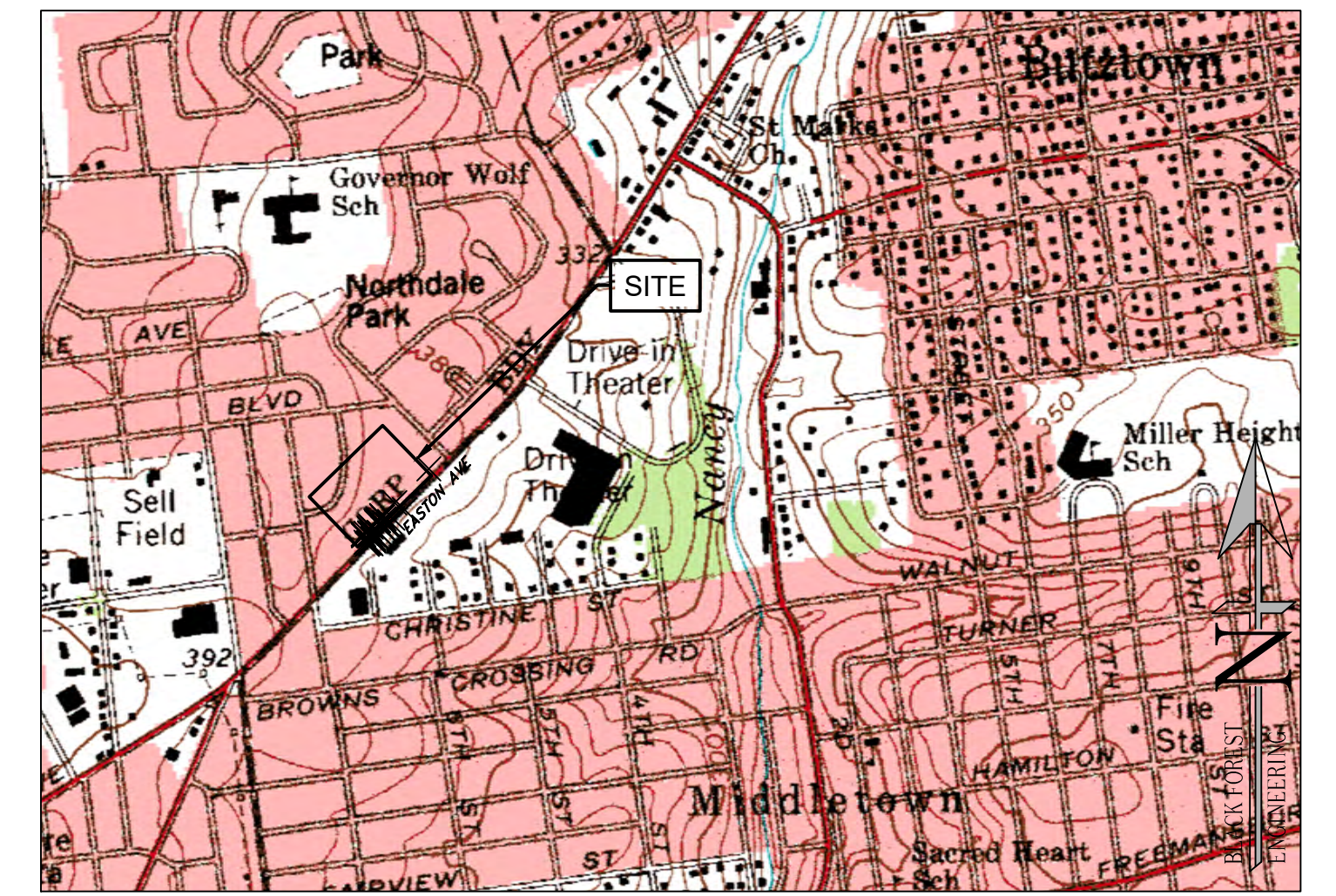


LAND DEVELOPMENT LOCATED IN THE
 CITY OF BETHLEHEM
 WARD 14 BLOCK SM 5
 NORTHAMPTON COUNTY
 COMMONWEALTH OF PENNSYLVANIA

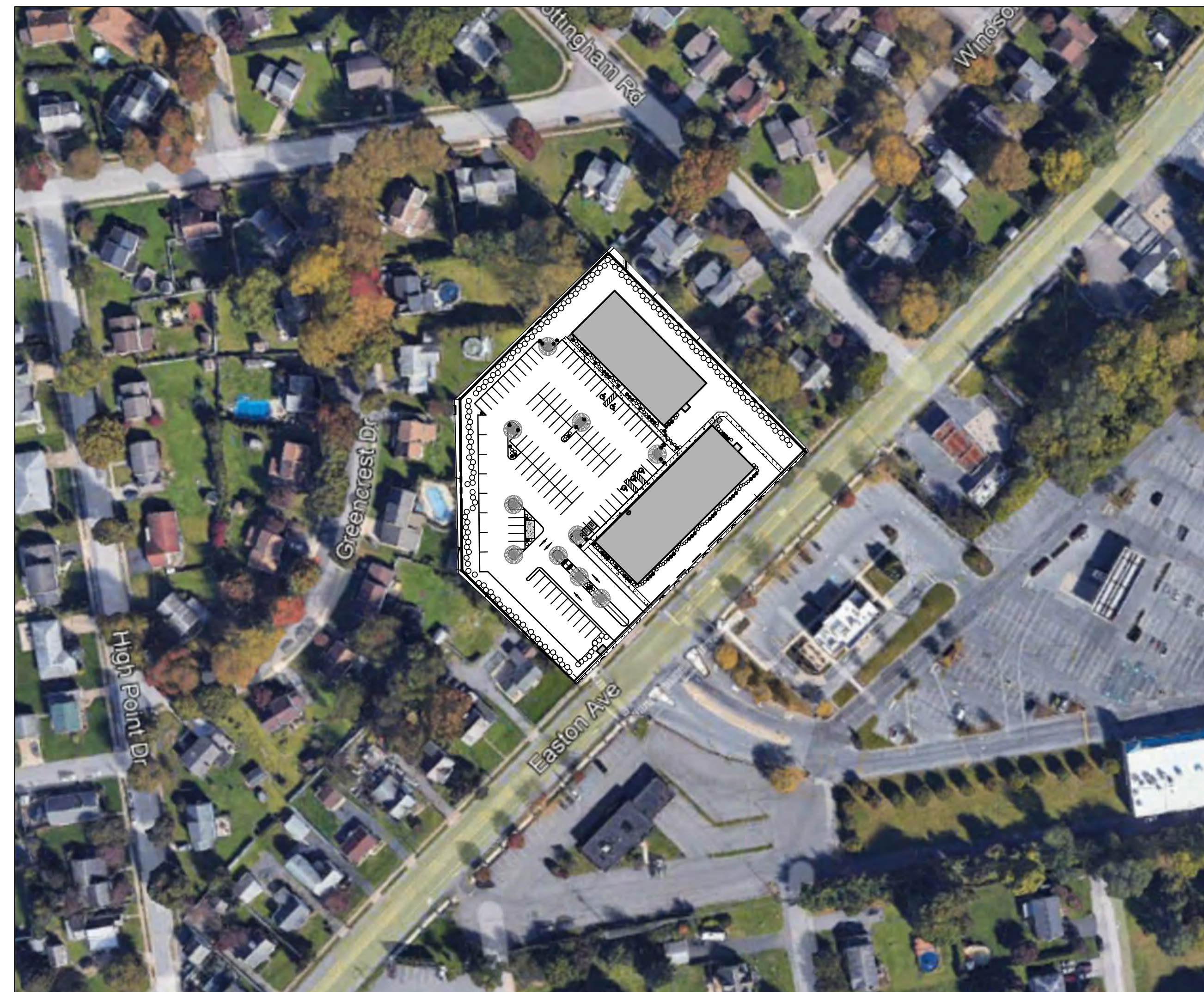
INVOLVING PARCELS LOCATED AT
 2897 EASTON AVENUE

2897 EASTON AVENUE LAND DEVELOPMENT

PRELIMINARY/FINAL PLAN



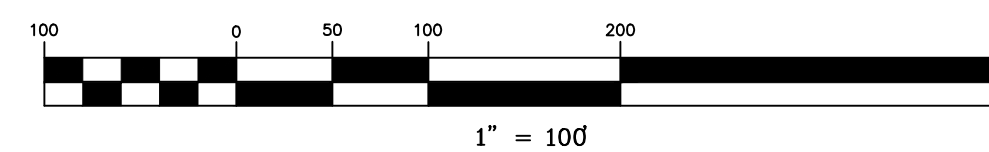
LOCATION MAP
 USGS NAZARETH QUADRANGLE
 SCALE: 1"=1000'



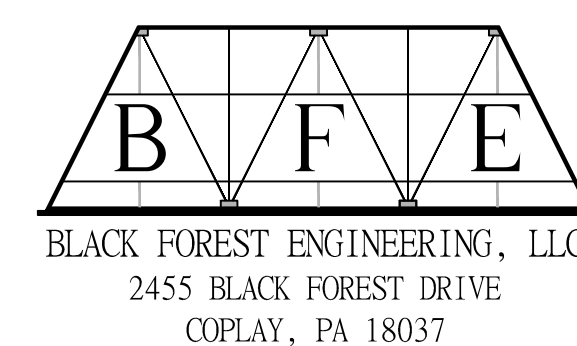
FINAL PLAN SHEET INDEX	
PLAN TITLE	SHEET NO.
COVER SHEET	NO NUMBER
* RECORD PLAN	1 OF 8
EXISTING FEATURES PLAN	2 OF 8
UTILITY PLAN	3 OF 8
GRADING PLAN	4 OF 8
LANDSCAPE AND LIGHTING PLAN	5 OF 8
CONSTRUCTION DETAILS	6 OF 8
CONSTRUCTION DETAILS	7 OF 8
CONSTRUCTION DETAILS	8 OF 8
PRE-DEV DRAINAGE PLAN	1 OF 2
POST-DEV DRAINAGE PLAN	2 OF 2
SUPPLEMENTAL PLANS	
ESPC CONTROL PLAN	
PCSM PLAN	
HOP PLANS (BY OTHERS)	
* DENOTES PLAN TO BE RECORDED	

PLAN INTENT

THE APPLICANT WISHES TO CONSTRUCT TWO (2) MULTI-FAMILY APARTMENT BUILDINGS, WITH A TOTAL OF 54 UNITS (14 ONE-BEDROOM AND 40 TWO-BEDROOM APARTMENTS), ASSOCIATED PARKING AND STORMWATER MANAGEMENT IMPROVEMENTS.



OWNER / DEVELOPER:
 JAKE VIDA MANAGEMENT CORP OF PA
 60 DAVINCI DR
 BOHEMIA, NY 11716



"CALL BEFORE YOU DIG"
 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL
 PENNSYLVANIA ONE CALL SYSTEM, INC.
 1-800-242-1776
 REFERENCE NUMBER: 301320221007

REV:	DESCRIPTION:	BY:	DATE:
PROJECT NO.	SCALE:	DATE:	REVISION:
2251	1"=100'	10/12/22	00

SITE DATA

OWNER: JAKE VIDA MANAGEMENT CORP OF PA
 PARCEL: MAP N7N2W BLK 32 LOT 8
 ADDRESS: 2897 EASTON AVE.
 GROSS AREA: 119,626 S.F. (2.7462 A.C.)
 NET AREA: 106,744 S.F. (2.4505 A.C.)

NUMBER OF LOTS -
 EXISTING: 1
 PROPOSED: 1

LINEAL FEET OF NEW STREETS - 0 L.F.

WATER SUPPLY - PUBLIC
 SEWER - PUBLIC

ZONING DATA

ZONING DISTRICT: R-S, SINGLE FAMILY DISTRICT

USE: MULTIFAMILY DWELLING

MINIMUM LOT SIZE:	REQUIRED 8000 SF	PROPOSED 106,744 SF
MINIMUM LOT WIDTH:	75 FT	404 FT
MINIMUM YARDS:	FRONT: 25 FT (DOUBLE) SIDE: 25 FT REAR: 35 FT	25 FT* 25 FT 35 FT
MAX. BUILDING COVERAGE:	25%	18% (22,644 SF)
MAX. IMP. COVERAGE:	75%	68.8% (73,468 SF)
MAX. BUILDING HEIGHT:	35 FT (2.5 STORIES)	35 FT (3 STORIES*)
MINIMUM LOT AREA:	8,000 SF	2,215 SF*
PER DWELLING UNIT:		

*VARIANCE GRANTED (SEE BELOW)

VARIANCES WERE APPROVED WITH CONDITIONS BY THE ZONING HEARING BOARD AT THEIR FEBRUARY 23, 2022 HEARING WITH WRITTEN DECISION DATED APRIL 8, 2022 PURSUANT TO ARTICLES 1304.01(b)(1), 1306.01(a)(2), 1322.03(i)(4), 1322.03(ii)(7)(i), 1325.06 AND ALL ASSOCIATED VARIANCES TO PERMIT THE PROPOSED 54 MULTI-FAMILY APARTMENT UNITS, WITH THE FOLLOWING CONDITIONS:

1. APPLICANT MODIFY ITS PLAN TO PROVIDE 2.0 PARKING SPACES FOR EACH PROPOSED UNIT. (THE APPROVED NUMBER OF UNITS SHALL NOT EXCEED 54 BUT ALSO SHALL NOT EXCEED THE NUMBER OF PARKING SPACES DIVIDED BY 2.)
2. APPLICANT SHALL PROVIDE BUFFER PLANTINGS AND FENCING WHERE PHYSICALLY POSSIBLE TO SCREEN PROJECT FROM ANY ADJACENT RESIDENCES.
3. APPLICANT SHALL ADDRESS ALL OF THE RECOMMENDATIONS OF THE PLANNING COMMISSION SET FORTH IN EXHIBIT A-7.
4. APPLICANT SHALL CONSTRUCT THE APARTMENT BUILDINGS SUBSTANTIALLY SIMILAR TO THE RENDERINGS SUBMITTED INTO EVIDENCE.

SURVEY NOTES:

1. THIS PLAN IS BASED ON A FIELD SURVEY CONDUCTED IN AUGUST 2022 BY BLACK FOREST ENGINEERING LLC USING A TRIMBLE S5 TOTAL STATION AND R10 GPS RTK UNIT.
2. BEARINGS BASED ON PA STATE PLANE SOUTH-NAD83.
3. ELEVATIONS BASED ON NAVD83.
4. UTILITY LOCATIONS SHOULD BE CONSIDERED APPROXIMATE AND HAVE BEEN BASED ON VISIBLE ABOVE-GROUND EVIDENCE. A CONTRACTOR SHALL DETERMINE THE ACTUAL LOCATION OF ALL UTILITIES SHOWN ON THIS PLAN AND ANY ADDITIONAL EXISTING UTILITIES NOT SHOWN ON THIS PLAN.
5. BOUNDARY LINES SHOWN WITH BEARINGS AND DISTANCES OR CURVE INFORMATION HAVE BEEN FIELD VERIFIED BY THIS SURVEY.

BENCHMARK FOR THIS PLAN

VERTICAL CONTROL IS BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), BEARING SYSTEM BASED UPON THE PENNSYLVANIA NORTH AMERICAN DATUM OF 1983, SOUTH ZONE, US FOOT (PA-NAD83).

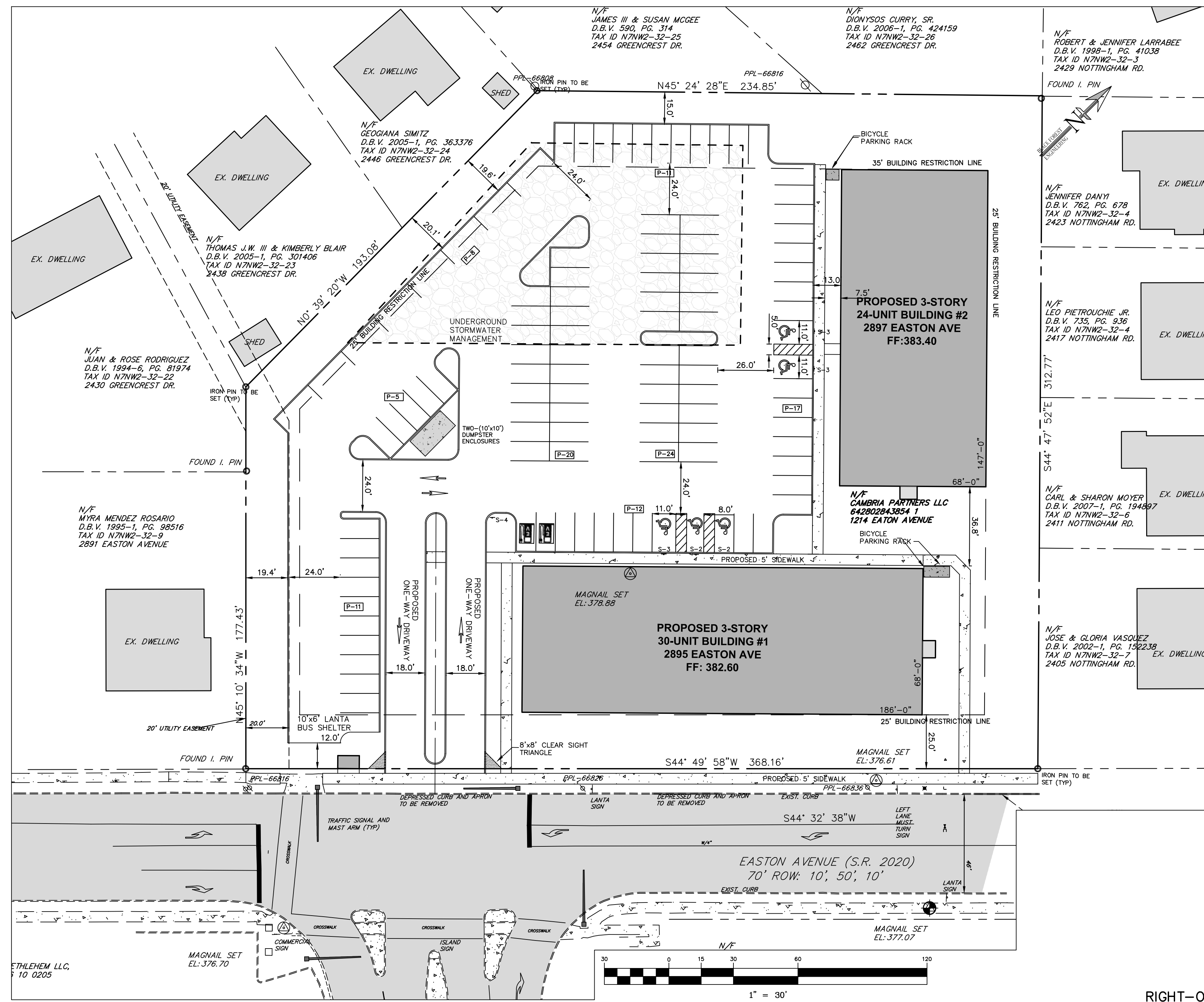
1. EXISTING MAGNAIL ELEV.=377.07

EXISTING Legend

- PROPERTY LINE
- - - EXISTING RIGHT-OF-WAY
- EXISTING EDGE OF PAVE
- EXISTING VEGETATION
- EXISTING CENTERLINE
- EXISTING ROAD PAVEMENT
- EXISTING SIDEWALK
- EXISTING STRUCTURE
- EXISTING ADJOINER
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- ⊕ EXISTING ELECTRIC POLE
- ⊙ EXISTING IRON PIN
- ⊙ EXISTING CONTROL POINT
- ⊙ EXISTING TEST PIT

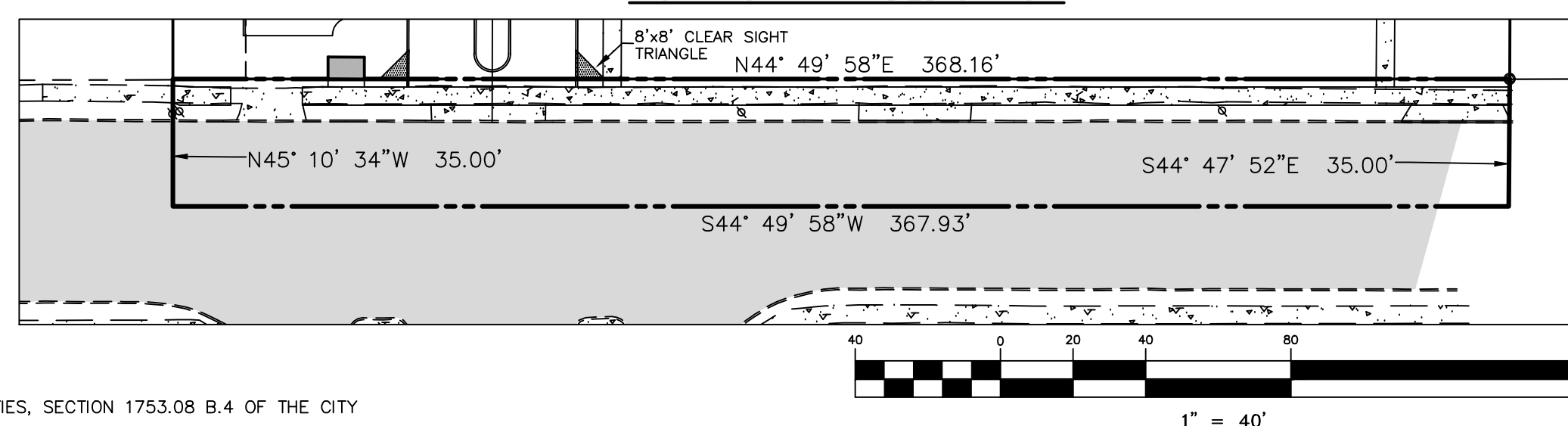
PROPOSED Legend

- PROP. PROPERTY LINE
- PROP. TRACT LINE
- PROP. RIGHT-OF-WAY
- PROP. EASEMENT
- PROP. BUILDING RESTRICTION LINE
- PROP. FENCE
- PROP. TREE LINE
- PROP. CENTERLINE
- PROP. SIDEWALK
- PROP. CURB
- PROP. DRIVEWAY
- PROP. CONTOUR MAJOR
- PROP. CONTOUR MINOR
- ⊕ PROP. MONUMENTATION
- ⊙ PROP. SIGN
- ⊙ PROP. TREE
- ⊙ PROP. BENCHMARK
- PROP. BUILDING/STRUCTURE
- PROP. DRIVEWAY



RECORD NOTES

1. EACH LOT SHOWN IS SUBJECT TO ALL EASEMENTS VISIBLE, OR ON RECORD, OR AS REQUIRED BY A UTILITY TO SERVE SAID LOT AT SUCH TIME AS THE UTILITY IS INSTALLED.
2. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL COMPLY WITH THE CITY OF BETHLEHEM STANDARDS AND SPECIFICATIONS AND THE APPROPRIATE PUBLIC UTILITY AUTHORITIES.
3. THE SITE WAS EVALUATED FOR WETLANDS AND WATERCOURSES AND IT WAS DETERMINED THAT WETLANDS AND WATERCOURSES DO NOT EXIST ON THE SITE.
4. THERE ARE NO FEMA DELINEATED 100-YR FLOODPLAINS OR WATERCOURSES ON OR NEAR THIS PROPERTY.
5. ALL LOTS SHALL HAVE A FIVE (5) FOOT DRAINAGE, GRADING AND UTILITY EASEMENT ALONG OUTER LOT LINES UNLESS NOTED OTHERWISE.
6. ACTUAL UTILITY CONNECTION POINTS SHALL BE VERIFIED PRIOR TO CONSTRUCTION.
7. ALL LOTS SHALL BE LAID OUT AND GRADED TO PREVENT CROSS LOT DRAINAGE AND TO PROVIDE POSITIVE DRAINAGE AWAY FROM PROPOSED BUILDING AREAS.
8. ALL CITY PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
9. RUNOFF FROM ALL ON-SITE IMPERVIOUS AREAS SHALL NOT BE DIRECTED INTO THE PUBLIC SANITARY SEWER, ACROSS THE SIDEWALK AREA WITHIN THE PUBLIC RIGHT-OF-WAY, OR ONTO ADJOINING PROPERTIES, SECTION 1753.08 B.4 OF THE CITY PROPERTY REHABILITATION & MAINTENANCE CODE.
10. ALL LATERAL SANITARY SEWER PIPING IS TO BE SCH 40 OR SDR-26 PVC PIPING UNLESS OTHERWISE NOTED.
11. WORK TO BE PERFORMED ONSITE, SHALL BE DONE IN ACCORDANCE WITH THE IBC.
12. ANY RETAINING WALL 4 FEET OR GREATER IN HEIGHT SHALL HAVE A DESIGN PREPARED, SIGNED, AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF PENNSYLVANIA AND SHALL BE SUBMITTED AT THE TIME OF BUILDING PERMIT APPLICATION TO BE REVIEWED AND APPROVED BY AN APPROVED THIRD PARTY REVIEWER. THE WALL SHALL BE DESIGNED TO BE CONTAINED COMPLETELY WITHIN THE APPLICANT'S PROPERTY OR AN EASEMENT SHALL BE ACQUIRED AND INDICATED ON THE RECORD PLAN TO ALLOW FOR THE CONSTRUCTION OF ANY PORTION OF THE WALL AND/OR WALL TIE BACKS TO BE CONSTRUCTED ON THE ADJOINING PROPERTY.
13. ALL PAVEMENT MARKINGS MUST BE THERMOPLASTIC PAVEMENT MARKINGS.
14. THE PROJECT HAS AN APPROVED PLANNING MODULE FOR 54-UNITS, SEE DEP CODE# 2-48001340-3E.
15. A TOTAL LOT (BLANKET) STORMWATER MANAGEMENT EASEMENT IS HEREBY PROVIDED ACROSS THE LOT IN ORDER FOR INSPECTION AND MAINTENANCE OF THE PROPOSED STORMWATER MANAGEMENT CONTROLS.
16. THE CITY OF BETHLEHEM FIRE DEPARTMENT SHALL APPROVE THE FINAL LOCATION OF THE FOLLOWING REQUIRED ITEMS: KNOX BOX, FIRE DEPARTMENT CONNECTION (FDC), POST INDICATING VALVE (PIV) AND 'NO PARKING FIRE LANE' SIGNAGE.
17. BY SUBMISSION OF THESE PLANS THE ENGINEER ON RECORD CERTIFIES THAT THESE PLANS ARE IN COMPLETE CONFORMANCE WITH THE CITY OF BETHLEHEM STORMWATER MANAGEMENT ORDINANCE.
18. IN ORDER TO MAINTAIN CONTINUITY BETWEEN PLAN REVISIONS, ANY CHANGES TO A PREVIOUS PLAN SUBMISSION SHALL BE FLAGGED WITH A TRIANGLE. ANY CHANGES NOT FLAGGED MAY BE CONSIDERED NOT APPROVED. FLAGGED CHANGES SHALL BE REFERENCED TO THE APPROPRIATE REVISION DATE TABLE IN THE REVISION BLOCK.
19. ACCURATE AS-BUILT PLANS SHALL BE KEPT UP TO DATE DURING THE CONSTRUCTION PROCESS. AT THE COMPLETION OF THE PROJECT RECORD DRAWINGS SHALL BE DEVELOPED FROM THE AS-BUILT PLANS AND SUBMITTED TO THE CITY ENGINEER'S OFFICE. ALL FINAL DRAWINGS SHALL SHOW NORTH AMERICAN DATUM (NAD) 1983 STATE PLANE COORDINATES IN FEET (PA SOUTH, FIPS ZONE 3702) AND THE DIGITAL FILE SHALL BE IN STATE PLANE FEET COORDINATES AS APPLICABLE. THE HARD COPY OF THE RECORD DRAWINGS SHALL BE IN THE FORM OF MYLAR COPY. THE ENGINEER OF RECORD SHALL CERTIFY (IE PE STAMPED AND SIGNED) THAT THE RECORD DRAWINGS COMPLY SUBSTANTIALLY WITH THE APPROVED PLAN AND THAT THEY CONFORM TO INDUSTRY STANDARDS. ALL DIGITAL FILES RESIDE ON PC COMPATIBLE CD ROM CONTAINING THE DIGITAL REPRESENTATION OF THE FINAL PLANAS PRESENTED ON THE TWENTY-FOUR (24) INCH BY THIRTY-SIX (36) INCH SHEETS. THE DIGITAL MAP SHALL BE AUTOCAD COMPATIBLE. ALL LAYERS INCLUDED IN THE DIGITAL MAPS SHALL BE THE STANDARDIZED LAYERS PREPARED AND UTILIZED BY THE CITY OF BETHLEHEM TO ENSURE COMPATIBILITY WITH THE CITY'S EXISTING CAD STANDARDS AND AS DESCRIBED IN THE APPENDIX A OF THE CITY'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.



SIGNATURE BLOCKS

CERTIFICATION OF OWNERSHIP

I (WE) THE OWNER(S) OF _____ BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT I (WE) AM (ARE) THE SOLE OWNER(S) OF THE ABOVE PROPERTY IN PEACEFUL POSSESSION OF THE SAME AND THAT THERE ARE NO SUITS OR LENS PENDING AFFECTING THE TITLE THEREOF.

SIGNATURE OF OWNER _____ PRINTED NAME OF OWNER _____

NOTARIZATION

SWORN AND SUBSCRIBED BEFORE ME THIS _____ DAY OF _____ A.D.

(LEGIBLE IMPRESSION OF NOTARY SEAL)

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

PLANNING COMMISSION APPROVAL

THE WITHIN PLOT OR PLAN OF LAND LOCATED IN BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA, WAS APPROVED BY THE BETHLEHEM CITY PLANNING COMMISSION.

CHAIRMAN _____ DATE _____

PLANNING DIRECTOR _____ DATE _____

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND, WHERE APPLICABLE, THE LOTS, BUILDINGS, STREETS, PARKING AREAS, WALKWAYS, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN THEREON.

JOSEPH EDWARD RENTKO
 REGISTRATION NO. PE085609

PROOF OF RECORDING

PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF NORTHAMPTON COUNTY.

PENNSYLVANIA, UNDER DOCKET ID # _____

ON THE _____ DAY OF _____ 20____

WITNESS MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____ 20____

RECORDER OF DEEDS _____

WITNESS: _____

L.V.P.C REVIEW

REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION

PLANNING _____ DATE _____

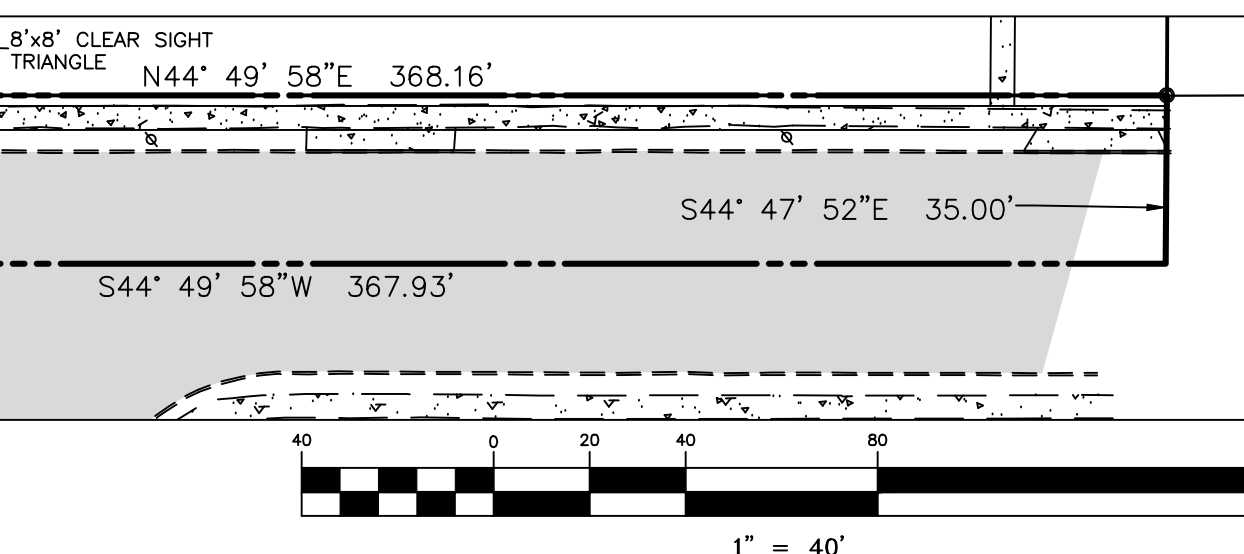
PARKING REQUIREMENT

VEHICLE:
 2* SPACES PER MULTI FAMILY UNIT
 54 UNITS x 2 = 108 SPACES REQ'D (108 PROVIDED)

*ZONING HEARING BOARD CONDITION

BICYCLE:
 1 SPACE PER 20 VEHICLE SPACES
 108 SPACES X 5% = 5.4 SPACES REQ'D (6 PROVIDED)

RIGHT-OF-WAY DEDICATION

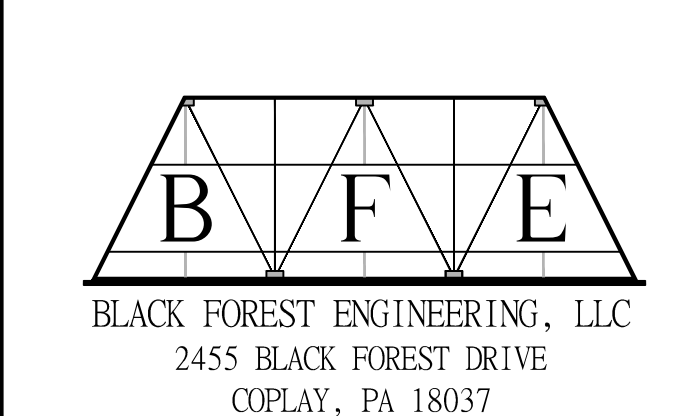


SIGN SCHEDULE				
SYMBOL	LEGEND	QTY.	BLANK SIZE	PENNDOT #
S-1	STOP	1	24 X 24	R1-1
S-2	RESERVED PARKING WITH PARKING FINE PLAQUE	1	12 X 18 12 X 18	R7-8 R7-8B
S-3	SAME AS S-2 WITH VAN ACCESSIBLE PLAQUE AND PARKING FINE PLAQUE	3	12 X 18 12 X 6 12 X 18	R7-8 R7-8A R7-8B
S-4	DO NOT ENTER	1	30 X 30	R5-1A

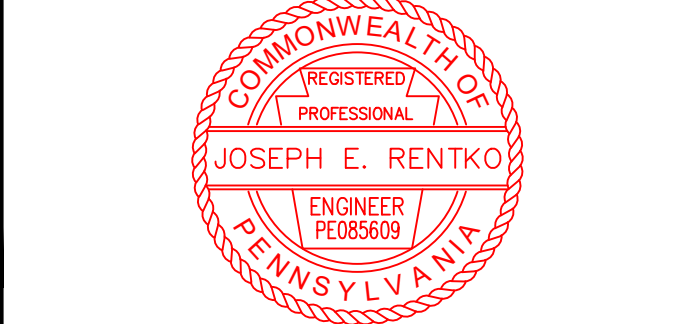
"CALL BEFORE YOU DIG"

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL

Ⓢ PENNSYLVANIA ONE CALL SYSTEM, INC.
 1-800-242-1776
 REFERENCE NUMBER: 301320221007



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JOSEPH E. RENTKO, P.E. #PE085609
 2455 BLACK FOREST DRIVE
 COPLAY, PA 18037
 717-339-4499

1	ADDRESS CITY COMMENTS	JER	12/24/22
REV:	DESCRIPTION:	BY	DATE

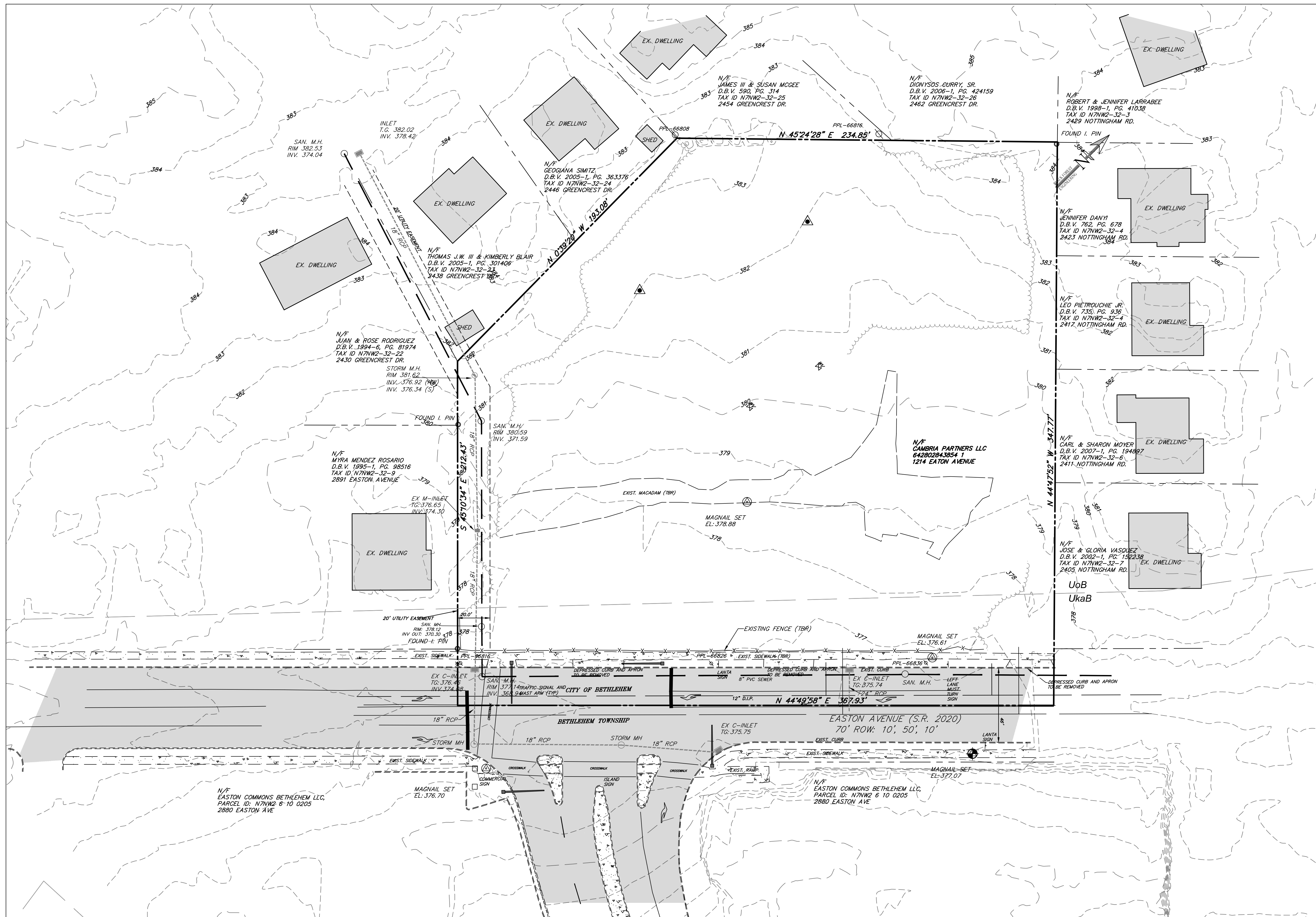
PROJECT TITLE:
**2897 EASTON AVENUE
 LAND DEVELOPMENT**

PROJECT OWNER:
 JAKE VIDA MANAGEMENT CORP OF PA
 60 DAVINCI DR
 BOHEMIA, NY 11716

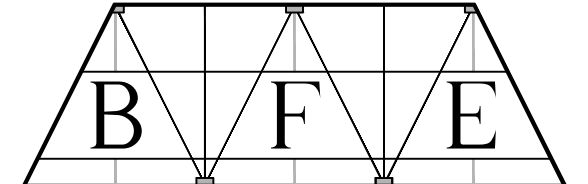
PROJECT LOCATION:
**CITY OF BETHLEHEM
 WARD 14, BLOCK 5
 NORTHAMPTON COUNTY
 PENNSYLVANIA**

PLAN TITLE:
RECORD PLAN

SCALE: 1"=30'	DATE: 10/12/22	DRAWN: JER	CHECKED: JER
PROJECT NO. 2251	DRAWING NO. 1 OF 8	REVISION: 00	




- EXISTING Legend**
- PROPERTY LINE
 - - - EXISTING RIGHT-OF-WAY
 - BUILDING RESTRICTION LINE
 - EXISTING EDGE OF PAVE
 - EXISTING VEGETATION
 - EXISTING CENTERLINE
 - EXISTING ROAD PAVEMENT
 - EXISTING SIDEWALK
 - EXISTING STRUCTURE
 - EXISTING ADJOINER
 - EXISTING GAS LINE
 - EXISTING SANITARY LINE
 - EXISTING STORM SEWER
 - EXISTING WATER LINE
 - EXISTING CURB
 - EXISTING FENCE
 - EXISTING MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING ELECTRIC POLE
 - EXISTING GAS VALVE
 - EXISTING WATER VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING IRON PIN
 - EXISTING CONTROL POINT
 - EXISTING TEST PIT
 - EXISTING INLET


BLACK FOREST ENGINEERING, LLC
 2455 BLACK FOREST DRIVE
 COPLAY, PA 18037

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SEAL:



JOSEPH E. RENTKO
 REGISTERED PROFESSIONAL ENGINEER
 PENNSYLVANIA

JOSEPH E. RENTKO, P.E. #PE085609
 2455 BLACK FOREST DRIVE
 COPLAY, PA 18037
 717-239-4499

REV:	ADDRESS CITY COMMENTS	JER	12/24/22
1			
REV:	DESCRIPTION:	BY	DATE

PROJECT TITLE:
**2897 EASTON AVENUE
 LAND DEVELOPMENT**

PROJECT OWNER:
 JAKE VIDA MANAGEMENT CORP OF PA
 60 DAVINCI DR
 BOHEMIA, NY 11716

PROJECT LOCATION:
**CITY OF BETHLEHEM
 WARD 14, BLOCK 5
 NORTHAMPTON COUNTY
 PENNSYLVANIA**

PLAN TITLE:
EXISTING FEATURES

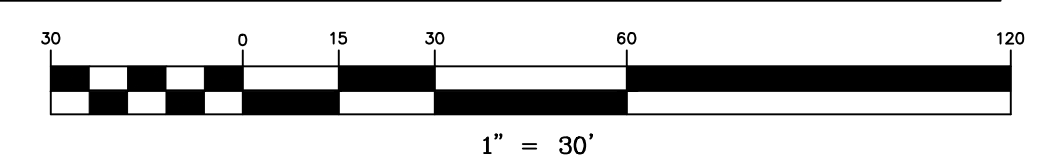
SCALE: 1"=30'	DATE: 10/12/22	DRAWN: JER	CHECKED: JER
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PROJECT NO. 2251	DRAWING NO. 2 OF 8	REVISION: 00
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SOIL TYPES WaA UkaB UoB

UkaB Urban land, 0 to 8 percent slopes
 UoB Urban land-Duffield Complex, 0 to 8 percent slopes

EXISTING TREES:
 THERE ARE NO EXISTING TREES MEETING THE REQUIREMENTS OF CITY ORDINANCE 1318.28 PLANNED FOR REMOVAL. ANY SUCH EXISTING TREE MEETING THIS REQUIREMENT SHALL BE REPLACED AS REQUIRED.



SANITARY SEWER NOTES

1. ALL SANITARY SEWER MATERIAL AND APPURTENANCES TO BE DEDICATED TO THE CITY MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF BETHLEHEM CONSTRUCTION SPECIFICATIONS, AS AMENDED AND THE PA DEP DOMESTIC WASTEWATER FACILITIES MANUAL, LATEST REVISION.
2. ALL SANITARY SEWER PIPE, FITTINGS, AND APPURTENANCES MUST BE SDR-26 PVC, UNLESS NOTED OTHERWISE.
3. CONNECTION TO EXISTING SANITARY SEWER MANHOLE MUST BE MADE USING WATERTIGHT CONNECTION.
4. EXISTING SANITARY SEWER CONNECTIONS SHALL BE CAPPED AT THE MAIN PRIOR TO DEMOLITION. CAPPING PERMITS SHALL BE OBTAINED FROM THE CITY OF BETHLEHEM ENGINEERING BUREAU.

GENERAL UTILITY NOTES

1. THE DEVELOPER IS RESPONSIBLE TO SECURE AND PAY FOR ALL ESTABLISHED CITY APPLICATION, ALLOCATION AND TRANSMISSION AND TREATMENT FEES OR PERMITS NECESSARY FOR THE CONNECTION OF THE WATER AND SEWER SYSTEMS TO THE CITY PUBLIC SYSTEMS.
2. ALL DEVELOPMENT CONSTRUCTION IMPROVEMENTS ARE SUBJECT TO QUALITY CONTROL INSPECTION BY THE CITY OR THEIR ASSIGNED AGENTS. ALL WORK CONSTRUCTED WITHOUT QUALITY CONTROL INSPECTION WILL BE SUBJECT TO REJECTION AND REMOVAL AND RECONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE CITY A MINIMUM OF 3 DAYS PRIOR TO ANY CONSTRUCTION OPERATIONS WITHIN THE CITY RIGHT-OF-WAY OR AFFECTING A CITY UTILITY.

WATER UTILITY NOTES

1. ALL WATER SERVICE LATERALS MUST BE INSTALLED FROM THE MAIN, CORPORATION STOP TO THE CURB STOP AT THE CITY RIGHT-OF-WAY WITHOUT A SPLICE CONNECTION.
2. THE CONTRACTOR SHALL NOT OPERATE EXISTING VALVES, FIRE HYDRANTS, ETC., WITHIN THE CITY'S WATER SYSTEM. ARRANGEMENTS SHALL BE MADE THROUGH THE CITY FOR OPERATION.
3. ALL WATER SYSTEM MATERIALS, APPURTENANCES AND CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST BE IN COMPLIANCE WITH THE CITY OF BETHLEHEM CONSTRUCTION SPECIFICATIONS, AS AMENDED AND THE PA DEP PUBLIC WATER SUPPLY MANUAL, LATEST EDITION.
4. ALL WATER LATERALS AND APPURTENANCES MUST MAINTAIN A MINIMUM OF 4 FEET COVER FROM FINISHED GRADE AND SHALL BE DUCTILE IRON PIPE.

Pure Basin & Curb Inlet Filters

Pure basin and curb inlet filters are the preferred choice for permanent inlet protection and stormwater runoff control. Constructed of versatile stainless steel, Pure Inlet Filters will fit any drainage structure and are available with specific filter bags providing various levels of filtration.

Applications

- Car washes
- Commercial
- Loading ramps
- Industrial
- Gas stations
- Parking lots
- Dock drains
- Maintenance

Features

- Custom stainless steel frames are configured to fit into any drainage structure
- Flow and bypass rates meet specific inlet requirements
- Filter bags target size specific removal of trash, leaves, small particles, oil and grease
- Inlets below grade with bypass to drain area if bag is full
- Installs quickly and maintained with minimal tool
- Stainless steel frame provides extended service life
- Reusable filter bags handle loads with a safety factor of 10
- Meets stringent removal requirements:
 - 90% bagged debris removal efficiency of street sweep-size particles
 - 90% bagged debris removal efficiency of street sweep-size particles
 - 90% bagged debris removal efficiency of street sweep-size particles



Pure Inlet Filters Specification

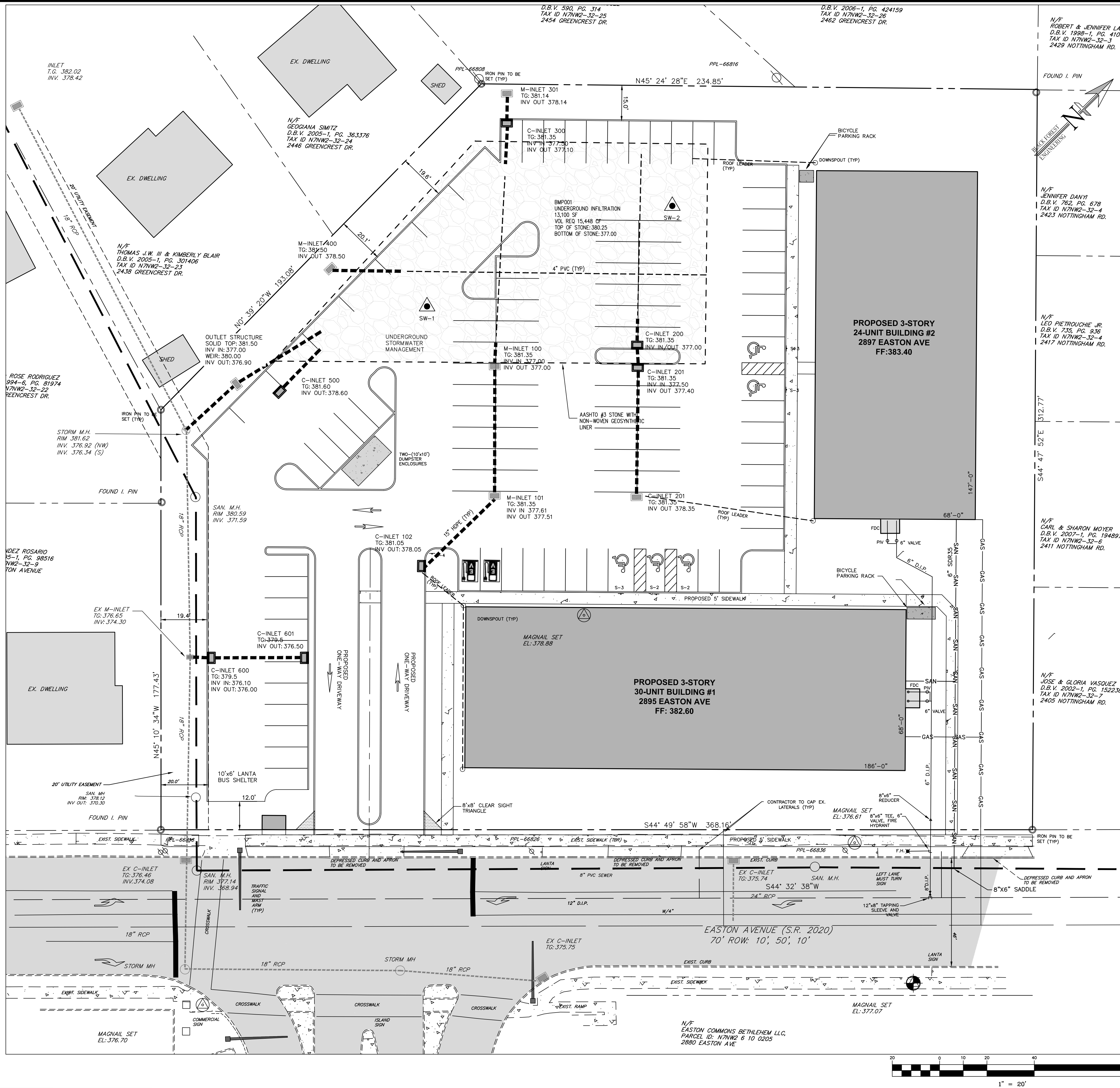
Installation
The installer shall inspect the plans and/or worksite to determine the quantity of each drainage structure casting type. The foundry casting number, exact grate size and clear opening size or other information will be necessary to fabricate the part number and dimensions.

Material and performance
The filter is composed of a stainless steel frame and a replaceable geotextile filter bag attached to the frame with a stainless steel locking band. The filter bag hangs suspended below the grate and shall allow full flow into the drainage structure. The filter bag is constructed from a heavy-duty woven polypropylene (PP) fabric. The filter bags are rated for 300 gpm/ft² with a removal efficiency of 80% when filtering a USDA Sandy Loam sediment load. The post construction PP filter bags are rated for 100 gpm/ft² and have been 100% tested at 99% TSS removal to 110 micron and 97% TPH removal of used motor oil hydrocarbon mix.

Inspection Frequency
Construction site inspection should occur following each 30" (76 mm) or more rain event. Post construction inspections should occur three times per year in areas with regular rainfall and four times per year in areas with summer rains. Industrial application site inspections should occur on a regular scheduled basis no less than three times per year.

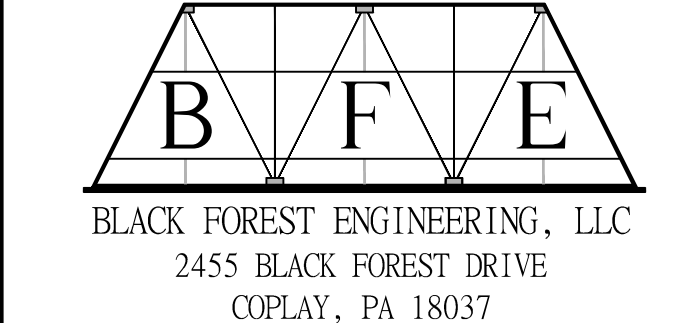
Maintenance guidelines
Empty the filter bag if more than half filled with sediment and debris or as directed by the engineer. Remove the grate, engage the lifting bars or handles with the removal tool and lift from the structure. Dispose of the sediment or debris as directed by the engineer or maintenance contract in accordance with EPA guidelines. As an alternative, an industrial vacuum may be used to collect the accumulated sediment. Remove any clogging debris from the sediment bag and remove any debris from the filter bag for optimal filtration. Replace the bag if full or saturated to 100% of its rated capacity or greater on the lower half of the bag. Post construction RCP bags should be maintained prior to 50% oil saturation. The average 24" PC filter bag will retain approximately 96 gal (3.6 cu ft) of oil before it is saturated. The average 24" PC filter bag will retain approximately 96 gal (3.6 cu ft) of oil before it is saturated. The average 24" PC filter bag will retain approximately 96 gal (3.6 cu ft) of oil before it is saturated. Each should be replaced approximately every 10,000 gallons of oil before requiring replacement. The spent media may be recycled for its fuel value through water to energy incineration. Dispose of oil-contaminated products in accordance with EPA guidelines.

Filter bag replacement
Remove the bag by loosening or cutting off the clamping band. Take the new filter bag, which is equipped with a stainless steel woven flow channeling band and a screwdriver to tighten the bag around the frame channel. Ensure the bag is secure and there is no back around the perimeter of the band.

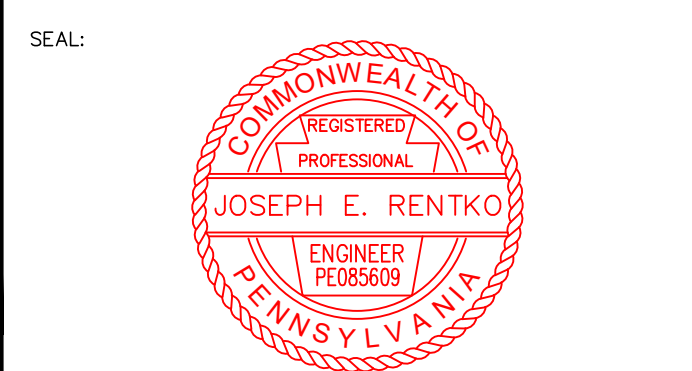


PROPOSED Legend

[Symbol]	PROP. PROPERTY LINE
[Symbol]	PROP. TRACT LINE
[Symbol]	PROP. RIGHT-OF-WAY
[Symbol]	PROP. EASEMENT
[Symbol]	PROP. BUILDING RESTRICTION LINE
[Symbol]	PROP. FENCE
[Symbol]	PROP. TREE LINE
[Symbol]	PROP. CENTERLINE
[Symbol]	PROP. SIDEWALK
[Symbol]	PROP. CURB
[Symbol]	PROP. DRIVEWAY
[Symbol]	PROP. CONTOUR MAJOR
[Symbol]	PROP. CONTOUR MINOR
[Symbol]	PROP. GAS LINE
[Symbol]	PROP. GAS LATERAL LINE
[Symbol]	PROP. SANITARY LINE
[Symbol]	PROP. SANITARY LATERAL LINE
[Symbol]	PROP. STORM LINE
[Symbol]	PROP. WATER LATERAL LINE
[Symbol]	PROP. DRAINAGE PATH
[Symbol]	PROP. MONUMENTATION
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[Symbol]	PROP. VENT
[Symbol]	PROP. STORM MANHOLE
[Symbol]	PROP. INLET
[Symbol]	PROP. FIRE HYDRANT
[Symbol]	PROP. WATER VALVE
[Symbol]	PROP. WELL
[Symbol]	PROP. GAS VALVE
[Symbol]	PROP. TREE
[Symbol]	PROP. BENCHMARK
[Symbol]	PROP. CONCRETE WHEELSTOP
[Symbol]	PROP. BUILDING/STRUCTURE
[Symbol]	PROP. DRIVEWAY



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JOSEPH E. RENTKO, P.E. #PE0085609
2455 BLACK FOREST DRIVE
COPLAY, PA 18037
717-239-4499

1	ADDRESS CITY COMMENTS	JER	12/24/22
REV:	DESCRIPTION:	BY	DATE

PROJECT TITLE:
2897 EASTON AVENUE
LAND DEVELOPMENT

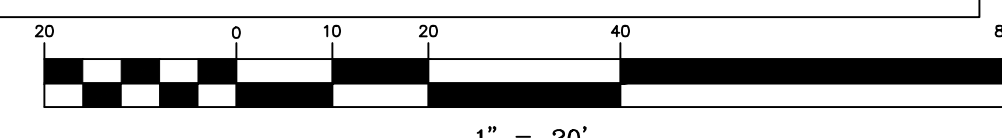
PROJECT OWNER:
JAKE VIDA MANAGEMENT CORP OF PA
60 DAWNCO DR
BOHEMIA, NY 11716

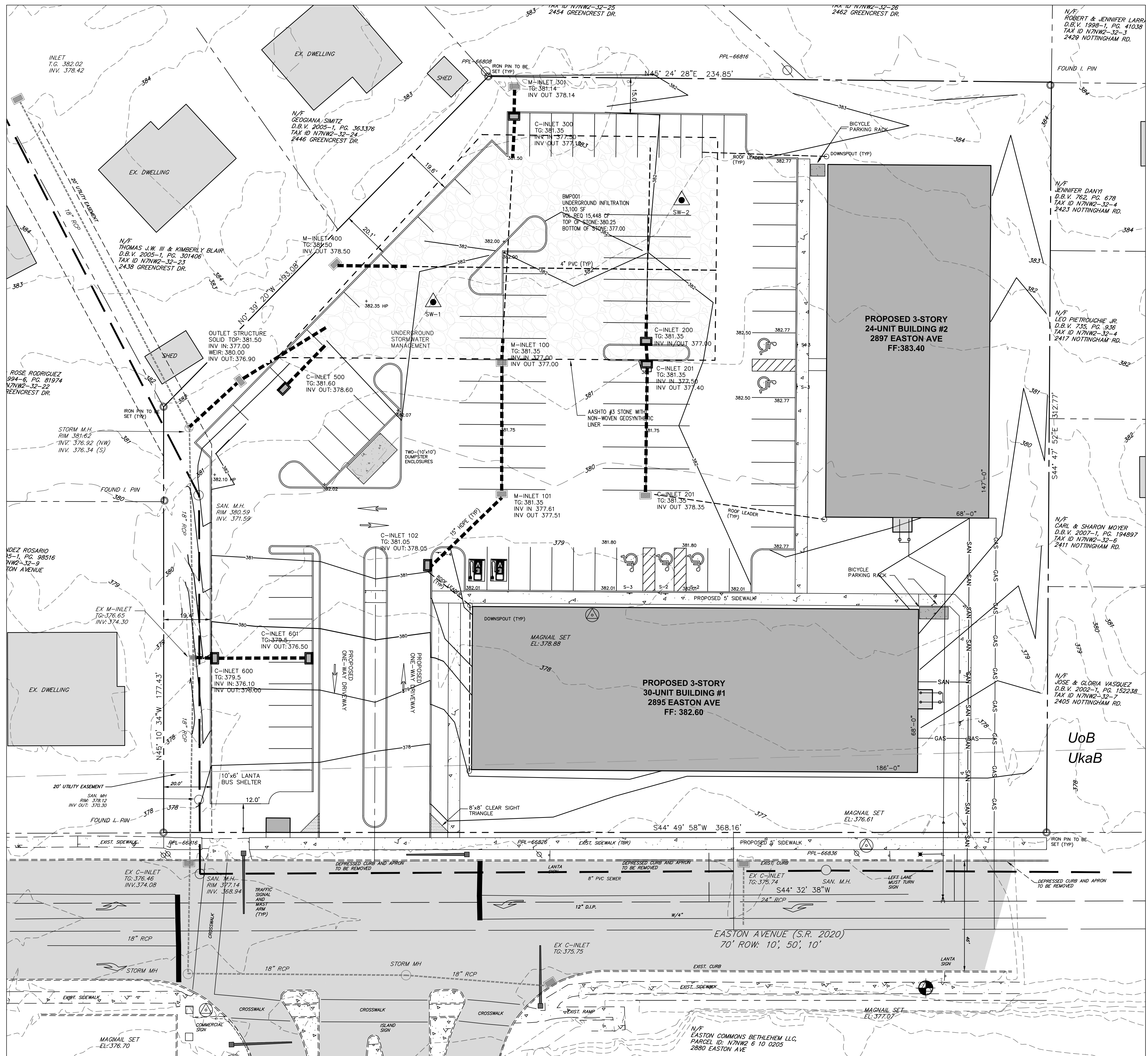
PROJECT LOCATION:
CITY OF BETHLEHEM
WARD 14, BLOCK 5
NORTHAMPTON COUNTY
PENNSYLVANIA

PLAN TITLE:
UTILITY PLAN

SCALE:	DATE:	DRAWN:	CHECKED:
1"=20'	10/12/22	JER	JER

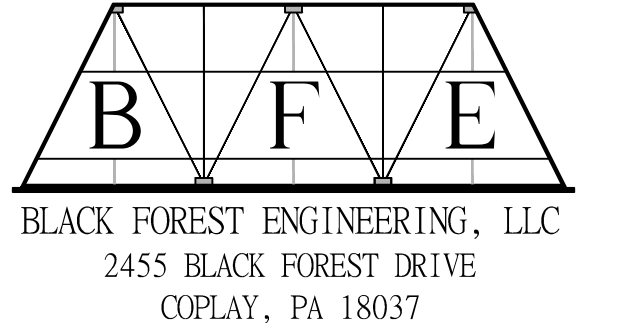
PROJECT NO.	DRAWING NO.	REVISION:
2251	3 OF 8	00



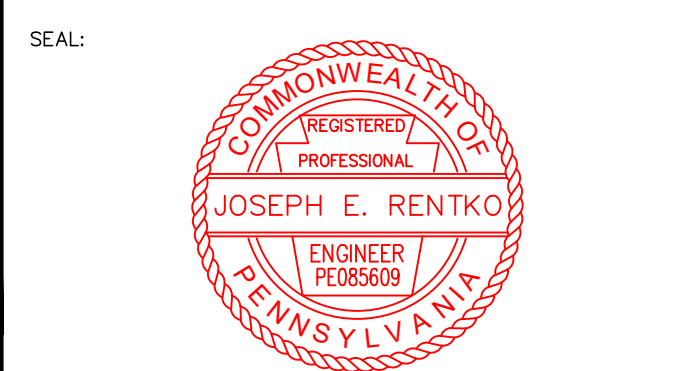


Legend

	PROP. PROPERTY LINE
	PROP. TRACT LINE
	PROP. RIGHT-OF-WAY
	PROP. EASEMENT
	PROP. BUILDING RESTRICTION LINE
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	PROP. CONTOUR MAJOR
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	PROP. STORM MANHOLE
	PROP. INLET
	PROP. SIGN
	PROP. FIRE HYDRANT
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	PROP. WELL
	PROP. GAS VALVE
	PROP. TREE
	PROP. BENCHMARK
	PROP. CONCRETE WHEELSTOP
	PROP. BUILDING/STRUCTURE
	PROP. DRIVEWAY



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JOSEPH E. RENTKO, P.E. #085609
2455 BLACK FOREST DRIVE
COPLAY, PA 18037
717-239-4499

SEAL:		
1	ADDRESS CITY COMMENTS	JER 12/24/22
REV:	DESCRIPTION:	BY DATE

PROJECT TITLE:
2897 EASTON AVENUE
LAND DEVELOPMENT

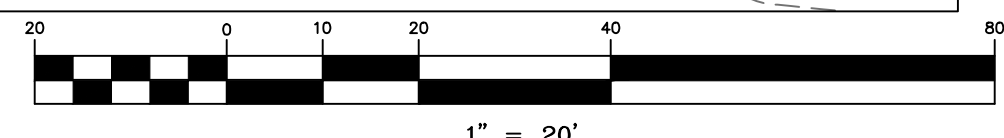
PROJECT OWNER:
JAKE VIDA MANAGEMENT CORP OF PA
60 DAVINCI DR
BOHEMIA, NY 11716

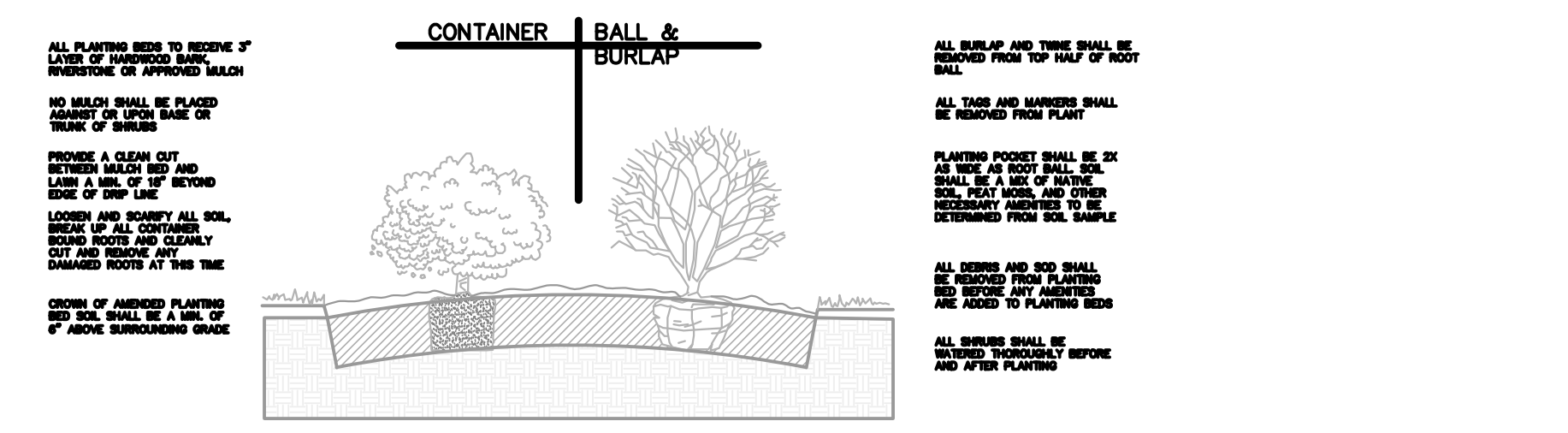
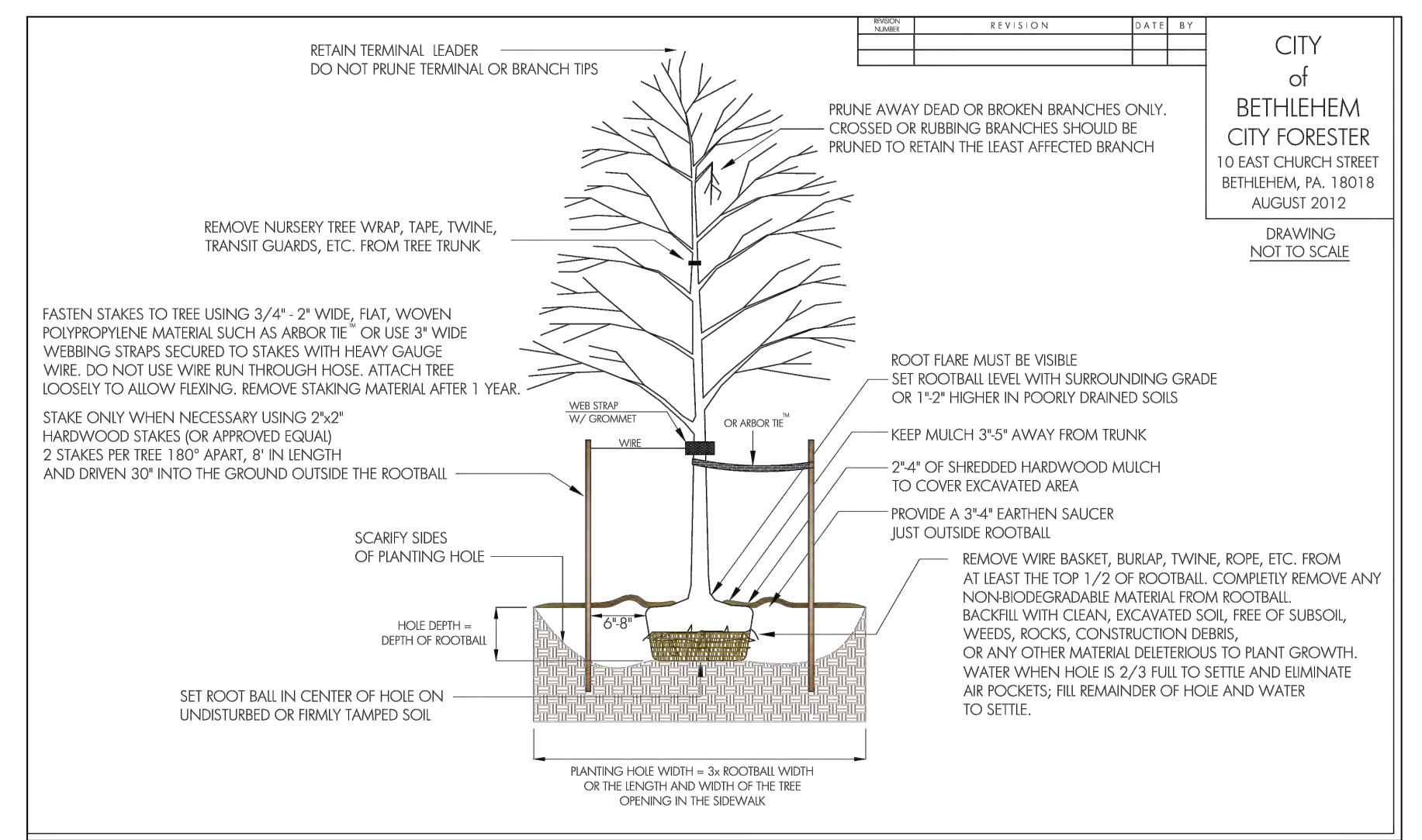
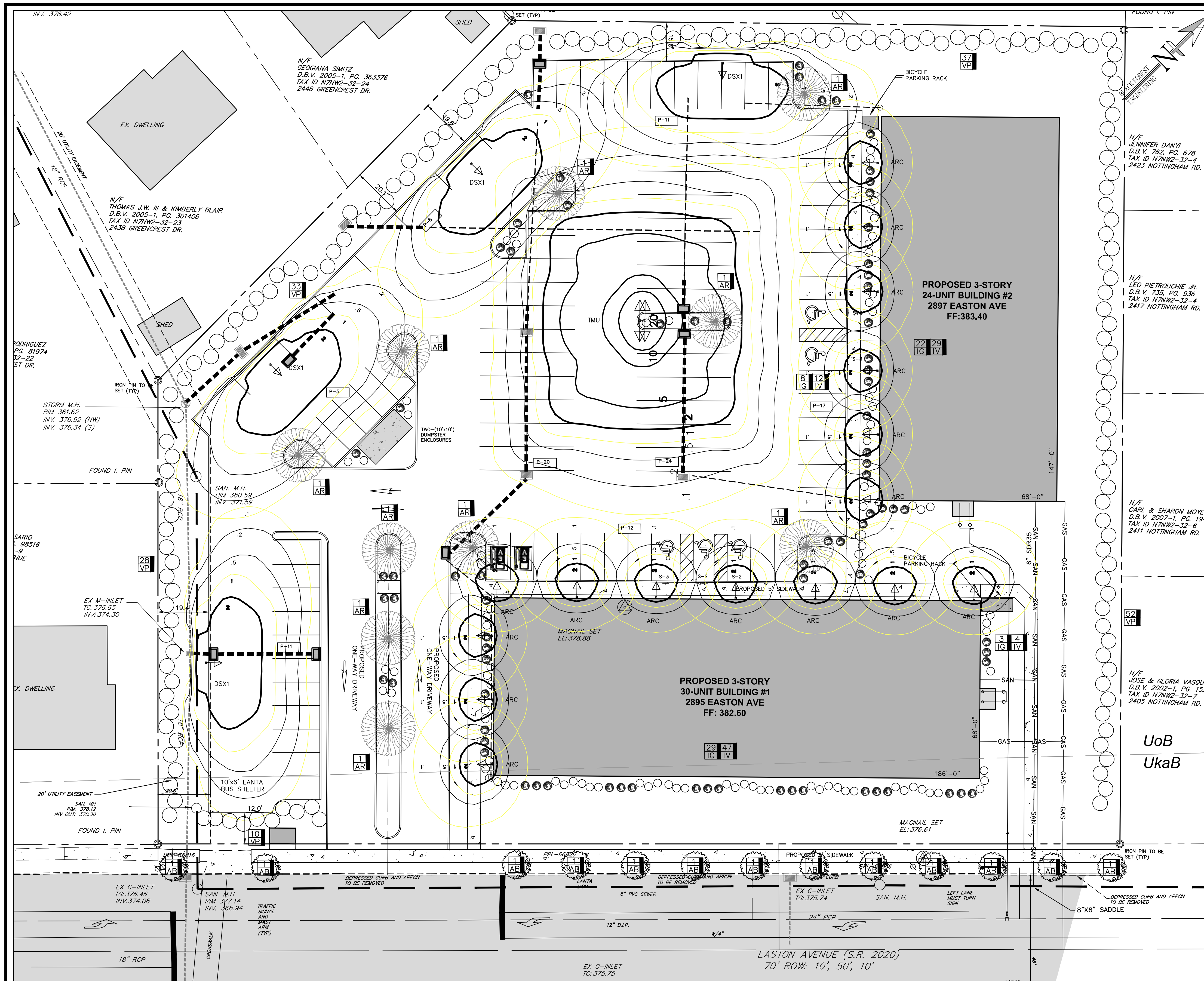
PROJECT LOCATION:
CITY OF BETHLEHEM
WARD 14, BLOCK 5
NORTHAMPTON COUNTY
PENNSYLVANIA

PLAN TITLE:
GRADING PLAN

SCALE:	DATE:	DRAWN:	CHECKED:
1"=20'	10/12/22	JER	JER

PROJECT NO.	DRAWING NO.	REVISION:
2251	4 OF 8	00





SHRUB PLANTING
NOTES
NOT TO SCALE

1. REFER TO SITE PLAN FOR LANDSCAPED AREAS.

SITE LIGHTING PLAN

KEY	COMPANY	PRODUCT NAME	QTY	HT
ARC	LITHONIA	ARC 1 LED P1 30K	16	10
DSX	LITHONIA	DSX1 LED P1 40K BLC MVOLT	4	15
TMU	COOPER	TALON E04 LED	1	15

PROPOSED BUILDING LIGHTS MODEL: ARC 1
LED P1 30K (OR EQUAL) 10FT HT

PROPOSED PARKING/STREET LIGHTS MODEL: DSX1 LED P1 40K BLC MVOLT (OR EQUAL) 15FT POLE

PROPOSED PARKING/STREET LIGHTS MODEL: TWIN TMU TALON E04-LED-E-U-SL4 (OR EQUAL) MOUNTED BACK TO BACK ON 15FT POLE

*NOTE: ALL LIGHT SOURCES TO BE SHIELDED.

REQUIRED LANDSCAPING:

STREET TREES:
EASTON AVE = 368 LF FRONTAGE (1 TREE REQD PER 30 LF); 13 TREES REQD; 13 PROVIDED

1. LANDSCAPE AREAS EQUAL TO 10 PERCENT OF THE OFFSTREET PARKING AREA SHALL BE PROVIDED.
APPROX BUILDING AREA=22,844 SF
REQ'D LANDSCAPE AREA=3,643 SF

2. LANDSCAPE AREAS EQUAL TO 10 PERCENT OF THE MULTIFAMILY BUILDING AREA SHALL BE PROVIDED.
APPROX BUILDING AREA=22,844 SF
REQ'D LANDSCAPE AREA=2,284 SF

TOTAL REQ'D LANDSCAPE AREA=5,927 SF
PROVIDED LANDSCAPE AREA=6,000 SF

3. ONE (1) TREE PER 15 PARKING SPACES; 7.2 TREES REQUIRED; 10 PROVIDED

PLANT LIST: STREET & PARKING LOT TREES

KEY	BOTANIC / COMMON NAME	SIZE	ROOT CONDITION	QUANTITY
AB	ACER BUERGERIAUM / TRIDENT MAPLE	2"-2.5" CAL.	B&B	13
AR	ACER RUBRUM / OCTOBER GLORY	2"-2.5" CAL.	B&B	10

PLANT LIST: BUFFER PLANTS

KEY	BOTANIC / COMMON NAME	SIZE	ROOT CONDITION	QUANTITY
VP	VBURNUM X PRAGENSE / PRAGENSE VBURNUM	7 LB	B&B	160

PLANT LIST: FOUNDATION PLANTS

KEY	BOTANIC / COMMON NAME	SIZE	ROOT CONDITION	QUANTITY
IG	ILEX GLABRA / SHAMROCK	5 LB	CONT.	78
IV	ITEA VIRGINICA / LITTLE HENRY	5 LB	CONT.	89

ALL TREES AND SHRUBS SHALL BE MATCHES, IN FORM, IN THEIR VARIETY.

BLACK FOREST ENGINEERING, LLC
2455 BLACK FOREST DRIVE
COPLAY, PA 18037

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SEAL:

JOSEPH E. RENTKO, P.E. #00805609
2455 BLACK FOREST DRIVE
COPLAY, PA 18037
717-239-4499

NO.	ADDRESS CITY COMMENTS	DATE	BY
1		12/24/22	JER

**2897 EASTON AVENUE
LAND DEVELOPMENT**

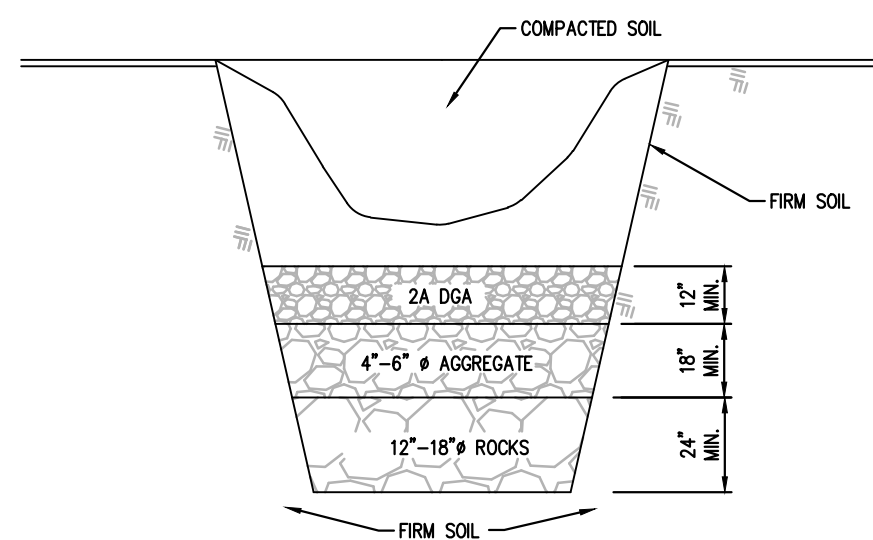
PROJECT OWNER:
JAKE VIDA MANAGEMENT CORP OF PA
60 DAVINCI DR
BOHEMIA, NY 11716

PROJECT LOCATION:
**CITY OF BETHLEHEM
WARD 14, BLOCK 5
NORTHAMPTON COUNTY
PENNSYLVANIA**

LIGHTING & LANDSCAPE PLAN

SCALE:	DATE:	DRAWN:	CHECKED:
1"=20'	10/12/22	JER	JER

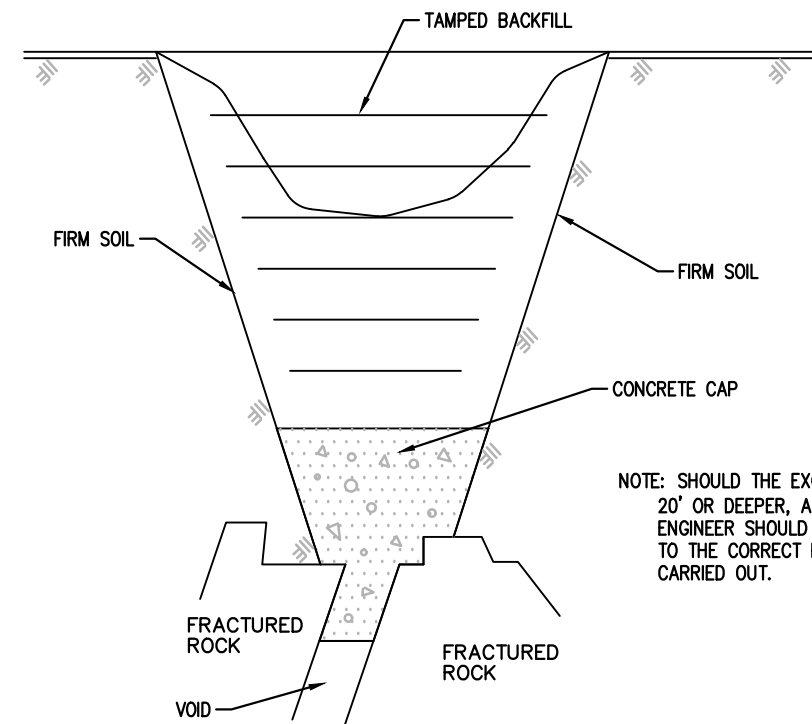
PROJECT NO.	DRAWING NO.	REVISION:
2251	5 of 8	00



Sinkhole In Soil

NOT TO SCALE

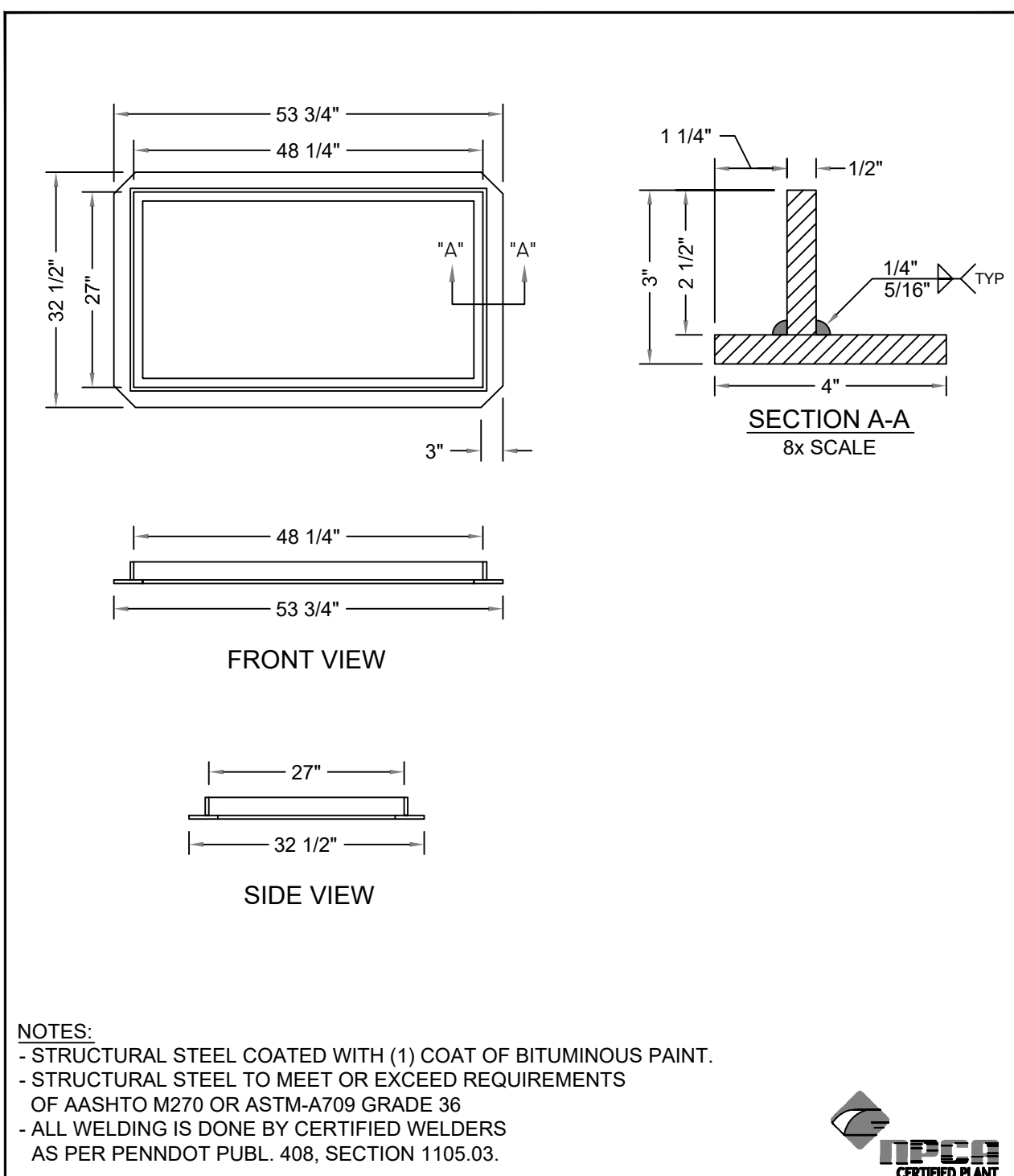
- THE REPAIR TECHNIQUES AS DESCRIBED BELOW ARE SUITABLE ONLY IF THE SINKHOLE IS LOCATED IN AN OPEN AREA. IF THE SINKHOLE IS LOCATED UNDER OR NEAR A STRUCTURE OR A BUILDING, COMPACTION GROUTING MAY BE NECESSARY FOR FOUNDATION, AS DETERMINED BY A GEOTECHNICAL ENGINEER LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA.
- EXCAVATE DOWN TO ROCK TO SINKHOLE THROAT OR TO A DEPTH OF 15 FEET BELOW GRADE, WHICHEVER OCCURS FIRST.
- IF ROCK IS ENCOUNTERED WITHIN 10 FEET, STOP EXCAVATION. THE LIMIT OF EXCAVATION SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER. GENERALLY, A ZONE OF SOFT, IN-FILL MATERIAL WILL BE FOUND WHICH COVERS MOST OF THE BOTTOM OF THE EXCAVATION. COVER THIS AREA WITH A GRADED ROCK FILTER AS SHOWN ABOVE.
- BACKFILL HOLE WITH RELATIVELY IMPERMEABLE CLAY SOIL. COMPACT SOIL IN 6\"/>



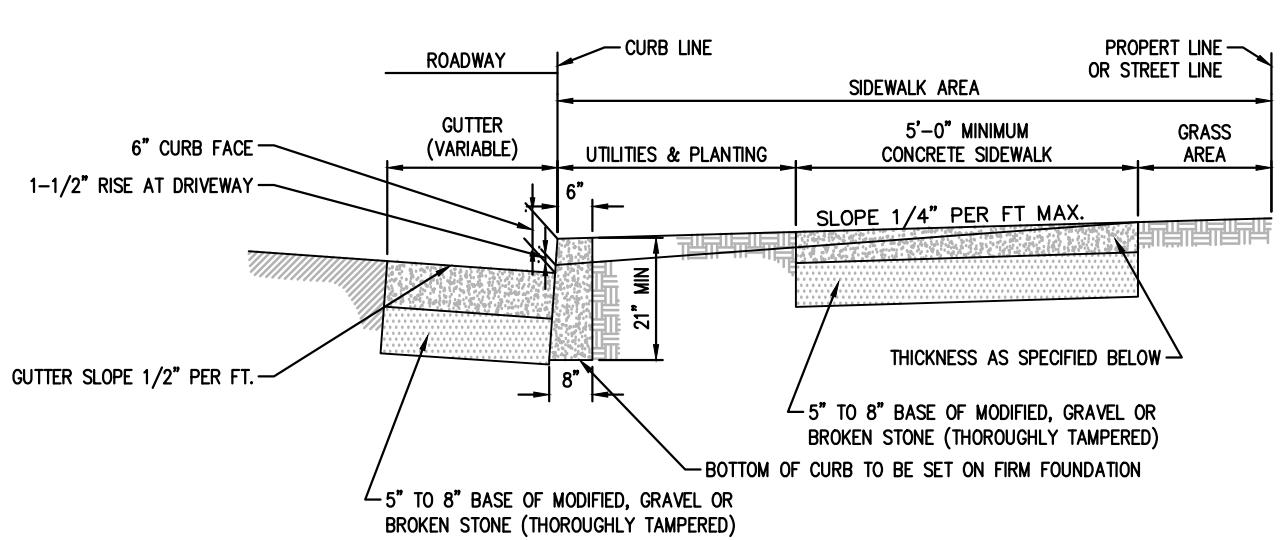
Sinkhole In Rock

NOT TO SCALE

- THE REPAIR TECHNIQUES AS DESCRIBED BELOW ARE SUITABLE ONLY IF THE SINKHOLE IS LOCATED IN AN OPEN AREA. IF THE SINKHOLE IS LOCATED UNDER OR NEAR A STRUCTURE OR A BUILDING, COMPACTION GROUTING MAY BE NECESSARY FOR FOUNDATION, AS DETERMINED BY A GEOTECHNICAL ENGINEER LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA.
- EXCAVATE DOWN TO BEDROCK OR TO THE SINKHOLE THROAT.
- EXPOSE THE ROCK SURFACE BY WASHING THE AREA WITH A SMALL HOSE WATER SPRAY AND INSTALL HIGH-SUMP CEMENT INTO VOIDS AND CREVICES UNTIL VOIDS ARE FILLED AND A CAP COVERS THE AREA. THE LIMIT OF EXCAVATION AND CONCRETE SHALL BE DETERMINED BY THE ENGINEER.
- AFTER CONCRETE HAS SET OVERNIGHT, BACKFILL HOLE WITH RELATIVELY IMPERMEABLE CLAY SOIL. COMPACT SOIL IN 6\"/>



MONARCH PRECAST CONCRETE CORP.
 425 NORTH DAUPHIN STREET ALLENTOWN, PA 18109 PHONE (610) 435-6748
 WWW.MONARCHPRECAST.COM FAX (610) 437-7133



General Requirements:

ONE COURSE (MONOLITHIC) CONSTRUCTION FOR ALL CURB, GUTTER AND SIDEWALK CONCRETE MIX: TO BE CLASS A CONCRETE 3300# 6 BAG MIX - 5.6 GAL. WATER PER BAG THROUGHOUT; USE POWER BATCH MIXER. NO SLAG.
CURB: 21\"/>

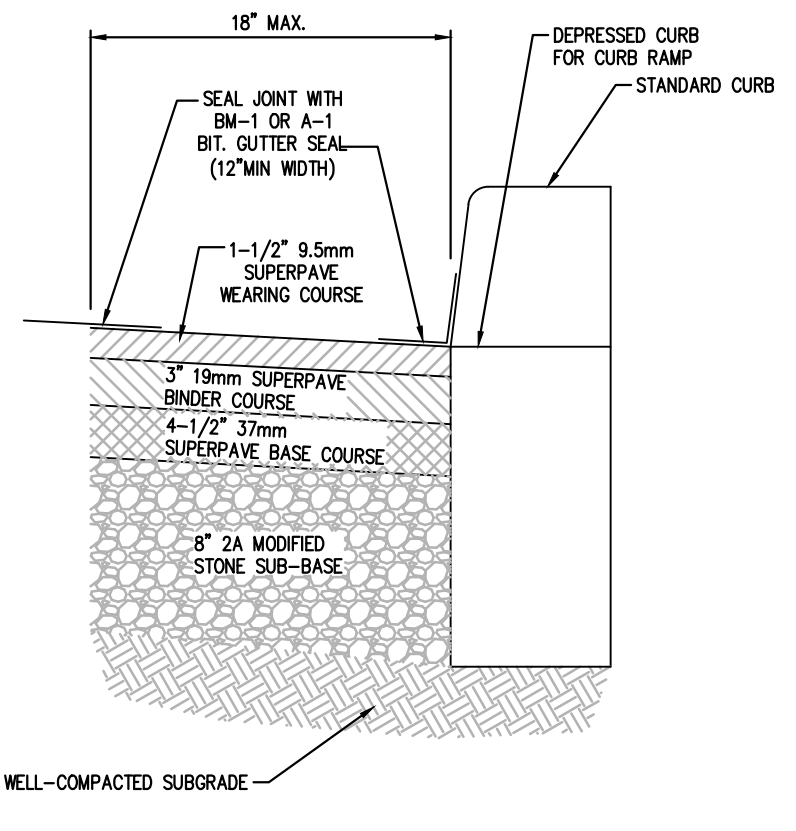
EXPANSION AND CONTRACTION JOINTS: SEE CITY CONSTRUCTION STANDARD NO. 1A.
HANDICAP RAMPS: REQUIRED ON ALL RAMP IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
DRIVEWAYS: SEE CITY STANDARD DRIVEWAY ENTRANCE AND APRON SKETCH.
EXCAVATION IN CARTWAY: WHEN EXCAVATING IN THE CARTWAY OF THE CITY STREET, A CLEAN, FULL DEPTH CUT-BY JACK HAMMERING OR SAWN CUTTING SHALL BE MADE IN THE STREET BETWEEN THE AFFECTED AND THE UNAFFECTED WORK AREAS. FURTHER, FINAL RESTORATION IN THE AFFECTED AREA OF THE STREET SHALL CONSIST OF CREATING A NEW CLEAN CUT BY SAWCUTTING 12\"/>

Ordinance Requirements:
WARRANT OF SURVEY - PROCURED FROM THE CITY ENGINEER'S OFFICE, PROVIDES FOR ESTABLISHING LINE & GRADES; STAKES TO BE PROTECTED BY APPLICANT AND USED WITHIN 30 DAYS.
EXCAVATION PERMIT - PROCURED FROM THE CITY ENGINEER'S OFFICE; FOR SIDEWALK AND DRIVEWAY CONSTRUCTION.
DETAIL REQUIREMENTS: FOR FURTHER DETAILS AND OTHER REQUIREMENTS SEE THE FOLLOWING DOCUMENTS ON FILE IN THE OFFICE OF THE CITY ENGINEER:
 * STANDARD SPECIFICATIONS FOR THE CONSTRUCTION OF CONCRETE CURB, GUTTER AND SIDEWALK * COORDINATED ORDINANCES OF THE CITY OF BETHLEHEM, ARTICLES 903 AND 909.

NOTE:
 * WHENEVER A CURB, GUTTER AND/OR SIDEWALK IS LOCATED IN THE HISTORIC DISTRICT, SPECIAL REQUIREMENTS MAY APPLY.
 * CHANGES TO DIMENSIONAL REQUIREMENTS MAY BE CONSIDERED IN CASES WHERE OBSTRUCTIONS OR ENCROACHMENTS EXIST. ANY EXCEPTIONS MUST BE APPROVED BY THE CITY ENGINEER. CURRENT ADA REQUIREMENTS MUST BE IN ALL CASES.

CITY OF BETHLEHEM, PA. BUREAU OF ENGINEERING Construction Standard No. 1

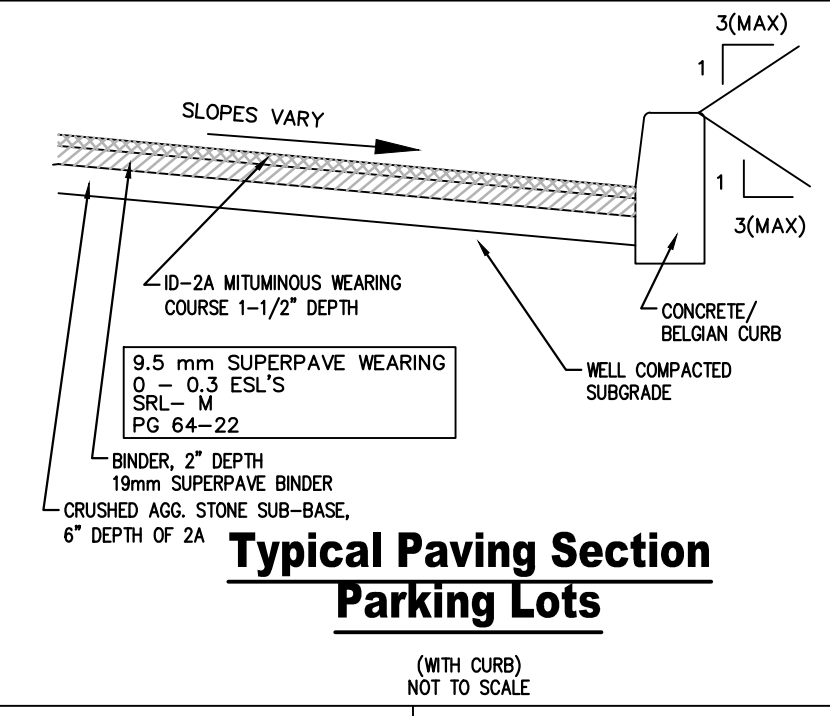
NOT TO SCALE



Pavement Restoration For Curb Replacement

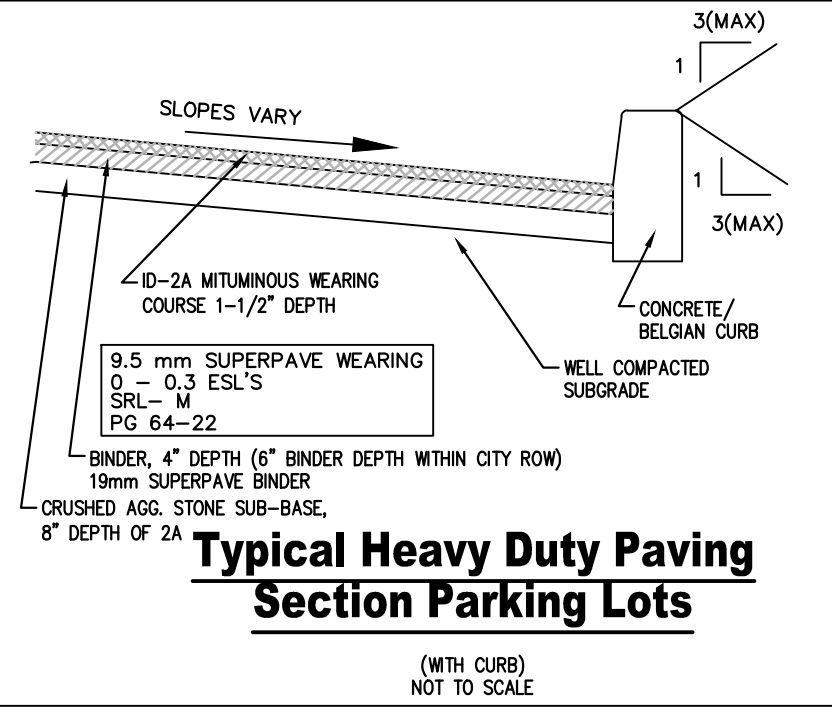
NOT TO SCALE

* THE BASE COURSE AND SURFACE COURSE SHALL MATCH EXISTING DEPTHS OF PAVING



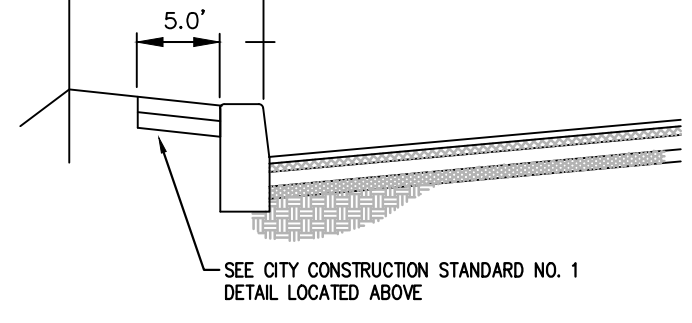
Typical Paving Section Parking Lots

NOT TO SCALE



Typical Heavy Duty Paving Section Parking Lots

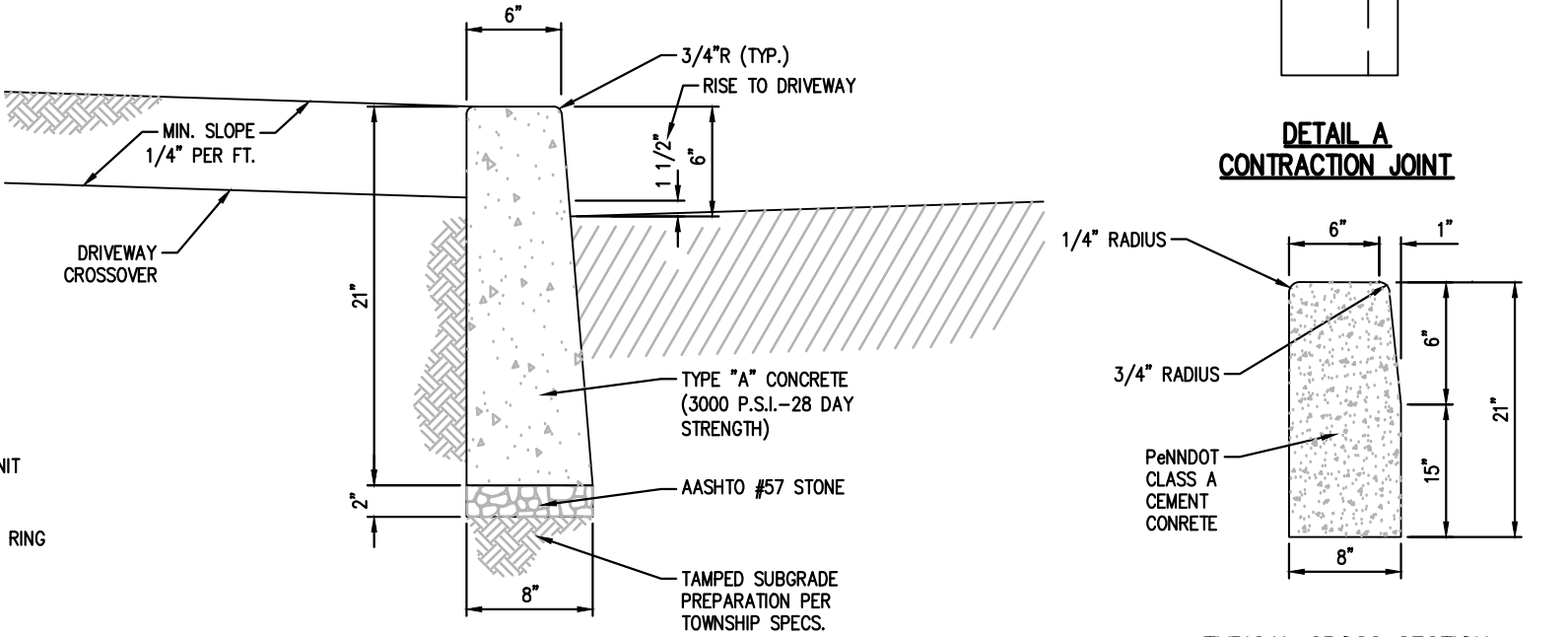
NOT TO SCALE



Concrete Sidewalk Detail Along Orchard Street

NOT TO SCALE

- 1 1/2\"/>



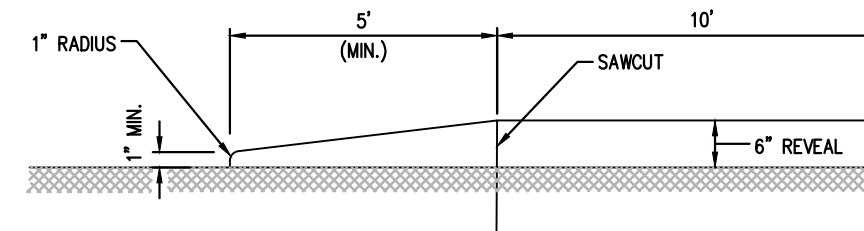
Upright Curb Detail

NOT TO SCALE

Typical Cross Section

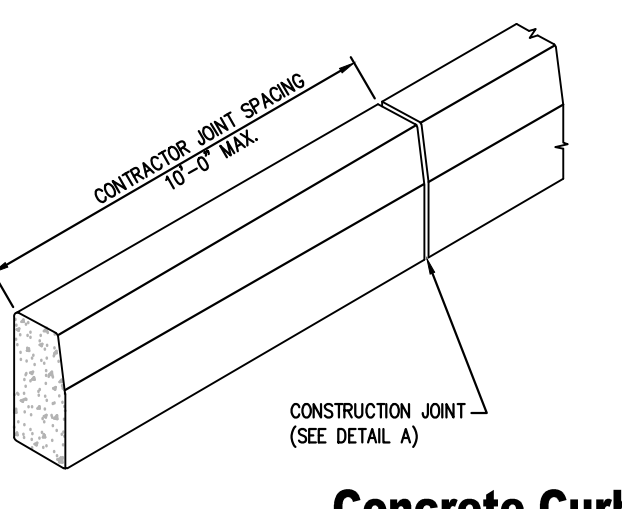
Notes:

1. MATERIALS AND CONSTRUCTION SHALL MEET THE REQUIREMENTS OF PUBLICATION 408, SECTION 630.
2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
3. PLACE 3/4\"/>



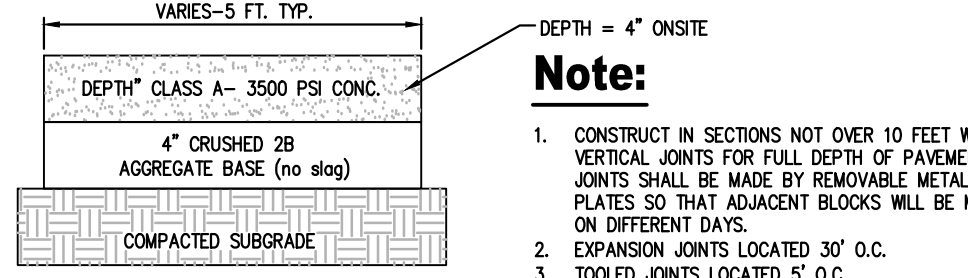
Typical Curb Taper Detail

NOT TO SCALE



Concrete Curb

NOT TO SCALE

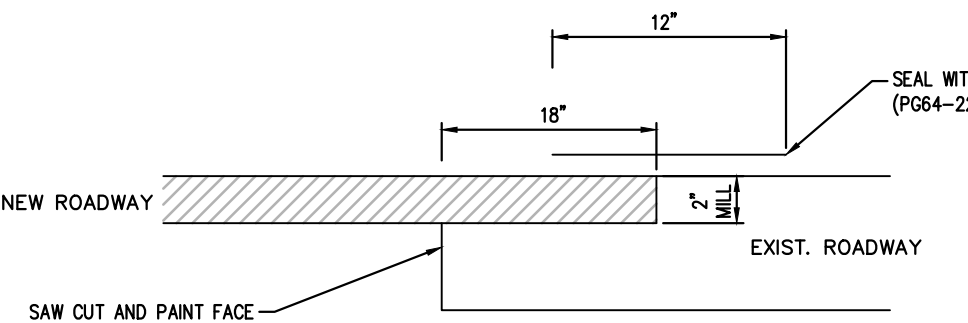


Concrete Sidewalk Detail

NOT TO SCALE

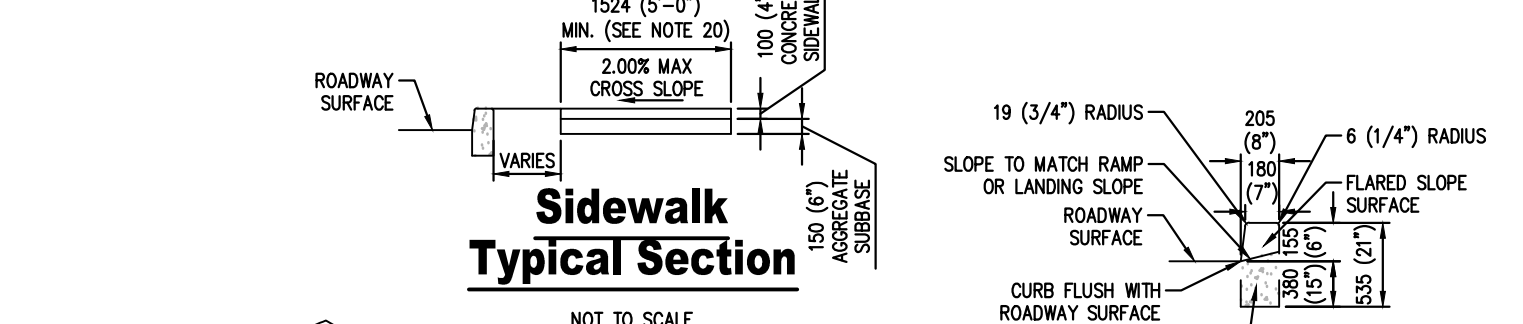
Note:

1. CONSTRUCT IN SECTIONS NOT OVER 10 FEET WITH VERTICAL JOINTS FOR FULL DEPTH OF PAVEMENT. THE JOINTS SHALL BE MADE BY REMOVABLE METAL PLATES SO THAT ADJACENT BLOCKS WILL BE MADE ON DIFFERENT DAYS.
2. EXPANSION JOINTS LOCATED 30\"/>



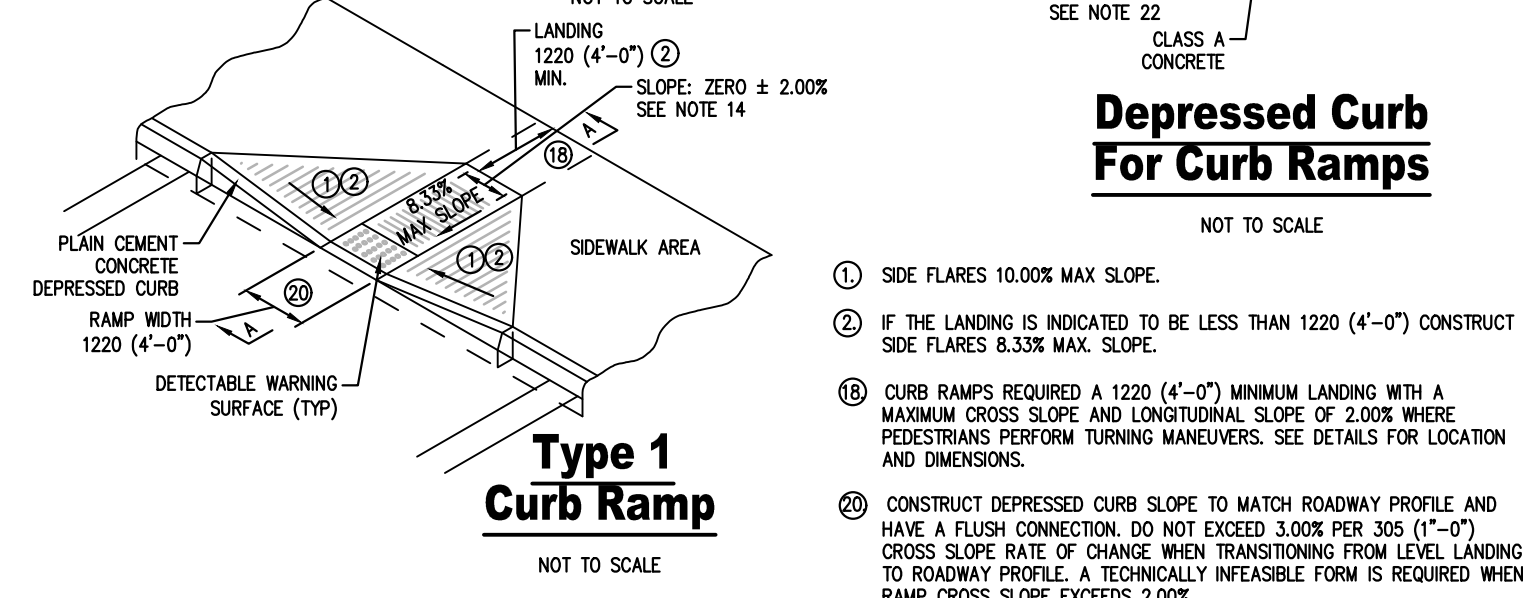
Paving Joint Detail

NOT TO SCALE



Sidewalk Typical Section

NOT TO SCALE



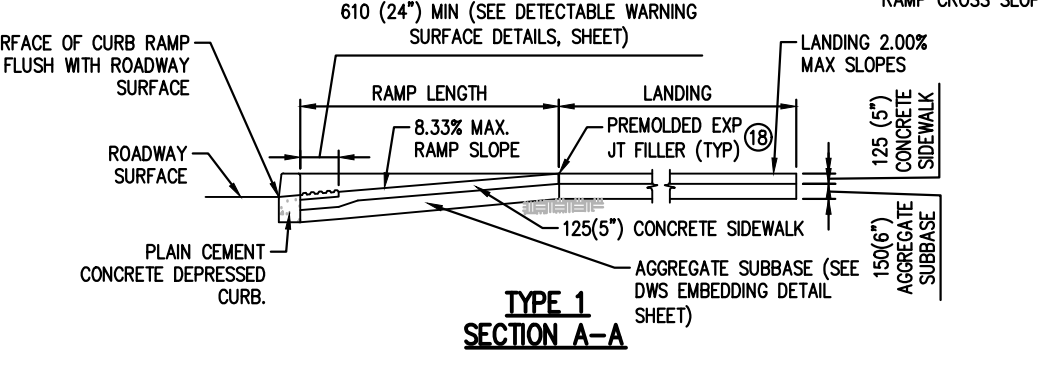
Type 1 Curb Ramp

NOT TO SCALE

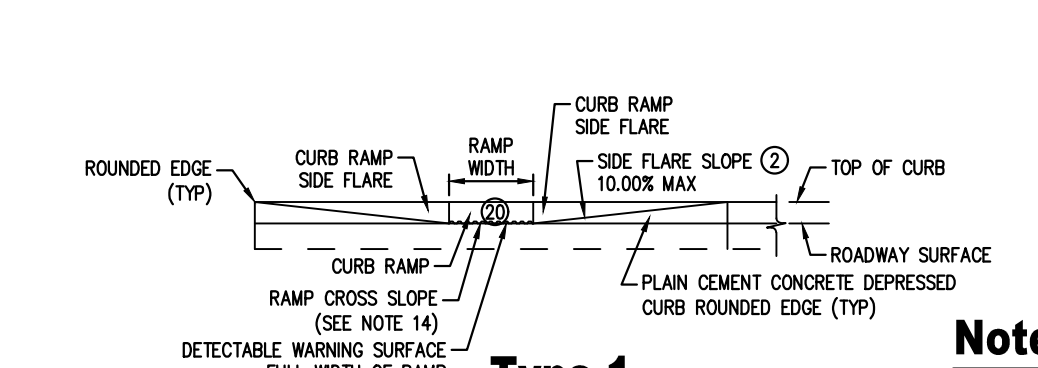
1. SIDE FLARES 10.00% MAX. SLOPE.
2. IF THE LANDING IS INDICATED TO BE LESS THAN 1220 (4'-0") CONSTRUCT SIDE FLARES 8.33% MAX. SLOPE.
3. CURB RAMPS REQUIRED A 1220 (4'-0") MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.00% WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SEE DETAILS FOR LOCATION AND DIMENSIONS.
4. CONSTRUCT DEPRESSED CURB SLOPE TO MATCH ROADWAY PROFILE AND HAVE A FLUSH CONNECTION. DO NOT EXCEED 3.00% PER 305 (1'-0") CROSS SLOPE RATE OF CHANGE WHEN TRANSITIONING FROM LEVEL LANDING TO ROADWAY PROFILE. A TECHNICALLY INFEASIBLE FORM IS REQUIRED WHEN RAMP CROSS SLOPE EXCEEDS 2.00%.

Equivalent Slopes

Percent Slope	Equivalent Slope
10.00%	10:1 (1:10)
8.33%	12:1 (1:12)
7.14%	14:1 (1:14)
5.00%	20:1 (1:20)
2.00%	50:1 (1:50)
1.00%	100:1 (1:100)



Type 1 Section A-A



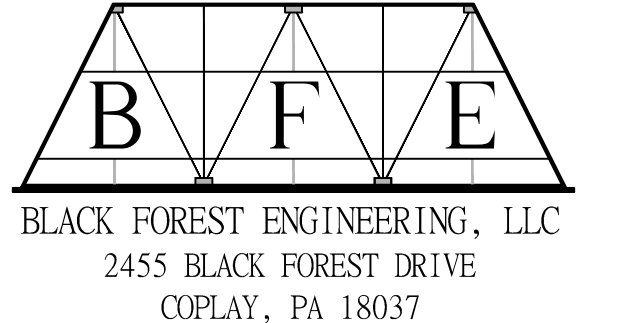
Type 1 Elevation

NOT TO SCALE

- Notes:**
1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTIONS 350, 409, 630, 676 AND 694.
 2. PROVIDE EXPANSION JOINT MATERIAL 13 (1/2)"/>

Note:

EITHER ALL METRIC OR ALL ENGLISH VALUES MUST BE USED ON PLANS. METRIC AND ENGLISH VALUES SHOWN MAY NOT BE MIXED.



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SEAL:
 JOSEPH E. REYNOLDS, P.E. #PE085609
 2455 BLACK FOREST DRIVE
 COPLAY, PA 18037
 207-239-4499

1 ADDRESS CITY COMMENTS JER 12/24/22
 REV: DESCRIPTION: BY DATE

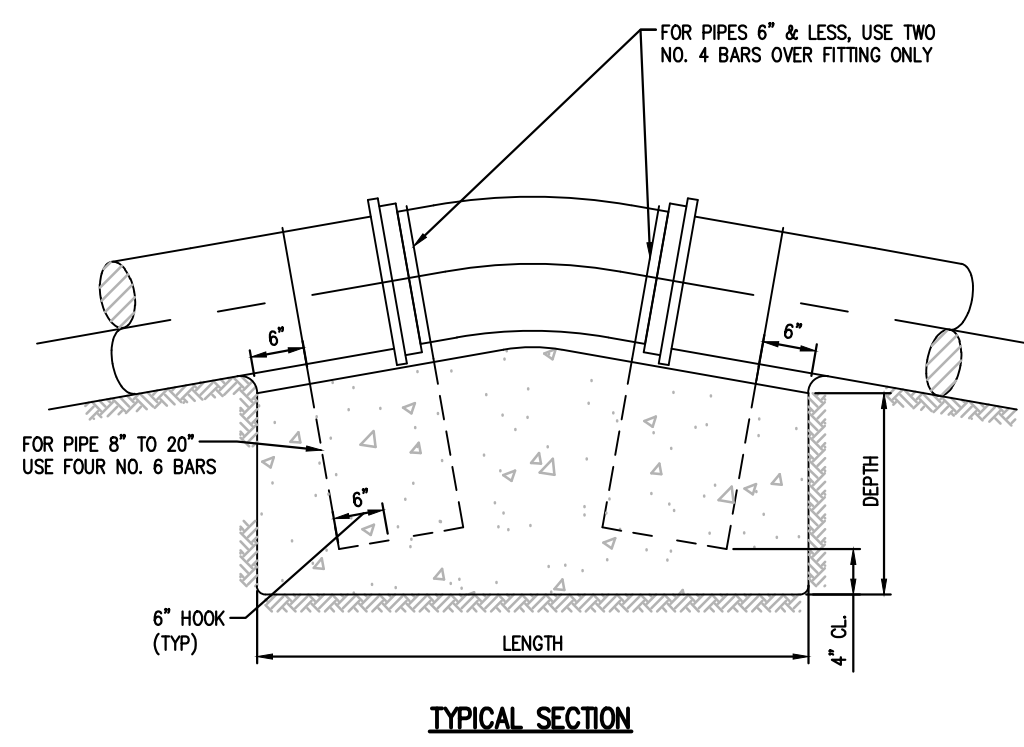
2897 EASTON AVENUE LAND DEVELOPMENT

PROJECT OWNER: JAKE VIDA MANAGEMENT CORP OF PA
 60 DAVINCI DR BOHEMIA, NY 11716

PROJECT LOCATION: CITY OF BETHLEHEM
 WARD 14, BLOCK 5
 NORTHAMPTON COUNTY PENNSYLVANIA

CONSTRUCTION DETAILS

SCALE:	DATE:	DRAWN:	CHECKED:
AS NOTED	10/12/22	JER	JER
PROJECT NO.	DRAWING NO.	REVISION:	
2251	6 OF 8	00	



Notes:

- NO COUPLING OR JOINTS SHALL BE COVERED WITH CONCRETE.
- REINFORCING BAR STRAPS TO BE SHAPED TO PIPE CURVATURE.
- ALL EXPOSED STEEL TO BE PAINTED WITH TWO COATS ASPHALTIC PAINT.

Thrust Blocking - Vertical Thrusts

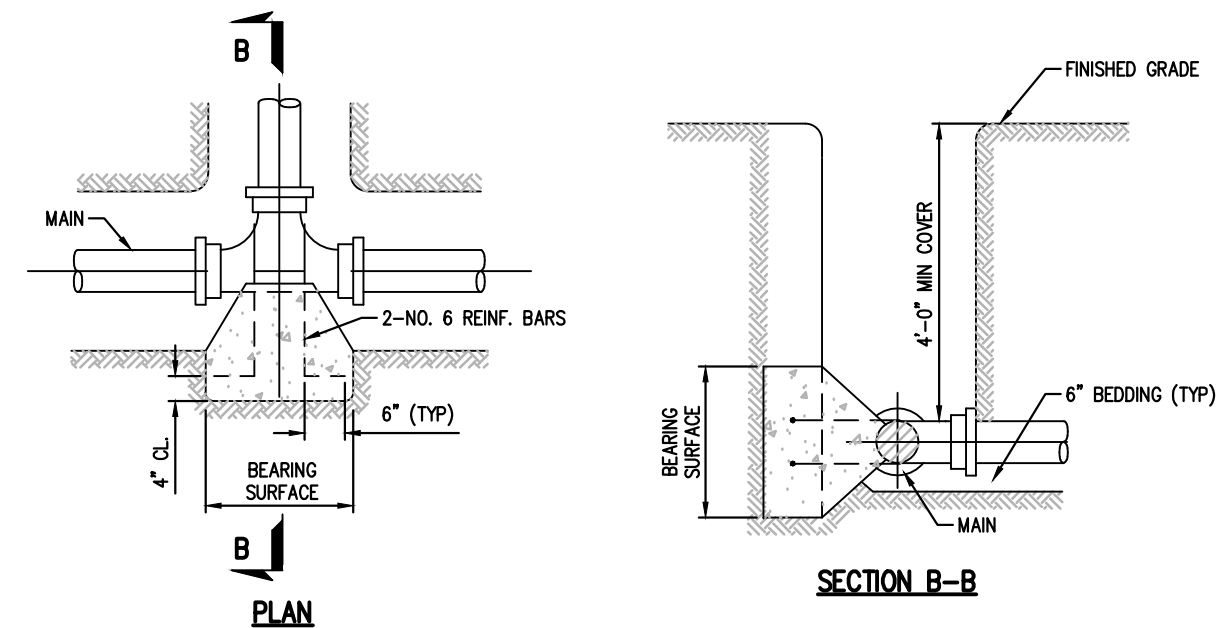
NOT TO SCALE

VERTICAL THRUSTS UPWARD UP TO 150 PSI WORKING PRESSURE

Notes:

- SEE STANDARD DETAIL STANDARD DETAIL VI-27 FOR BEARING AREA REQUIRED.
- NO COUPLING OR JOINTS SHALL BE COVERED WITH CONCRETE.
- REINFORCING BAR STRAPS TO BE SHAPED TO PIPE CURVATURE.
- ALL EXPOSED STEEL TO BE PAINTED WITH TWO COATS ASPHALTIC PAINT.

PIPE SIZES (inches)	DIMENSIONS OF CONCRETE BLOCKING								
	LENGTH			WIDTH			DEPTH		
4 & SMALLER	11 1/4	22 1/2	45	11 1/4	22 1/2	45	11 1/4	22 1/2	45
6 & 8	2'	4'	6'	3'	3'	3'	2'	3'	4'
10 & 12	4.5'	6'	8'	3'	3'	4'	3'	4.5'	5'
14 & 16	6'	8'	11'	3.5'	3.5'	5'	3.5'	5'	5'
18 & 20	7'	9'	13'	4'	5'	5.5'	4'	5'	6'



Notes:

- SEE STANDARD DETAIL STANDARD DETAIL VI-27 FOR BEARING AREA REQUIRED.
- NO COUPLING OR JOINTS SHALL BE COVERED WITH CONCRETE.
- REINFORCING BAR STRAPS TO BE SHAPED TO PIPE CURVATURE.
- ALL EXPOSED STEEL TO BE PAINTED WITH TWO COATS ASPHALTIC PAINT.

Thrust Blocking For Tees

NOT TO SCALE

TYPICAL BLOCKING FOR HORIZONTAL & VERTICAL DOWNWARD THRUSTS UP TO 150 PSI WORKING PRESSURE

BEARING AREA REQUIRED, SQUARE FEET

Type of Bearing Material and Allowable loads, psf	4" and less DEGREE BEND			6" and 8" DEGREE BEND			10" and 12" DEGREE BEND		
	LOOSE SAND OR MEDIUM CLAY - 2,000	11 1/4	22 1/2	45	90	11 1/4	22 1/2	45	90
PACKED GRAVEL AND SAND - 4,000	1.0	2.0	2.7	4.0	1.5	3.0	6.0	10.0	
ROCK - 10,000	1.0	1.0	1.0	1.0	1.0	1.2	2.0	1.0	

BEARING AREA REQUIRED, SQUARE FEET

Type of Bearing Material and Allowable Loads	14" and 16" DEGREE BEND OR DEFLECTION			18" and 20" DEGREE BEND OR DEFLECTION		
	LOOSE SAND OR MEDIUM CLAY - 2,000	6.0	12.0	22.5	40.0	9.5
PACKED GRAVEL AND SAND - 4,000	3.0	6.0	11.3	20.0	4.8	9.5
ROCK - 10,000	1.2	2.4	4.5	8.0	2.0	3.8

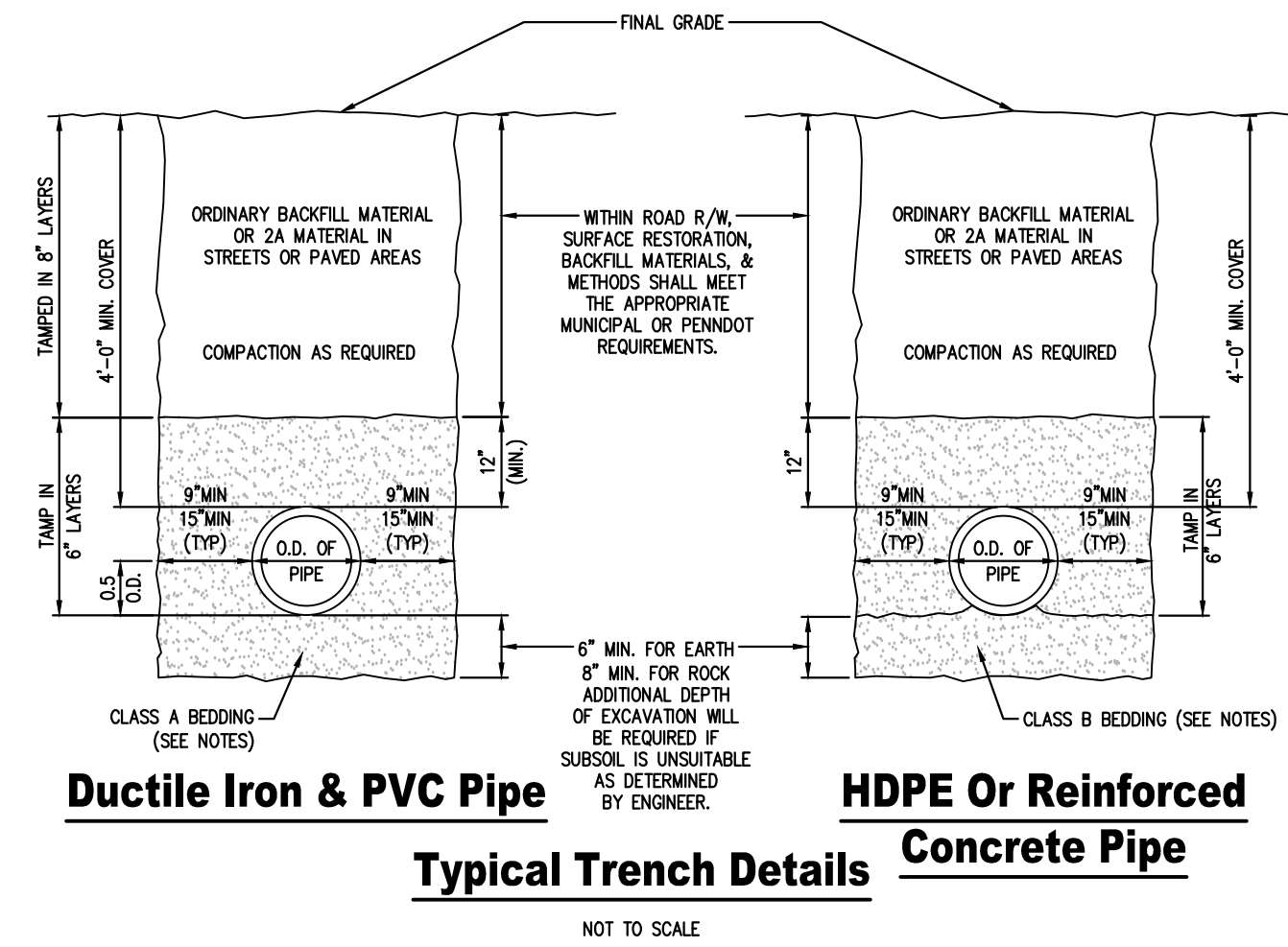
Notes:

THRUST BLOCKING FOR TEES SHALL HAVE THE SAME BEARING AREA AS 90° BENDS OF THE PIPE SIZE OF THE OUTLET. DEAD ENDS SHALL HAVE THE SAME BEARING AS 90° BENDS.

Thrust Blocking Schedule

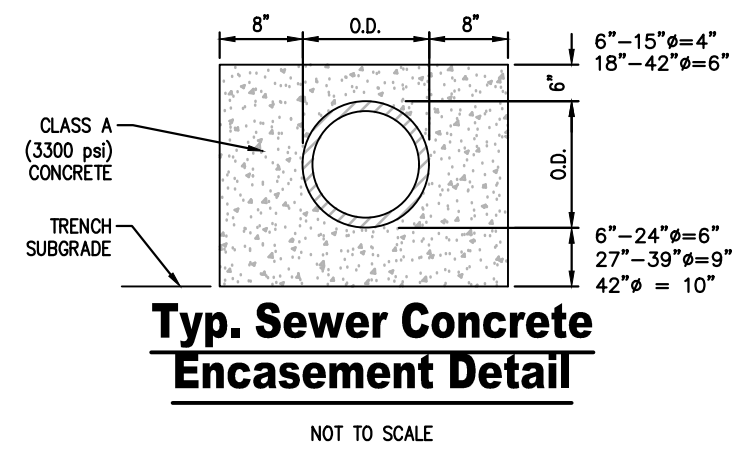
NOT TO SCALE

SCHEDULE OF DIMENSIONS UP TO 150 PSI WORKING PRESSURE

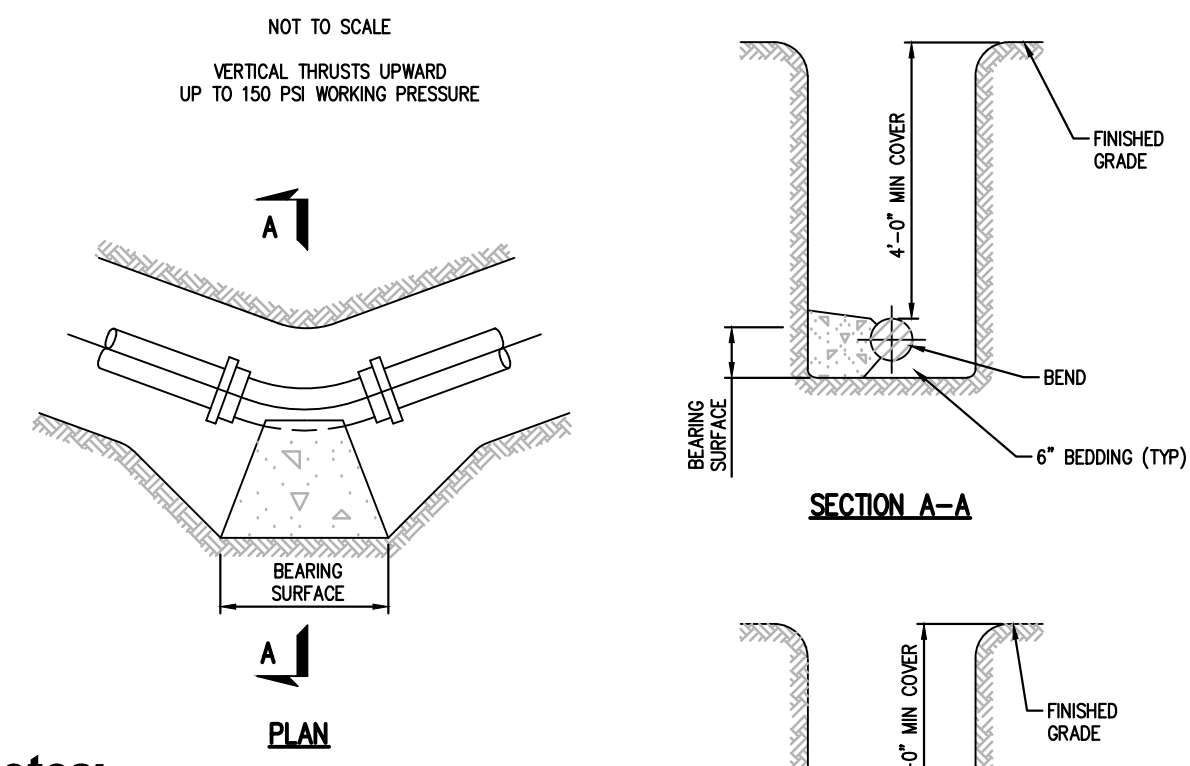


Notes:

- ALL BACKFILL MATERIAL IS SUBJECT TO CITY APPROVAL OR UGI APPROVAL FOR GAS MAIN.
- CLASS A BEDDING: APPROVED SCREENINGS TO 12" ABOVE PIPE.
- CLASS B BEDDING: FINE AGGREGATE.
- SELECT BACKFILL: CLEAN DRY EARTH WITH A MAXIMUM STONE SIZE 3-INCHES.
- ORDINARY BACKFILL: CLEAN DRY EARTH WITH A MAXIMUM STONE SIZE 6-INCHES.
- SLAG MATERIAL IS PERMITTED ABOVE THE 12 INCHES OF INTIAL COVER MATERIAL ABOVE THE PIPE.
- HYDRO HAMMERS CAN BE USED AT DISTANCES GREATER THAN 3' ABOVE THE TOP OF THE PIPE IF THE SOIL DENSITY HAS BEEN PREVIOUSLY COMPACTED TO A MINIMUM 95% STANDARD PROCTOR.
- PVC PIPE TO BE SDR 35 FOR PIPE RUNS LESS THEN 15' DEEP. FOR SANITARY SEWER RUNS GREATER THEN 15' IN DEPTH, SDR 26 SHALL BE USED.



Thrust Blocking - Vertical Thrusts



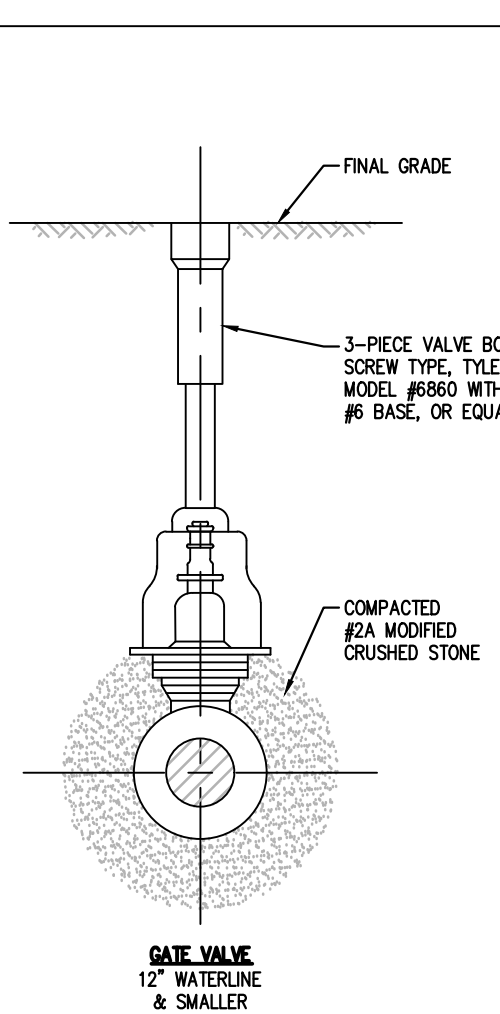
Notes:

- SEE STANDARD DETAIL STANDARD DETAIL VI-27 FOR BEARING AREA REQUIRED.
- NO COUPLING OR JOINTS SHALL BE COVERED WITH CONCRETE.

Thrust Blocking For Bends

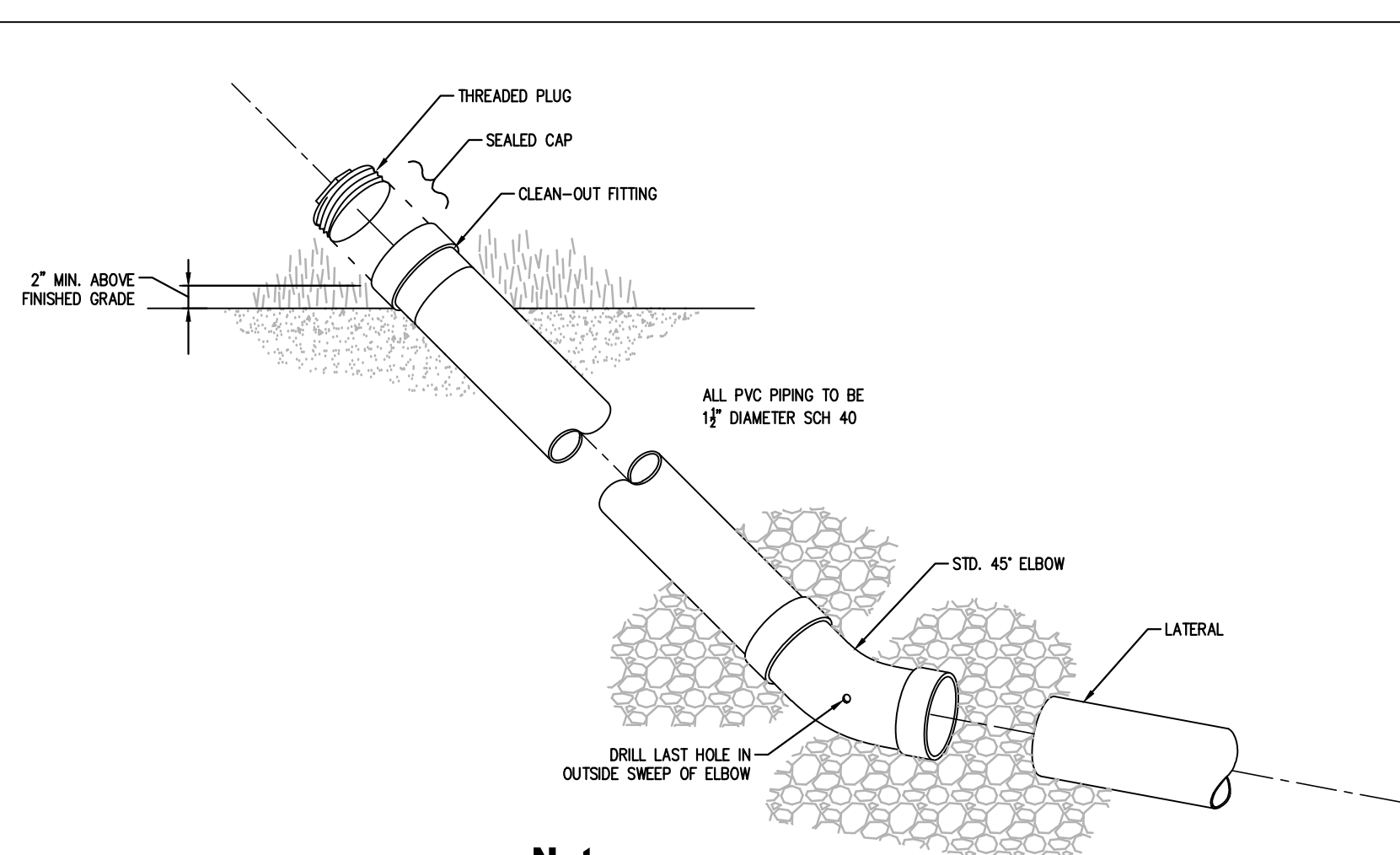
NOT TO SCALE

TYPICAL BLOCKING FOR HORIZONTAL & VERTICAL DOWNWARD THRUSTS UP TO 150 PSI WORKING PRESSURE



NOTE:

- VALVES 8" OR SMALLER SHALL BE RODDED TO A FITTING WITH 2 ALL-THREAD RODS, 12" VALVES WITH 4 ALL-THREAD RODS.
- ROD DIAMETER SHALL BE EQUAL TO THAT OF THE GLAND BOLTS. RODS SHALL BE GIVEN ONE COAT OF BITUMASTIC PAINT.

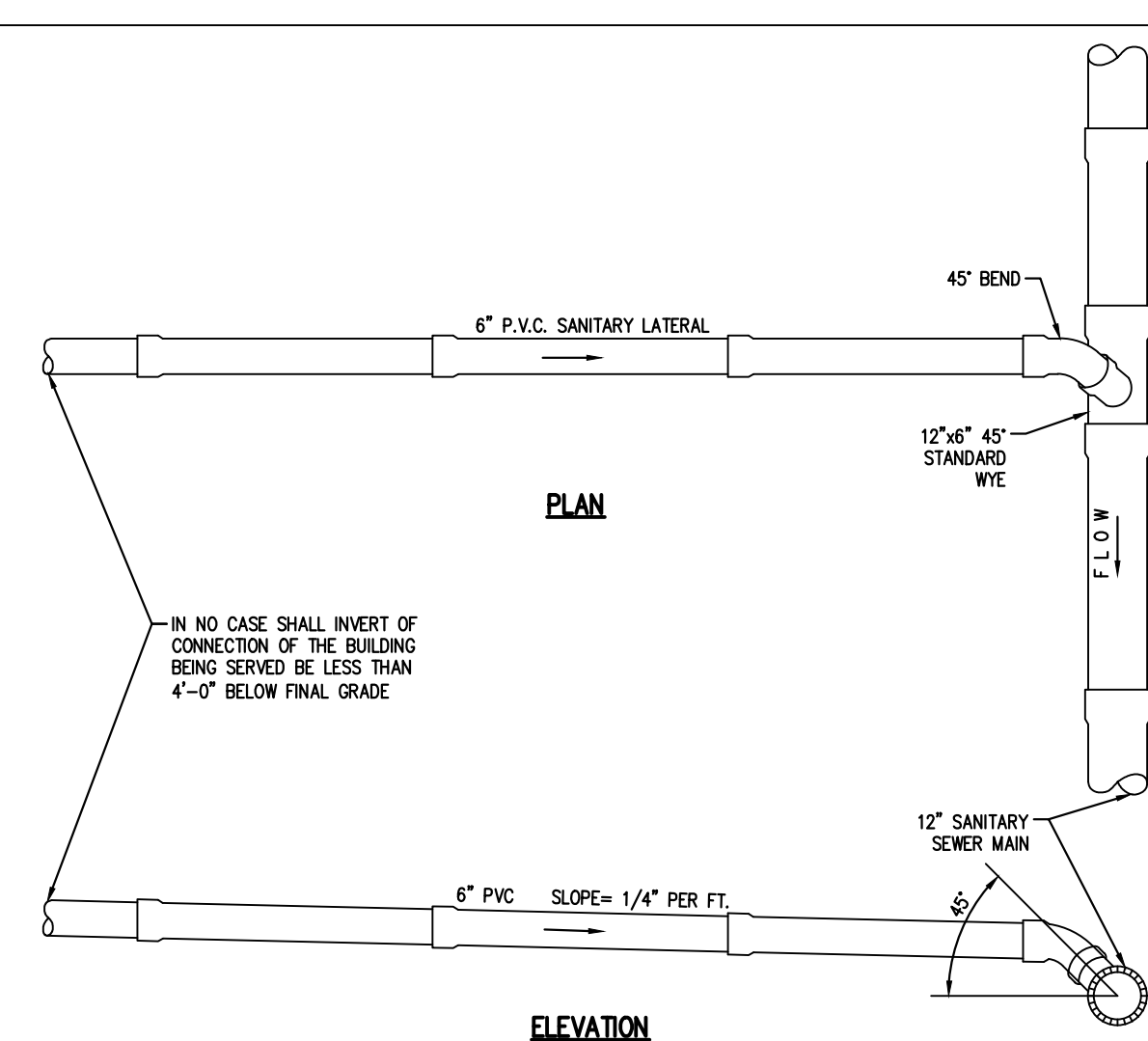


Note:

TYPICAL AT END OF ALL LATERALS

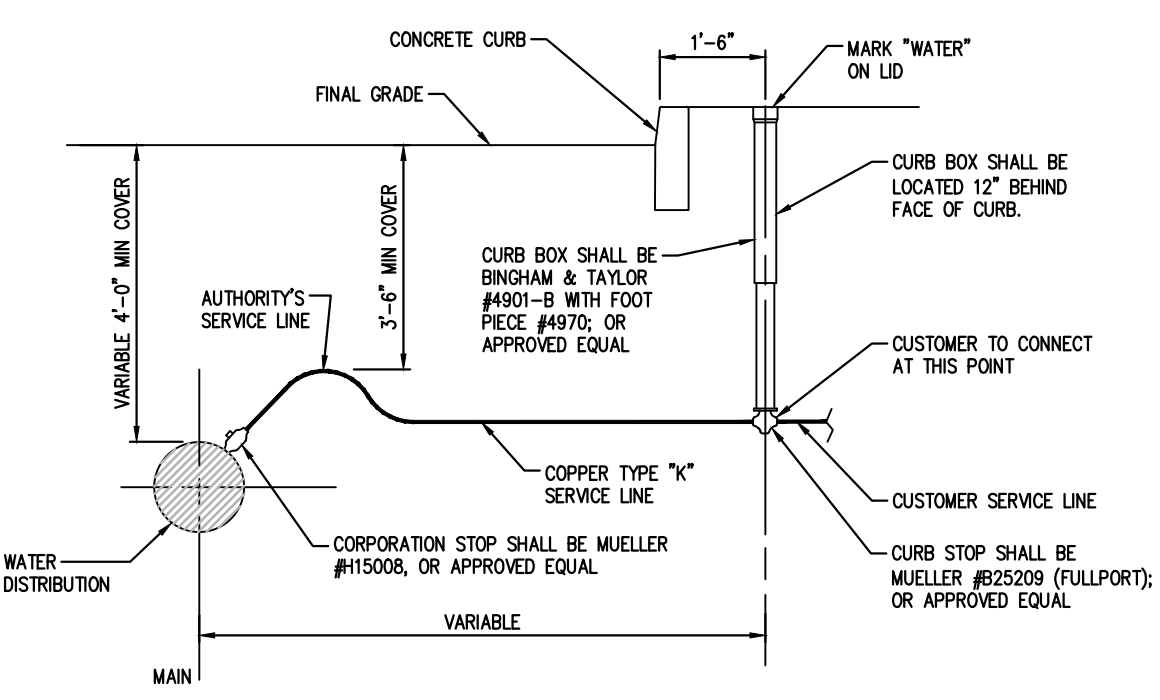
Lateral Clean-out

NOT TO SCALE



Typical Sanitary Sewer Lateral Connection

NOT TO SCALE

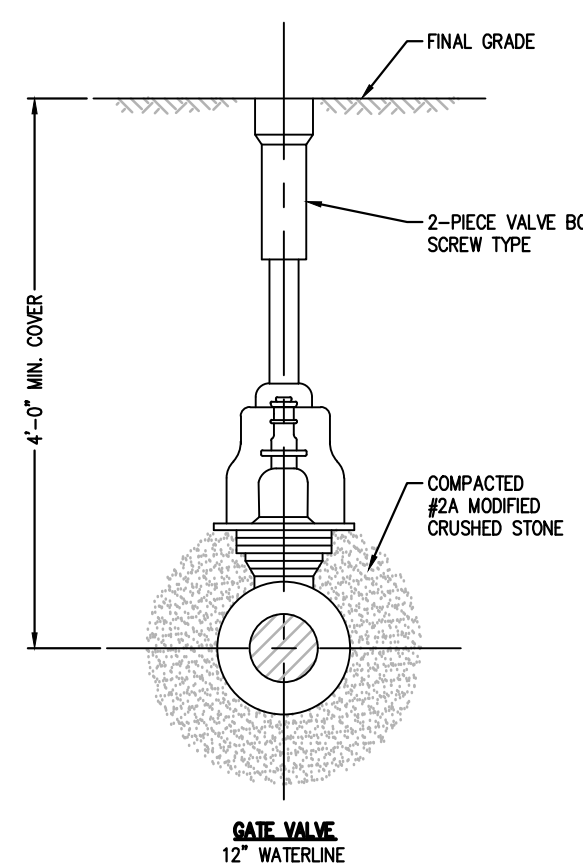


Notes:

- ALL PIPE MUST BE BEDDED IN A MIN. 4" LAYER OF SAND OR SCREENINGS AND SHALL BE BACK FILLED WITH THE SAME MATERIAL IN MAX. 6" LAYERS COMPACTED. EACH LAYER SHALL BE HAND TAMPED UNTIL 1" OF COVER EXISTS OVER THE PIPE.
- PIPES AROUND WIRES AND ALL PLUGS, CAPS, HYDRANTS, TEES, CROSSES, VALVES, ETC., SHALL BE BLOCKED WITH CONCRETE TO TAKE THE REACTION AND OR THRUST.

Water Lateral Small Service Connection

NOT TO SCALE

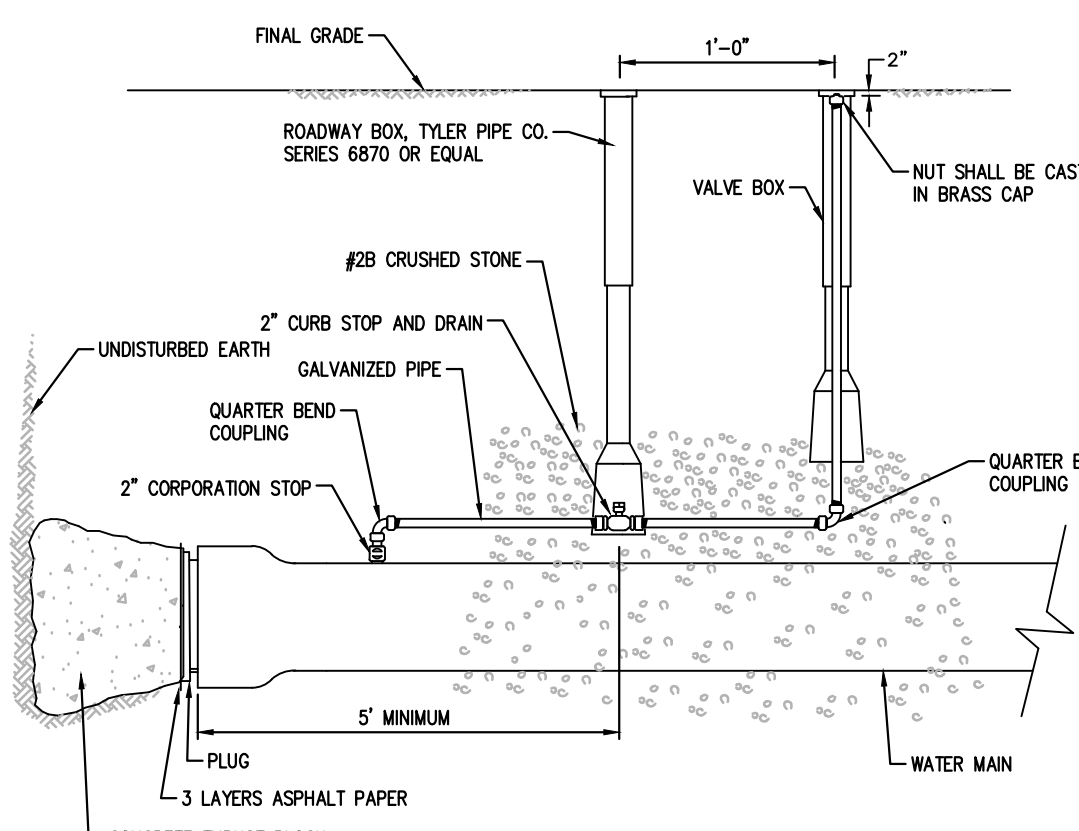


Gate Valve Detail

NOT TO SCALE

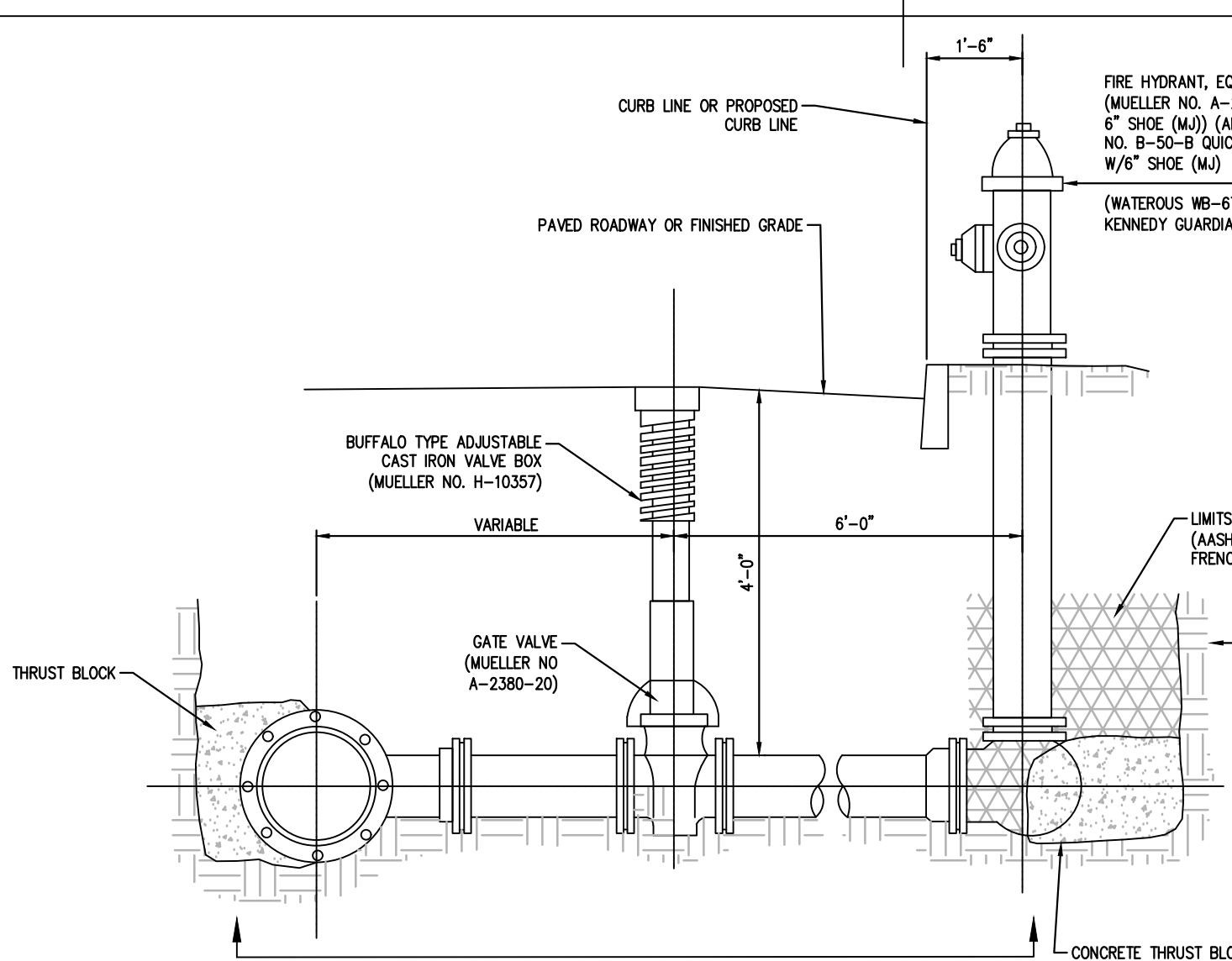
NOTE:

- RETAINER GLANDS REQUIRED ON ALL MECHANICAL JOINT FITTINGS
- ROD DIAMETER SHALL BE EQUAL TO THAT OF THE GLAND BOLTS. RODS SHALL BE GIVEN ONE COAT OF BITUMASTIC PAINT.



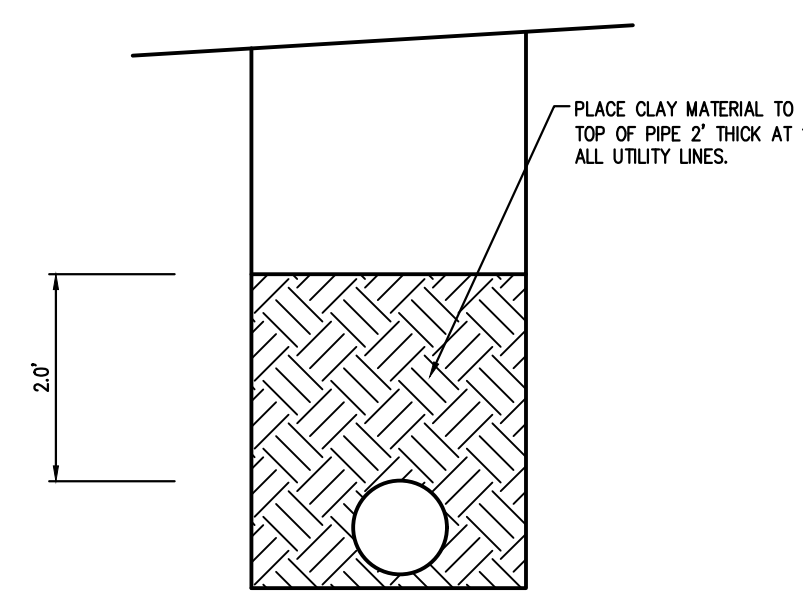
2" Surface Blowoff

NOT TO SCALE



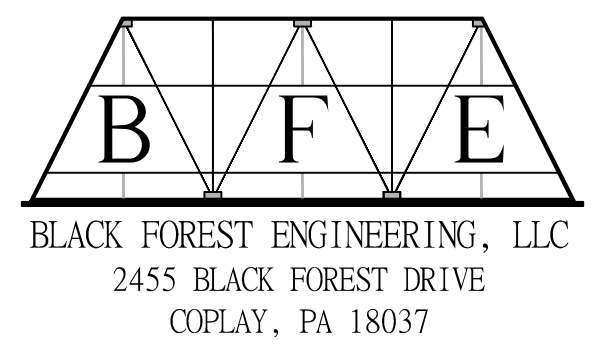
Typical Fire Hydrant Detail

NOT TO SCALE



Typical Trench Plug

NOT TO SCALE



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2455 BLACK FOREST DRIVE
COPLAY, PA 18037

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SEAL:

JOSEPH E. RENTKO, P.E. #PE085609
2455 BLACK FOREST DRIVE
COPLAY, PA 18037
370-239-4499

1 ADDRESS CITY COMMENTS JER 12/24/22

REV: DESCRIPTION: BY DATE

PROJECT TITLE:
2897 EASTON AVENUE LAND DEVELOPMENT

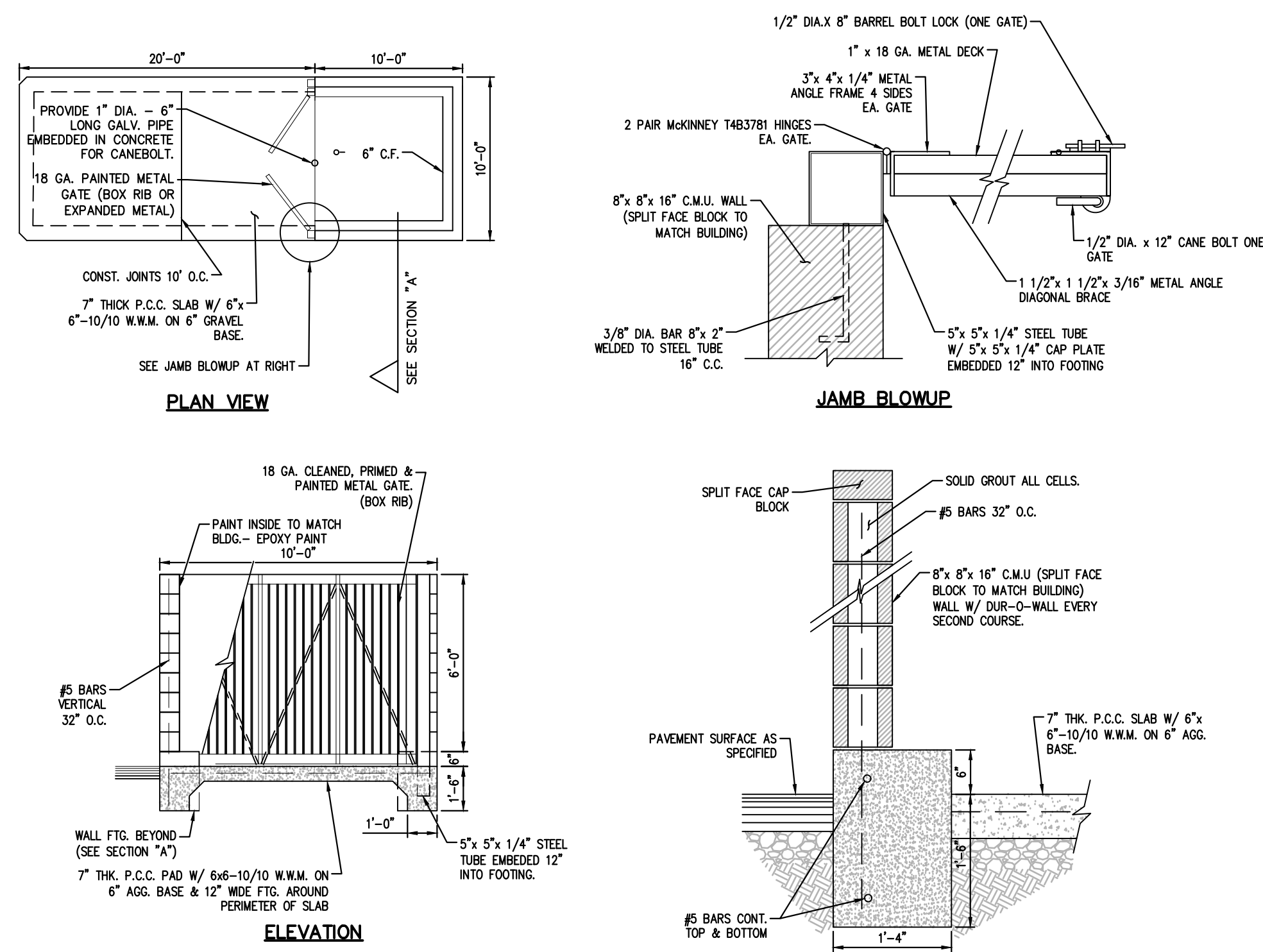
PROJECT OWNER:
JAKE VIDA MANAGEMENT CORP OF PA
60 DAVINCI DR
BOHEMIA, NY 11716

PROJECT LOCATION:
CITY OF BETHLEHEM
WARD 14, BLOCK 5
NORTHAMPTON COUNTY
PENNSYLVANIA

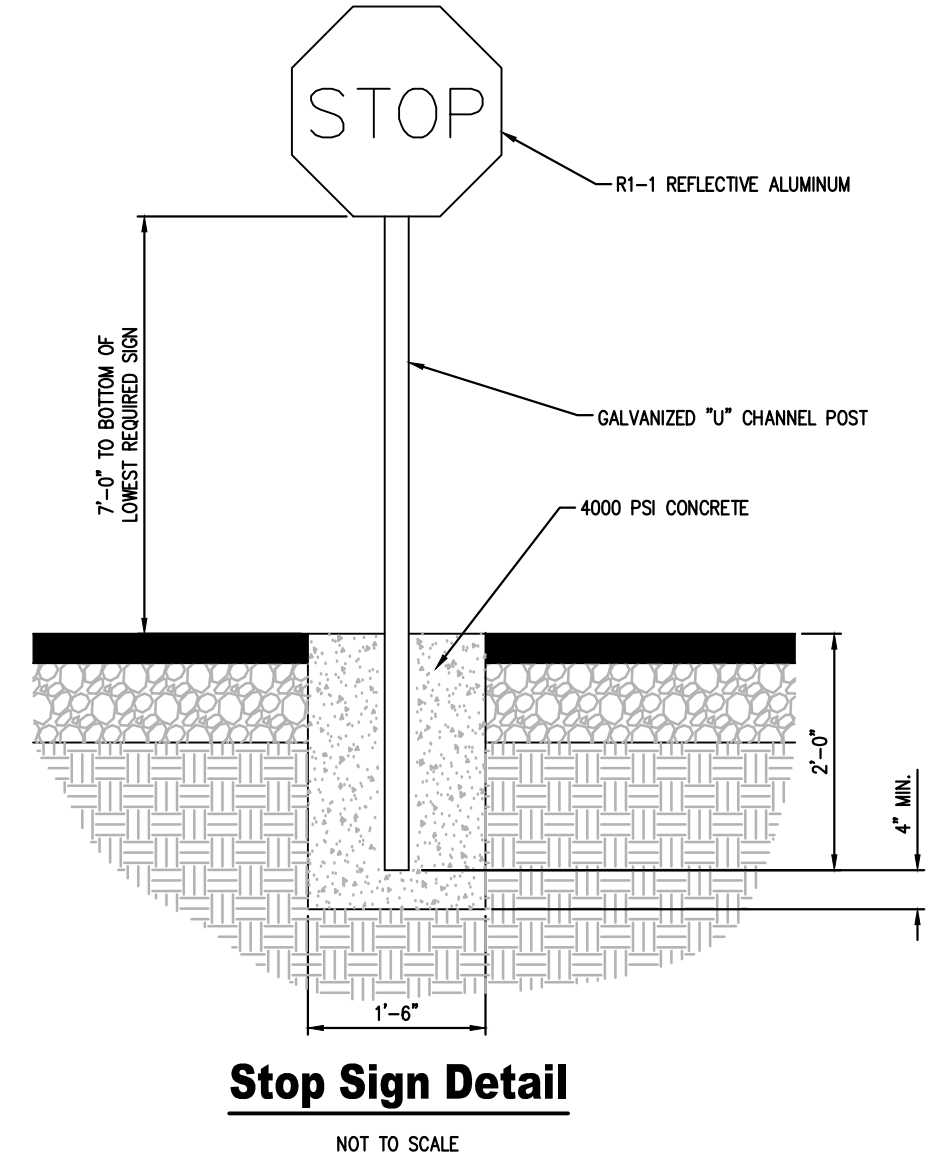
CONSTRUCTION DETAILS

SCALE: DATE: 10/12/22 DRAWN: JER CHECKED: JER

PROJECT NO. 2251 DRAWING NO. 7 OF 8 REVISION: 00



10'x10' TRASH ENCLOSURE DETAIL
NOT TO SCALE

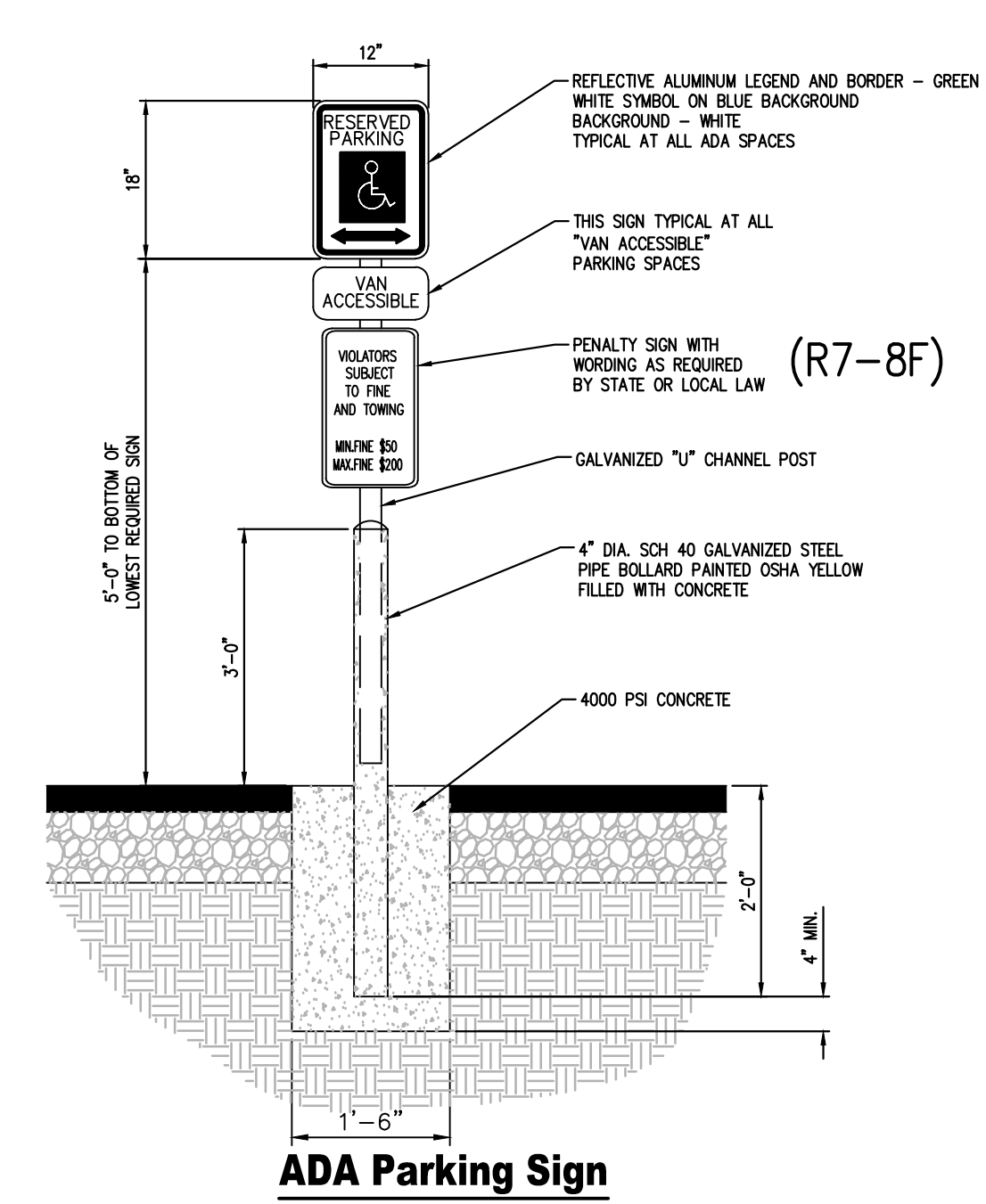


Stop Sign Detail
NOT TO SCALE

SIGN SIZE	DIMENSIONS				SERIES	BOR-RES	BOR-BLANK STD.
	A	B	C	D			
24x24	30	10	12.5	C	3/4	BI-30	

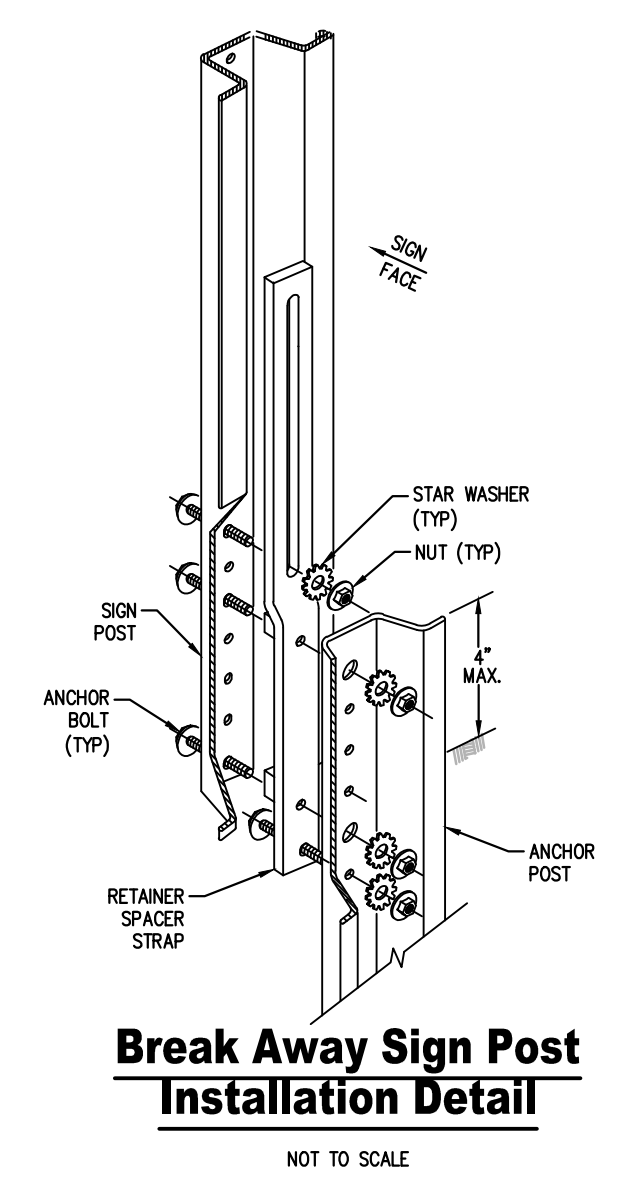
SIGNAGE			
SERIES	MESSAGE	SIZE	QTY.
R1-1	STOP SIGN	30x30	7

(HIGH INTENSITY SIGNS REQUIRED)



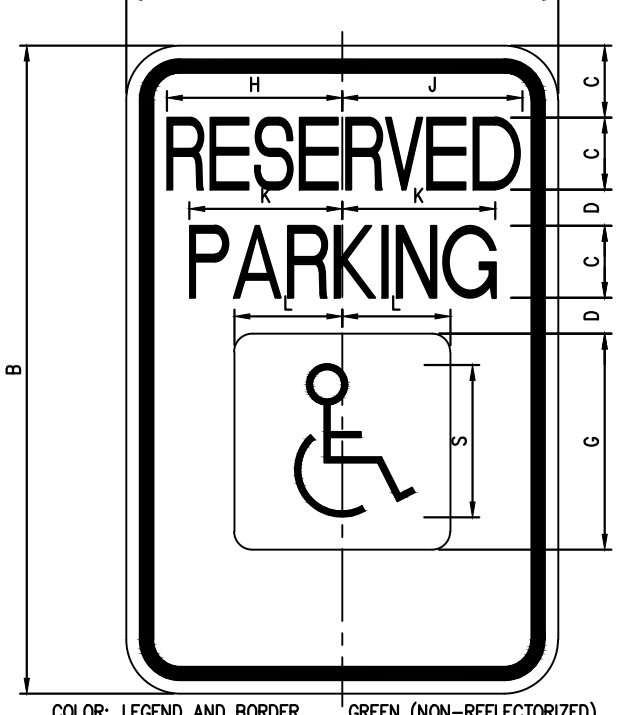
ADA Parking Sign
NOT TO SCALE

NOTE: ONE AT EACH ADA SPACE. WHERE ADA SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES.



Break Away Sign Post Installation Detail
NOT TO SCALE

SIGN SIZE	DIMENSIONS											
	A	B	C	D	E	F	G	H	J	K	L	M
12x18	12	18	2	1	1-1/2	2-1/4	6	4-1/4	5	4-1/4	3	1/2



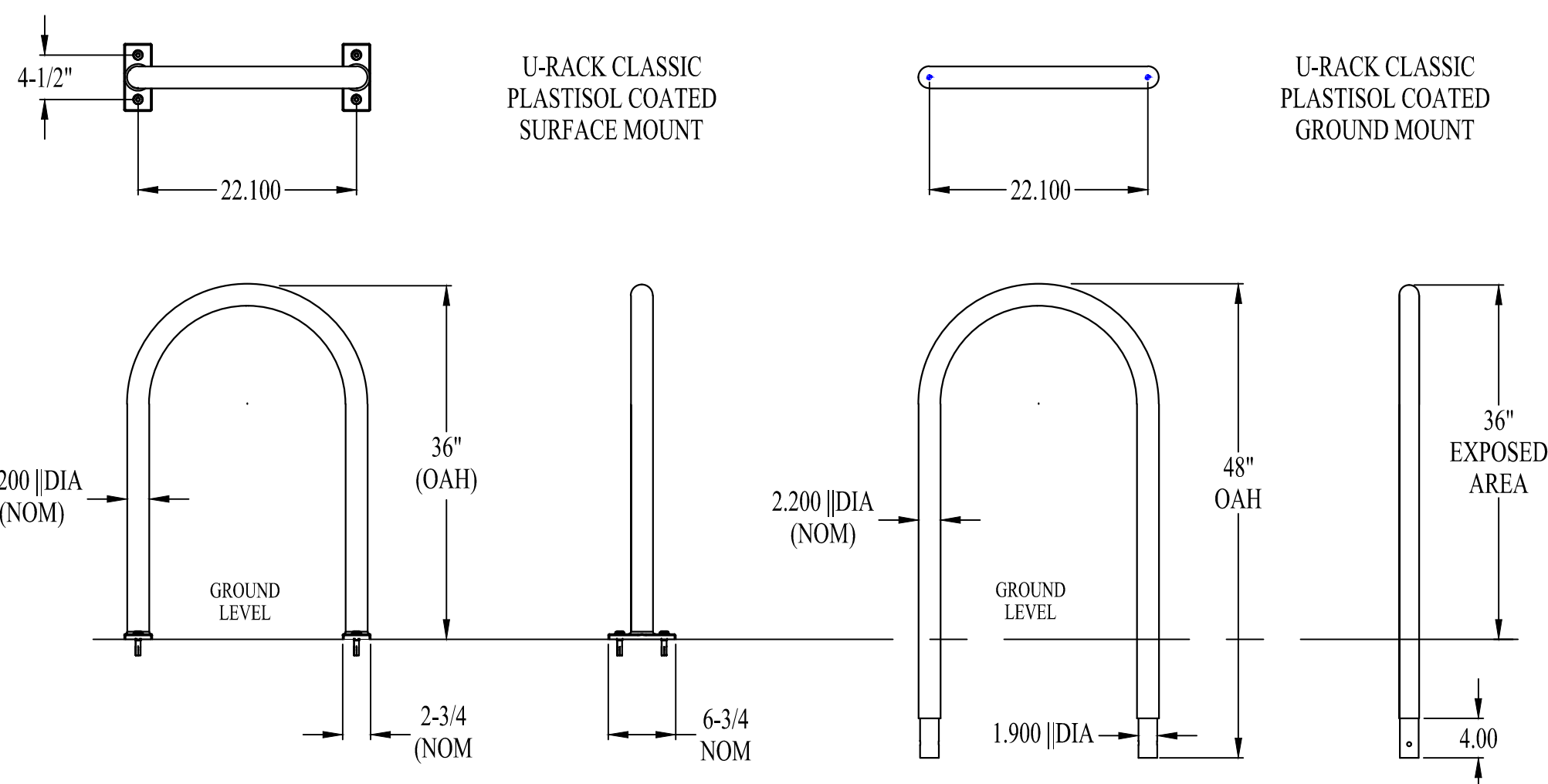
"Reserved Parking" Sign PennDOT R7-8
NOT TO SCALE

SIGN SCHEDULE				
SYMBOL	LEGEND	QTY.	BLANK SIZE	PENNDOT #
S-1	STOP	0	24 X 24	R1-1
S-2	RESERVED PARKING WITH PARKING FINE PLAQUE	1	12 X 18 12 X 18	R7-8 R7-8B
S-3	SAME AS S-2 WITH VAN ACCESSIBLE PLAQUE AND PARKING FINE PLAQUE	3	12 X 18 12 X 6 12 X 18	R7-8 R7-8A R7-8B
S-4	DO NOT ENTER	1	30 X 30	R5-1A

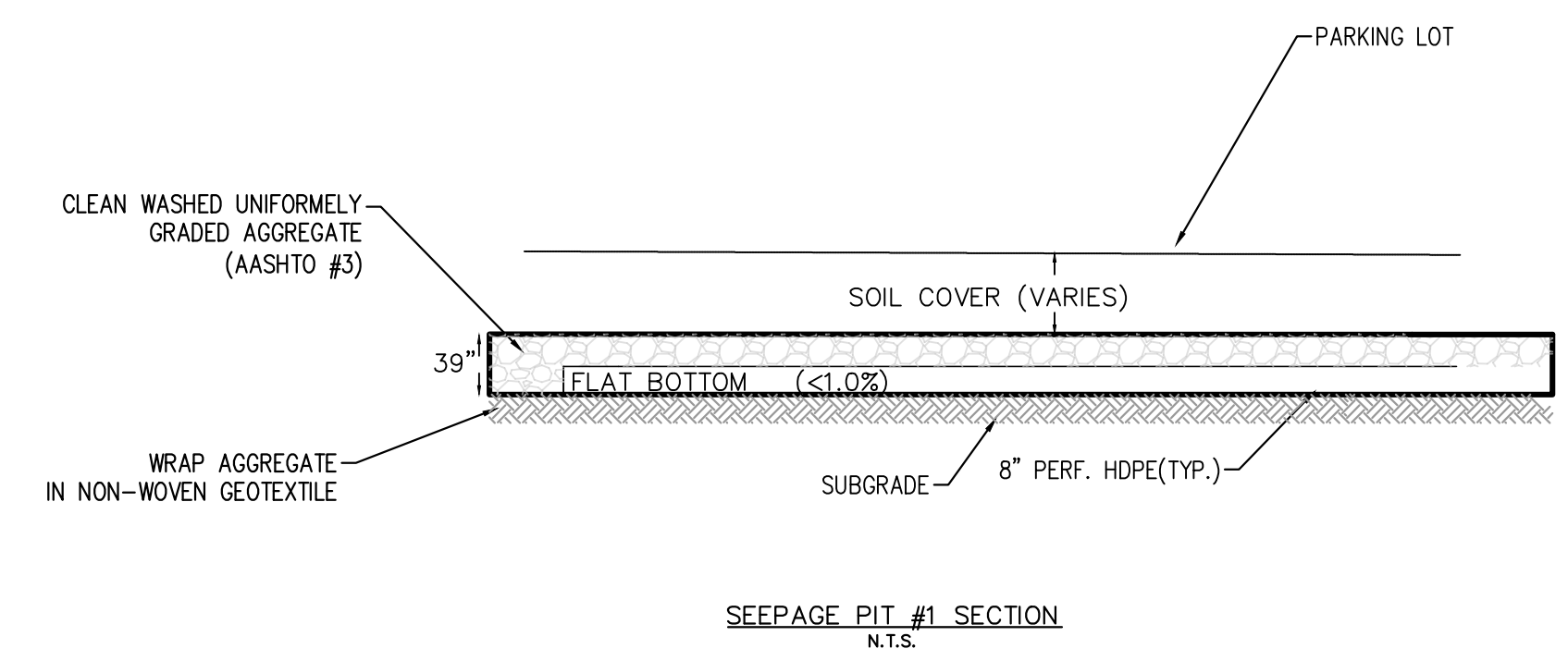
- MOUNT ALL SIGNS ON PENNDOT STD. 2.25 LB. BREAKAWAY CHANNEL BAR POSTS, UNLESS NOTED OTHERWISE.
- MARK ALL PARKING SPACES WITH 4" WIDE SOLID WHITE LINES.



12"x18" R7-8B ADA Parking Signs
NOT TO SCALE

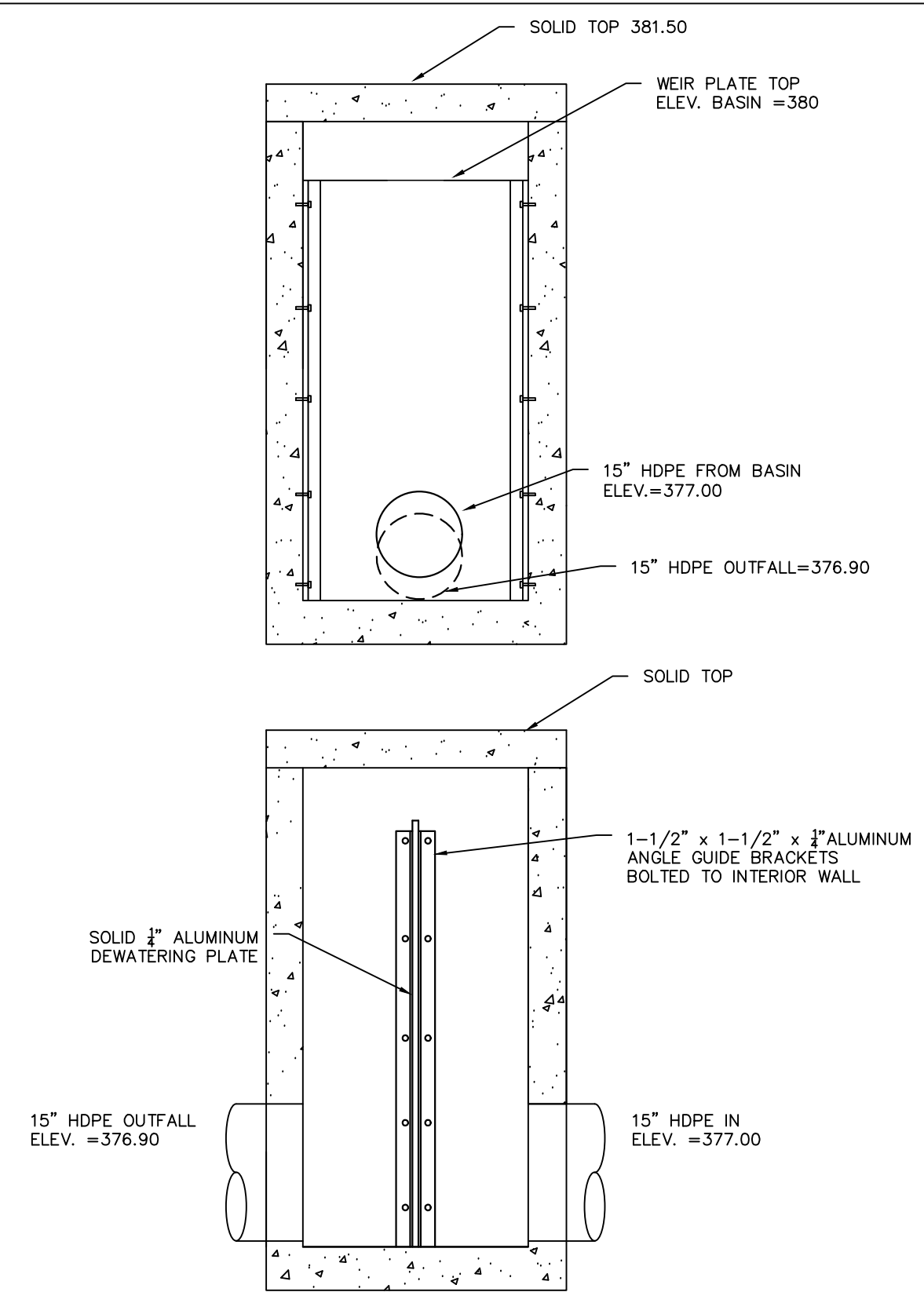


Bicycle Rack
NOT TO SCALE

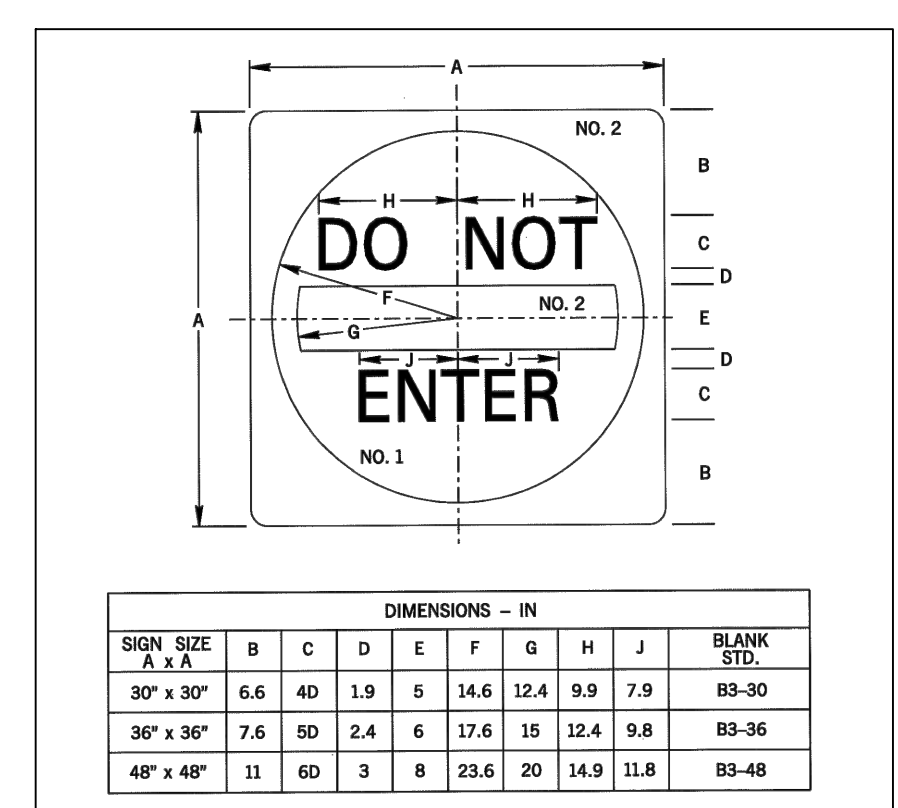


SEEPAGE PIT #1 SECTION N.T.S.

BMP #	SEEPAGE PIT ID	BED SLOPE %	VOLUME (CF)	BOTTOM OF STONE	TOP OF STONE
1	BMP 1	0	17030	377	380.25



BASIN OUTLET STRUCTURE
N.T.S.



30"x30" Do Not Enter Sign
NOT TO SCALE

SIGN SIZE	DIMENSIONS - IN								BLANK STD.
	B	C	D	E	F	G	H	J	
30" x 30"	6.6	4.0	1.9	5	14.6	12.4	9.9	7.9	BS-30
36" x 36"	7.6	5.0	2.4	6	17.6	15	12.4	9.8	BS-36
48" x 48"	11	6.0	3	8	23.6	20	14.9	11.8	BS-48

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2455 BLACK FOREST DRIVE
COPLAY, PA 18037

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PROJECT TITLE:			
2897 EASTON AVENUE LAND DEVELOPMENT			
PROJECT OWNER: JAKE VIDA MANAGEMENT CORP OF PA 60 DAVINCI DR BOHEMIA, NY 11716			
PROJECT LOCATION: CITY OF BETHLEHEM WARD 14, BLOCK 5 NORTHAMPTON COUNTY PENNSYLVANIA			
PLAN TITLE: CONSTRUCTION DETAILS			
SCALE:	DATE:	DRAWN:	CHECKED:
AS NOTED	10/12/22	JER	JER
PROJECT NO.	DRAWING NO.	REVISION:	
2251	8 OF 8	00	

NO.	ADDRESS	CITY	COMMENTS	BY	DATE
1				JER	12/24/22

NO.	ADDRESS	CITY	COMMENTS	BY	DATE
1				JER	12/24/22

NO.	ADDRESS	CITY	COMMENTS	BY	DATE
1				JER	12/24/22