



Bethlehem Parking Authority 33 Walnut Street Parking Garage Replacement

December 6, 2023 HARB Meeting

INTRODUCTION – PROJECT VISION

From an eyesore...



... our downtown has an opportunity



Correct the mistakes of the past

Improve the aesthetic appeal of the block

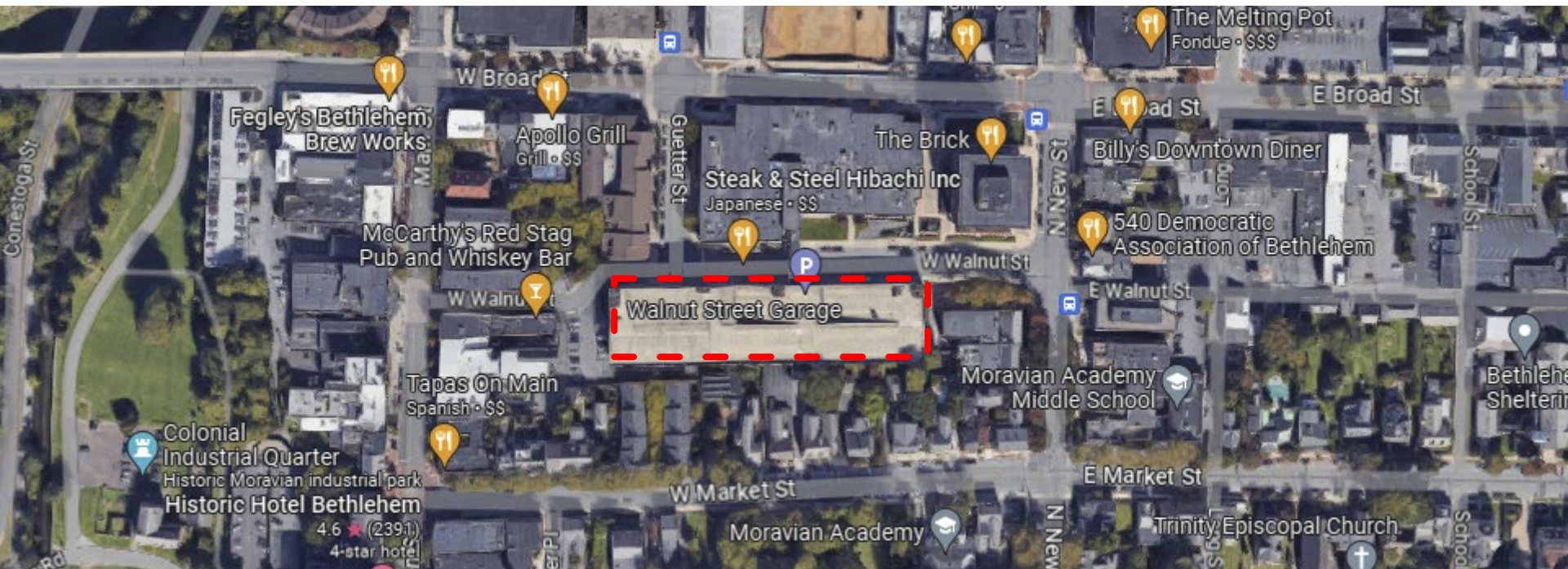
- Honoring and enhancing historic district

Maximize public benefit with smart planning and design

- Multiple uses--parking, retail, and residences
- Building a parking garage portion that meets needs without overbuilding and killing space
- Designing space for retail to activate street level, enrich visitor and local experience, and support further economic vitality of the historic downtown district
- Adding residential units in the core of the historic downtown district, meeting market demand, and supporting local businesses with more daily customers

INTRODUCTION – PROJECT OVERVIEW

- Demolition of existing parking structure located at 33 West Walnut Street, Bethlehem, PA
- Construction of proposed parking facility which will include core/shell design for approximately 3,000 sf of retail space at ground tier
- West side of site - future development
- Zoning District: CB Central Business District, Downtown Bethlehem Historic District



PRELIMINARY ELEVATION CONCEPT - NORTH

PRECAST THIN BRICK

ORNAMENTAL SCREENING

VERTICAL STANDING SEAM

CURTAIN WALL



7

6

5

4

3

2

1



PRELIMINARY ELEVATION CONCEPT - EAST

PRECAST WITH REVEALS



PRECAST THIN BRICK



STAIN PRECAST CONCRETE
(to make artificial openings)



PRELIMINARY ELEVATION CONCEPT - SOUTH

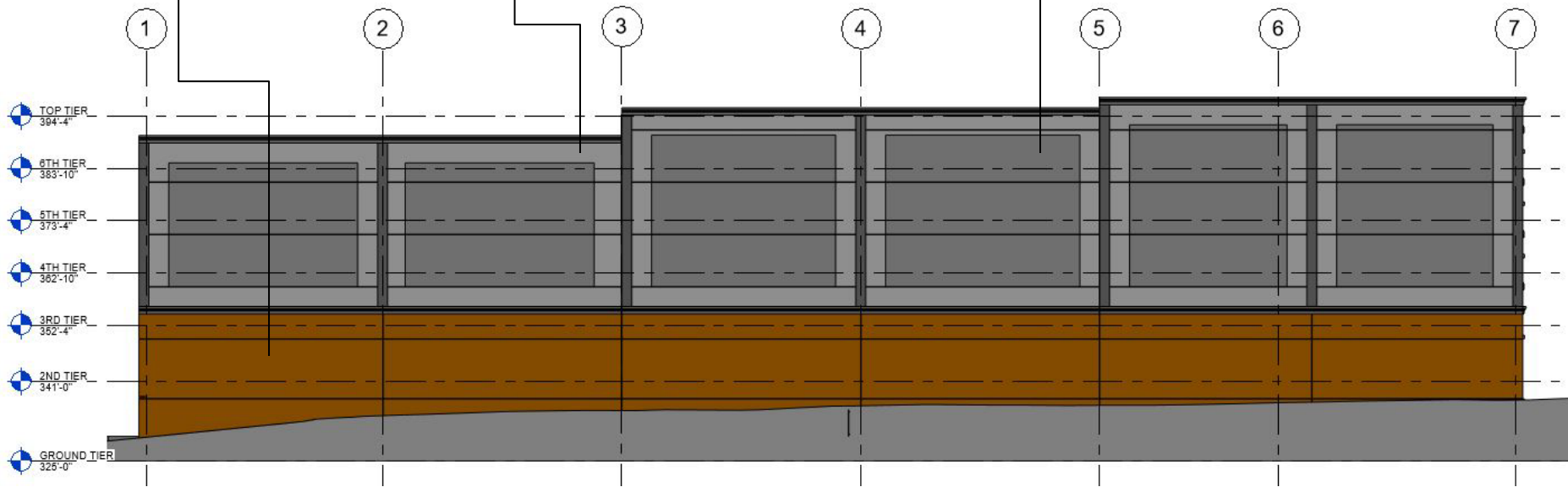
PRECAST THIN BRICK



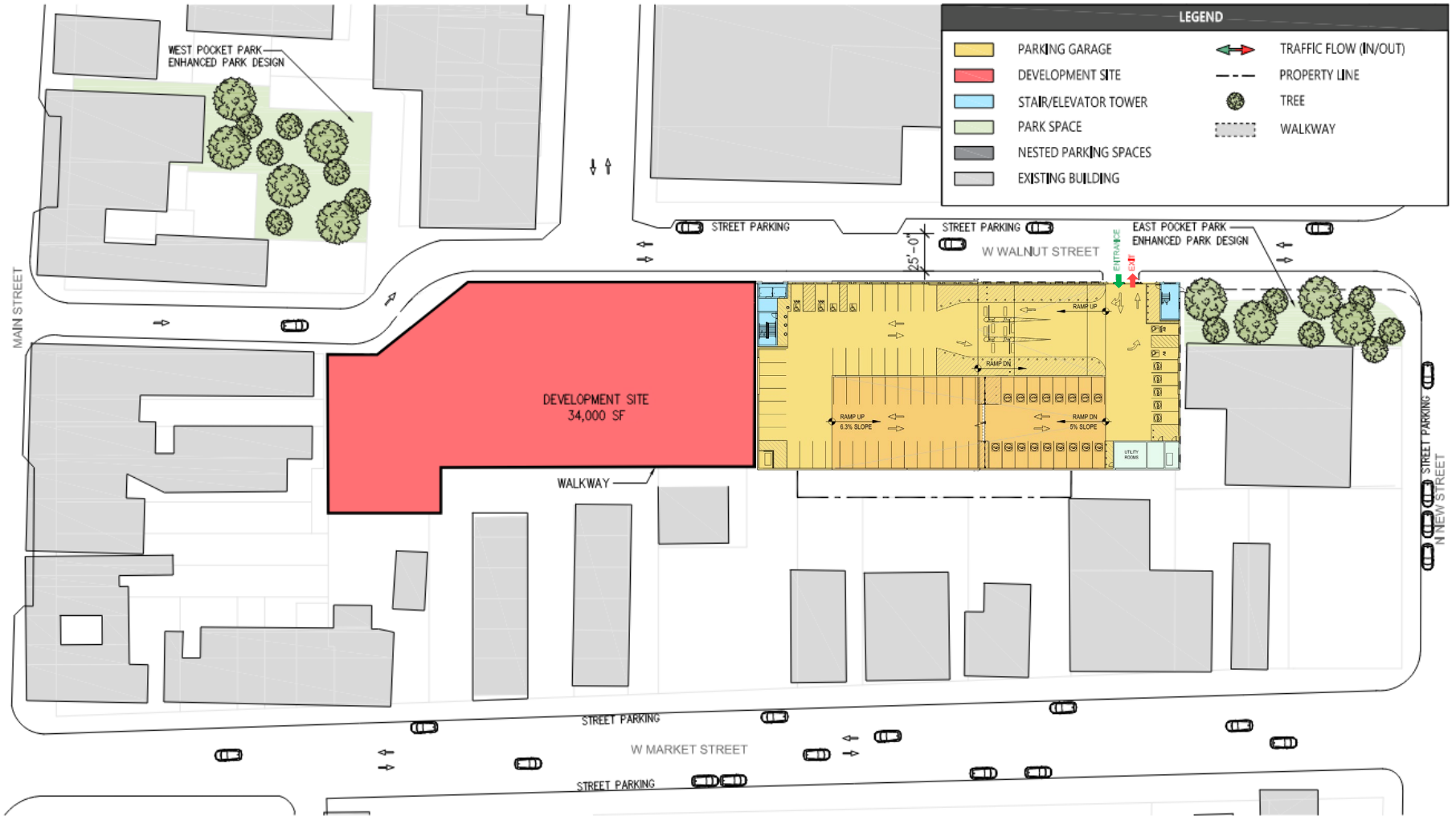
PRECAST WITH REVEALS



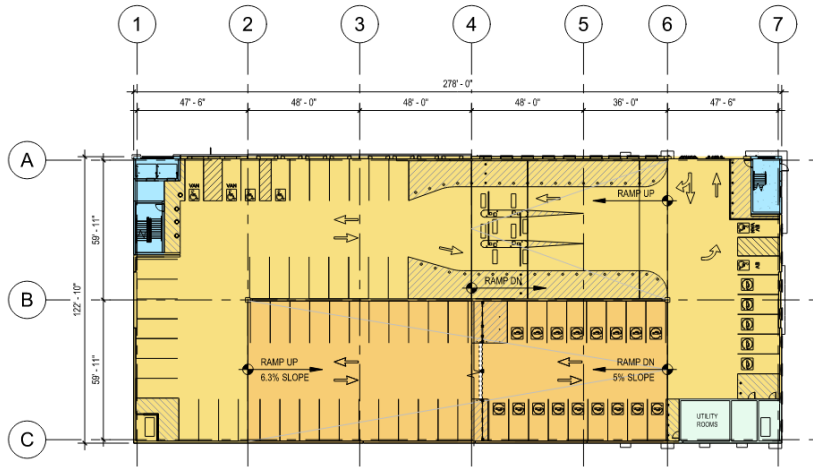
PRECAST WITH FORM LINERS



SITE PLAN: GARAGE AND PROPOSED DEVELOPMENT

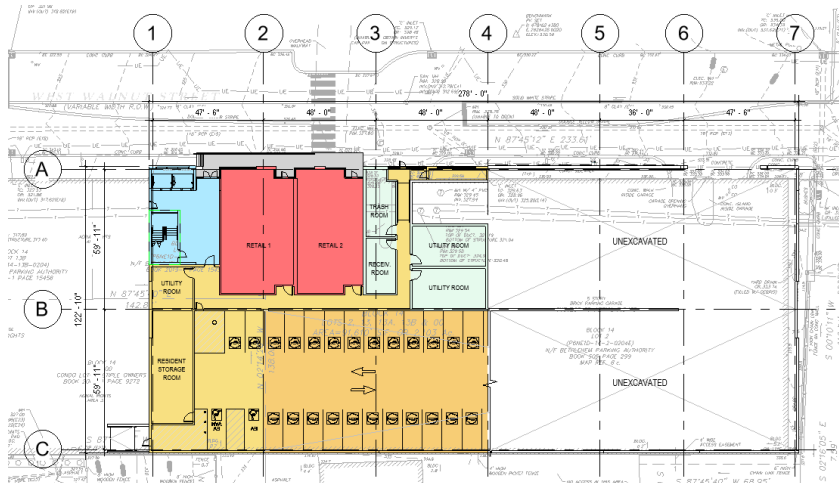


GROUND & SECOND TIER PLANS



SECOND TIER PLAN

PARKING SPACE TABULATION					
LEVEL	STANDARD	E.V.	ACCESSIBLE	VAN ACCESSIBLE	TOTAL
Top	32	0	0	0	32
6th	111	0	2	0	113
5th	111	0	2	0	113
4th	111	0	2	0	113
3rd	111	0	2	0	113
2nd	47	24	2	2	75
Ground	0	26	0	0	26
TOTAL	523	50	10	2	585

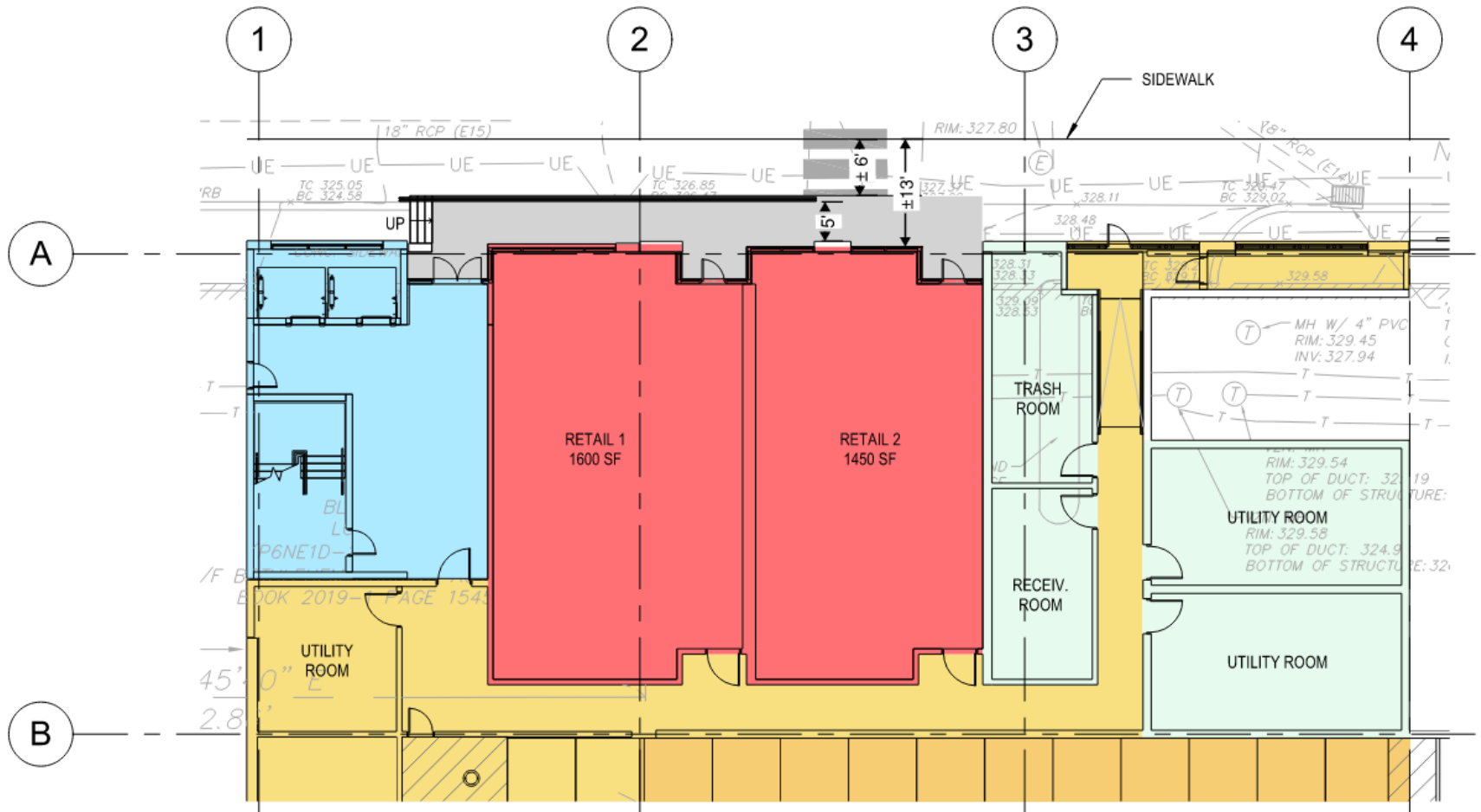


GROUND TIER PLAN

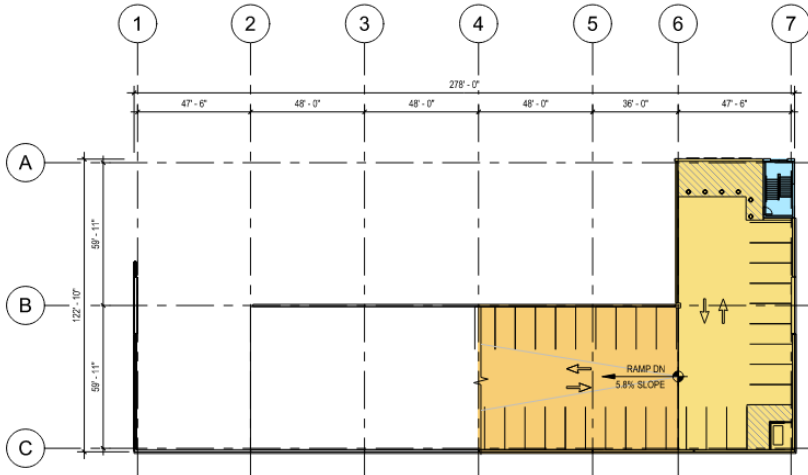
GARAGE PARAMETERS

- 278'-10" L. X 122'-10" W. GARAGE FOOTPRINT
- 90" PARKING SPACES, 8'-6" X 18'-0" STALLS

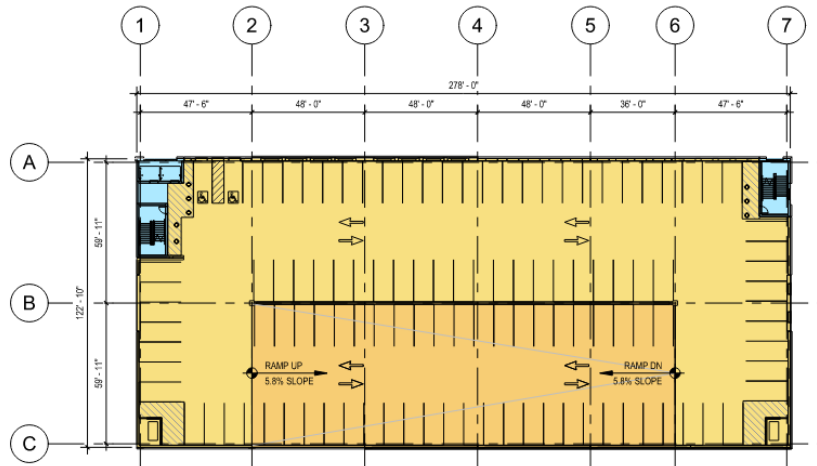
ENLARGED RETAIL PLAN



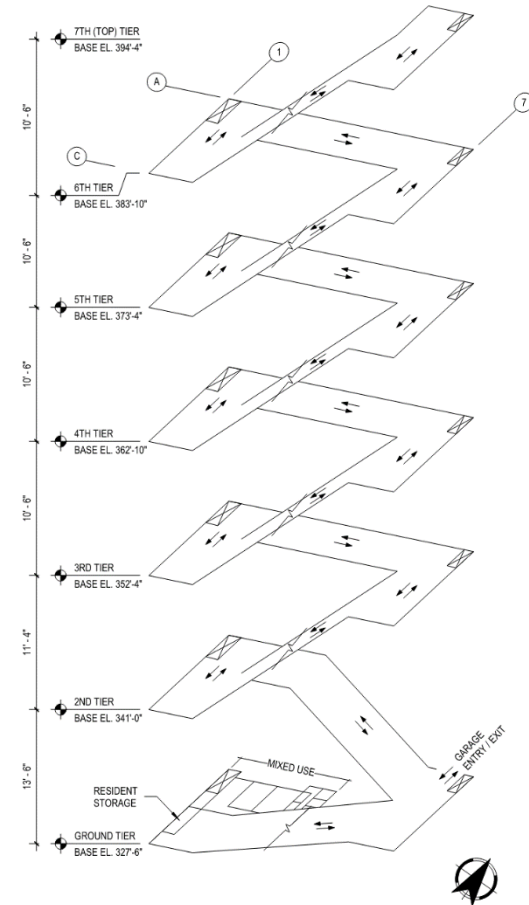
TYPICAL & TOP TIER PLANS



TOP TIER PLAN



TYPICAL TIER PLAN



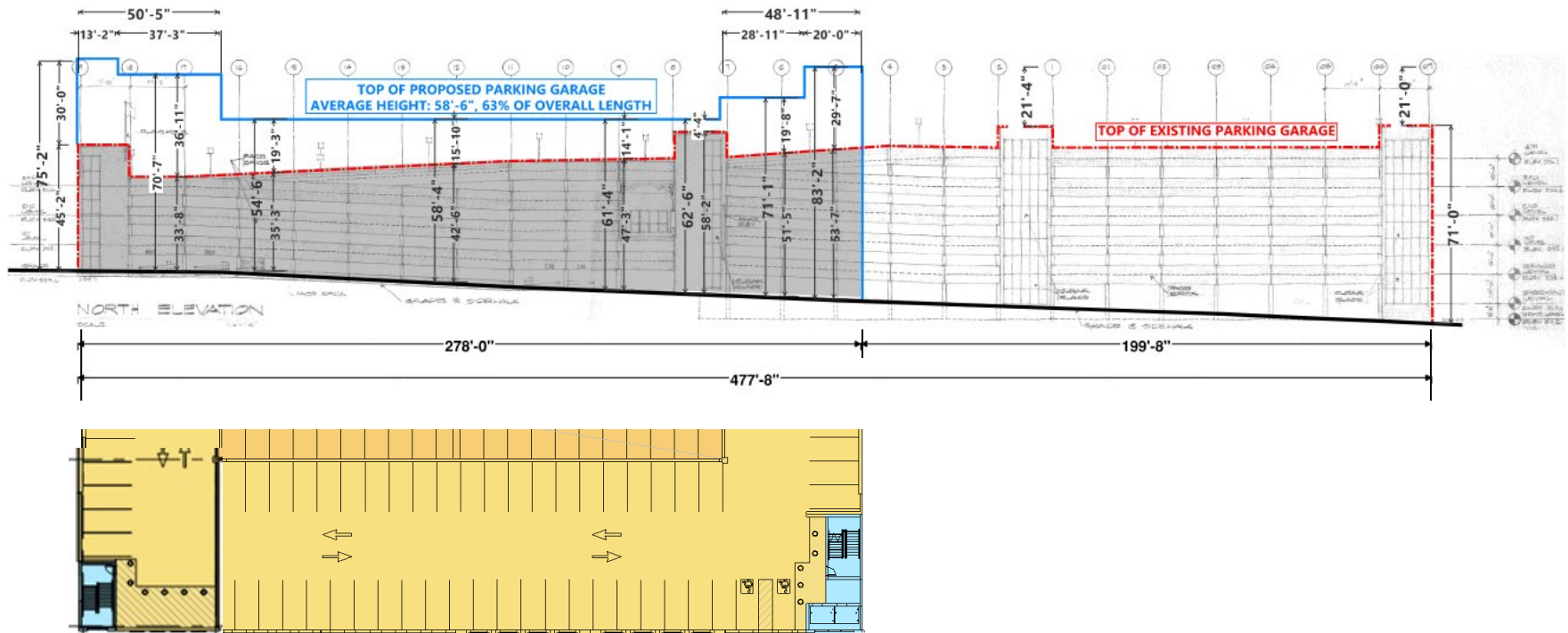
COMPARATIVE MASSING – PROPOSED vs EXISTING GARAGE



COMPARATIVE HEIGHT OF STRUCTURE – PROPOSED vs EXISTING GARAGE

North Elevation Overlay – Commercial Side Along Walnut St

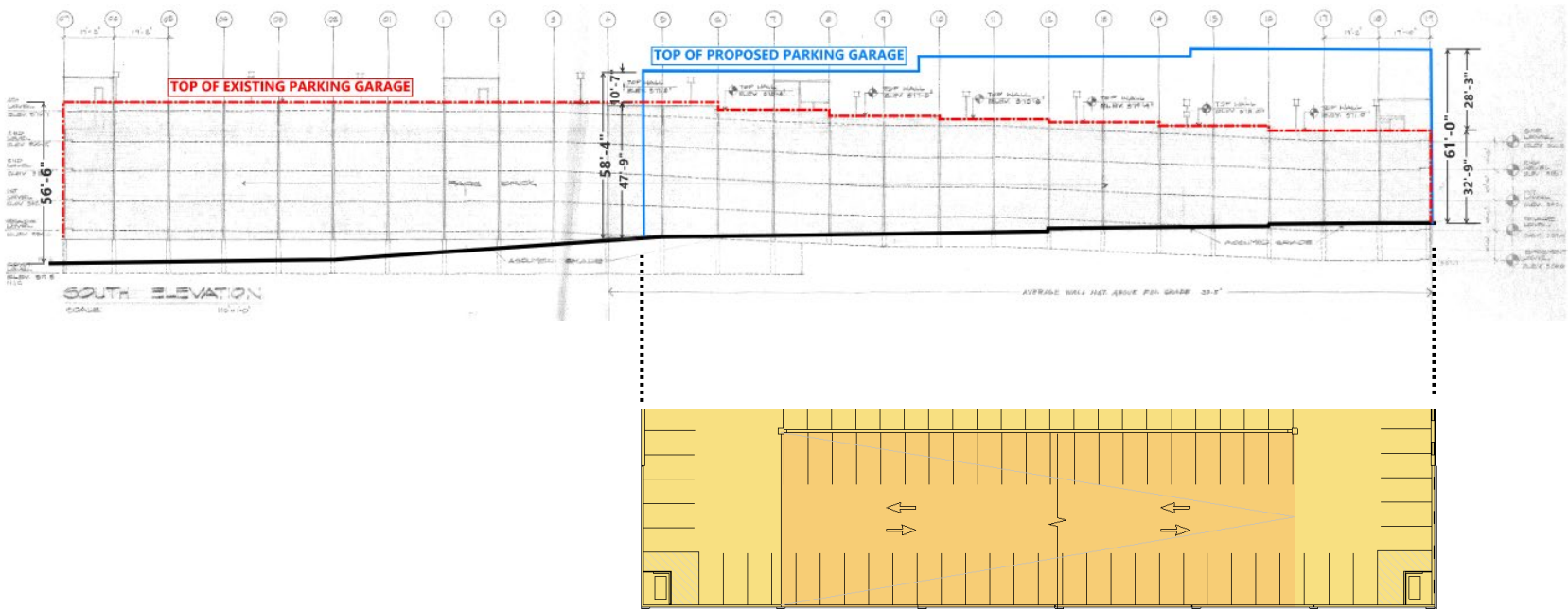
- Refer to elevation diagram below for overall heights, and height differentials
- Calculated "Height of Structure" Along Walnut Street: 64 feet



COMPARATIVE HEIGHT OF STRUCTURE – PROPOSED vs EXISTING GARAGE

South Elevation Overlay – Bordering Residential Zone

- Refer to elevation diagram below for overall heights, and height differentials
- Calculated "Height of Structure" Along South Elevation: 59.67 feet



SURROUNDING CONTEXT



Intersection of Main Street and Market Street



Intersection of Main Street and Market Street



Intersection of Main Street and Market Street



Intersection of Main Street and Market Street

SURROUNDING CONTEXT



- Storefronts have large sheets of glass, and the systems are primarily composed of glass and decorative metalwork
- Storefronts are often recessed within an alcove, especially at the Entrance Door



- The Storefront Cornice provides an “eyebrow” at the ground floor to maintain pedestrian scale
- Above the Display Windows, the Storefront system typically has a Transom Window with a Signage Marquee or Awning

SURROUNDING CONTEXT

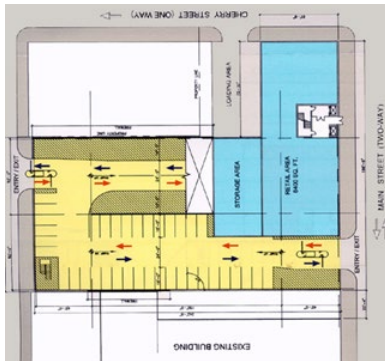


- Upper Floors are primarily solid, more “simple”/less textured, with punched openings
- Brick or stone is primary building material for Upper Floors, while the Ground floor “base” may have a slightly more textured material

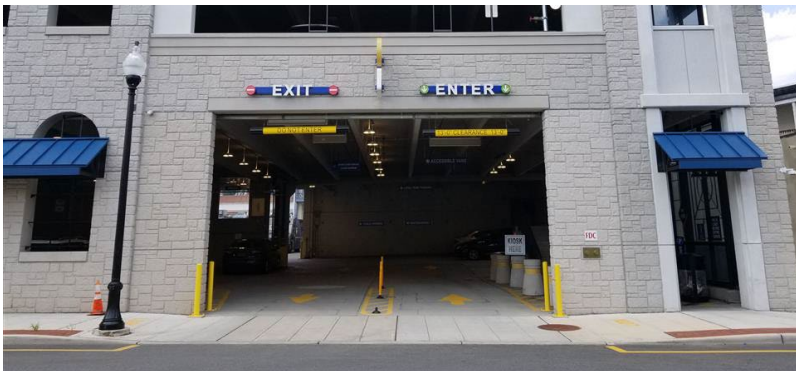


- Ornamental Building Cornices: Projected moldings / decorative roofline providing a visual cap
- Cascading floor level and roofline due to grade changes

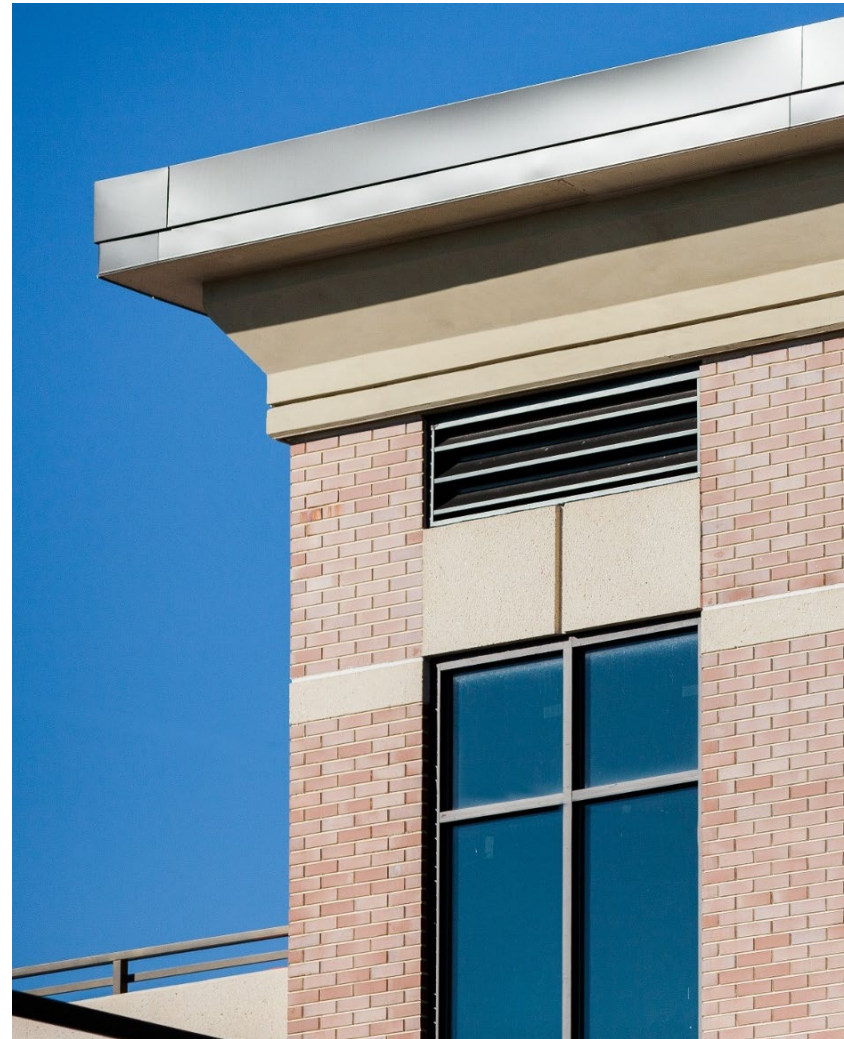
BUILDING MATERIALS - THA PARKING STRUCTURES



BUILDING MATERIALS - THA PARKING STRUCTURES



BUILDING MATERIALS - THA PARKING STRUCTURES



BUILDING MATERIALS – GARDEN WALL



EXISTING GARAGE



EXISTING GARAGE



PRELIMINARY GARAGE RENDERING / MASSING MODEL



PRELIMINARY ELEVATION CONCEPT - NORTH



PRELIMINARY ELEVATION CONCEPT - NORTH



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PRELIMINARY ELEVATION CONCEPT - NORTH



PRELIMINARY ELEVATION CONCEPT - NORTH



PRELIMINARY ELEVATION CONCEPT - NORTH



PRELIMINARY ELEVATION CONCEPT - SOUTH



PRELIMINARY ELEVATION CONCEPT - SOUTH



PRELIMINARY ELEVATION CONCEPT - NORTH



Thank you!!