

1170 EIGHTH AVE

REVISED MASTER PLAN

JANUARY 10, 2023

 **THE HERRICK COMPANY**
AN INVESTMENT COMPANY

ALLOY5
ARCHITECTURE



1170 EIGHTH AVENUE

**SURROUNDING
SITE USES**

-  COMMERCIAL
-  RESIDENTIAL
-  RECREATION
-  INDUSTRIAL
-  HISTORIC

2019 MASTER PLAN

SUMMARY OF USES

OFFICE 14%

- LOT 1: 60,000 SF Medical Office Building
- LOT 2: 42,000 SF Medical Office Building
- LOT 8: 22,584 SF Professional/Medical Office Building

RETAIL/COMMERICAL 12%

- LOT 3: 30,000 SF Retail
- LOT 4: 6,050 Gas/Retail
- LOT 5: 3,100 SF Retail
- LOT 6: 5,080 Restaurant
- LOT 7: 132 Room Hotel

RESIDENTIAL 74%

- LOT 9: 528 Apartments



LOCATION MAP
SCALE: 1" = 800'

"EXHIBIT A"

PRESENTATION PLAN FOR MARTIN TOWER COMPLEX

1170 EIGHTH AVENUE
13th WARD, CITY OF BETHLEHEM
LEHIGH COUNTY
PENNSYLVANIA

DATE:	9/20/2017	DRAWING NUMBER:	FLS-1
DRAWN BY:	S.J.E.	CHECKED BY:	S.J.E.
SCALE:	1" = 80'	SHEET:	1 OF 2
DATE:	01/11/17		

© Copyright 2017 DMS Real Estate Designs & Plans. These drawings are protected by the copyright laws of the United States. These drawings or any part thereof shall not be used for any purpose or reproduced in any form without the written consent of DMS Real Estate Designs & Plans.

2023 MASTER PLAN

SUMMARY OF USES

OFFICE 6%

LOT 7: 60,000 SF Medical Office Building
LOT 8: 42,000 SF Medical Office Building

RETAIL/COMMERICAL 11%

LOT 2: 225,000 Hotel

RESIDENTIAL 83%

LOT 3: 300 Apartments
LOT 4: 280 Apartments
LOT 5: 240 Apartments
LOT 6: 265 Apartments



MASTER PLAN

LOTS



KEY

- OPEN SPACE
- LOT DIVISION

MASTER PLAN

SITE ALLOCATION



KEY

-  COMMERCIAL
-  RESIDENTIAL
-  OFFICE
-  FUTURE DEVELOPMENT
-  OPEN GREEN SPACE
-  LOT DIVISION

SQUARE FOOTAGE

SITE USES

LOT NO.	USE	SF	PARKING	RATIO
②	200 ROOM HOTEL	225,000 SF	400	
③	300 UNITS	452,785 SF	450	1.5
④	280 UNITS	407,595 SF	420	1.5
⑤	240 UNITS	365,013 SF	360	1.5
⑥	265 UNITS	387,400 SF	400	1.5
⑦	MOB	60,000 SF	300	
⑧	MOB	42,000 SF	196	

TOTAL SQUARE FOOTAGE

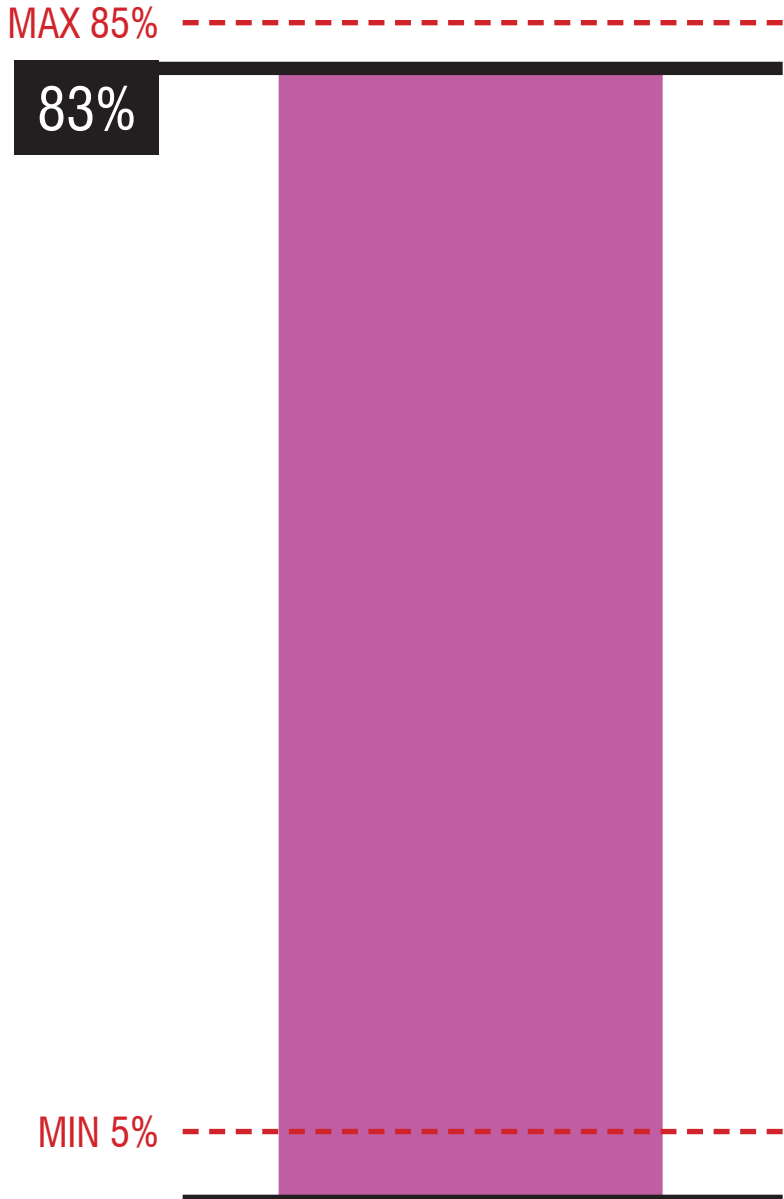
COMMERCIAL: 225,000 SF

RESIDENTIAL: 1,612,793 SF

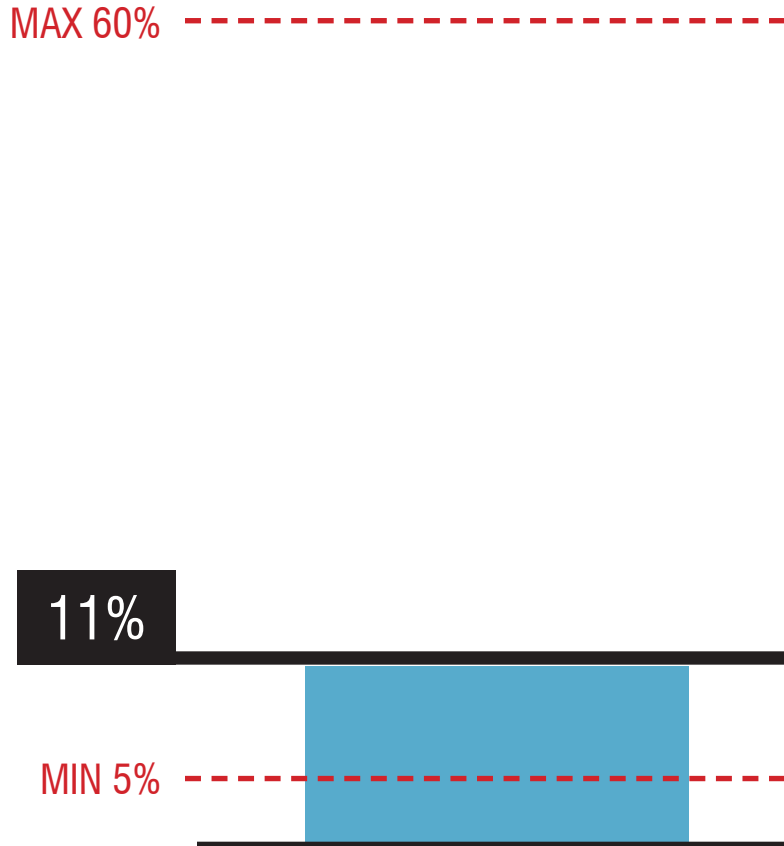
OFFICE: 101,821 SF

OMU ZONING REQUIREMENTS

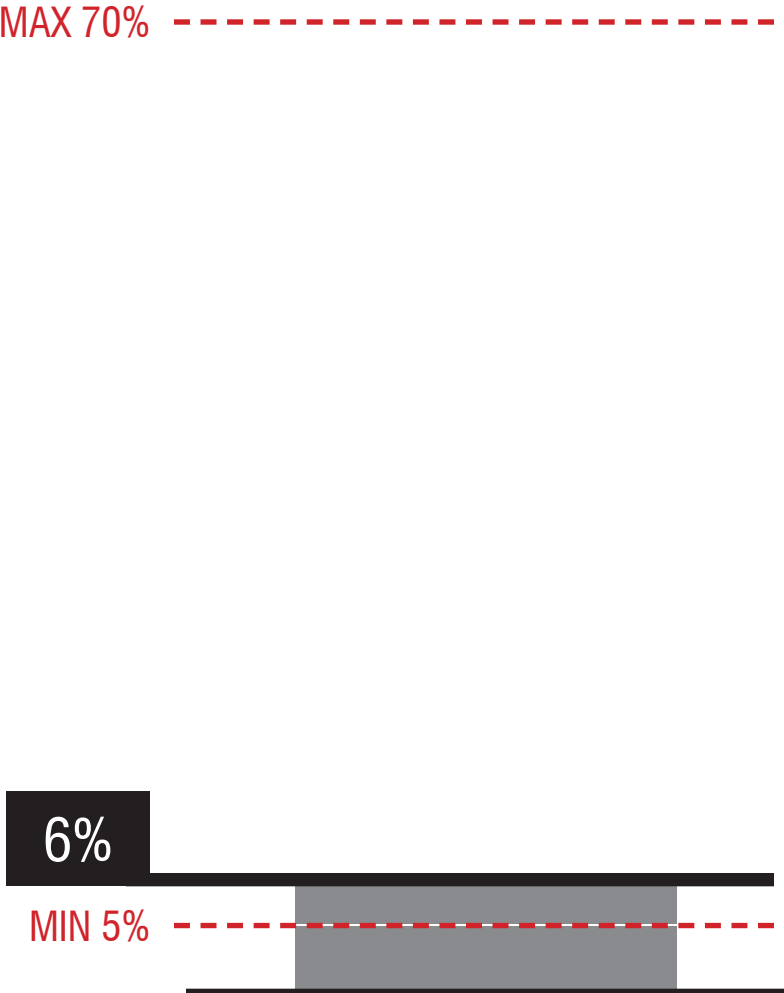
SITE USES



RESIDENTIAL
1,612,793 SF



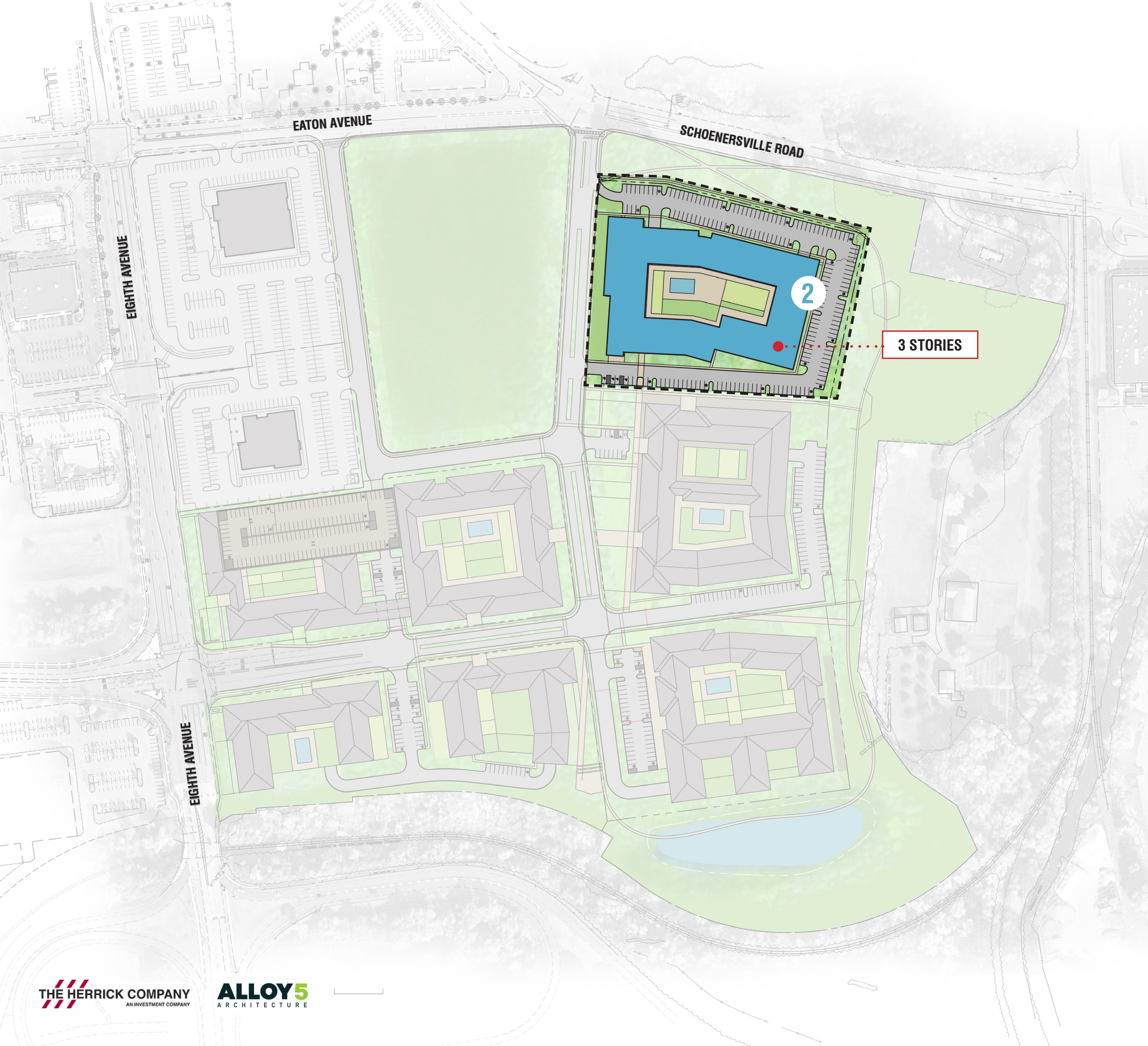
COMMERCIAL
225,000 SF



OFFICE
101,821 SF

MASTER PLAN

LAND USE: COMMERCIAL



LOT	USE	SF	PARKING
2	HOTEL	225,000	400

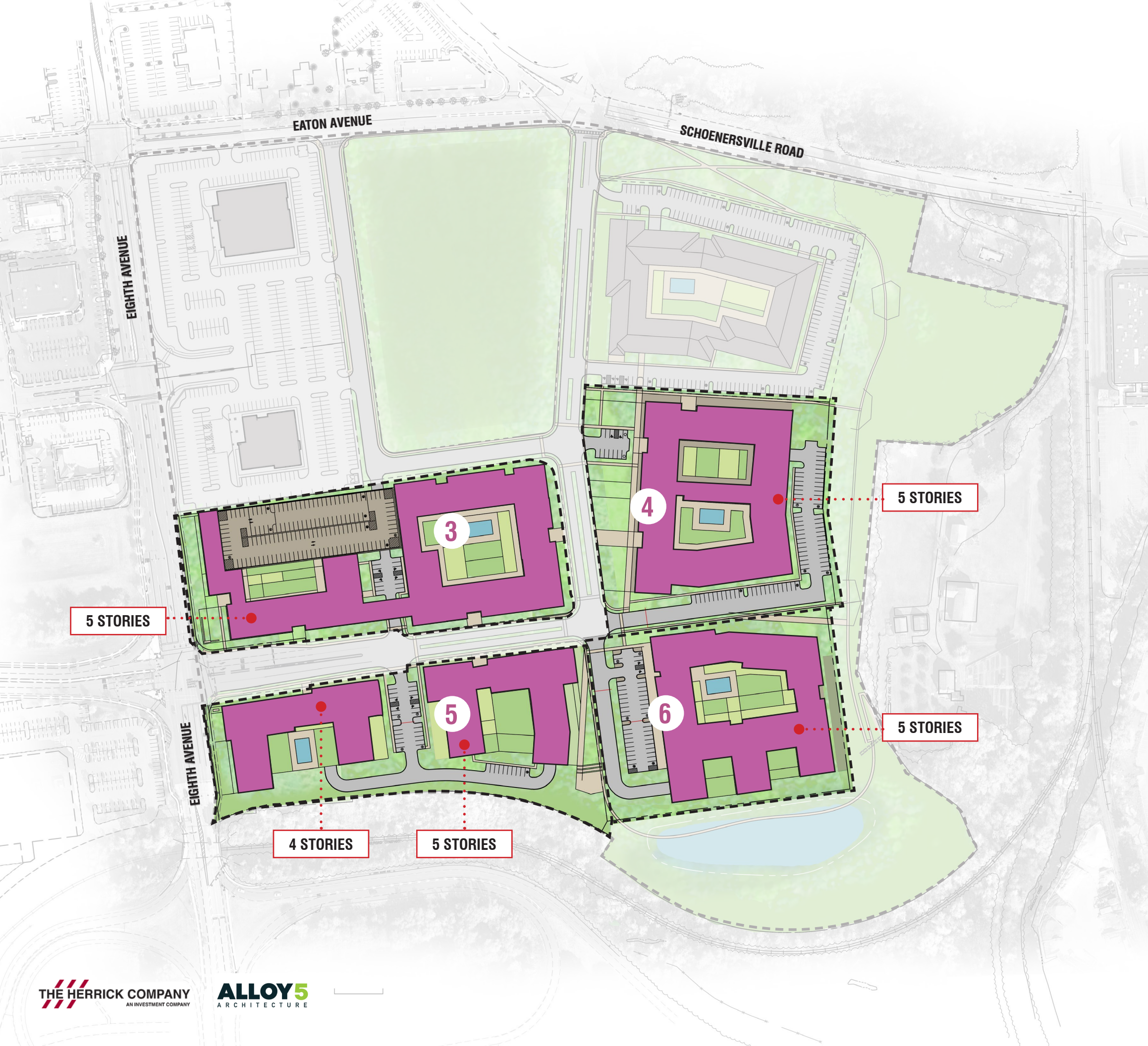
TOTAL HOTEL ROOMS: 200
HOTEL WITH MODERN AMENITIES INCLUDING BANQUET FACILITIES, RESTAURANTS, AND RELATED RETAIL AND OFFICE SPACE

KEY

- COMMERCIAL
- RESIDENTIAL
- OFFICE
- FUTURE DEVELOPMENT
- OPEN GREEN SPACE
- LOT DIVISION

MASTER PLAN

LAND USE: RESIDENTIAL



LOT	UNITS	PARKING	RATIO
3	300 UNITS	450	1.5
4	280 UNITS	420	1.5
5	240 UNITS	360	1.5
6	265 UNITS	400	1.5

TOTAL UNITS: 1,085
 1,612,793 TOTAL SF

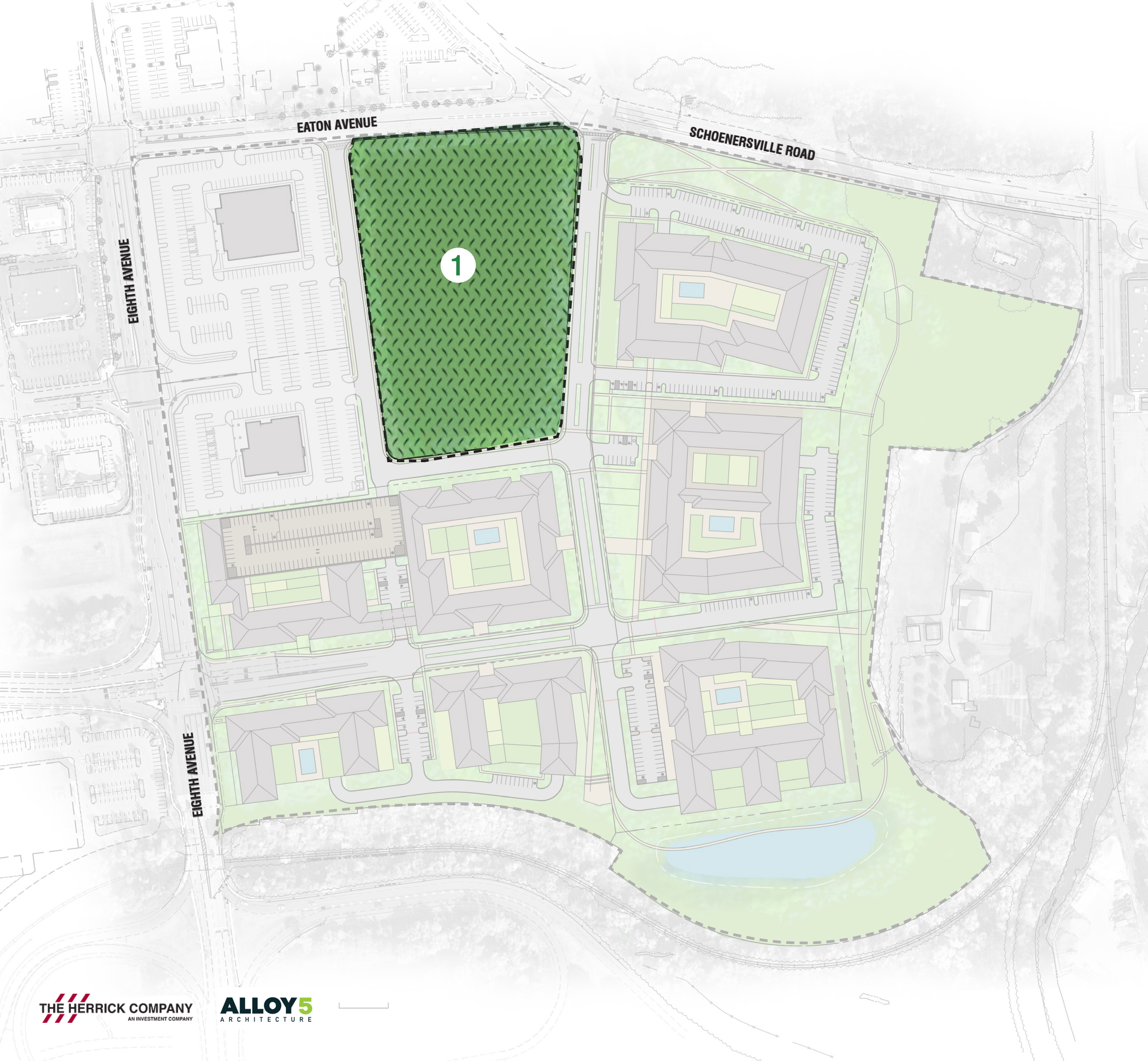
KEY

- COMMERCIAL
- RESIDENTIAL
- OFFICE
- FUTURE DEVELOPMENT
- OPEN GREEN SPACE
- LOT DIVISION

MASTER PLAN

LAND USE: FUTURE

LOT RESERVED FOR FUTURE USE



KEY



-  COMMERCIAL
-  RESIDENTIAL
-  OFFICE
-  FUTURE DEVELOPMENT
-  OPEN GREEN SPACE
-  LOT DIVISION

MASTER PLAN

SITE CIRCULATION: VEHICULAR

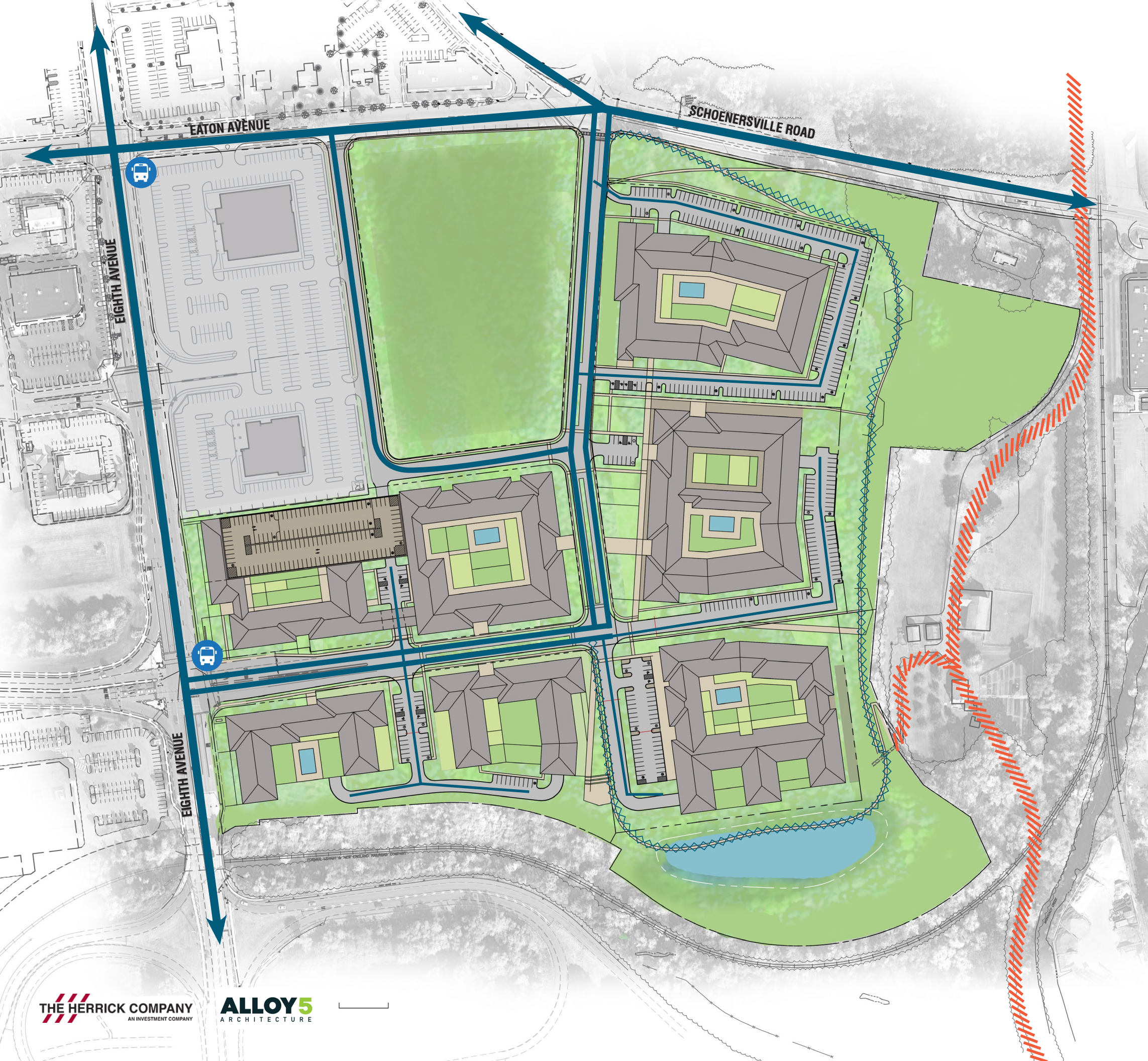


KEY

-  EXISTING ROADS
-  DEDICATED PUBLIC ROADS
-  DRIVE AISLES
-  EXISTING SIGNALIZED INTERSECTIONS
-  EXISTING SITE ACCESS
-  PUBLIC TRANSPORTATION

MASTER PLAN

SITE CIRCULATION: BICYCLE



KEY

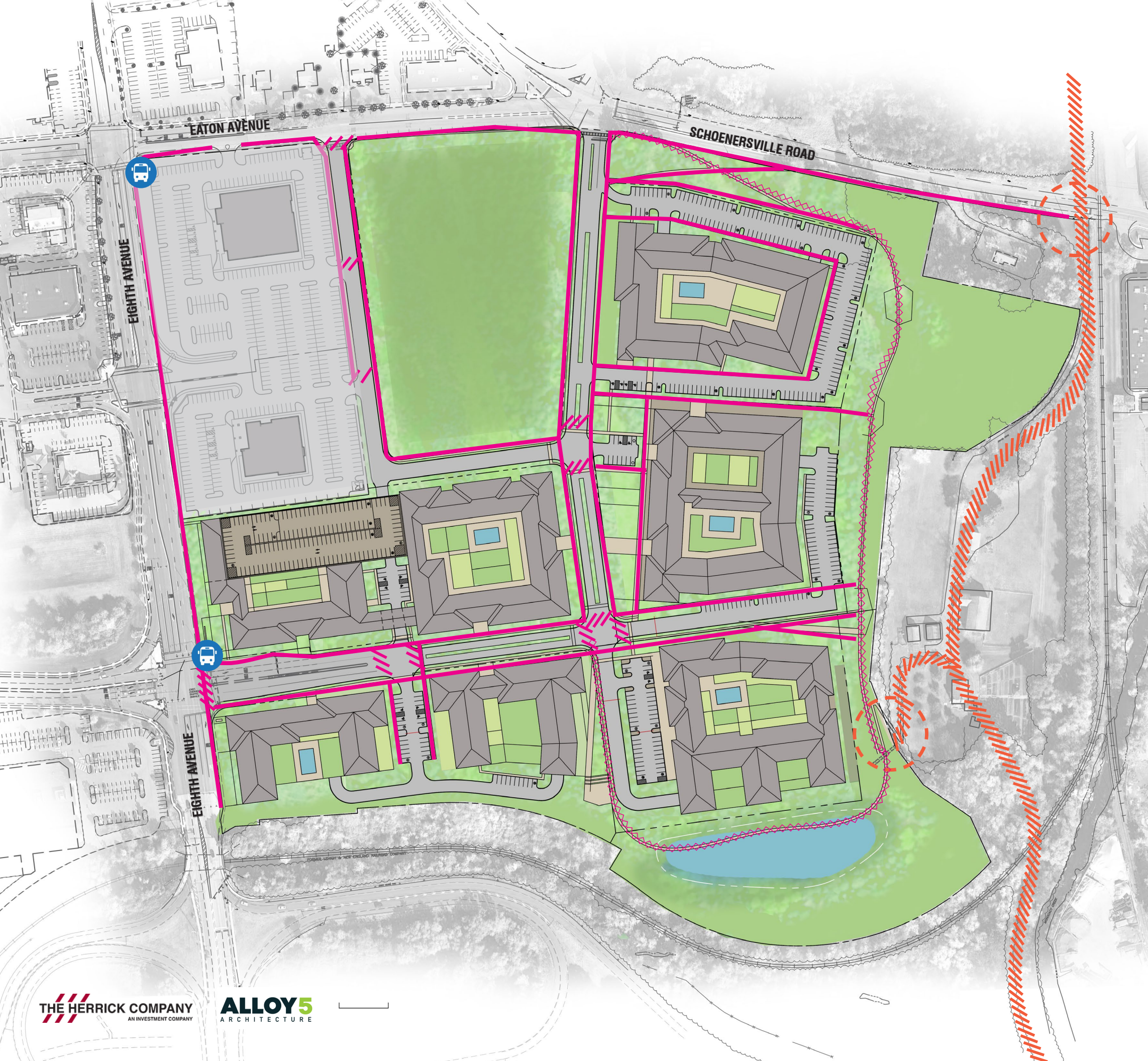
- BIKE ROUTES
- NATURE TRAIL
- MONOCACY WAY TRAIL
- PUBLIC TRANSPORTATION

NOTES:

- SHARED ROAD MARKINGS ON DEDICATED PUBLIC ROADS
- BIKE STORAGE AT EACH BUILDING

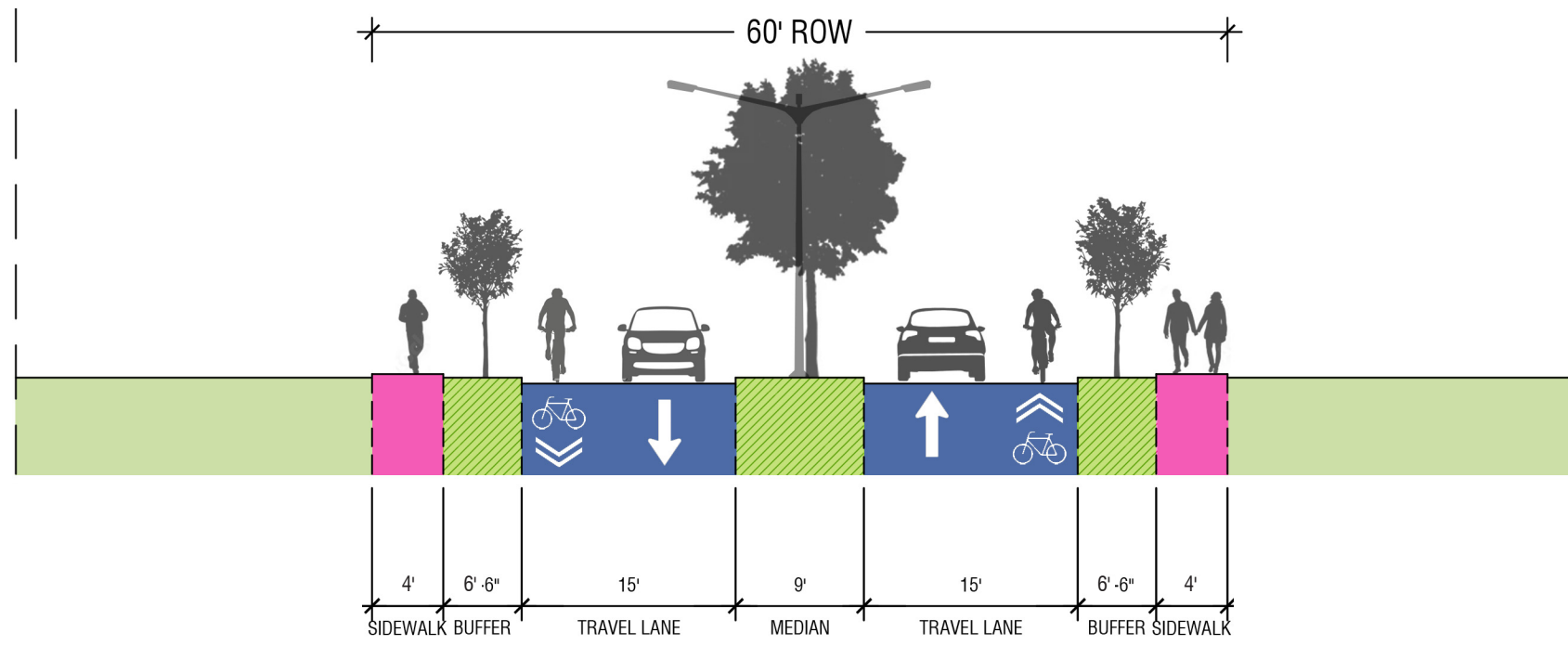
MASTER PLAN

SITE CIRCULATION: PEDESTRIAN

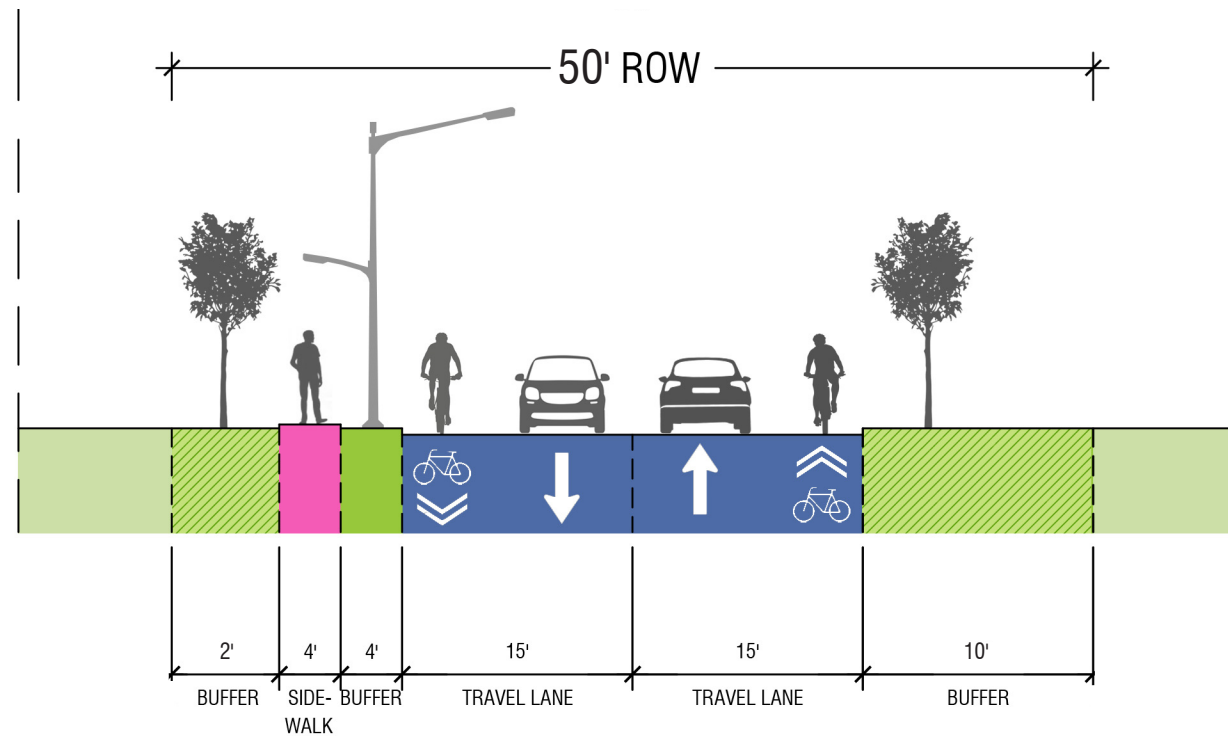


KEY

- SIDEWALKS
- CROSSWALKS
- NATURE TRAIL
- CONNECTION TO TRAIL
- MONOCACY WAY TRAIL
- PUBLIC TRANSPORTATION



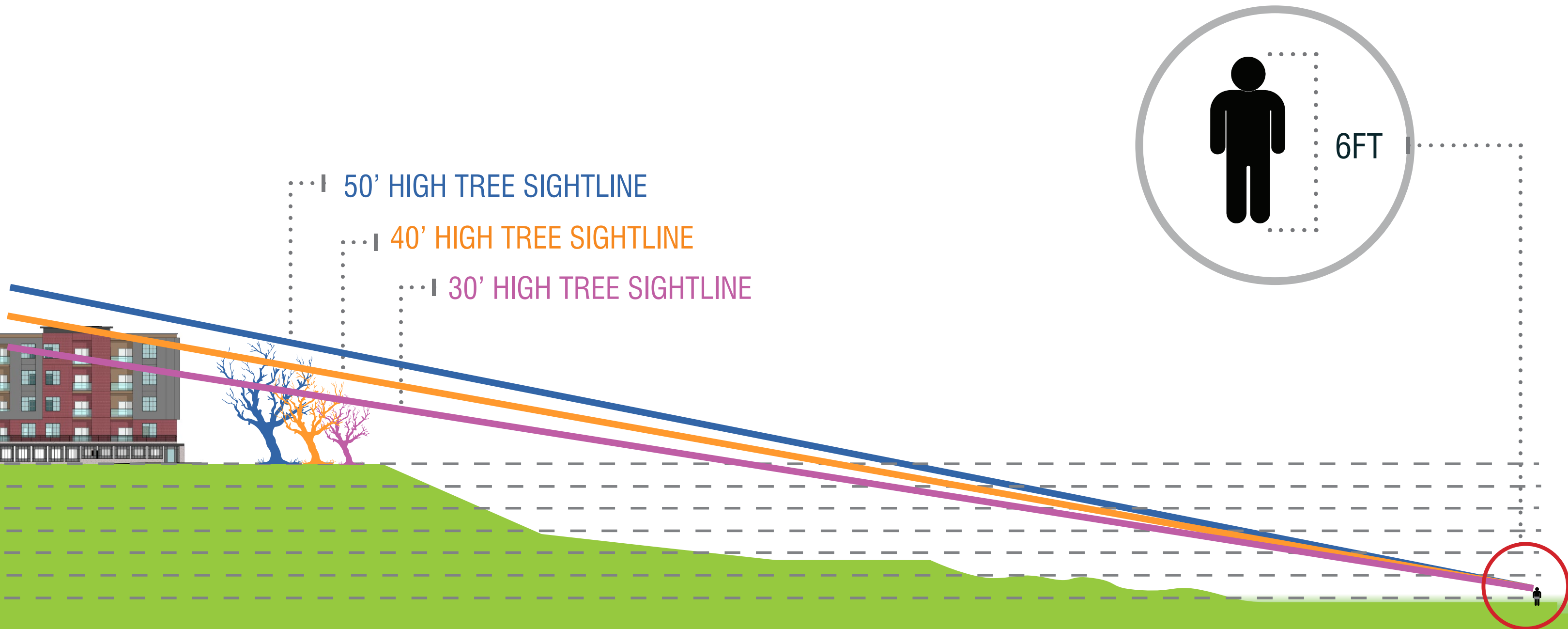
BOULEVARD STREET SECTION



SECONDARY STREET SECTION

SITE LINES

FROM BURNSIDE PLANTATION



MASTER PLAN

SUSTAINABLE SITE DESIGN CONSIDERATIONS

- Surface parking minimized through use of podium parking within footprints of buildings and courtyards and structured parking deck.
- Prioritize bike/pedestrian mobility
- Meet Green Building Standards
- Provide street trees and landscaping throughout community and within all properties
- Minimize disturbance to existing mature trees
- Plant native species and support local ecosystem in collaboration with city forester
- Incorporate sustainable water management strategies
- Provide EV charging stations
- Energy efficient site lighting



City of
BETHLEHEM PA
CLIMATE ACTION PLAN

MASTER PLAN

PLAN HIGHLIGHTS

- 1 Extension of existing intersections and road network
- 2 Safe street boulevard design
- 3 Pedestrian focused intersections
- 4 Surface parking minimized by utilizing podium parking under buildings and courtyards
- 5 Parking deck to minimize surface parking
- 6 Generous private residential courtyards

Note: Building roofs shown as pitched roofs for graphic representation purposes. Final design has not been determined and may result in flat or pitched roofs.

2023 MASTER PLAN

SUMMARY OF USES

OFFICE 6%

LOT 7: 60,000 SF Medical Office Building

LOT 8: 42,000 SF Medical Office Building

RETAIL/COMMERICAL 11%

LOT 2: 225,000 Hotel

RESIDENTIAL 83%

LOT 3: 300 Apartments

LOT 4: 280 Apartments

LOT 5: 240 Apartments

LOT 6: 265 Apartments

FUTURE DEVELOPMENT

LOT 1

