18. THE POWER COMPANY \"PP\" IS SEPARATE FROM THE UTILITY OF THE CITY IN THE DESIGN AND IMPACT OF THE STREET LIGHTING SYSTEM. PPL WILL NOT INSTALL NEW STREET LIGHTING FOR BETHLEHEM. THE CONTRACTOR/DEVELOPER WILL INSTALL A COMPLETE LIGHTING SYSTEM. ALL ELECTRICAL WORK WILL REQUIRE ELECTRICAL PERMIT AND A \"PPL\" JOB REQUEST.
- 19. THE MOUNTING HEIGHT OF WALL LIGHTS AND PARKING LOT POLES WILL BE 28 FEET UNLESS OTHERWISE SPECIFIED.
- 20. THE HOURS OF OPERATION OF EXTERIOR LIGHTING SHALL BE 24 HOURS.

PLANT SCHEDULE - PHASE 5 - PREVIOUSLY INSTALLED INCLUDING TENANT IMPROVEMENTS

Table with 6 columns: SYM, BOTANICAL NAME, COMMON NAME, SIZE*, ROOT, QTY. Includes entries for ACER TRUNCATUM, ACER RUBRUM, CLADRASIS, GLEDITSIA, QUERCUS, AMELANCHIER, CERCIS, ACER, PICEA, PINUS, PICEA GLAUCA, SHRUBS, ARONIA, BLACK CHOKEBERRY, SUMMERSWEET, REDDOISER DOGWOOD, RADRAZZ, RADCOR, ARROWWOOD, AMERICAN CRANBERRYBUSH, PLUMBAGO, LILYTURF, BLACK-EYE SUSAN, MIX 'A', MIX 'B', MIX 'C'.

- 1. PLANT SCHEDULE INCLUDES STREET TREE AND PARKING AREA LANDSCAPE REQUIREMENTS ONLY.
- 2. BEFORE PLANTING, CONTRACTOR SHALL PROVIDE SOIL TESTS, AND APPLICATIONS OF COMPOST, FERTILIZER, GROUND LIMESTONE AND/OR ANY ADDITIONAL SOIL AMENDMENTS SHALL BE MADE PER SOIL TEST RECOMMENDATIONS. ADJUSTMENTS IN THE LOCATION OF PLANTS MAY BE NECESSARY PER THE SOIL TEST RESULTS.

SEED MIX 'A' COMMERCIAL CONSERVATION MIX (ERNMX-113) OR APPROVED EQUAL

- 25.00% FESTUCA RUBRA (PENNLAWN) (PENNLAWN) CREEPING RED FESCUE)
- 25.00% LOLIUM MULTIFLORUM (ANNUAL RYEGRASS)
- 25.00% LOLIUM PERENNE (VARIETY 1 TURF TYPE PERENNIAL RYEGRASS)
- 25.00% LOLIUM PERENNE (VARIETY 2 TURF TYPE PERENNIAL RYEGRASS)
- APPLIED 75-100 LB PER ACRE, OR 3-5 LB PER 1000 SF

SEED MIX 'B' NORTHEASTERN U.S. ROADSIDE NATIVE SEED MIX (ERNMX-105) OR APPROVED EQUAL

- 28% LITTLE BLUESTEM, ALBANY PINE BUSH-NY ECOTYPE (SCHIZACHYRIUM SCOPARIUM, ALBANY PINE BUSH-NY ECOTYPE)
- 24% INDIANGRASS, 'SOUTHWEST-MI' ECOTYPE (SORGHASTRUM NUTANS, 'SOUTHWEST-MI' ECOTYPE)
- 10% VIRGINIA WILD RYE, PA ECOTYPE (ELYMUS VIRGINICUS, PA ECOTYPE)
- 5% CANADA WILD RYE (ELYMUS CANADENSIS)
- 4% PARTRIDGE PEA, PA ECOTYPE (CHAMAECRISTA FASCICULATA (CASSIA F.), PA ECOTYPE)
- 3% PURPLE CORNFLOWER (ECHINACEA PURPUREA)
- 3% BLACKBEYED SUSAN, COASTAL PLAIN NC ECOTYPE (RUDBECKIA HIRTA, COASTAL PLAIN NC ECOTYPE)
- 3% GOLDEN ALEXANDERS (ZIZIA AUREA)
- 3% OHIO SPIDERWORT, PA ECOTYPE (TRIDESCANZIA OHIENSIS, PA ECOTYPE)
- 2% FLAT TOPPED WHITE ASTER, PA ECOTYPE (ASTER UMBELLATUS (DOELLINGERIA UMBELLATA), PA ECOTYPE)
- 2% MARSH (DENSE) BLAZING STAR (SPIKED GRAYFEATHER), PA ECOTYPE (LIATRIS SPICATA, PA ECOTYPE)
- 2% WILD SENNA, VA & WV ECOTYPE (SENNA HEBEICARPA (CASSIA H.), VA & WV ECOTYPE)
- 2% SWAMP MILKWEED, PA ECOTYPE (ASCLEPIAS INCARNATA, PA ECOTYPE)
- 2% ZIGZAG ASTER, PA ECOTYPE (ASTER PRENANTHOIDES (SYMPHYOTRICHUM P.), PA ECOTYPE)
- 2% BLUE O INDIGO, SOUTHERN WV ECOTYPE (BAPTISIA AUSTRALIS, SOUTHERN WV ECOTYPE)
- 1% WILD BERGAMOT (MONARDA FISTULOSA)
- 1% EARLY GOLDENROD, PA ECOTYPE (SOLIDAGO JUNCEA, PA ECOTYPE)
- 1% SMOOTH BLUE ASTER, MN ECOTYPE (ASTER LAEVIS (SYMPHYOTRICHUM LAEVE), MN ECOTYPE)
- 1% OXEYE SUNFLOWER, PA ECOTYPE (HELIOPSIS HELIANTHOIDES, PA ECOTYPE)
- 1% MARYLAND SENNA (SENNA MARILANDICA (CASSIA M.))
- APPLIED 20 LB PER ACRE, OR 1/2 LB PER 1,000 SQ FT

LANDSCAPE COMPLIANCE SUMMARY:

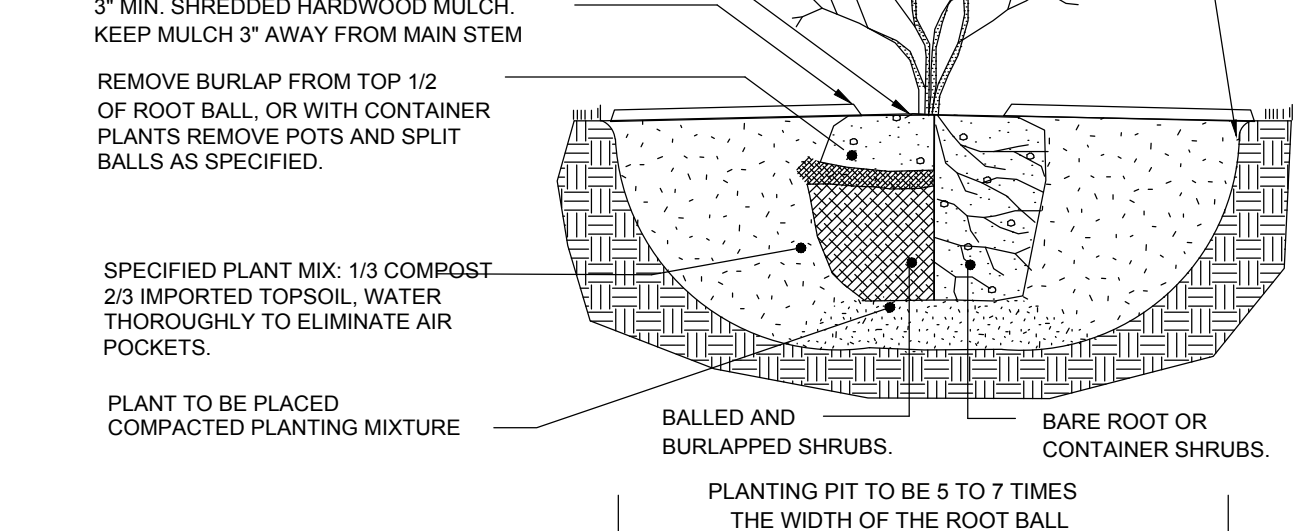
Table with 4 columns: CODE REFERENCE, REQUIRED, PROPOSED, COMPLIANT. Row 1: 1310.02(b) SHADE TREES... 22 >22 YES. Row 2: 1349.08(b)(1) LANDSCAPE OFF-STREET PARKING... 13,564 S.F. >13,564 S.F. YES.

- 1. ACCORDING TO 1349.08(e) THE FOLLOWING PLANTING SHALL RECEIVE THE FOLLOWING CREDIT TOWARDS LANDSCAPE AREA REQUIREMENT AS AN APPROVED PLANTING:
 - LARGE TREE SHADE TREE RECEIVES A 200 SF CREDIT.
 - EVERGREEN TREES RECEIVE A 100 SF CREDIT.
 - SHRUBS RECEIVE CREDIT FOR THE AREA IN WHICH IS OCCUPIED BY THE PLANTINGS.

NOTE: SHADE TREES SHALL BE FREE OF BRANCHES TO A POINT NO MORE NOR NO LESS THAN APPROXIMATELY 50% OF THEIR HEIGHT

NOTES:

- SET PLANTS PLUMB AND FACE TO GIVE BEST APPEARANCE TO ADJACENT AREAS.
- PRUNE ONLY TO REMOVE DEAD OR DAMAGED BRANCHES.
- REMOVE EXCESS SOIL FROM TOP OF ROOT BALL AND SET TOP OF ROOT BALL AT FINISHED GRADE OR 1\"/>
- 3\"/>
- REMOVE BURLAP FROM TOP 1/2 OF ROOT BALL, OR WITH CONTAINER PLANTS REMOVE POTS AND SPLIT BALLS AS SPECIFIED.
- SPECIFIED PLANT MIX: 1/3 COMPOST 2/3 IMPORTED TOPSOIL, WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
- PLANT TO BE PLACED COMPACTED PLANTING MIXTURE
- BALLED AND BURLAPPED SHRUBS. BARE ROOT OR CONTAINER SHRUBS.
- PLANTING PIT TO BE 5 TO 7 TIMES THE WIDTH OF THE ROOT BALL



SHRUB PLANTING DETAIL

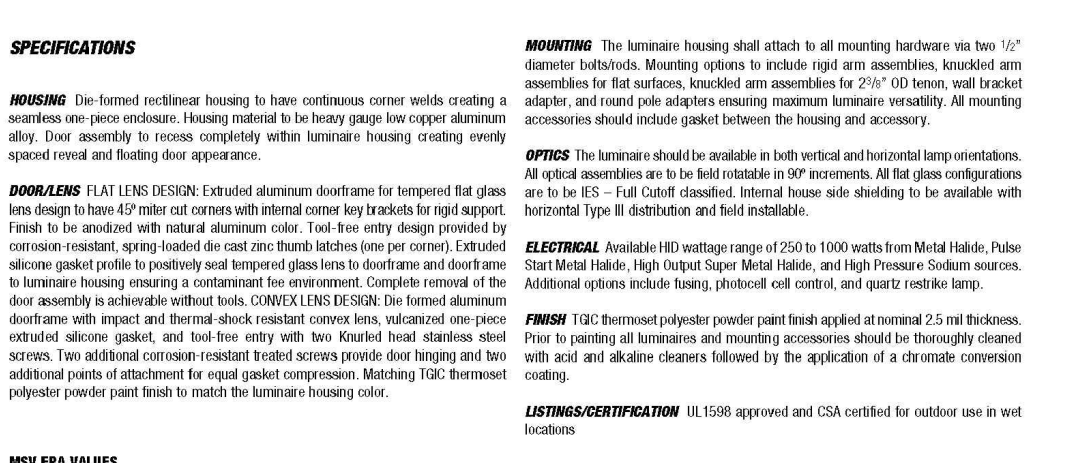
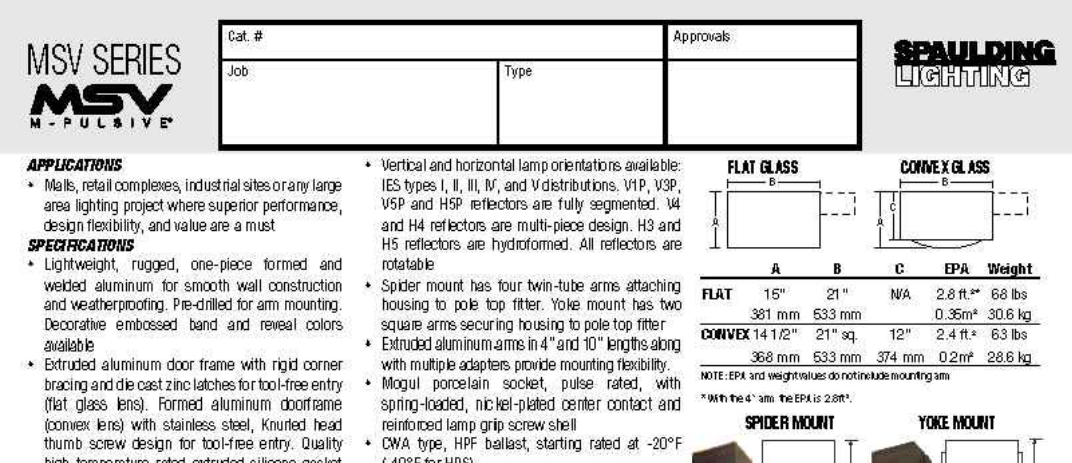
N.T.S.

PLANT SCHEDULE - PHASE 5 EXPANSION

Table with 6 columns: SYM, BOTANICAL NAME, COMMON NAME, SIZE*, ROOT, QTY. Row 1: AR ACER RUBRUM 'OCTOBER GLORY', 'OCTOBER GLORY' RED MAPLE, 2.5\"/>

LANDSCAPING NOTES

- 1. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBANCE IS ALLOWED IN THE TREE PROTECTION ZONE UNLESS INDICATED ON THE PLAN.
- 2. BARRICADES MUST BE INSTALLED PRIOR TO ANY DESTRUCTION AND/OR CONSTRUCTION ACTIVITY.
- 3. THE ROOT PROTECTION ZONE SHALL BE THE AREA ENCOMPASSED BY A CIRCLE WITH A RADIUS EXTENDING 1.25 FT. FROM THE TRUNK OF THE TREE FOR EVERY INCH DBH (DIAMETER AT BREAST HEIGHT) OF THE TREE.
- 4. VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO PENALTY PER CITY ORDINANCE.
- 5. ALL TREES ON PUBLIC PROPERTY ARE PROTECTED BY ORDINANCE. NO PRUNING, ROY PRUNING OF ROOTS OVER ONE INCH IN DIAMETER, AND/OR TREE REMOVAL IS TO BE PERFORMED WITHOUT A PERMIT AND WORK MUST BE PERFORMED BY A CITY LICENSED TREE CONTRACTOR.
- 6. ALL PLANT MATERIALS ARE TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- 7. STREET AND PARKING LOT TREES SHALL BE A MINIMUM OF 14\"/>
- 8. ALL LANDSCAPING SHALL CONFORM TO THE CURRENT EDITION OF THE ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE OF THE CITY OF BETHLEHEM.
- 9. PROPERTY LINE LENGTH IS APPROXIMATELY 1,400 LF, ALONG ALONG COMMERCIAL BLDG.



CONSERVATION SEED MIX

Table with 4 columns: MIX 'A' COMMERCIAL CONSERVATION SEED MIX, MIX 'B' NORTHEASTERN ROADSIDE NATIVE SEED MIX, MIX 'C' RETENTION BASIN FLOOR SEEDING FOR WILDLIFE AND PLANT DIVERSITY.

CONSERVATION SEED MIX

Table with 4 columns: MIX 'A' COMMERCIAL CONSERVATION SEED MIX, MIX 'B' NORTHEASTERN ROADSIDE NATIVE SEED MIX, MIX 'C' RETENTION BASIN FLOOR SEEDING FOR WILDLIFE AND PLANT DIVERSITY.

Penning Associates Inc. logo and contact information. Penning Associates Inc. 3769 Commerce Center Boulevard, Bethlehem, PA 18015. Penning Associates Inc. 3001 Commerce Center Boulevard, Bethlehem, PA 18015. Penning Associates Inc. 81 Highland Ave, Suite 230, Bethlehem, PA 18017 - 610.231.0800. Penning Associates Inc. 81 Highland Ave, Suite 230, Bethlehem, PA 18017 - 610.231.0800. Penning Associates Inc. 81 Highland Ave, Suite 230, Bethlehem, PA 18017 - 610.231.0800.

CONSERVATION SEED MIX

Table with 4 columns: MIX 'A' COMMERCIAL CONSERVATION SEED MIX, MIX 'B' NORTHEASTERN ROADSIDE NATIVE SEED MIX, MIX 'C' RETENTION BASIN FLOOR SEEDING FOR WILDLIFE AND PLANT DIVERSITY.

CONSERVATION SEED MIX

Table with 4 columns: MIX 'A' COMMERCIAL CONSERVATION SEED MIX, MIX 'B' NORTHEASTERN ROADSIDE NATIVE SEED MIX, MIX 'C' RETENTION BASIN FLOOR SEEDING FOR WILDLIFE AND PLANT DIVERSITY.



Pennoni Associates Inc.

81 Highland Ave, Suite 230
Bethlehem, PA 18017 - 610.231.0600

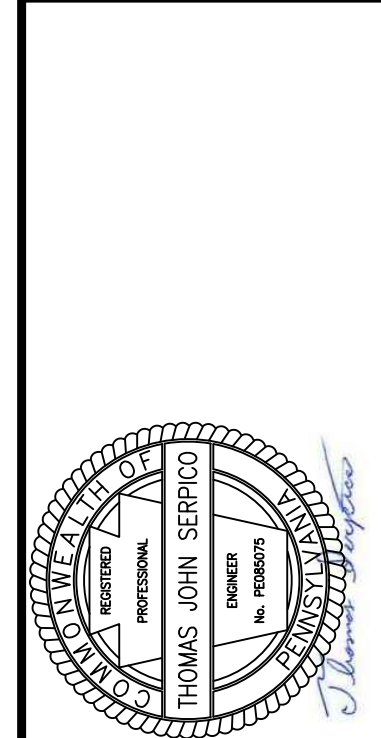
Engineers • Surveyors • Planners • Landscape Architects

SCALE: 1"=250'
DRAWN BY: 1005
DATE: 5/31/23
APPROVED: KDH
DRAWING NO.: CS8000

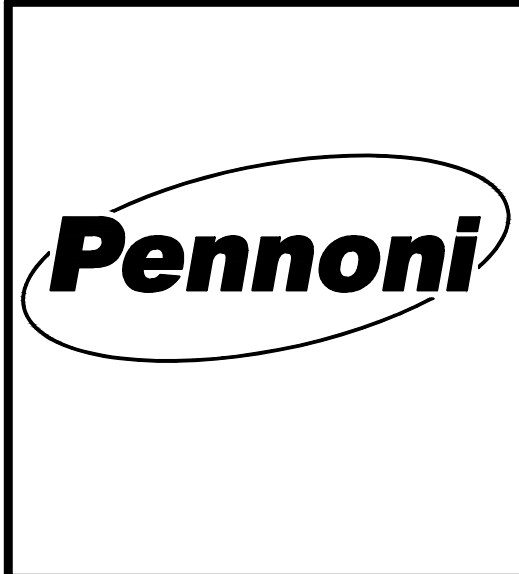
PROJECT NO.: CMCN0801
SHEET: 23 OF 26

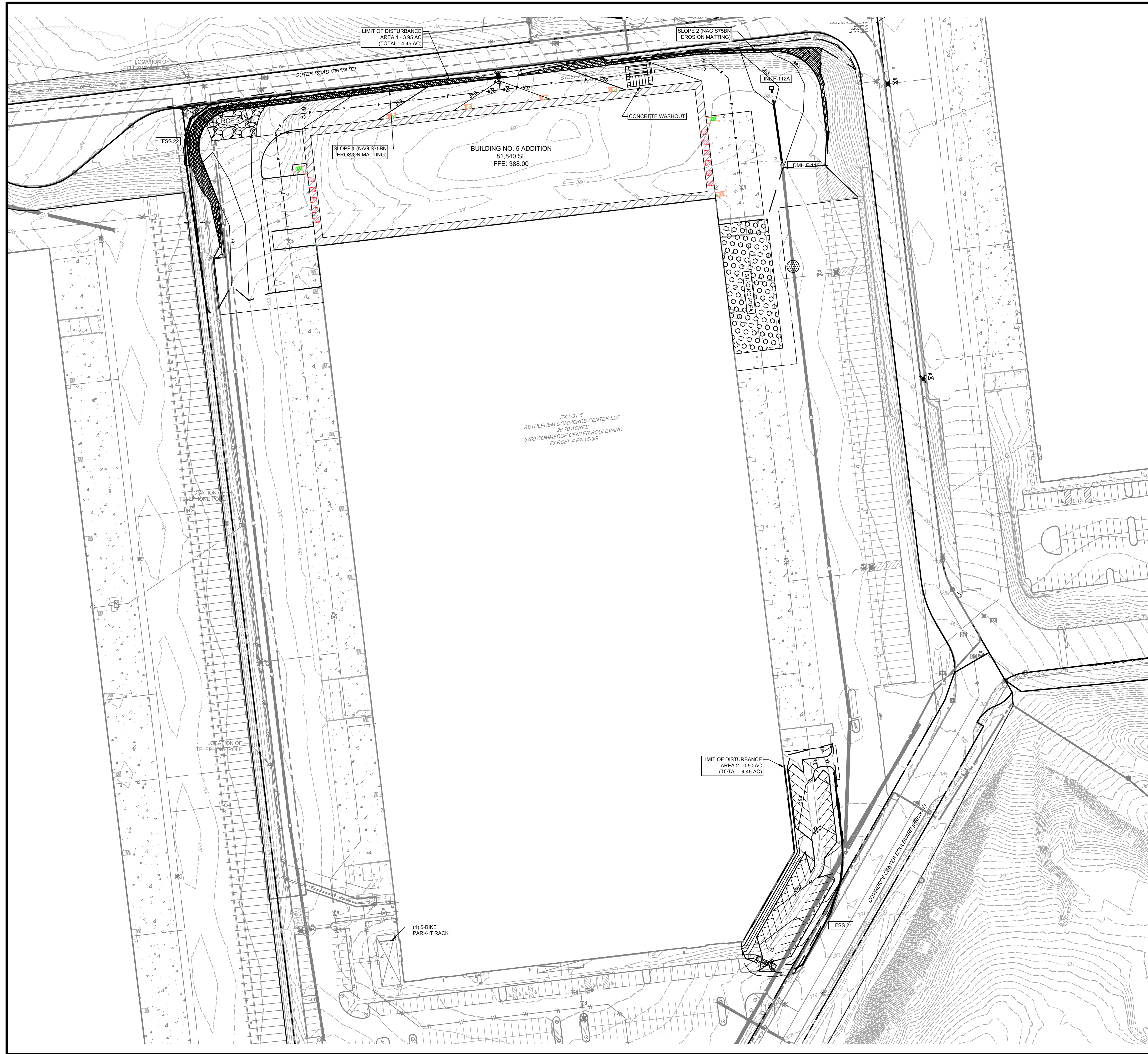
MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
3769 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015
OVERALL EROSION AND SEDIMENTATION PLAN
BETHLEHEM COMMERCE CENTER, LLC.
3001 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK



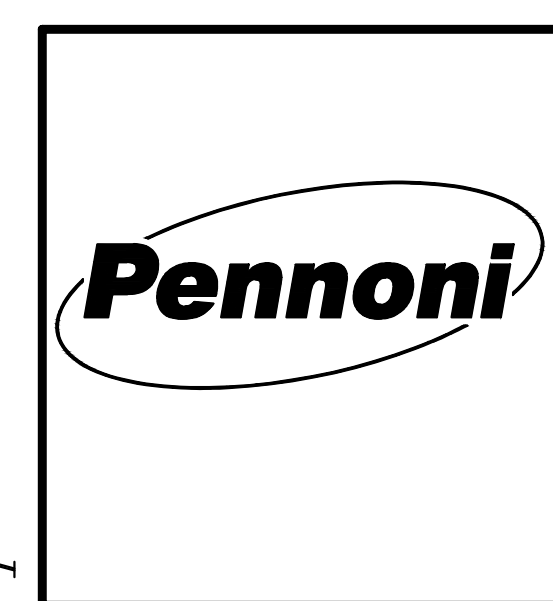
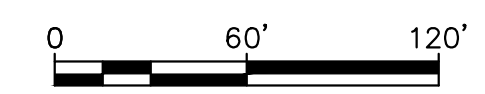
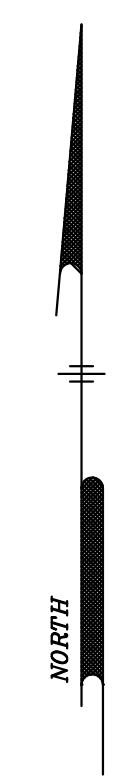
DATE	NO.	REVISIONS	BY
7/14/23	1	PER CITY COMMENTS	KDH





LEGEND

- PROPERTY LINE
- PROPERTY LINE TO BE EXTINGUISHED
- ADJOINING PROPERTY OWNERS LINE
- PROPERTY CORNER FOUND/MONUMENTS
- EX. MUNICIPAL BOUNDARY
- EX. FLOOD PLAIN
- EX. CENTERLINE OF STREAM
- EX. EDGE OF PAVEMENT
- EX. FENCE LINE
- EX. EDGE OF VEGETATION
- EX. TREE/SHRUB
- EX. MINOR CONTOUR
- EX. MAJOR CONTOUR
- EX. WATER LINES
- EX. WATER VALVE
- EX. WATER METER
- EX. FIRE HYDRANT
- EX. SANITARY SEWER PIPE
- EX. SANITARY MANHOLE
- EX. STORMWATER PIPE
- EX. STORMWATER STRUCTURES
- EX. OVERHEAD ELECTRIC
- EX. UTILITY POLE
- EX. GAS
- SOILS BOUNDARY LINES
- BENCHMARK
- PROPOSED EASEMENT
- PROPOSED BUILDING
- PROPOSED CONCRETE CURB
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CENTER OF ROAD/DRIVE AISLE
- PROPOSED GORE STRIPING
- PROPOSED CONCRETE AREA
- PROPOSED SIGN
- PROPOSED BOLLARD
- PROPOSED PROPERTY CORNER
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED STORMWATER PIPE
- PROPOSED STORMWATER INLET
- PROPOSED STORMWATER MANHOLE
- PROPOSED WATER LINE
- PROPOSED FIRE LINE
- PROPOSED WATER VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY MANHOLE
- PROPOSED CLEAN OUT
- PROPOSED OVERHEAD ELECTRIC
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED UTILITY POLE
- PROPOSED GAS LINE



NO.	DATE	PER CITY COMMENTS	BY
1	7/14/23		KDH

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

Enginers • Surveyors • Planners • Landscape Architects

81 Highland Ave, Suite 220
Bethlehem, PA 18017 - 610.231.0600

Pennoni Associates Inc.

MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
3769 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

EROSION AND SEDIMENTATION PLAN

BETHLEHEM COMMERCE CENTER, LLC.
3001 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT NO. MCN0801
SHEET 24 OF 26

SCALE 1"=60' DATE 5/31/23
DRAWN BY 1005 APPROVED KDH
DRAWING NO. CS8001

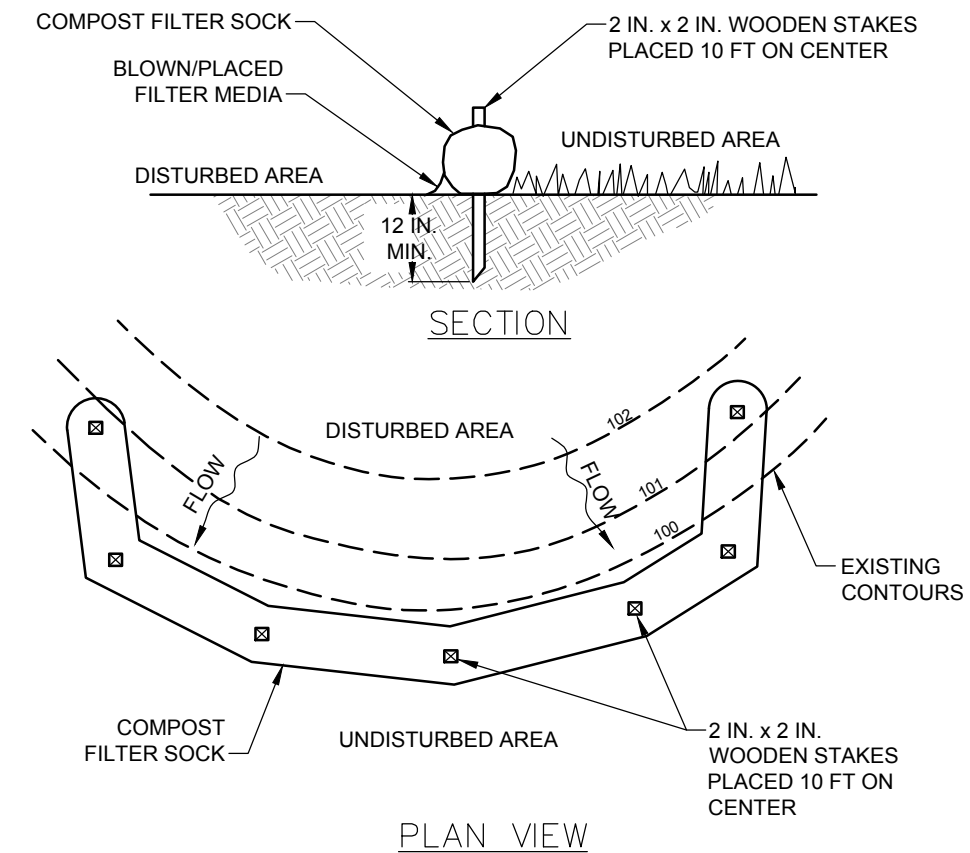
L:\PROJECTS\CMCN0801-BETHLEHEM COMMERCE CENTER\DESIGN_PUBLISH\PHASE 5 EXPANSION\CS8001.DWG PLOTTED: 7/14/23 10:58 AM, BY: KYLE HAVDICH, PENNONI NCS,SR, PROJECT STATUS: -----

EROSION AND SEDIMENTATION CONTROL NOTES:

- VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY TO NOR EXIT DIRECTLY FROM LOTS 1-6 ONTO COMMERCE CENTER BOULEVARD.
- STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
- THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
- UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE OPERATOR SHALL ASSURE THAT THE BEST MANAGEMENT PRACTICES ARE IMPLEMENTED, OPERATED, AND MAINTAINED PROPERLY AND COMPLETELY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL BEST MANAGEMENT PRACTICE FACILITIES. THE OPERATOR WILL MAINTAIN AND MAKE AVAILABLE TO NORTHAMPTON COUNTY CONSERVATION DISTRICT COMPLETE, WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL MAINTENANCE WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, REGRADING, AND RESTABILIZATION SHALL BE PERFORMED IMMEDIATELY.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE NORTHAMPTON COUNTY CONSERVATION DISTRICT.
- THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE NORTHAMPTON COUNTY CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
- ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
- THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
- THE E&S CONTROL PLAN MAPPING MUST DISPLAY A PA ONE CALL SYSTEM INCORPORATED SYMBOL INCLUDING THE SITE IDENTIFICATION NUMBER.
- ONLY LIMITED DISTURBANCE WILL BE PERMITTED TO PROVIDE ACCESS TO MAJESTIC BETHLEHEM CENTER LOTS 1-4 FOR GRADING AND ACQUIRING BORROW TO CONSTRUCT THOSE BMPs. E&SPCPM P168
- EROSION AND SEDIMENT BMPs MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs. E&SPCPM P168
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY. E&SPCPM P168
- AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND THE NORTHAMPTON COUNTY CONSERVATION DISTRICT TO AN ON-SITE MEETING. ALSO, AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR BURIED UTILITIES LOCATIONS.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
- APPROVAL OF THE USE OF SKIMMER(S) DOES NOT APPROVE USE OF ANY SKIMMER(S) IN VIOLATION OF ANY PATENT, PATENT RIGHTS, AND/OR PATENT LAWS.
- BAFFLES MUST BE INSTALLED TO ALLOW BASIN MAINTENANCE AND CLEAN OUT.
- UPON INSTALLATION OF THE TEMPORARY SEDIMENT BASIN RISER(S), AN IMMEDIATE INSPECTION OF THE RISER(S) SHALL BE CONDUCTED BY A QUALIFIED SITE REPRESENTATIVE AND NORTHAMPTON COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING THAT THE RISER IS SEALED.
- SEDIMENT BASINS MUST BE PROTECTED FROM UNAUTHORIZED ACTS OF THIRD PARTIES.
- SEDIMENT MUST BE REMOVED FROM STORM WATER INLET PROTECTION AFTER EACH RUNOFF EVENT.
- AT STREAM CROSSINGS, 50' BUFFER AREAS SHOULD BE MAINTAINED. ON BUFFERS, CLEARING, SOIL DISTURBANCES, EXCAVATION, AND EQUIPMENT TRAFFIC SHOULD BE MINIMIZED. ACTIVITIES SHOULD AS STACKING LOGS, BURNING CLEARED BRUSH, DISCHARGING RAINWATER FROM TRENCHES, WELDING PIPE SECTIONS, REFUELING AND MAINTAINING EQUIPMENT SHOULD BE ACCOMPLISHED OUTSIDE OF BUFFERS.
- HAY OR STRAW MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE.
- MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES 3:1 AND STEEPER.
- STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENEWING, MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.

RECYCLING & DISPOSAL NOTE:

THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ. AND 287.1 ET SEQ.



NOTES:

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

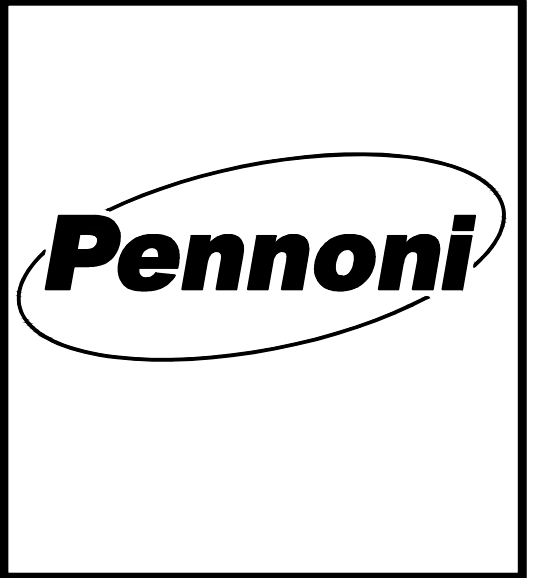
COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

**STANDARD CONSTRUCTION DETAIL #4-1
COMPOST FILTER SOCK**

NOT TO SCALE



NO.	DATE	NO.	REVISIONS	BY
1	7/14/23	1	PER CITY COMMENTS	KDH

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

Pennoni Associates Inc. Engineers • Surveyors • Planners • Landscape Architects

61 Highland Ave, Suite 200
Bethlehem, PA 18017 - 610.231.0600

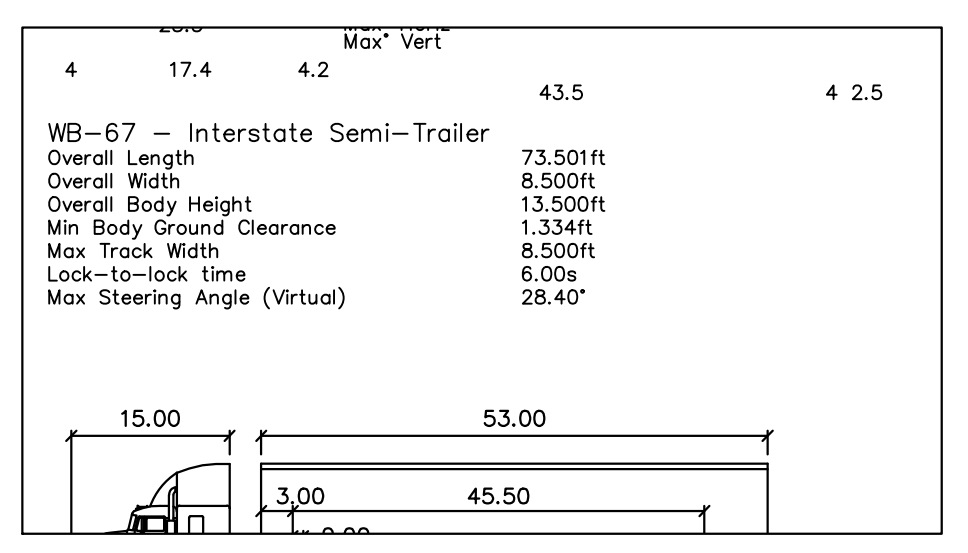
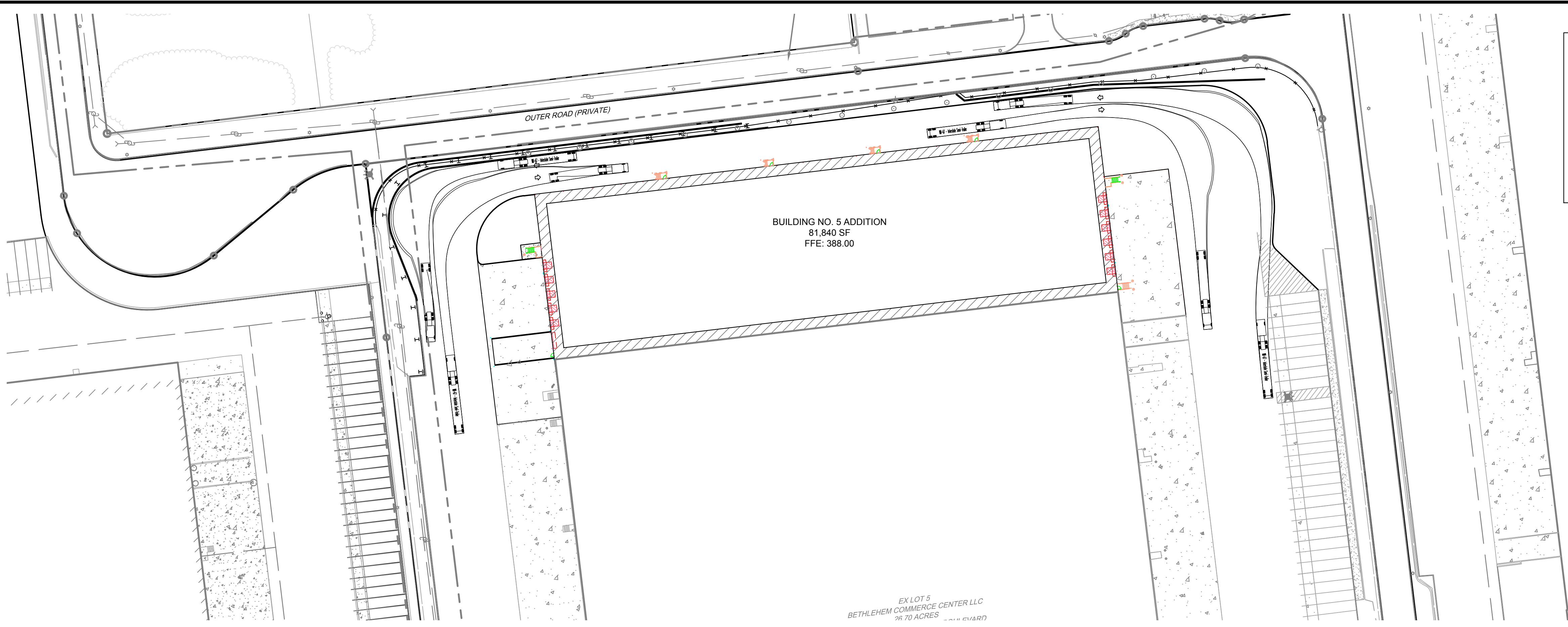
MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
3769 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

EROSION AND SEDIMENTATION CONTROL DETAILS

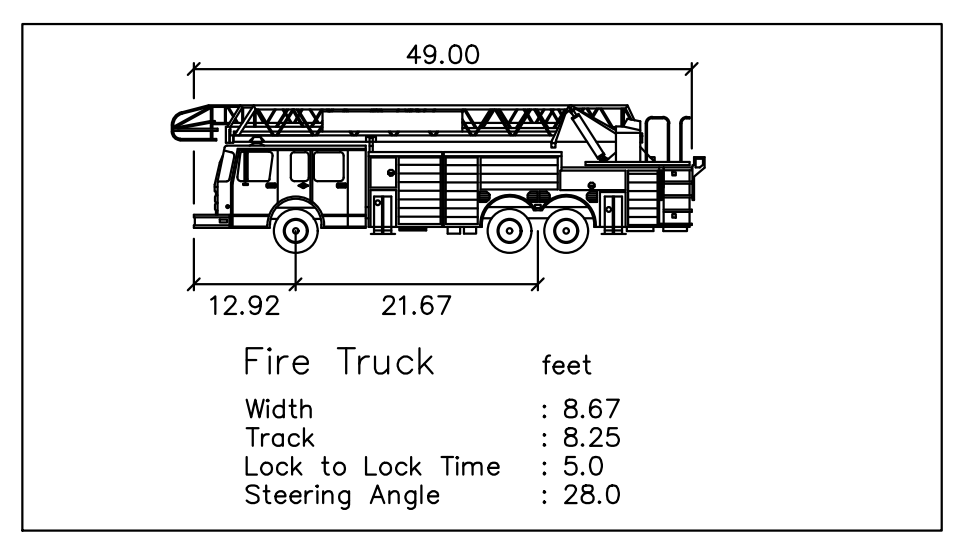
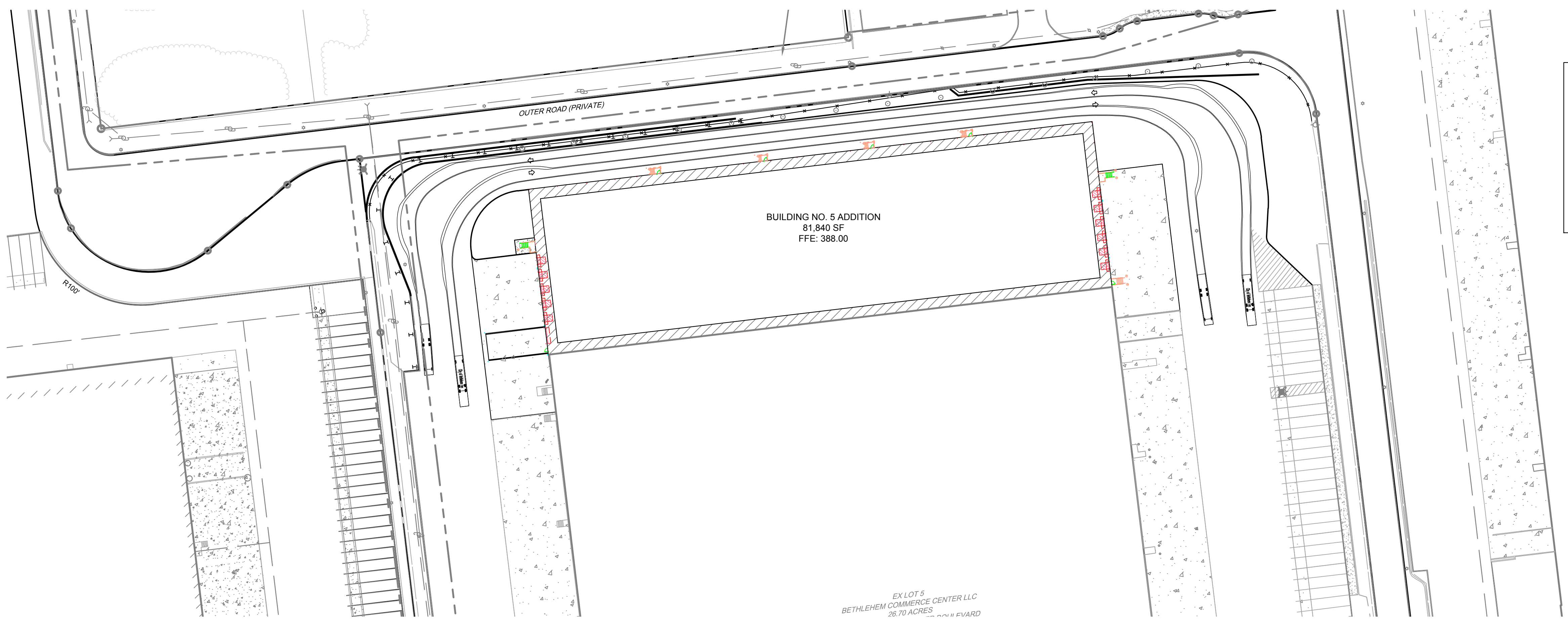
BETHLEHEM COMMERCE CENTER, LLC.
3001 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

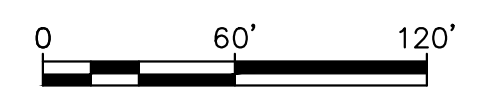
	PROJECT NO.	CMCN0801
	SHEET	25 of 26
SCALE	DATE	
1"=40'	5/31/23	
DRAWN BY	APPROVED	
1005	KDH	
DRAWING NO.		
CS8501		



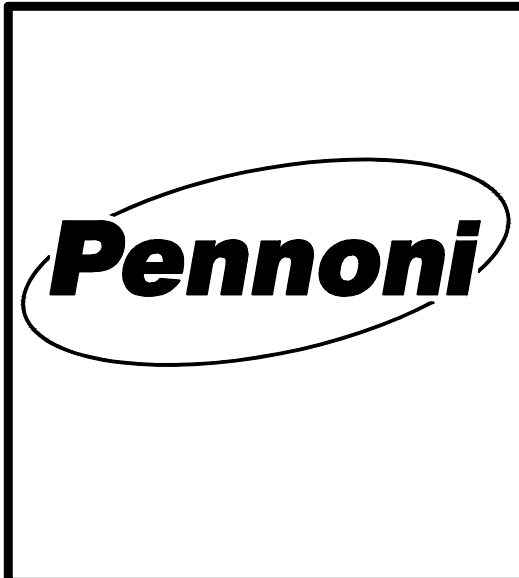
EX LOT 5
BETHLEHEM COMMERCE CENTER LLC
26.70 ACRES
EVARD
WB-67 MOVEMENTS
SCALE 1" = 60'



EX LOT 5
BETHLEHEM COMMERCE CENTER LLC
26.70 ACRES
EVARD
FIRE TRUCK MOVEMENTS
SCALE 1" = 60'



Engineers • Surveyors • Planners • Landscape Architects



DATE	NO.	PER CITY COMMENTS	KDH	BY
7/14/23	1			

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

81 Highland Ave, Suite 230
Bethlehem, PA 18017 - 610.231.0600

MAJESTIC BETHLEHEM CENTER - LOT 5 EXPANSION
3769 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

TRUCK MOVEMENT PLAN

BETHLEHEM COMMERCE CENTER, LLC.
3001 COMMERCE CENTER BOULEVARD
BETHLEHEM, PA 18015

Pennoni Associates Inc.

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT NO. MCN0801
SHEET 26 OF 26

SCALE 1" = 40' DATE 5/31/23
DRAWN BY 1005 APPROVED KDH

DRAWING NO. **CS9801**