

# MAJESTIC BETHLEHEM CENTER-LOT 4C

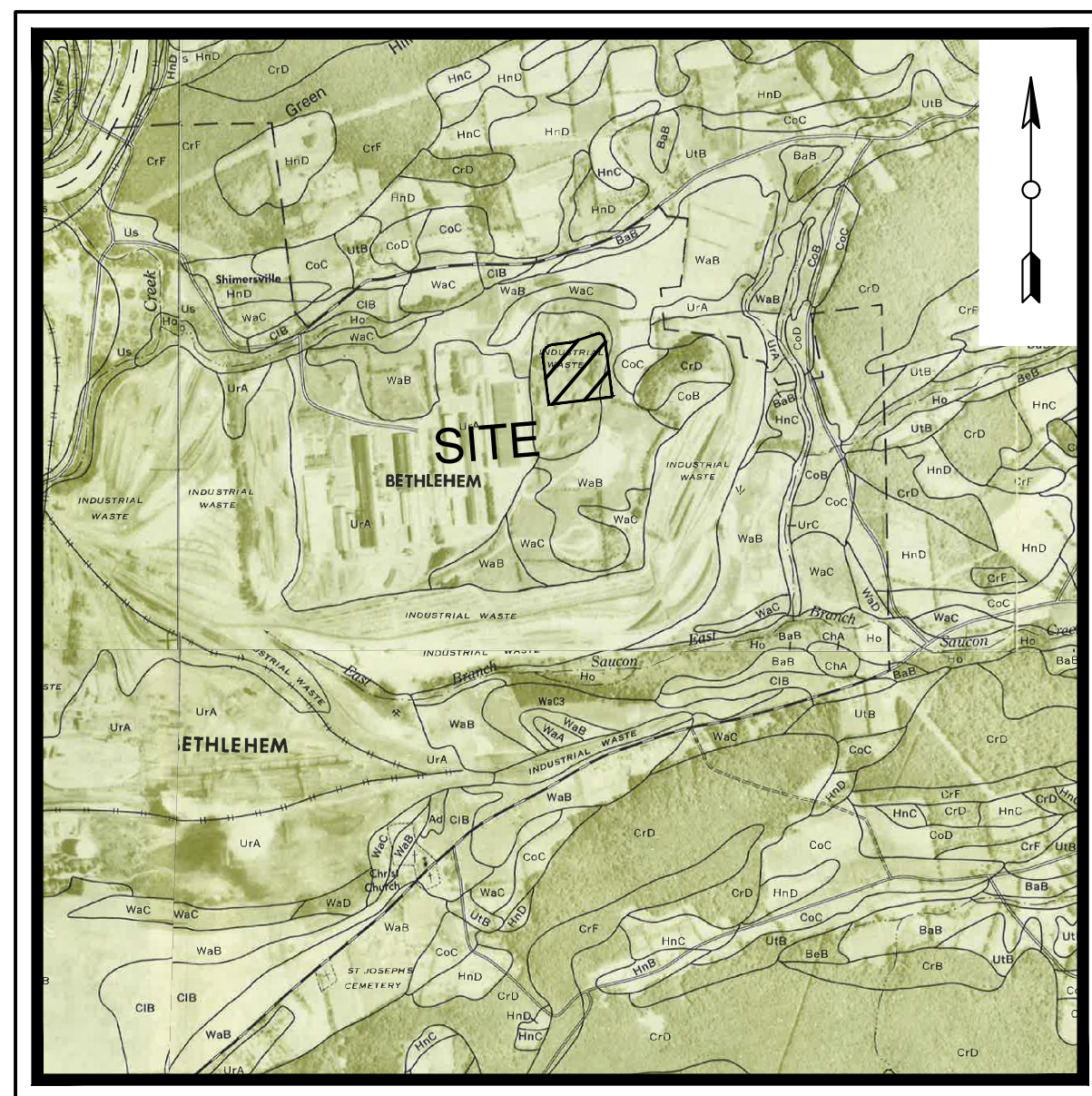
CITY OF BETHLEHEM, NORTHAMPTON COUNTRY, PENNSYLVANIA

## PRELIMINARY/FINAL LAND DEVELOPMENT PLANS

PREPARED FOR:  
OWNER/DEVELOPER

**MAJESTIC REALTY CO.**

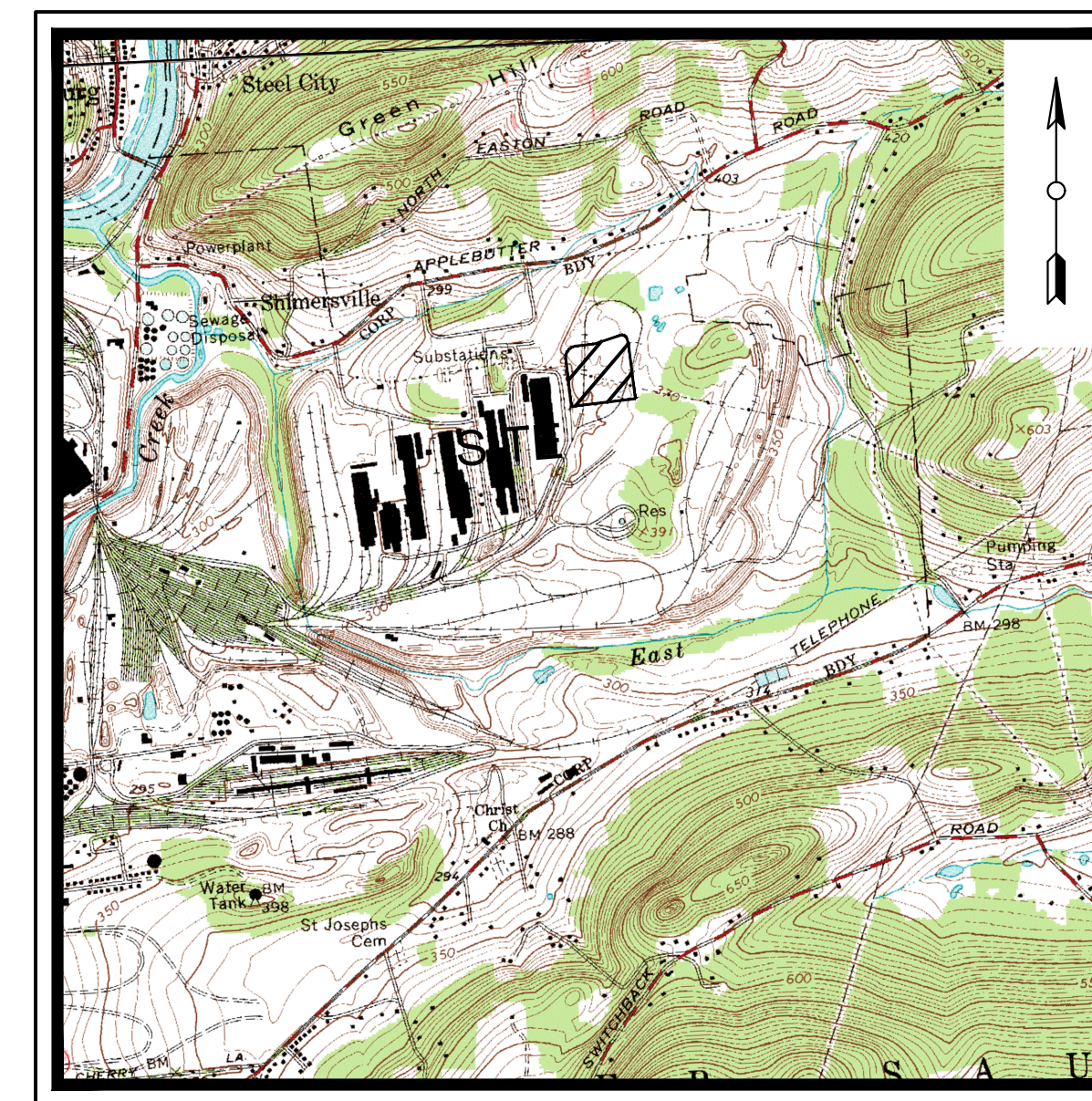
13191 CROSSROADS PARKWAY NORTH, 6TH FLOOR  
CITY OF INDUSTRY, CA 91746



**SOILS MAP**  
Scale: 1" = 2000'



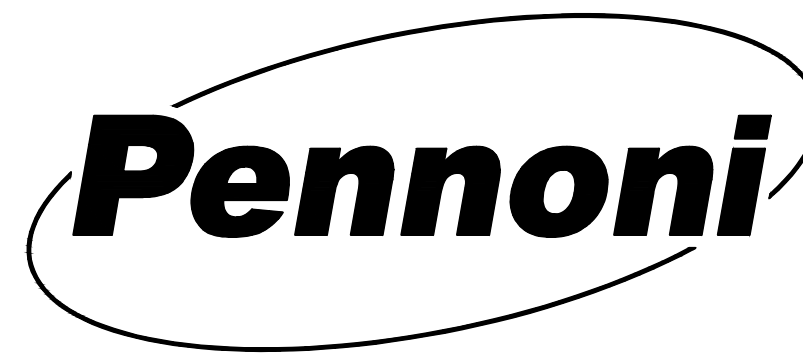
**LOCATION MAP**  
Scale: 1" = 2000'



**USGS MAP**  
Scale: 1" = 2000'

PREPARED BY:

**PENNONI ASSOCIATES INC.**



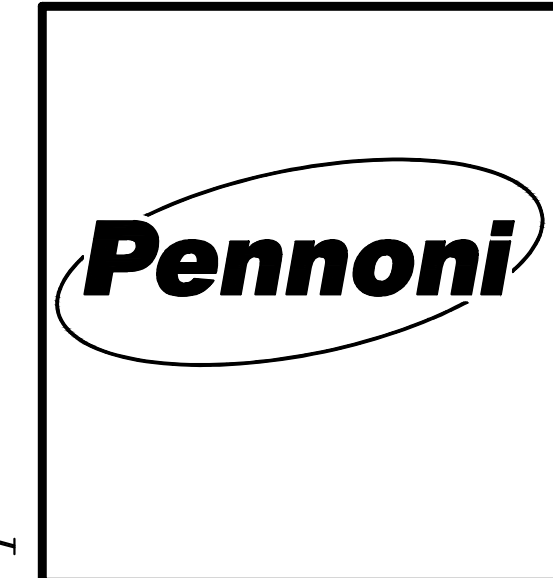
81 Highland Avenue, Suite 230  
Bethlehem, PA 18017  
T 610.231.0600  
F 610.231.2033

CIVIL SITE DRAWINGS				
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CS9802	20 OF 20	FIRE TRUCK MOVEMENT PLAN	10/3/2022	



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NO.	DATE	REVISIONS	BY
1	11/17/22	PER CITY COMMENTS	KDH

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

Pennoni Associates Inc. Engineers • Surveyors • Planners • Landscape Architects

81 Highland Avenue, Suite 230  
Bethlehem, PA 18017 - 610.231.0600

**MAJESTIC BETHLEHEM CENTER-LOT 4C**  
3677 COMMERCE CENTER BOULEVARD  
BETHLEHEM, PA 18015  
COVER SHEET

BETHLEHEM COMMERCE CENTER, LLC.  
13191 CROSSROADS PARKWAY NORTH, 6TH FLOOR  
CITY OF INDUSTRY, CA 91746

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PROJECT NO. MCN0801  
SHEET 1 OF 20

SCALE: NTS DATE: 10/3/22

DRAWN BY: 1005 APPROVED: KDH

DRAWING NO. **CS0001**



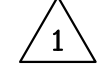
**LANDSCAPE COMPLIANCE SUMMARY:**

CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA  
 ZONING DISTRICT: IN-O (INDUSTRIAL OVERLAY DISTRICT)  
 EXISTING USE: INDUSTRIAL (FORMER BETHLEHEM STEEL)  
 PROPOSED USE: WAREHOUSE AND INDUSTRIAL OR MANUFACTURING

CODE REFERENCE	REQUIRED	PROPOSED	COMPLIANT
1319.02(i) SHADE TREES - A MINIMUM AVERAGE OF ONE DECIDUOUS SHADE TREE SHALL BE REQUIRED FOR EVERY 15 SURFACE PARKING SPACES. SUCH DECIDUOUS TREES SHALL MEET THE STREET TREES REQUIREMENTS OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. NO MORE THAN 20 CONSECUTIVE PARKING SPACES SHALL BE LOCATED IN A STRAIGHT ROW WITHOUT BEING SEPERATED BY A LANDSCAPED ISLAND WITH A DECIDUOUS TREE.	8	13	YES
1319.02(j) STREET TREES MEETING REQUIREMENTS OF THE CITY SHALL BE PLANTED REQUIRED FOR EACH 30 FEET OF PUBLIC OR PRIVATE STREET LENGTH, UNLESS EXISTING TREES WILL BE PRESERVED TO SERVE THE SAME PURPOSE. OR UNLESS THE CITY ALL OWS AN AVERAGE OF ONE TREE FOR EVERY 50 FEET FOR TREES WITH LARGER CANOPIES	N/A	N/A	N/A
1349.08(i)(1) LANDSCAPE OFF-STREET PARKING AND LOADING AREAS SHALL HAVE A MINIMUM OF 10% OF THE AREA REPRESENTED BY APPROVED PLANTINGS. THESE PLANTINGS SHALL BE IN ADDITION TO ANY BUFFER PLANTINGS WHICH MAY BE NECESSARY.	3,645 S.F.	> 3,645 S.F.	YES

**LANDSCAPE CALCULATIONS FOR OFF-STREET PARKING:**

CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA  
 ZONING DISTRICT: IN-O (INDUSTRIAL OVERLAY DISTRICT)  
 EXISTING USE: INDUSTRIAL (FORMER BETHLEHEM STEEL)  
 PROPOSED USE: WAREHOUSE AND INDUSTRIAL OR MANUFACTURING

NUMBER OF PARKING SPACES	PARKING/LOADING AREA	10% OF PARKING/LOADING AREA	REQUIRED	PROVIDED	COMPLIANT
103 CAR SPACES 	36,442 SF	3,645	15 LARGE TREES 7 EVERGREEN TREES	12 DECIDUOUS TREES 4 ORNAMENTAL TREES 2 EVERGREEN TREES 153 SHRUBS	YES

- CAR PARKING AREA BASED ON STANDARD 9'X19' PARKING STALL, ACCESS AISLES AND DRIVE AISLES, AND TRUCK PARKING ON 11'X55' PARKING STALL
- ACCORDING TO 1349.08(e) THE FOLLOWING PLANTING SHALL RECEIVE THE FOLLOWING CREDIT TOWARDS LANDSCAPE AREA REQUIREMENT AS AN APPROVED PLANTING.  
 LARGE TREES/SHADE TREE RECEIVES A 200 SF CREDIT.  
 EVERGREEN TREES RECEIVE A 100 SF CREDIT.  
 SHRUBS RECEIVE CREDIT FOR THE AREA IN WHICH IS OCCUPIED BY THE PLANTINGS.
- LANDSCAPE AREA CALCULATIONS ASSUMES 100 SF CREDIT FOR ORNAMENTAL TREES.
- LANDSCAPE AREA CALCULATIONS ASSUMES 16 SF CREDIT PER INDIVIDUAL SHRUB.
- PLANT MATERIAL SATISFYING THIS REQUIREMENT ARE AS FOLLOWS:  
 3 ACER RUBRUM 'OCTOBER GLORY' x 200 SF each = 600 SF  
 8 QUERCUS IMBRICARIA x 200 SF each = 1,600 SF  
 4 CERCIS CANADENSIS x 100 SF each = 400 SF  
 2 PICEA GLAUC A X 100 SF each = 200 SF  
 153 VARIOUS SHRUBS LISTED x 16 SF each = 2,448 SF  
**TOTAL 5,248 SF**

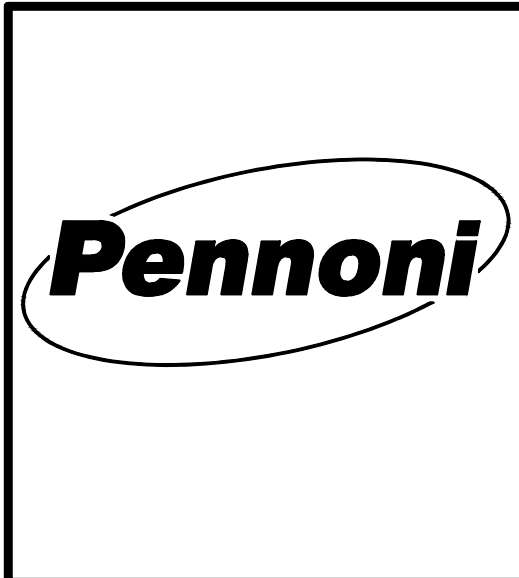
**DEMOLITION, CONSTRUCTION AND GRADING NOTES:**

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
  - THE PENNDOT SPECIFICATIONS, PUB 408/2007 OR LATEST EDITION.
  - THE PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION, PUBLICATION 72/2004 OR LATEST EDITION, LAST REVISED 09/19/2008, OR MORE RECENT VERSION.
  - THE PENNDOT HANDBOOK OF APPROVED SIGNS, PUB 236/2006 OR LATEST EDITION.
  - THE PENNSYLVANIA CLEAN STREAM LAW (35 P.S. SECTION 691.1 ET SEQ.).
  - REGULATIONS OF PA CODE TITLE 25, CHAPTER 102.
 IN EVENT OF A CONFLICT AMONG THESE REQUIREMENTS AND/OR THE PLANS, THE MORE RESTRICTIVE REGULATION SHALL APPLY OR A CLARIFICATION SHALL BE OBTAINED FROM THE ENGINEER.
- THE CONTRACTOR SHALL BE REQUIRED TO REVIEW AND ABIDE BY ALL DOCUMENTS, PERMITS, AND REPORTS FOR THIS SITE, INCLUDING, BUT NOT LIMITED TO:
  - BASELINE ENVIRONMENTAL REPORT (BER).
  - APPROVED EROSION AND SEDIMENTATION CONTROL PLAN.
  - APPROVED POST CONSTRUCTION STORMWATER MANAGEMENT PLAN.
  - NPDES PERMIT #PA62-1554-08-001.
- NO EXCAVATED SOIL/FILL MATERIAL WILL BE REMOVED FROM THE SITE, EXCEPT AS OUTLINED IN THE SOIL MANAGEMENT PLAN (SEE BER, APPENDIX BB).
- COMMERCE CONSTRUCTION CO., LP SHALL HAVE DESIGNATED REPRESENTATIVE WITH EXPERIENCE IN ASSESSING ENVIRONMENTAL CONDITIONS AVAILABLE WHENEVER INTRUSIVE ACTIVITIES ARE BEING CONDUCTED ON THE SITE.
- DEMOLITION NOTES
  - ALL SURFACE FEATURES SUCH AS EXISTING VEGETATION AND STRUCTURES SHALL BE REMOVED.
  - ALL SUBSURFACE FEATURES CAN BE ABANDONED WITH THE FOLLOWING EXCEPTIONS
    - IF FEATURE POSES A CONFLICT WITH PROPOSED SCOPE OF WORK, IT SHALL BE REMOVED.
    - EXISTING STORM SEWER SHALL BE MAINTAINED UNLESS SPECIFICALLY IDENTIFIED AS "TO BE ABANDONED".
  - CLARIFICATION OF TERMS
    - TO BE ABANDONED - MEANS FEATURE CAN REMAIN IN PLACE AND FILLED WITH FLOWABLE FILL OR EQUIVALENT SUBSTITUTE OR CAN BE COMPLETELY REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
    - TO BE REMOVED - MEANS FEATURE MUST BE COMPLETELY REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
    - TO BE REPLACED - MEANS FEATURE CAN BE RESET AND REUSED IF POSSIBLE OR MUST BE REMOVED AND REPLACED IF IT POSES A CONFLICT WITH THE PROPOSED SCOPE OF WORK AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LAYERS NOT TO EXCEED 8 INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE PUBLIC WORKS INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR REGRADING AS REQUIRED BY THE ENGINEER. EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
- THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST, AND CERTIFY TO THE COMPACTION OF ALL LOAD BEARING FILLS. THE GEOTECHNICAL ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
- CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AREA AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
- TOP OF WALL/BOTTOM OF WALL (TW/BW) SHOTS SHOWN ON THE GRADING PLAN INDICATE TOPOGRAPHIC ELEVATIONS ADJACENT TO THE WALL AND ARE NOT THE PHYSICAL TOP OF WALL OR BOTTOM OF WALL.
- ALL RADII ARE 5' UNLESS OTHERWISE NOTED ON THE PLAN.

**WATER/FIRE NOTES:**

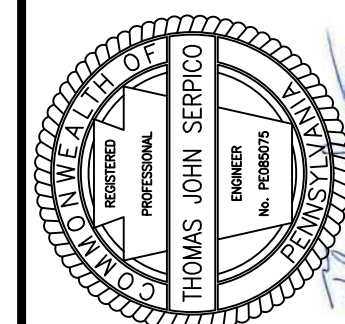
- THE WATER PURVEYOR IS THE CITY OF BETHLEHEM. ALL WORK ON THE WATER DISTRIBUTION SYSTEM SHALL BE IN ACCORDANCE WITH THE CITY OF BETHLEHEM STANDARDS AND SPECIFICATIONS. CONTACT THE CITY BEFORE TAPPING EXISTING WATER MAIN. WATER LINE SHALL HAVE A BEDDING CONSISTENT WITH THE WATER CITY'S REQUIREMENTS AND SPECIFICATIONS.
- FIRE HYDRANT AND WATER MAINS/FIRE MAINS TO BE INSTALLED AND UNDER PRESSURE BEFORE ANY COMBUSTIBLE CONSTRUCTION IS STARTED.
- ALL PROPOSED WATER MAINS AND APPURTENANCES SHALL BE HYDROSTATICALLY TESTED AND BACTERIOLOGICALLY TESTED IN THE PRESENCE OF A CITY OF BETHLEHEM REPRESENTATIVE PRIOR TO CONNECTING TO THE EXISTING SYSTEM. ALL BACTERIOLOGICAL SAMPLES SHALL BE COLLECTED BY CITY PERSONNEL FOR DELIVERY TO ITS LAB FOR ANALYSIS.
- WATER LINE CONSTRUCTION SHALL BE SEQUENCED IN SUCH A MANNER AS TO MINIMIZE LOSS OF SERVICE TO ANY OTHER AUTHORITY CUSTOMER. CONTRACTOR SHALL NOTIFY THE CITY OF BETHLEHEM AND THE OWNER 48 HOURS IN ADVANCE OF ANY LOSS OF SERVICE. DEPENDING UPON THE NATURE OF THE LOSS OF SERVICE, THE CITY MAY REQUIRE THAT WORK BE COMPLETED IN THE EVENING AFTER NORMAL BUSINESS. ALL VALVES NEEDED FOR SHUT-DOWN SHALL BE OPERATED BY CITY PERSONNEL ONLY, UNLESS OTHERWISE APPROVED.
- MINIMUM COVER OF ALL WATER MAIN AND APPURTENANCES SHALL BE FOUR FEET (4') AND THE MAXIMUM COVER SHALL NOT EXCEED FIVE FEET (5') UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY.
- A SEPARATE WATER METER, SHUT-OFF VALVE AND TAPPING FEE WILL BE REQUIRED FOR EACH INDIVIDUAL TENANT CONNECTION.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND CUT SHEETS FOR ALL WATER SYSTEM CONSTRUCTION FOR REVIEW AND APPROVAL BY THE CITY OF BETHLEHEM PRIOR TO CONSTRUCTION.
- ALL FITTINGS SHALL BE MECHANICAL JOINTS WITH MEGALUG GLANDS.
- A MINIMUM VERTICAL CLEARANCE OF EIGHTEEN (18) INCHES BETWEEN ANY UTILITY AND THE WATER MAIN AND APPURTENANCES OF THE CITY.
- FIRE SERVICE DESIGN, ALIGNMENT, VALVE MANAGEMENT, PIV, ETC. SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLANS PREPARED BY THE FIRE SUPPRESSION ENGINEER. SCHEMATIC SHOWN ON THESE PLANS IS FOR BID PURPOSES ONLY AND NOT FOR CONSTRUCTION.
- SLAG WILL NOT BE PERMITTED FOR PIPE BEDDING AND BACKFILL AROUND ANY METAL-BASED PIPE. UNLESS THE PIPE IS WRAPPING IN PLASTIC LINER. PLASTIC LINER SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER AND BE IN ACCORDANCE WITH AWWA C105/A21.5-82, SECTION 5.4 PRIOR TO INSTALLATION.
- THE PROPOSED FIRE HYDRANTS (NOT INCLUDING THE VALVE AND RISER) ALONG THE OUTER ROAD SHALL BE PROVIDED BY CITY OF BETHLEHEM.
- ALL PROPOSED SANITARY LINES THAT CROSS OVER A WATER LINE SHALL BE ENCASED WITH CONCRETE FOR 10 FEET ON EITHER SIDE OF THE WATER LINE.
- DETAILED SPECIFICATIONS FOR LAYING WATER MAIN ARE AVAILABLE UPON REQUEST.
- FIRE RISERS WITHIN THE BUILDING WILL BE SUPPLIED BY THE FIRE LOOP AROUND THE BUILDING.
- BUILDING MUST MEET IBC 903.4.2 ALARMS. APPROVED AUDIBLE DEVICES SHALL BE CONNECTED TO EVERY AUTOMATIC SPRINKLER SYSTEM. SUCH SPRINKLER WATER FLOW ALARM DEVICES SHALL BE ACTIVATED BY WATER FLOW EQUIVALENT TO THE FLOW OF A SINGLE SPRINKLER OF THE SMALLEST ORIFICE SIZE INSTALLED IN THE SYSTEM. ALARM DEVICES SHALL BE PROVIDED ON THE EXTERIOR OF THE BUILDING IN AN APPROVED LOCATION. WHERE A FIRE ALARM SYSTEM IS INSTALLED, ACTUATION OF THE AUTOMATIC SPRINKLER SYSTEM SHALL ACTUATE THE BUILDING FIRE ALARM SYSTEM. IN AUTOMATIC SPRINKLER SYSTEMS WHERE MULTIPLE SPRINKLER RISERS ARE REQUIRED, AND THE RISERS ARE LOCATED IN SEPARATE AREAS WITHIN THE BUILDING, AN OUTSIDE VISIBLE ALARM NOTIFICATION APPLIANCE SHALL BE REQUIRED FOR EACH RISER. SUCH APPLIANCE SHALL BE A WHITE STROBE (MINIMUM 95 CANDELA STROBE RATING) PLACED IN AN APPROVED LOCATION ON THE EXTERIOR WALL, AS CLOSE AS PRACTICABLE, TO EACH SPRINKLER RISER. THE STROBE WILL ACTIVATE WHEN THE WATER FLOW ALARM FOR ITS RESPECTIVE RISER IS ACTIVATED. (ORD. 2014-21 - PASSED 8/5/14).
- VERTICAL CLEARANCE FOR FIRE TRUCKS HAS BEEN CHECKED ALONG THE FIRE TRUCK ROUTE.
- THE CITY OF BETHLEHEM FIRE DEPARTMENT WILL RETAIN JURISDICTION TO ENFORCE THE INTERNATIONAL FIRE CODE IN ITS ENTIRETY AS ADOPTED BY CITY ORDINANCE AND CONDUCT FIRE INSPECTIONS AS PER ARTICLE 150 FOR THE LIFETIME OF THE BUILDINGS.
- THE BUILDING MUST BE CONSTRUCTED IN COMPLIANCE WITH INTERNATIONAL FIRE CODE, 2015 EDITION, AS ADOPTED BY CITY OF BETHLEHEM.

CS-0002, CS-0003 [NOTES SHEETS],  
 CS-1000 [OVERALL SITE PLAN]  
 CS-1001 [SITE PLAN] ARE  
 CONSIDERED TO BE A COMPLETE  
 RECORD PLAN SET FOR FILING  
 PURPOSES IN THE NORTHAMPTON  
 COUNTY RECORDER OF DEEDS  
 OFFICE



NO.	DATE	REVISIONS	BY
1	11/17/22	PER CITY COMMENTS	KDH

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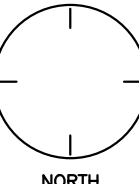


MAJESTIC BETHLEHEM CENTER—LOT 4C  
 3677 COMMERCE CENTER BOULEVARD  
 BETHLEHEM, PA 18015

NOTES SHEET

BETHLEHEM COMMERCE CENTER, LLC.  
 13191 CROSSROADS PARKWAY NORTH, 6TH FLOOR  
 CITY OF INDUSTRY, CA 91746

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PROJECT NO.  
CMCN0801

SHEET  
3 OF 20

SCALE  
NTS

DATE  
10/3/22

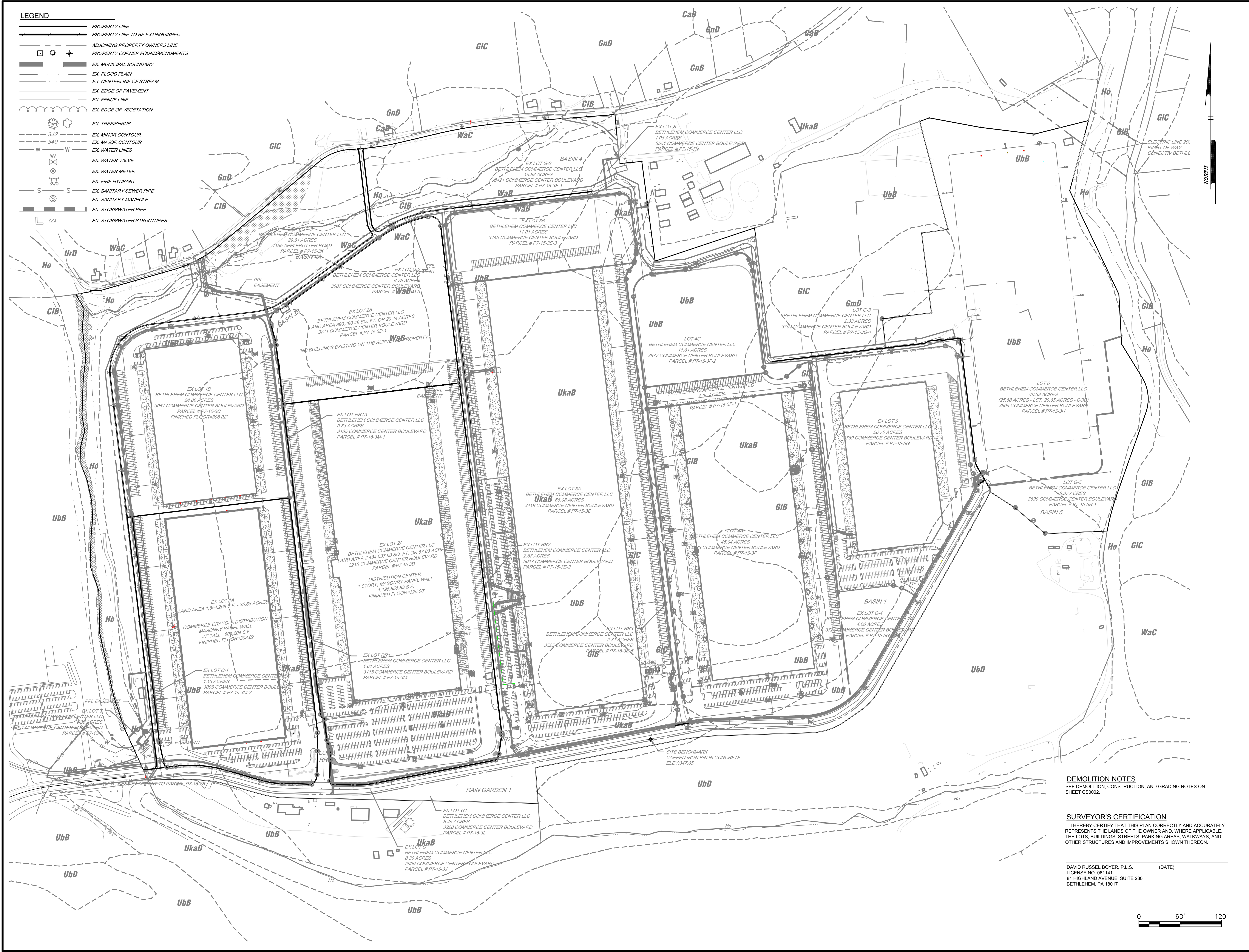
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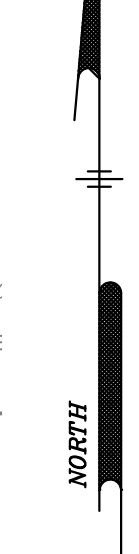
DRAWING NO.  
**CS0003**

Pennoni Associates Inc. Engineers • Surveyors • Planners • Landscape Architects

81 Highland Avenue, Suite 230  
 Bethlehem, PA 18017 - 610.231.0600



- LEGEND**
- PROPERTY LINE
  - PROPERTY LINE TO BE EXTINGUISHED
  - ADJOINING PROPERTY OWNERS LINE
  - PROPERTY CORNER FOUNDATION MONUMENTS
  - EX. MUNICIPAL BOUNDARY
  - EX. FLOOD FLAIN
  - EX. CENTERLINE OF STREAM
  - EX. EDGE OF PAVEMENT
  - EX. FENCE LINE
  - EX. EDGE OF VEGETATION
  - EX. TREE/SHRUB
  - EX. MINOR CONTOUR
  - EX. MAJOR CONTOUR
  - EX. WATER LINES
  - EX. WATER VALVE
  - EX. WATER METER
  - EX. FIRE HYDRANT
  - EX. SANITARY SEWER PIPE
  - EX. SANITARY MANHOLE
  - EX. STORMWATER PIPE
  - EX. STORMWATER STRUCTURES



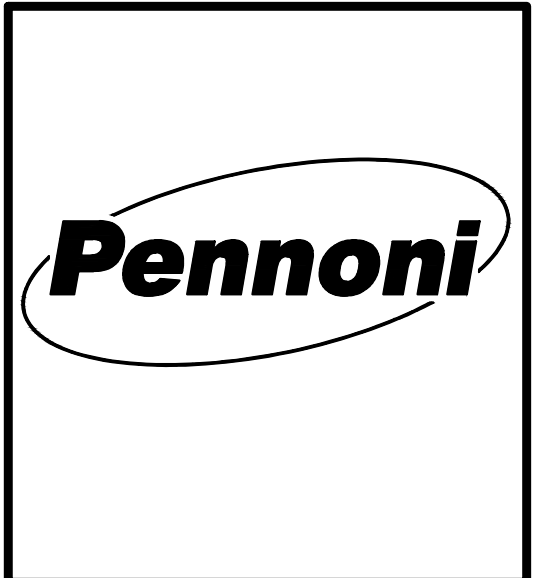
**DEMOLITION NOTES**  
SEE DEMOLITION, CONSTRUCTION, AND GRADING NOTES ON SHEET CS0202.

**SURVEYOR'S CERTIFICATION**  
I HEREBY CERTIFY THAT THIS PLAN CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND, WHERE APPLICABLE, THE LOTS, BUILDINGS, STREETS, PARKING AREAS, WALKWAYS, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN THEREON.

DAVID RUSSEL BOYER, P.L.S. (DATE)  
LICENSE NO. 061141  
61 HIGHLAND AVENUE, SUITE 230  
BETHLEHEM, PA 18017



**Pennoni Associates Inc.**      **Pennoni**      **Engineers • Surveyors • Planners • Landscape Architects**



NO.	DATE	REVISIONS	BY

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**MAJESTIC BETHLEHEM CENTER—LOT 4C**  
3677 COMMERCE CENTER BOULEVARD  
BETHLEHEM, PA 18015

**OVERALL EXISTING FEATURES PLAN**

BETHLEHEM COMMERCE CENTER, LLC.  
13191 CROSSROADS PARKWAY NORTH, 6TH FLOOR  
CITY OF INDUSTRY, CA 91746

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PROJECT NO.	CMCN0801
SHEET	4 OF 20

SCALE	1" = 250'	DATE	10/3/22
DRAWN BY	1005	APPROVED	KDH
DRAWING NO.	CS0200		

L:\PROJECTS\CMCN0801-BETHLEHEM COMMERCE CENTER\DESIGN\_PUBLISH\PHASE 4C - STAND ALONE\CS0200.DWG      PLOTTED:      BY: KYLE HAVTHORPE      STATUS:      FLOTTED: PENNONI NCS/STB

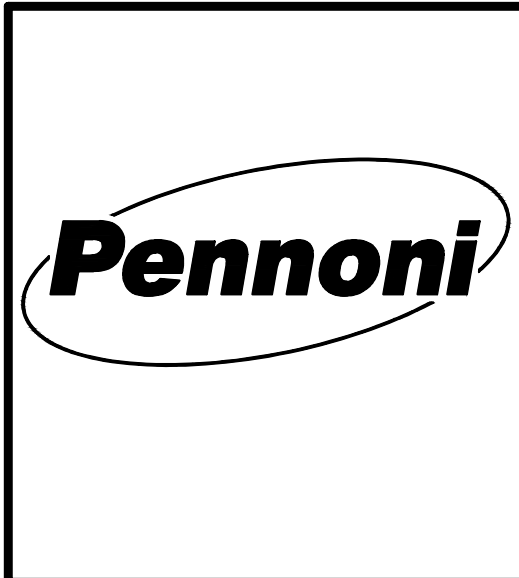
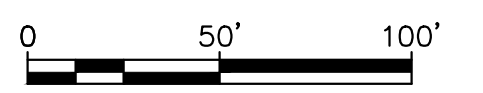
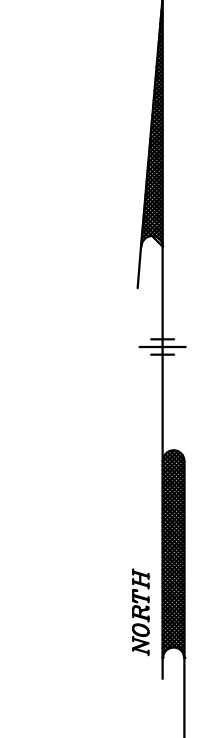


**LEGEND**

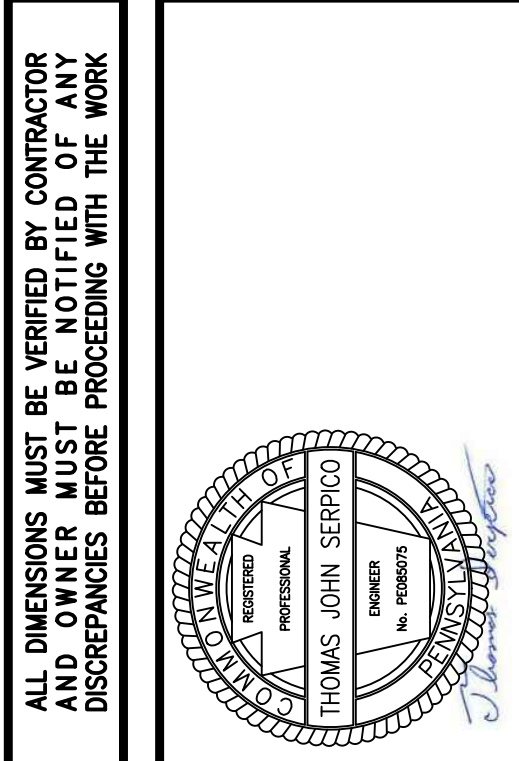
- PROPERTY LINE
- PROPERTY LINE TO BE EXTINGUISHED
- ADJOINING PROPERTY OWNERS LINE
- PROPERTY CORNER FOUND/MONUMENTS
- EX. MUNICIPAL BOUNDARY
- EX. FLOOD PLAIN
- EX. CENTERLINE OF STREAM
- EX. EDGE OF PAVEMENT
- EX. FENCE LINE
- EX. EDGE OF VEGETATION
- EX. TREE/SHRUB
- EX. MINOR CONTOUR
- EX. MAJOR CONTOUR
- EX. WATER LINES
- EX. WATER VALVE
- EX. WATER METER
- EX. FIRE HYDRANT
- EX. SANITARY SEWER PIPE
- EX. SANITARY MANHOLE
- EX. STORMWATER PIPE
- EX. STORMWATER STRUCTURES
- EX. OVERHEAD ELECTRIC
- EX. UTILITY POLE
- EX. GAS
- SOILS BOUNDARY LINES
- SOILS TEXT
- EX. WATERS OF THE US
- EX. WETLANDS
- BENCHMARK

**WaA**

- SOILS TEXT
- EX. WATERS OF THE US
- EX. WETLANDS
- BENCHMARK



NO.	DATE	REVISIONS	BY



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**MAJESTIC BETHLEHEM CENTER—LOT 4C**  
 3677 COMMERCE CENTER BOULEVARD  
 BETHLEHEM, PA 18015  
**EXISTING FEATURES AND DEMOLITION PLAN**  
 BETHLEHEM COMMERCE CENTER, LLC.  
 13191 CROSSROADS PARKWAY NORTH, 6TH FLOOR  
 CITY OF INDUSTRY, CA 91746

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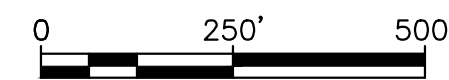
PROJECT NO. CMCN0801	5 OF 20
SHEET	

SCALE 1" = 50'	DATE 10/3/22
DRAWN BY 1005	APPROVED KDH
DRAWING NO. <b>CS0201</b>	

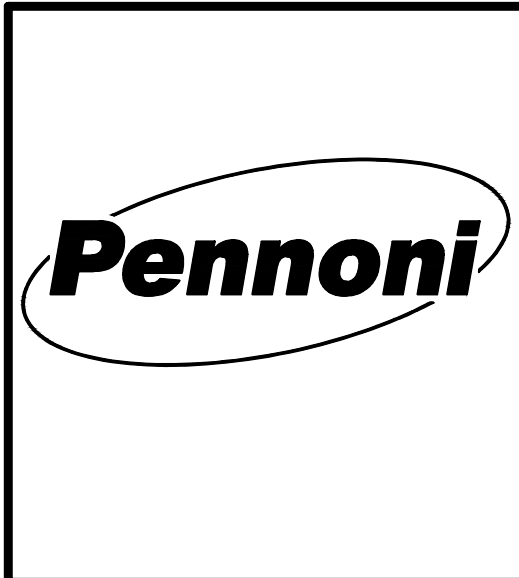
L:\PROJECTS\CMCN0801-BETHLEHEM COMMERCE CENTER\DESIGN\_PUBLISH\PHASE 4C\_STAND ALONE\CS0201.DWG PLOTTED: ---, BY: KYLE WATSON, 10/3/22



CS-0002, CS-0003 [NOTES SHEETS],  
 CS-1000 [OVERALL SITE PLAN]  
 CS-1001 [SITE PLAN] ARE  
 CONSIDERED TO BE A COMPLETE  
 RECORD PLAN SET FOR FILING  
 PURPOSES IN THE NORTHAMPTON  
 COUNTY RECORDER OF DEEDS  
 OFFICE



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**MAJESTIC BETHLEHEM CENTER—LOT 4C**  
 3677 COMMERCE CENTER BOULEVARD  
 BETHLEHEM, PA 18015

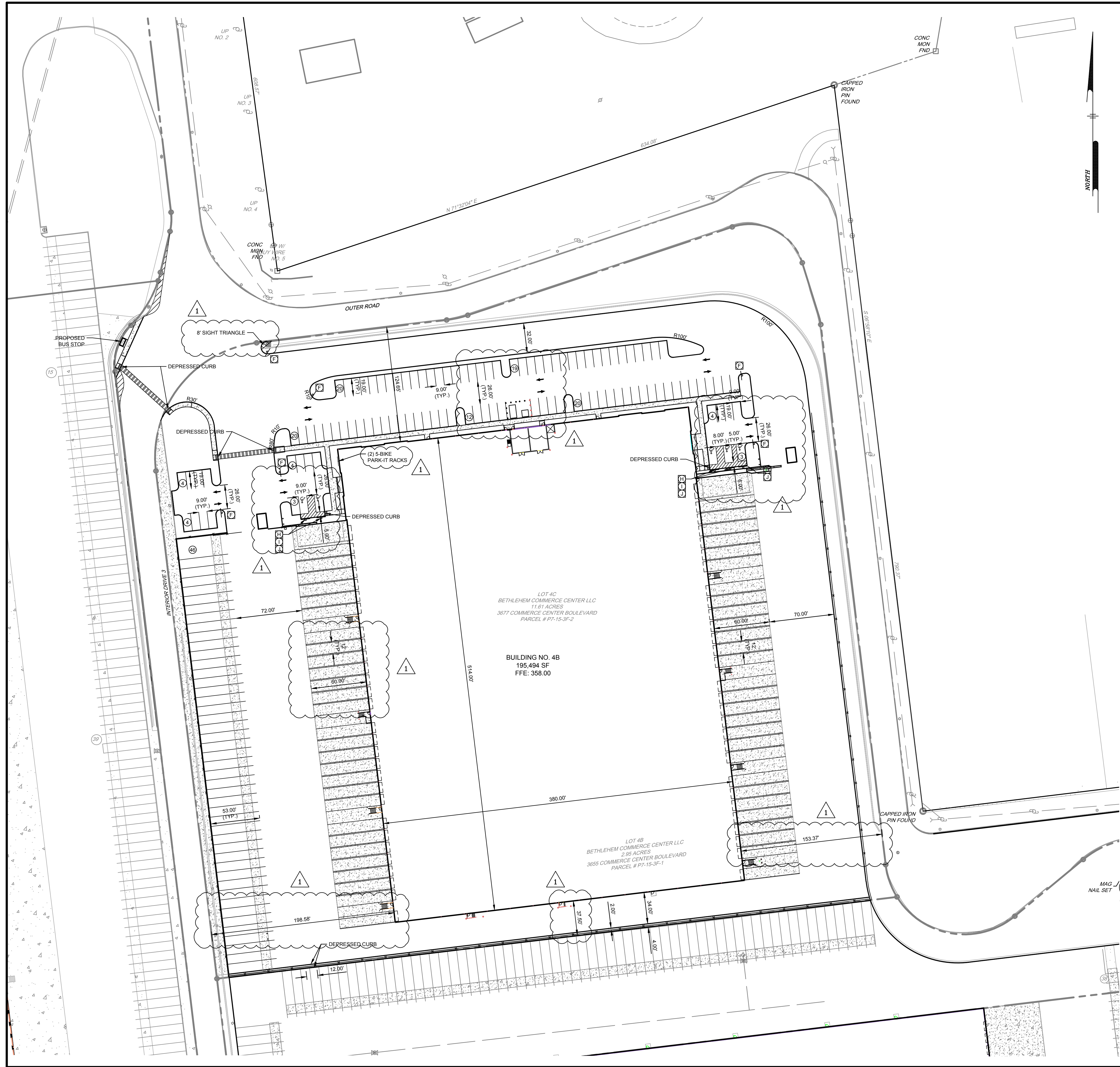
**OVERALL RECORD PLAN**

BETHLEHEM COMMERCE CENTER, LLC.  
 13191 CROSSROADS PARKWAY NORTH, 6TH FLOOR  
 CITY OF INDUSTRY, CA 91746

PROJECT NO. MCN0801  
 SHEET 6 OF 20

SCALE 1" = 250'  
 DATE 10/3/22  
 DRAWN BY 1005  
 APPROVED KDH  
 DRAWING NO. CS1000

LV:\PROJECTS\CMCN\0801-BETHLEHEM COMMERCE CENTER\DESIGN\_PUBLISH\PHASE 4C STAFF\ALONE\GSD\0801.DWG PLOTTED: 10/3/22 10:00 AM BY: KYLE HAVTHORNE



CS-0002, CS-0003 [NOTES SHEETS],  
 CS-1000 [OVERALL SITE PLAN],  
 CS-1001 [SITE PLAN] ARE  
 CONSIDERED TO BE A COMPLETE  
 RECORD PLAN SET FOR FILING  
 PURPOSES IN THE NORTHAMPTON  
 COUNTY RECORDER OF DEEDS  
 OFFICE

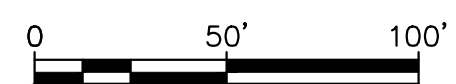
**LEGEND**

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	PROPERTY LINE TO BE EXTINGUISHED
	ADJOINING PROPERTY OWNERS LINE
	PROPERTY CORNER FOUND/MONUMENTS
	EX. MUNICIPAL BOUNDARY
	EX. FLOOD PLAIN
	EX. CENTERLINE OF STREAM
	EX. EDGE OF PAVEMENT
	EX. FENCE LINE
	EX. EDGE OF VEGETATION
	EX. TREE/SHRUB
	EX. MINOR CONTOUR
	EX. MAJOR CONTOUR
	EX. WATER LINES
	EX. WATER VALVE
	EX. WATER METER
	EX. FIRE HYDRANT
	EX. SANITARY SEWER PIPE
	EX. SANITARY MANHOLE
	EX. STORMWATER PIPE
	EX. STORMWATER STRUCTURES
	EX. OVERHEAD ELECTRIC
	EX. UTILITY POLE
	EX. GAS
	SOILS BOUNDARY LINES
	BENCHMARK
	PROPOSED EASEMENT
	PROPOSED BUILDING
	PROPOSED CONCRETE CURB
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CENTER OF ROAD/DRIVE AISLE
	PROPOSED GORE STRIPING
	PROPOSED CONCRETE AREA
	PROPOSED SIGN
	PROPOSED BOLLARD
	PROPOSED PROPERTY CORNER

**SIGN TABLE**

SYMBOL	SIGN CHARACTERISTICS	PADOT #	SIZE
	STOP	R1-1	30"X30"
	RESERVED PARKING	R7-8	12"X18"
	VAN ACCESSIBLE	R7-8B	12"X6"
	RESERVED PARKING PENALTIES	R7-8F	12"X18"

THE INTENT OF THIS PLAN IS TO CONSTRUCT A STAND ALONE BUILDING ON LOT 4C ALONG WITH THE ASSOCIATED PARKING, LOADING AND UTILITIES. THE BUILDING COULD POTENTIALLY BE CONNECTED TO THE EXISTING BUILDING ON LOT 4A IN THE FUTURE.

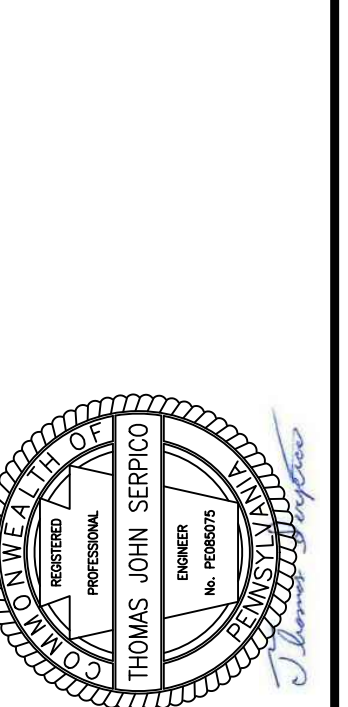


NORTH



DATE	NO.	REVISIONS	BY
11/17/22	1	PER CITY COMMENTS	KDH

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MAJESTIC BETHLEHEM CENTER—LOT 4C  
 3677 COMMERCE CENTER BOULEVARD  
 BETHLEHEM, PA 18015

SITE PLAN

BETHLEHEM COMMERCE CENTER, LLC.  
 13191 CROSSROADS PARKWAY NORTH, 6TH FLOOR  
 CITY OF INDUSTRY, CA 91746

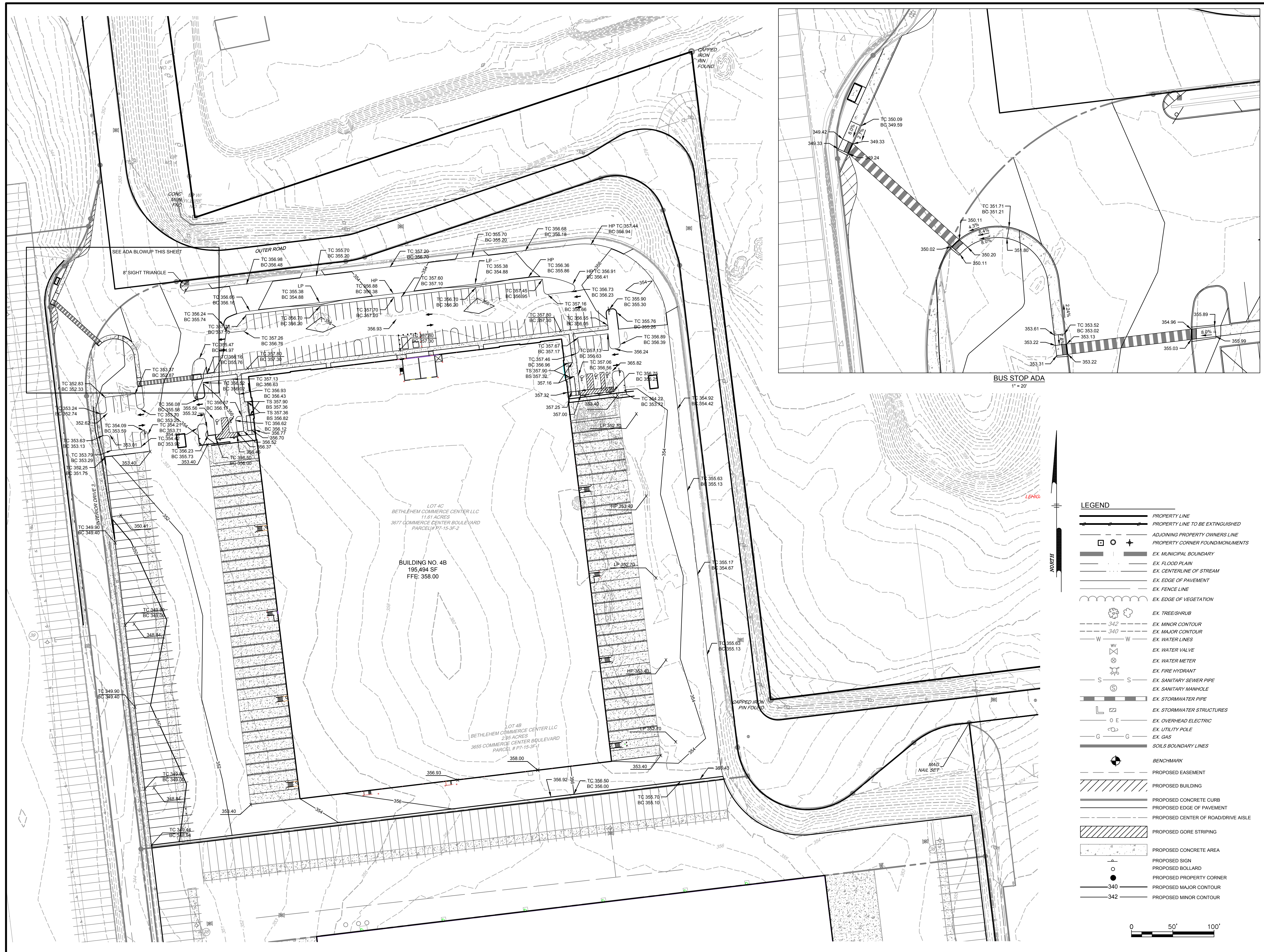
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PROJECT NO. CMCN0801  
 SHEET 7 OF 20

SCALE 1" = 50' DATE 10/3/22  
 DRAWN BY 1005 APPROVED KDH

DRAWING NO. CS1001

PROJECT: CMCN0801-BETHLEHEM COMMERCE CENTER (PHASE 4C) STAND ALONE (CS1001).DWG PLOTTED: 11/17/22 BY: KDH (HWY) PENNONI.NCS.SIB, PROJECT STATUS: -----

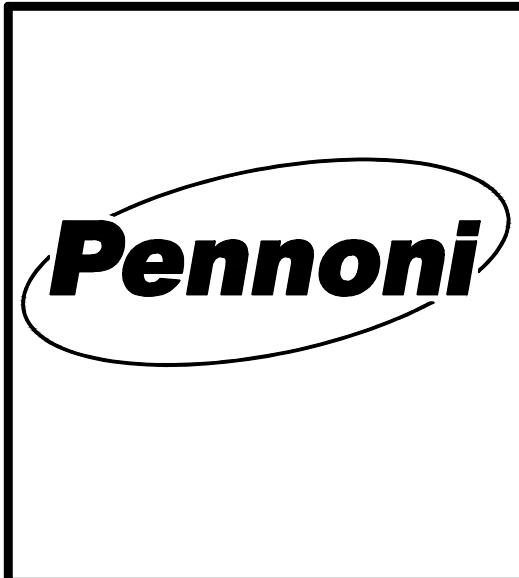


**LEGEND**

- PROPERTY LINE
- PROPERTY LINE TO BE EXTINGUISHED
- ADJOINING PROPERTY OWNERS LINE
- PROPERTY CORNER FOUNDIMENTS
- EX MUNICIPAL BOUNDARY
- EX FLOOD PLAIN
- EX CENTERLINE OF STREAM
- EX EDGE OF PAVEMENT
- EX FENCE LINE
- EX EDGE OF VEGETATION
- EX TREE/SHRUB
- 342 EX MINOR CONTOUR
- 340 EX MAJOR CONTOUR
- W W EX WATER LINES
- EX WATER VALVE
- EX WATER METER
- EX FIRE HYDRANT
- S S EX SANITARY SEWER PIPE
- EX SANITARY MANHOLE
- EX STORMWATER PIPE
- EX STORMWATER STRUCTURES
- EX OVERHEAD ELECTRIC
- EX UTILITY POLE
- G G EX GAS
- SOILS BOUNDARY LINES
- BENCHMARK
- PROPOSED EASEMENT
- PROPOSED BUILDING
- PROPOSED CONCRETE CURB
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CENTER OF ROAD/DRIVE AISLE
- PROPOSED GORE STRIPING
- PROPOSED CONCRETE AREA
- PROPOSED SIGN
- PROPOSED BOLLARD
- PROPOSED PROPERTY CORNER
- 340 PROPOSED MAJOR CONTOUR
- 342 PROPOSED MINOR CONTOUR

0 50' 100'

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**MAJESTIC BETHLEHEM CENTER—LOT 4C**  
 3677 COMMERCE CENTER BOULEVARD  
 BETHLEHEM, PA 18015

**GRADING PLAN**

BETHLEHEM COMMERCE CENTER, LLC.  
 13191 CROSSROADS PARKWAY NORTH, 6TH FLOOR  
 CITY OF INDUSTRY, CA 91746

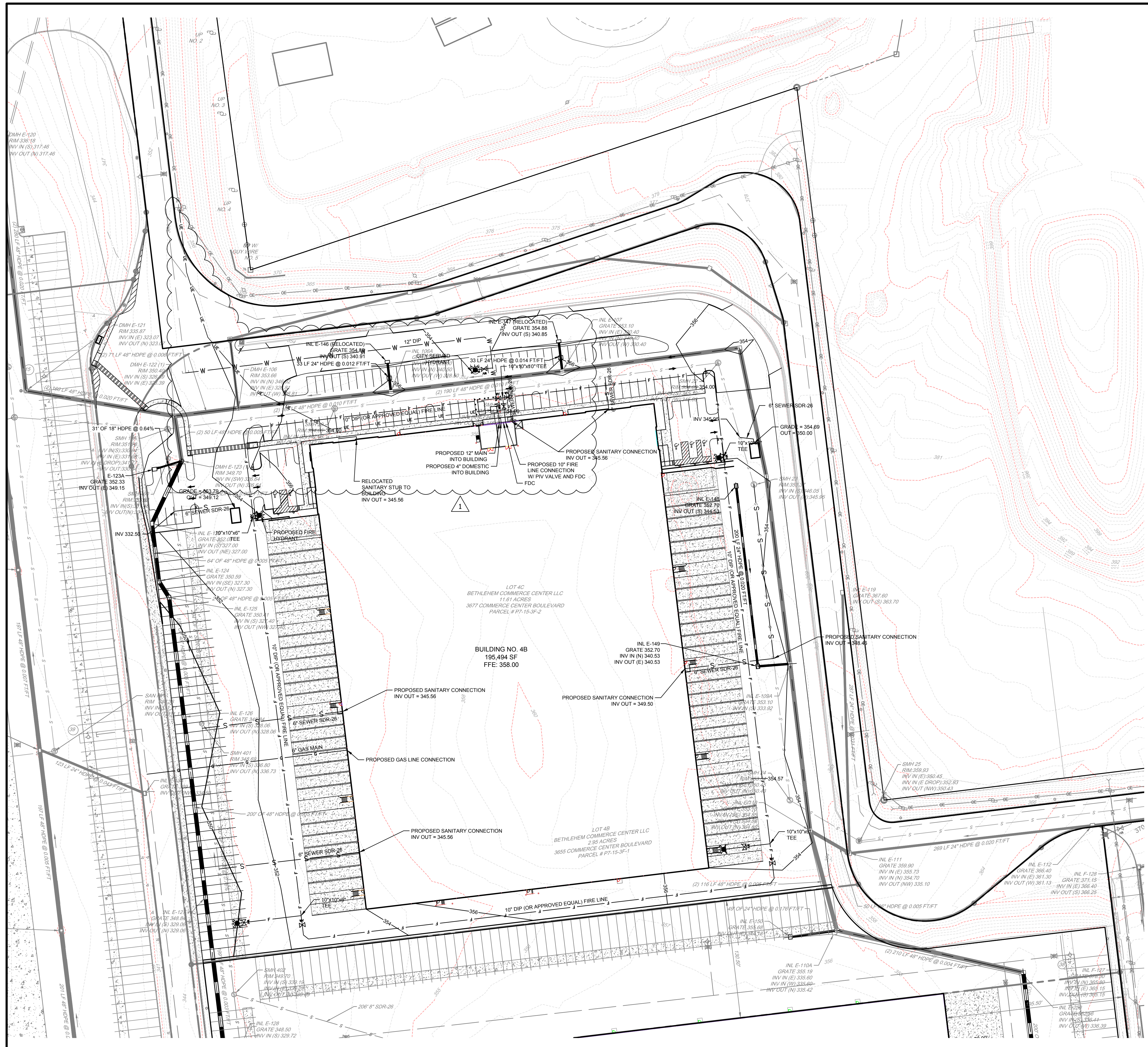
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PROJECT NO. MCN0801  
 SHEET 8 OF 20

SCALE: 1" = 50' DATE: 10/3/22  
 DRAWN BY: 1005 APPROVED: KDH  
 DRAWING NO. CS1501

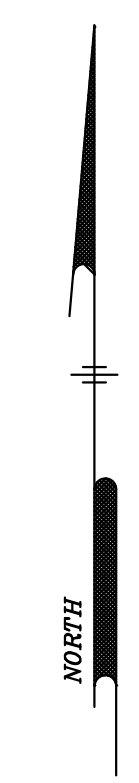
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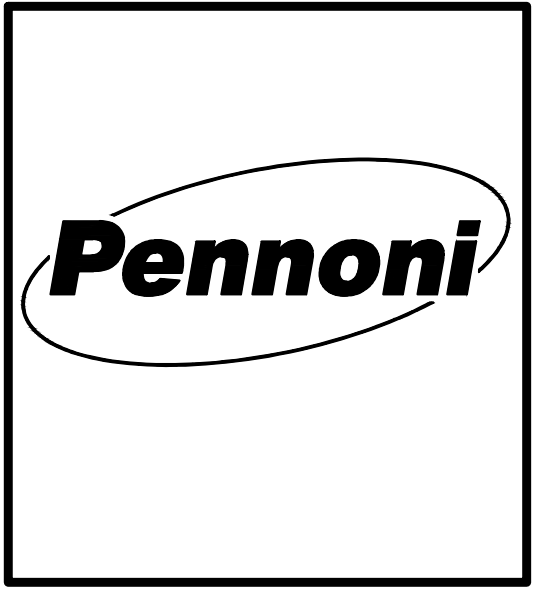


**LEGEND**

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	EX. FLOOD PLAIN
	EX. CENTERLINE OF STREAM
	EX. EDGE OF PAVEMENT
	EX. FENCE LINE
	EX. EDGE OF VEGETATION
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	EX. SANITARY MANHOLE
	EX. STORMWATER PIPE
	EX. STORMWATER STRUCTURES
	EX. OVERHEAD ELECTRIC
	EX. UTILITY POLE
	EX. GAS
	SOILS BOUNDARY LINES
	BENCHMARK
	PROPOSED EASEMENT
	PROPOSED BUILDING
	PROPOSED CONCRETE CURB
	PROPOSED EDGE OF PAVEMENT
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	PROPOSED CONCRETE AREA
	PROPOSED SIGN
	PROPOSED BOLLARD
	PROPOSED PROPERTY CORNER
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED STORMWATER PIPE
	PROPOSED STORMWATER INLET
	PROPOSED STORMWATER MANHOLE
	PROPOSED WATER LINE
	PROPOSED FIRE LINE
	PROPOSED WATER VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY MANHOLE
	PROPOSED CLEAN OUT
	PROPOSED OVERHEAD ELECTRIC
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED UTILITY POLE
	PROPOSED GAS LINE



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1	11/17/22	PER CITY COMMENTS	KDH

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**MAJESTIC BETHLEHEM CENTER—LOT 4C**  
 3677 COMMERCE CENTER BOULEVARD  
 BETHLEHEM, PA 18015

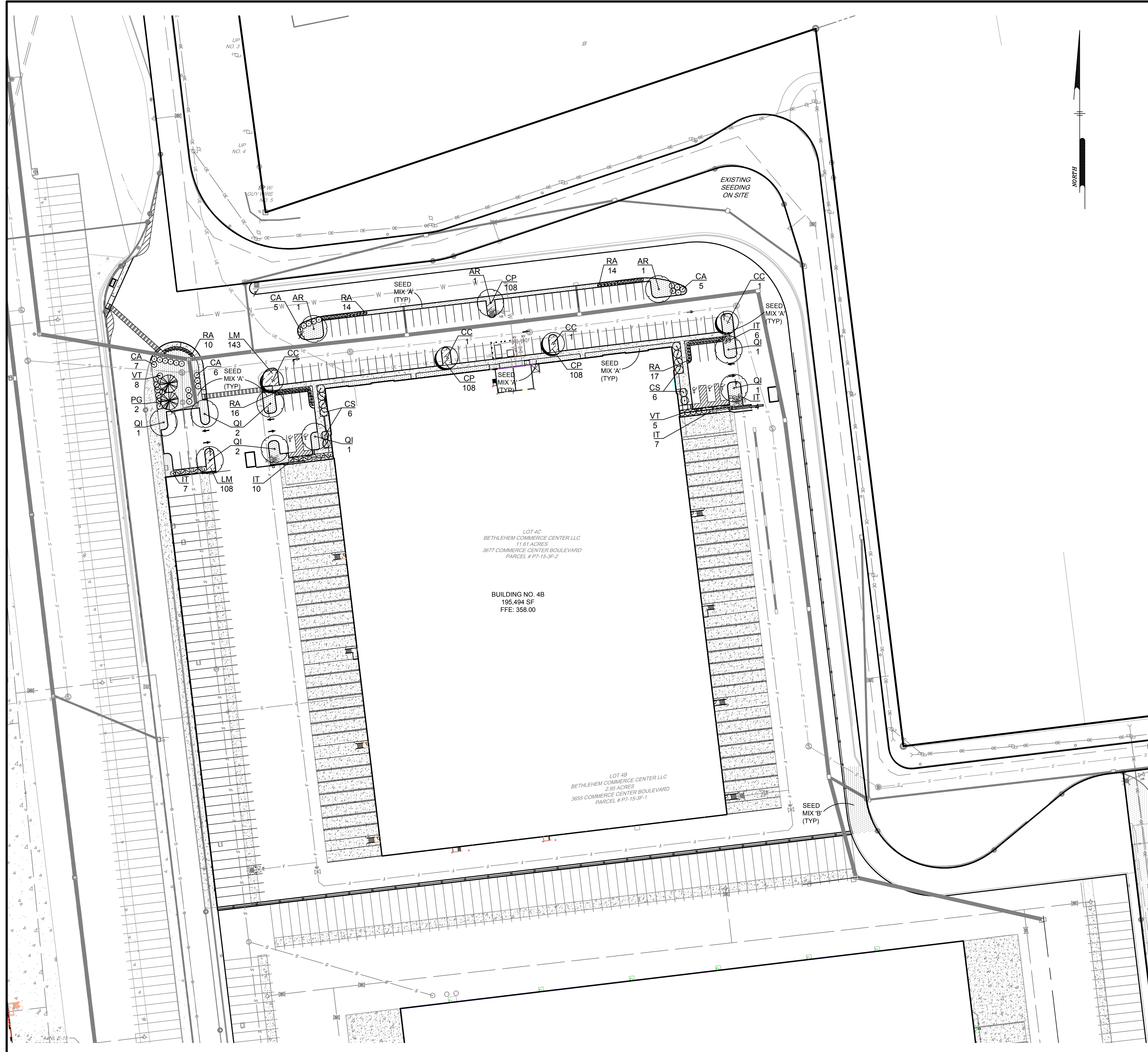
**DRAINAGE AND UTILITY PLAN**

BETHLEHEM COMMERCE CENTER, LLC.  
 13191 CROSSROADS PARKWAY NORTH, 6TH FLOOR  
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PROJECT NO. CMCN0801  
 SHEET 9 OF 20

SCALE 1" = 50'  
 DATE 10/3/22  
 DRAWN BY 1005 APPROVED KDH  
 DRAWING NO. CS1701

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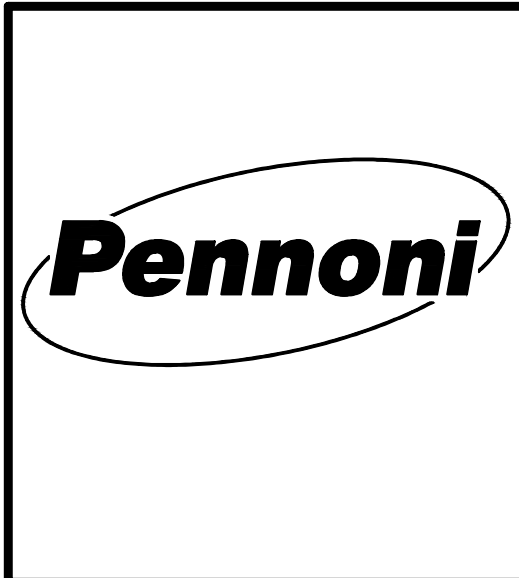


**LEGEND**

- PROPERTY LINE
- PROPERTY LINE TO BE EXTINGUISHED
- ○ + ADJOINING PROPERTY OWNERS LINE
- ○ + PROPERTY CORNER FOUND/MONUMENTS
- EX. MUNICIPAL BOUNDARY
- EX. FLOOD PLAIN
- EX. CENTERLINE OF STREAM
- EX. EDGE OF PAVEMENT
- EX. FENCE LINE
- EX. EDGE OF VEGETATION
- EX. TREE/SHRUB
- 342 EX. MINOR CONTOUR
- 340 EX. MAJOR CONTOUR
- EX. WATER LINES
- EX. WATER VALVE
- EX. WATER METER
- EX. FIRE HYDRANT
- S S EX. SANITARY SEWER PIPE
- EX. SANITARY MANHOLE
- EX. STORMWATER PIPE
- EX. STORMWATER STRUCTURES
- EX. OVERHEAD ELECTRIC
- EX. UTILITY POLE
- EX. GAS
- SOILS BOUNDARY LINES
- BENCHMARK
- PROPOSED EASEMENT
- PROPOSED BUILDING
- PROPOSED CONCRETE CURB
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CENTER OF ROAD/DRIVE AISLE
- PROPOSED GORE STRIPING
- PROPOSED CONCRETE AREA
- PROPOSED SIGN
- PROPOSED BOLLARD
- PROPOSED PROPERTY CORNER
- 340 PROPOSED MAJOR CONTOUR
- 342 PROPOSED MINOR CONTOUR
- PROPOSED STORMWATER PIPE
- PROPOSED STORMWATER INLET
- PROPOSED STORMWATER MANHOLE
- W W PROPOSED WATER LINE
- F F PROPOSED FIRE LINE
- PROPOSED WATER VALVE
- PROPOSED FIRE HYDRANT
- S S PROPOSED SANITARY SEWER
- PROPOSED SANITARY MANHOLE
- C.C. PROPOSED CLEAN OUT
- PROPOSED OVERHEAD ELECTRIC
- E E PROPOSED UNDERGROUND ELECTRIC
- U U PROPOSED UTILITY POLE
- G G PROPOSED GAS LINE
- PROPOSED STREET TREE
- PROPOSED SHADE TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUB
- PROPOSED SEED MIX 'A'
- PROPOSED SEED MIX 'B'

0 50' 100'

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**MAJESTIC BETHLEHEM CENTER—LOT 4C**  
 3677 COMMERCE CENTER BOULEVARD  
 BETHLEHEM, PA 18015

**LANDSCAPE PLAN**

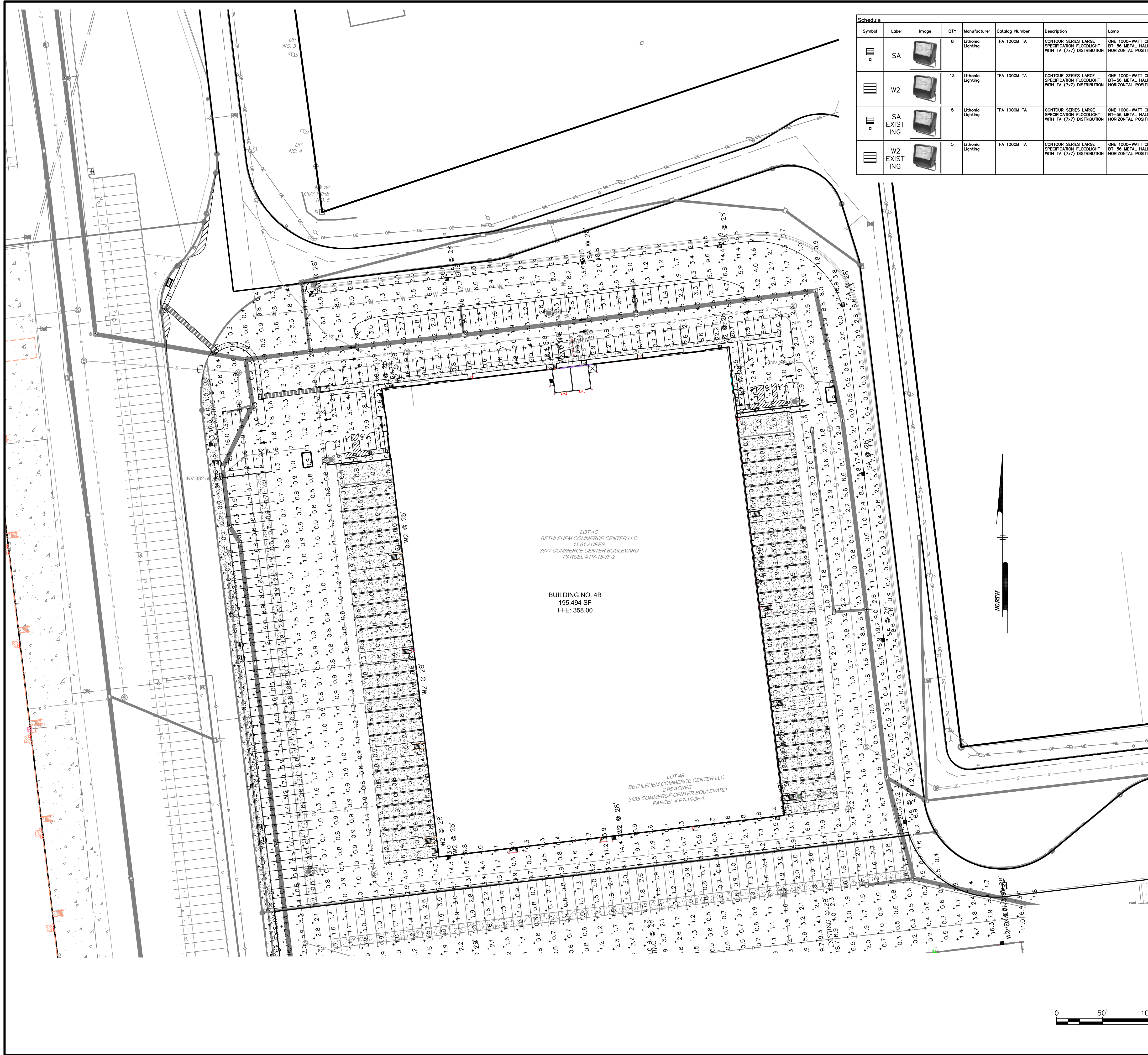
BETHLEHEM COMMERCE CENTER, LLC.  
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 CITY OF INDUSTRY, CA 91746

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PROJECT NO. MCN0801  
 SHEET 10 OF 20

SCALE 1" = 50' DATE 10/3/22  
 DRAWN BY 1005 APPROVED KDH  
 DRAWING NO. CS2001

L:\PROJECTS\CMCN\CMCN0801-BETHLEHEM COMMERCE CENTER\DESIGN\_PUBLISH\PHASE 4C STAND ALONE\CS2001.DWG PLOTTED: 10/3/22 10:00 AM BY: KYLE HAVEL



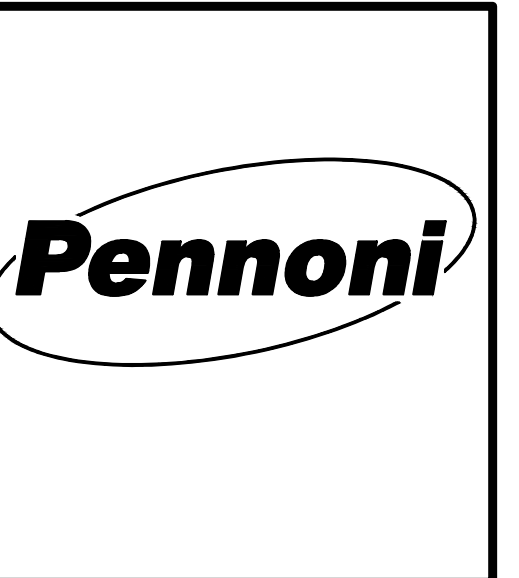
Symbol	Label	Image	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	Lumen Multiple	LLF	Wattage	Efficiency	Distribution	Polar Plot	Notes
SA			8	Lithonia Lighting	TFA 100M TA	CONTOUR SERIES LARGE SPECIFICATION FLOODLIGHT WITH TA (7x7) DISTRIBUTION	ONE 1000-WATT CLEAR BT-56 METAL HALIDE HORIZONTAL POSITION	1	TFA_1000M_T Ailes	107800	1	0.8	1080	50%	7 X 7		
W2			13	Lithonia Lighting	TFA 100M TA	CONTOUR SERIES LARGE SPECIFICATION FLOODLIGHT WITH TA (7x7) DISTRIBUTION	ONE 1000-WATT CLEAR BT-56 METAL HALIDE HORIZONTAL POSITION	1	TFA_1000M_T Ailes	107800	1	0.8	1080	50%	7 X 7		
SA EXISTING			5	Lithonia Lighting	TFA 100M TA	CONTOUR SERIES LARGE SPECIFICATION FLOODLIGHT WITH TA (7x7) DISTRIBUTION	ONE 1000-WATT CLEAR BT-56 METAL HALIDE HORIZONTAL POSITION	1	TFA_1000M_T Ailes	107800	1	0.8	1080	50%	7 X 7		
W2 EXISTING			5	Lithonia Lighting	TFA 100M TA	CONTOUR SERIES LARGE SPECIFICATION FLOODLIGHT WITH TA (7x7) DISTRIBUTION	ONE 1000-WATT CLEAR BT-56 METAL HALIDE HORIZONTAL POSITION	1	TFA_1000M_T Ailes	107800	1	0.8	1080	50%	7 X 7		

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Site	+	3.3 ft	28.4 ft	0.2 ft	142.0:1	16.5:1

- LEGEND**
- PROPERTY LINE
  - PROPERTY LINE TO BE EXTINGUISHED
  - ADJOINING PROPERTY OWNERS LINE
  - PROPERTY CORNER FOUND/MONUMENTS
  - EX. MUNICIPAL BOUNDARY
  - EX. FLOOD PLAIN
  - EX. CENTERLINE OF STREAM
  - EX. EDGE OF PAVEMENT
  - EX. FENCE LINE
  - EX. EDGE OF VEGETATION
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  - EX. MINOR CONTOUR
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  - EX. WATER LINES
  - EX. WATER VALVE
  - EX. WATER METER
  - EX. FIRE HYDRANT
  - EX. SANITARY SEWER PIPE
  - EX. SANITARY MANHOLE
  - EX. STORMWATER PIPE
  - EX. STORMWATER STRUCTURES
  - EX. OVERHEAD ELECTRIC
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  - PROPOSED EASEMENT
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  - PROPOSED GORE STRIPING
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  - PROPOSED SIGN
  - PROPOSED BOLLARD
  - PROPOSED PROPERTY CORNER
  - PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
  - PROPOSED STORMWATER PIPE
  - PROPOSED STORMWATER INLET
  - PROPOSED STORMWATER MANHOLE
  - PROPOSED WATER LINE
  - PROPOSED FIRE LINE
  - PROPOSED WATER VALVE
  - PROPOSED FIRE HYDRANT
  - PROPOSED SANITARY SEWER
  - PROPOSED SANITARY MANHOLE
  - PROPOSED CLEAN OUT
  - PROPOSED OVERHEAD ELECTRIC
  - PROPOSED UNDERGROUND ELECTRIC
  - PROPOSED UTILITY POLE
  - PROPOSED GAS LINE

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DATE	NO.	REVISIONS	BY

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THOMAS JOHN SERICO  
Professional Engineer  
No. 00000000000000000000000000000000

MAJESTIC BETHLEHEM CENTER—LOT 4C  
3677 COMMERCE CENTER BOULEVARD  
BETHLEHEM, PA 18015

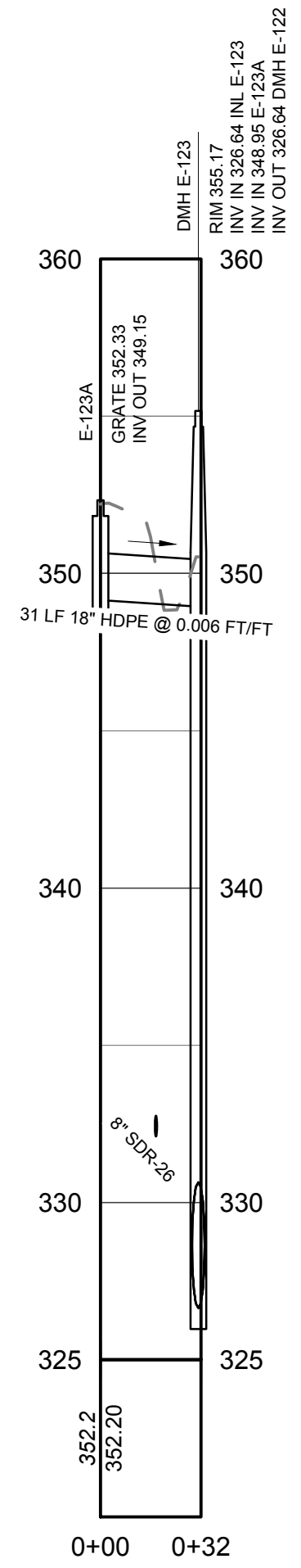
**LIGHTING PHOTOMETRIC PLAN**

BETHLEHEM COMMERCE CENTER, LLC.  
13191 CROSSROADS PARKWAY NORTH, 6TH FLOOR  
CITY OF INDUSTRY, CA 91746

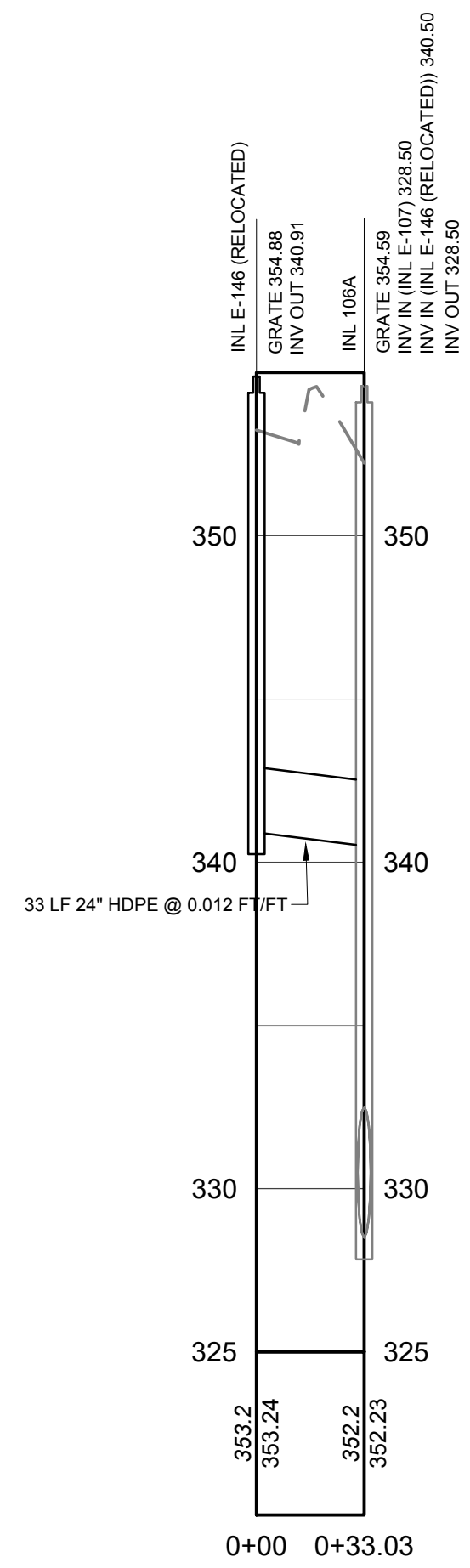
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PROJECT NO. CMCN0801  
SHEET 110f 20

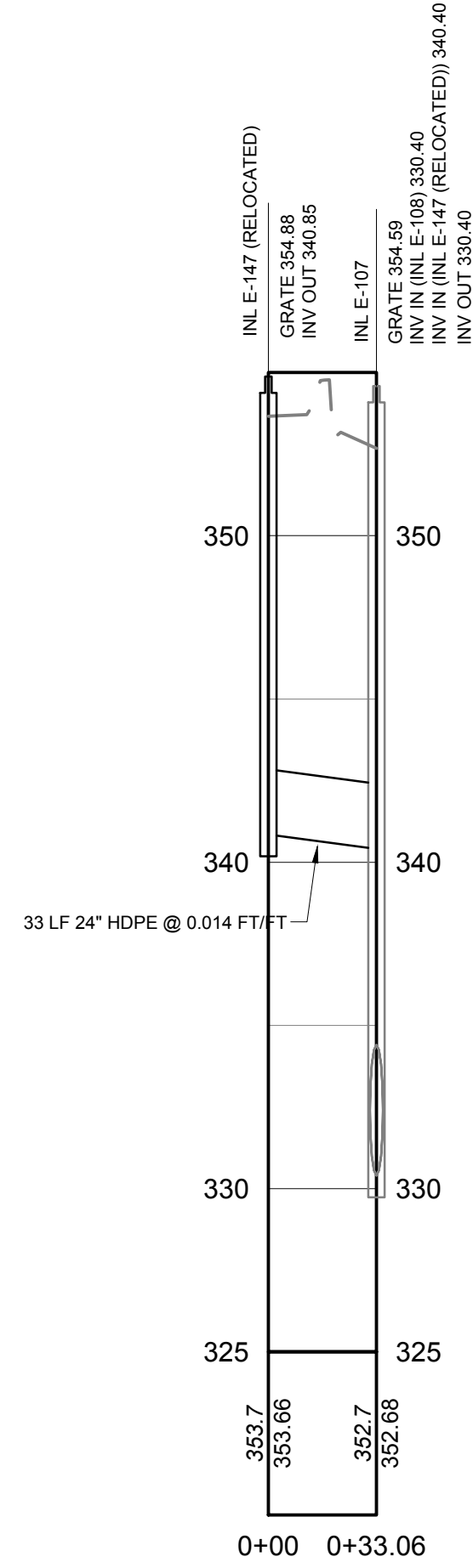
SCALE 1" = 50' DATE 10/3/22  
DRAWN BY 1005 APPROVED KDH  
DRAWING NO. CS2201



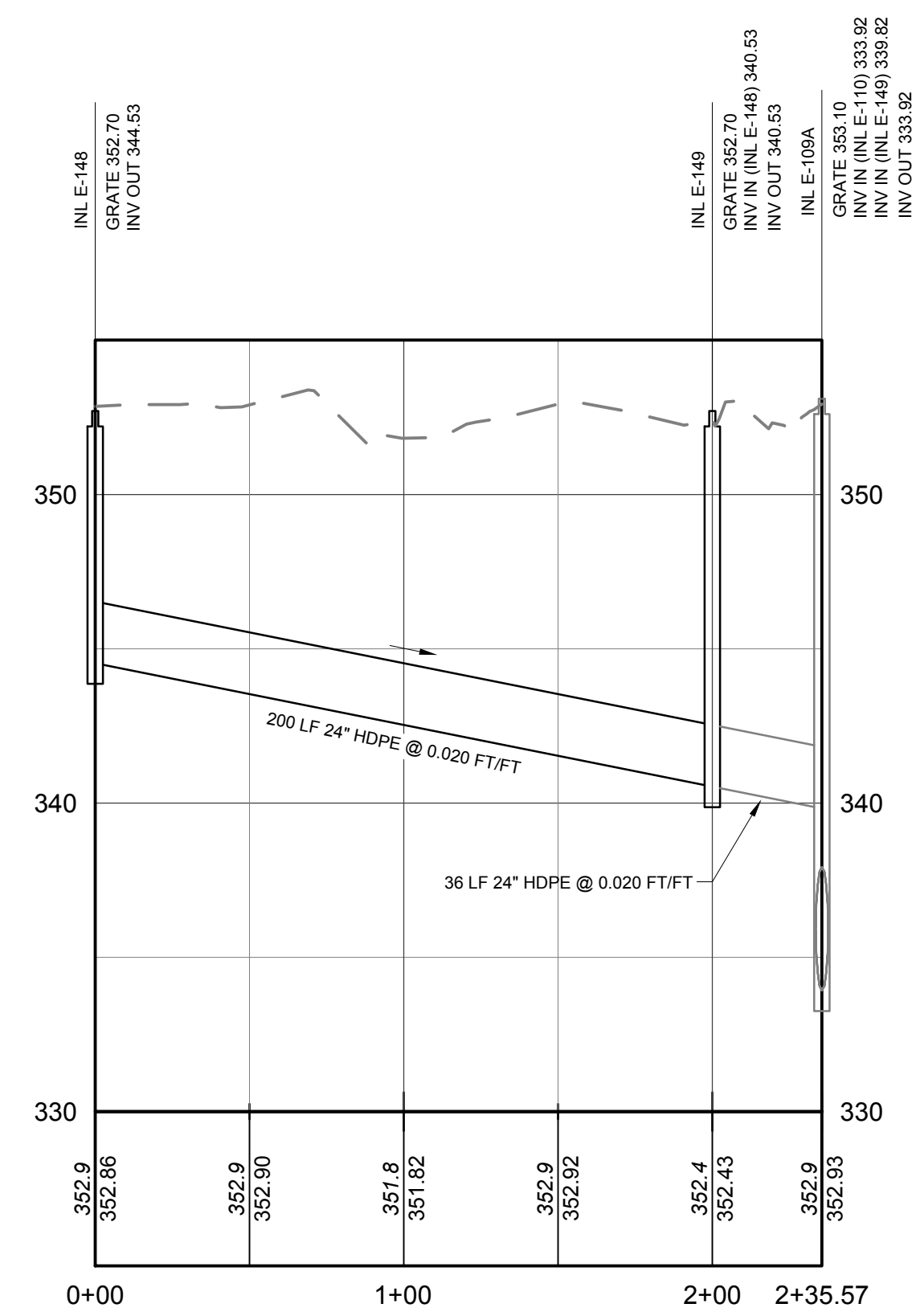
E-123A TO EX DMH E-123  
 HORIZONTAL SCALE: 1" = 50'  
 VERTICAL SCALE: 1" = 5'



INL E-146 (RELOCATED) TO EX INL 106A  
 HORIZONTAL SCALE: 1" = 50'  
 VERTICAL SCALE: 1" = 5'



INL E-147 TO EX INL E-107  
 HORIZONTAL SCALE: 1" = 50'  
 VERTICAL SCALE: 1" = 5'



INL E-148 TO EX INL E-109A  
 HORIZONTAL SCALE: 1" = 50'  
 VERTICAL SCALE: 1" = 5'

PROJECT NO. CMCN0801	
SHEET 12 OF 20	
SCALE 1" = 50'	DATE 10/3/22
DRAWN BY 1005	APPROVED KDH
DRAWING NO. <b>CS4001</b>	

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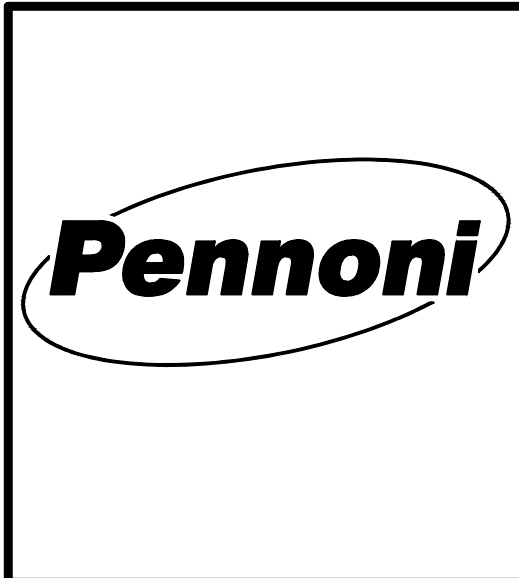
**MAJESTIC BETHLEHEM CENTER—LOT 4C**  
 3677 COMMERCE CENTER BOULEVARD  
 BETHLEHEM, PA 18015

**STORM SEWER PROFILES**

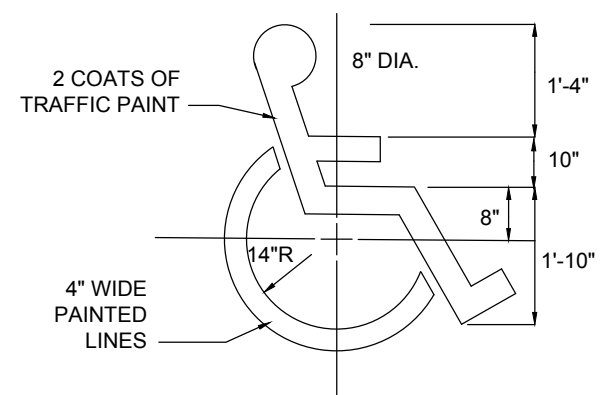
BETHLEHEM COMMERCE CENTER, LLC.  
 13191 CROSSROADS PARKWAY NORTH, 6TH FLOOR  
 CITY OF INDUSTRY, CA 91746

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

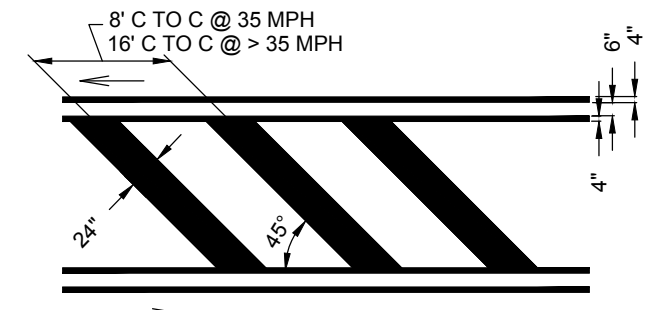
**Pennoni Associates Inc.** Engineers • Surveyors • Planners • Landscape Architects



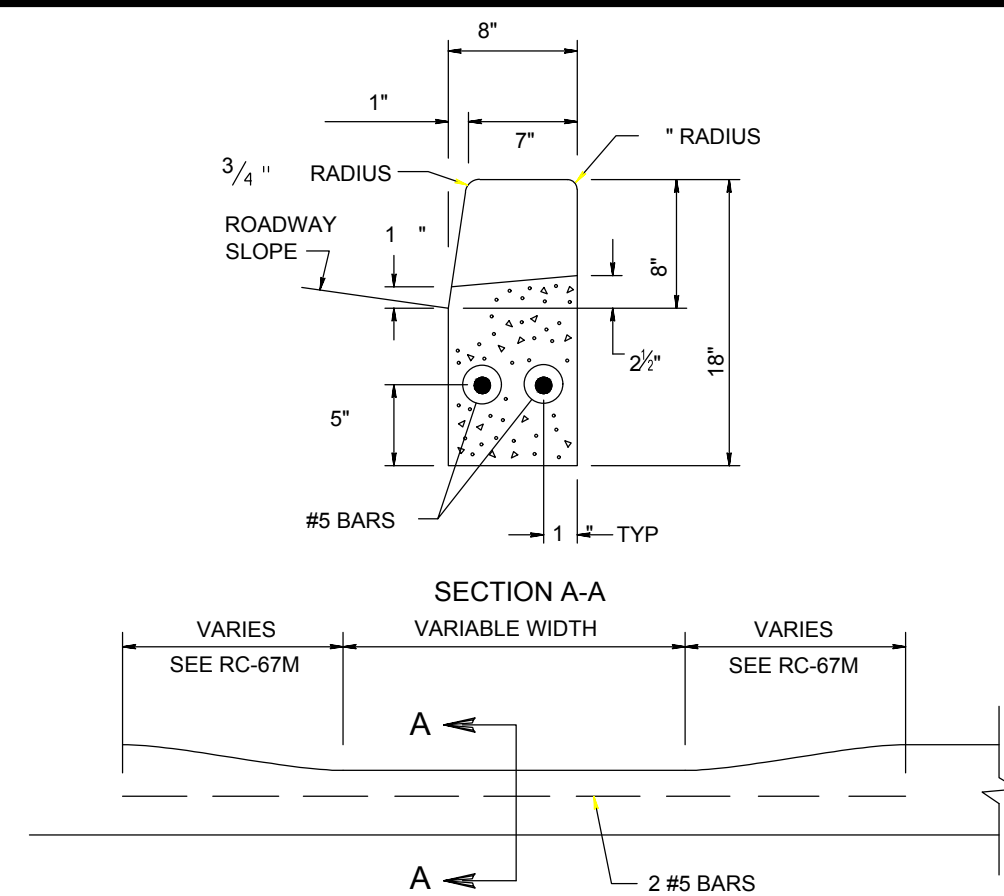
NO.	DATE	REVISIONS	BY



HANDICAP SYMBOL  
N.T.S.

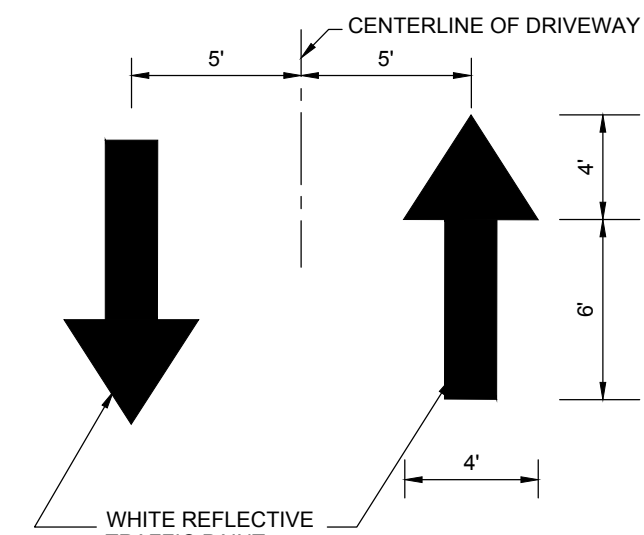


GORE STRIPING DETAIL  
N.T.S.

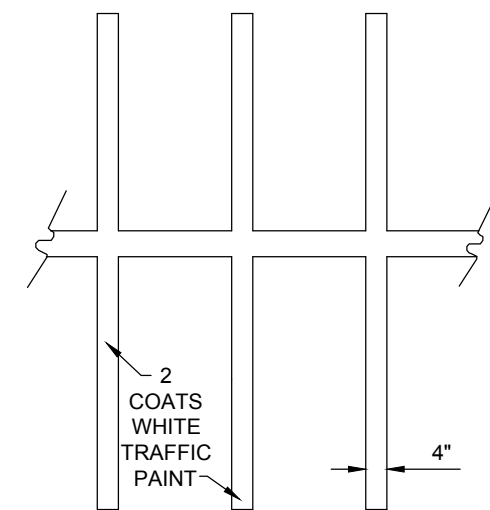


ELEVATION VIEW

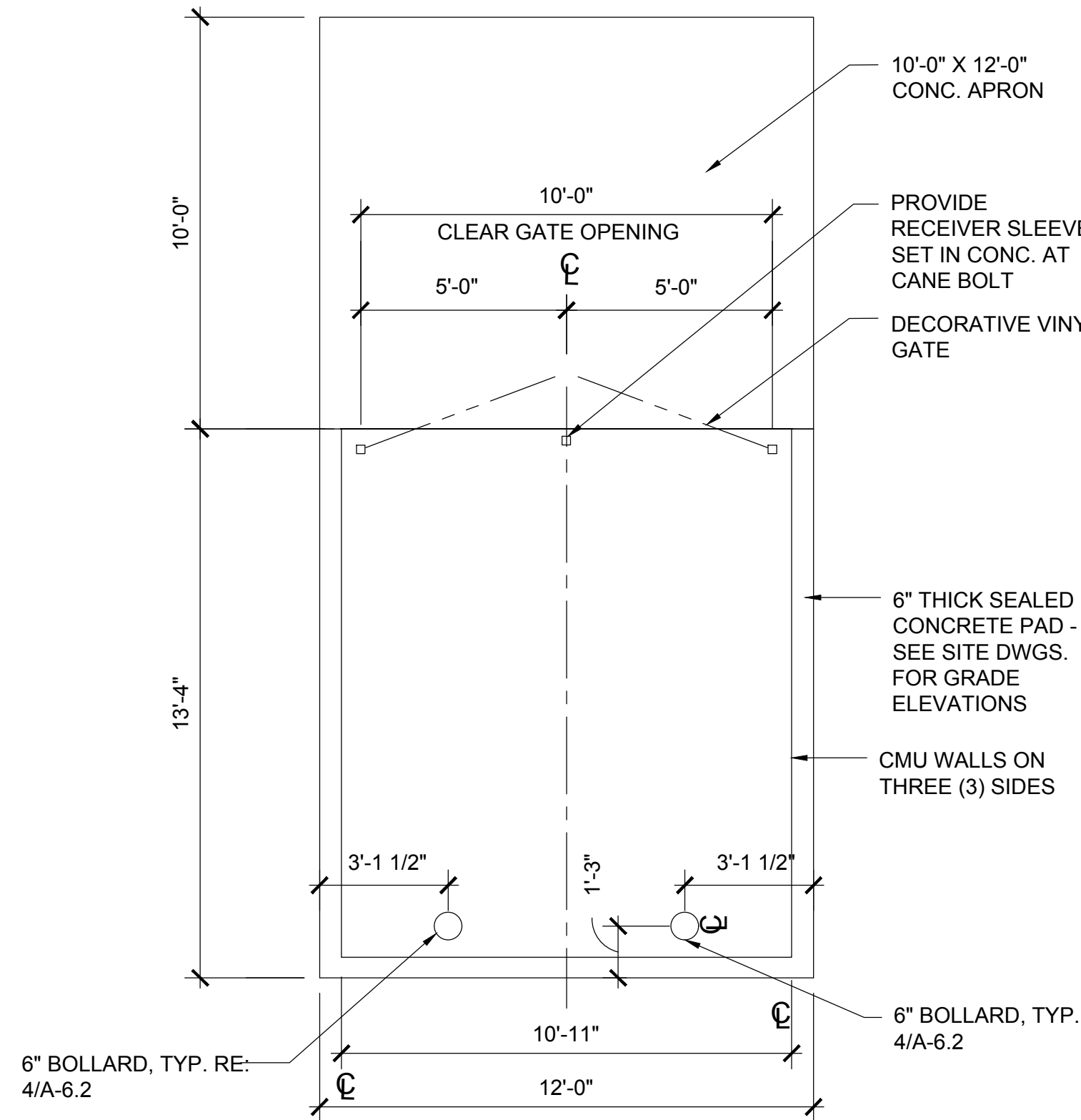
DEPRESSED CURB  
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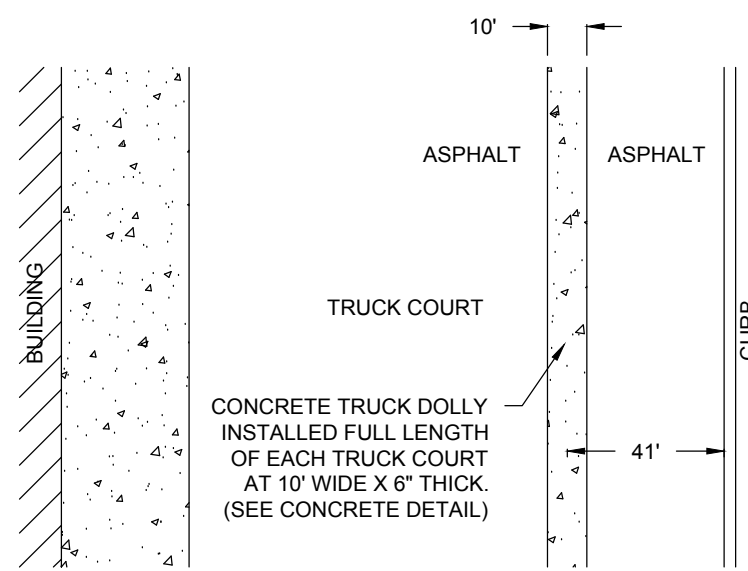
DRIVEWAY TRAFFIC FLOW DIRECTIONAL  
ARROW DETAIL  
N.T.S.



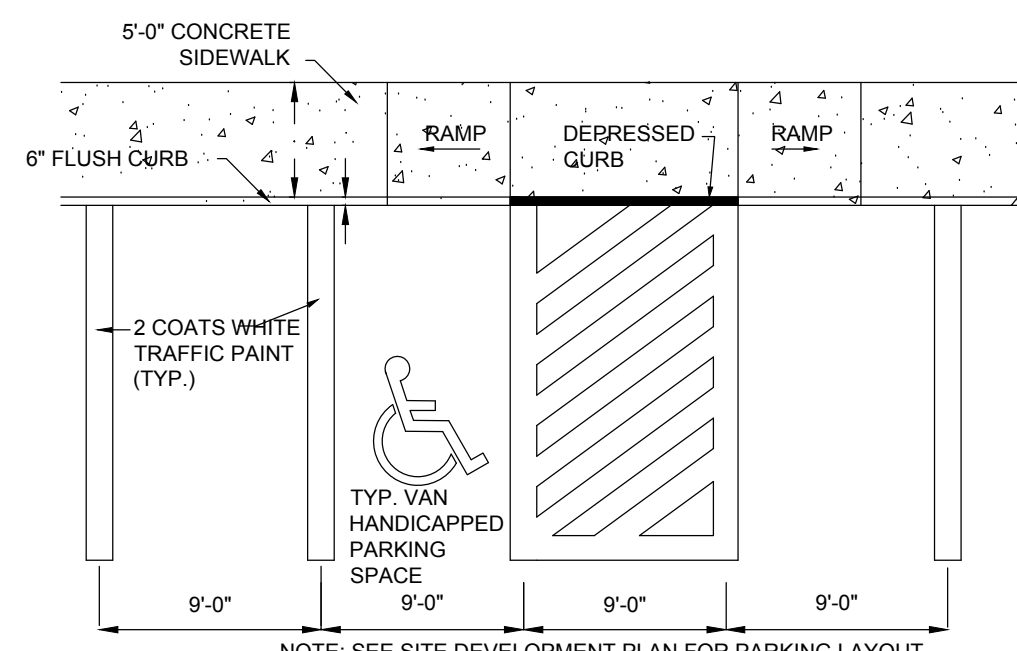
PAVEMENT STRIPING DETAIL  
N.T.S.



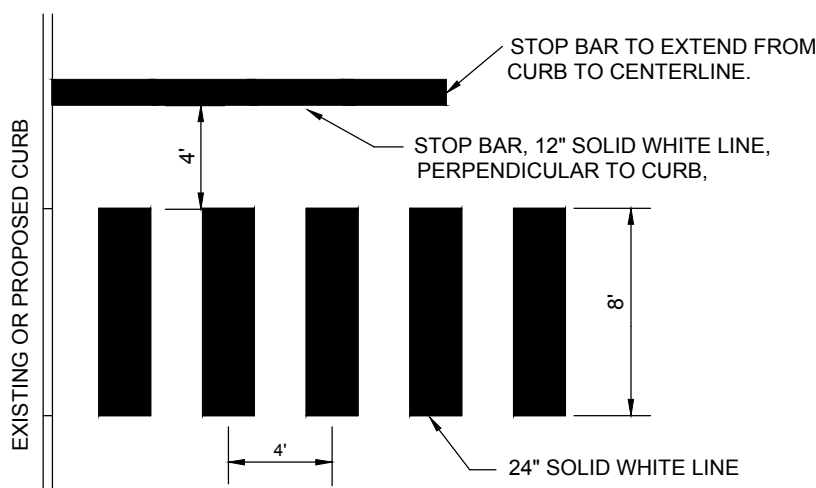
TRASH ENCLOSURE DETAIL  
N.T.S.



TRUCK CONCRETE DOLLY DETAIL  
N.T.S.



HANDICAPPED PAVEMENT STRIPING DETAIL  
N.T.S.



NOTES:  
1. CROSSWALK STRIPING TO BE ALIGNED WITH THE DIRECTION OF TRAFFIC FLOW.  
2. LOCATION OF STREET MARKINGS TO BE APPROVED BY THE CITY OF BETHLEHEM TRAFFIC DEPARTMENT PRIOR TO INSTALLATION.

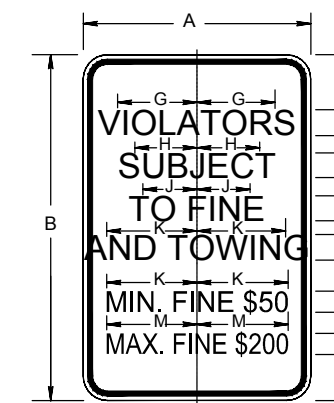
CROSSWALK MARKINGS AND STOP BAR  
N.T.S.



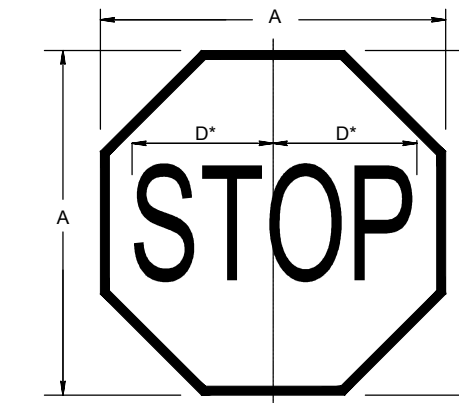
R7-8B  
12"x18"



R7-8  
12"x18"

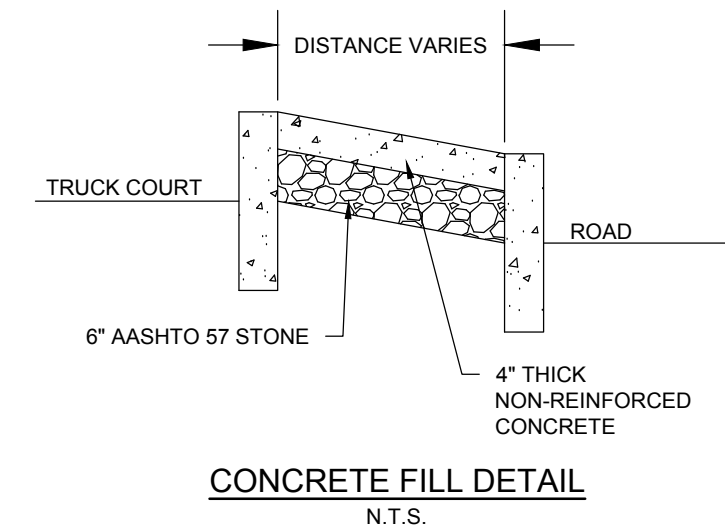


R7-8F  
12" X 18"



R1-1  
30" X 30"

TRAFFIC SIGNS  
N.T.S.



CONCRETE FILL DETAIL  
N.T.S.



NO.	DATE	REVISIONS	BY

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61 Highland Avenue, Suite 230  
Bethlehem, PA 18017 - 610.231.0600

MAJESTIC BETHLEHEM CENTER—LOT 4C  
3677 COMMERCE CENTER BOULEVARD  
BETHLEHEM, PA 18015

SITE DETAILS

BETHLEHEM COMMERCE CENTER, LLC.  
13191 CROSSROADS PARKWAY NORTH, 6TH FLOOR  
CITY OF INDUSTRY, CA 91746

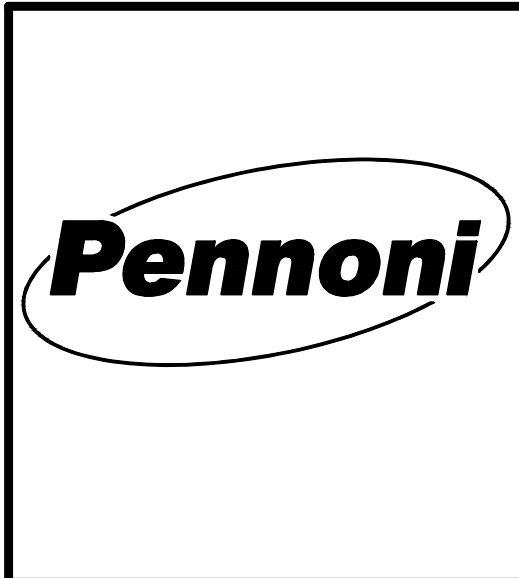
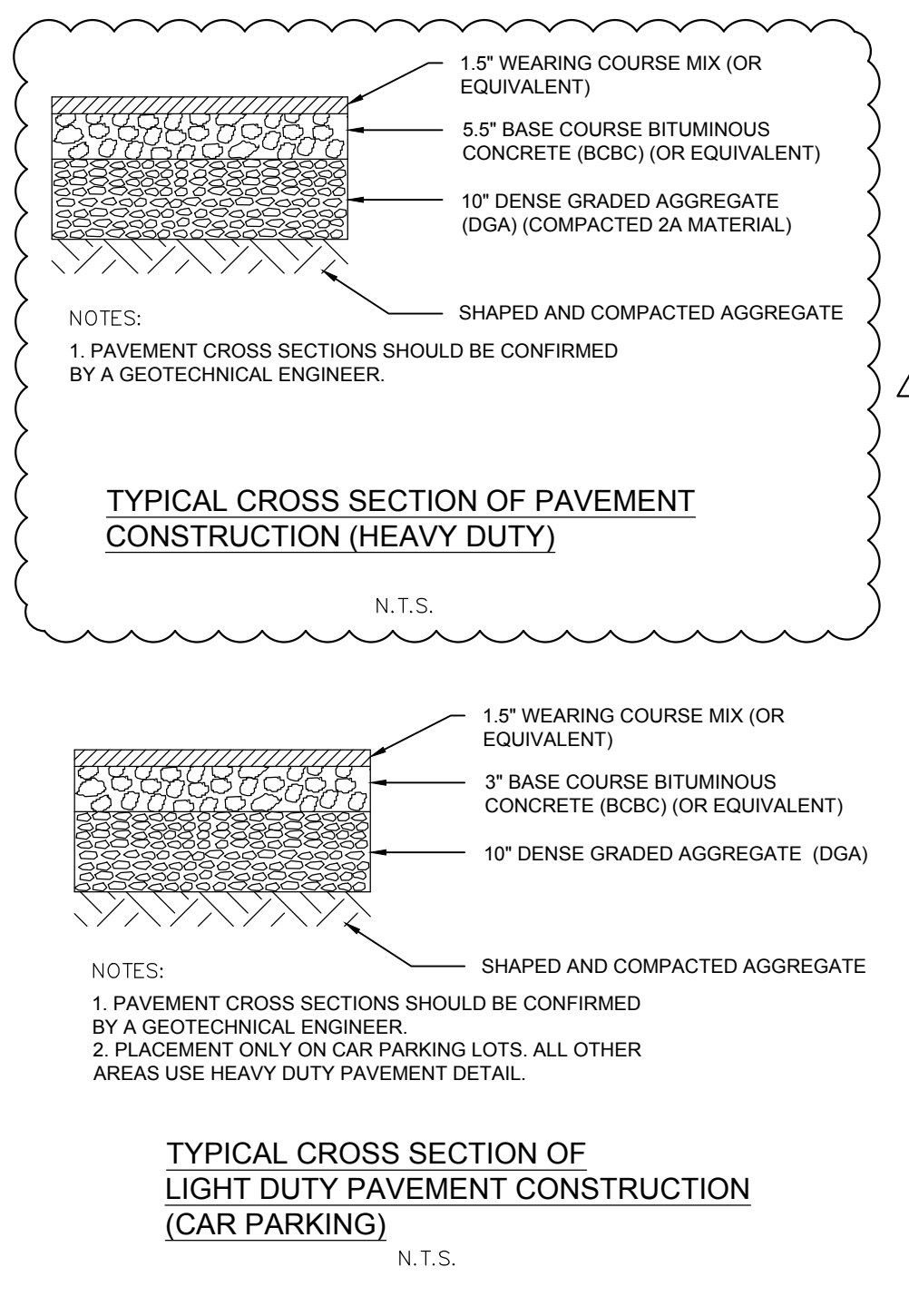
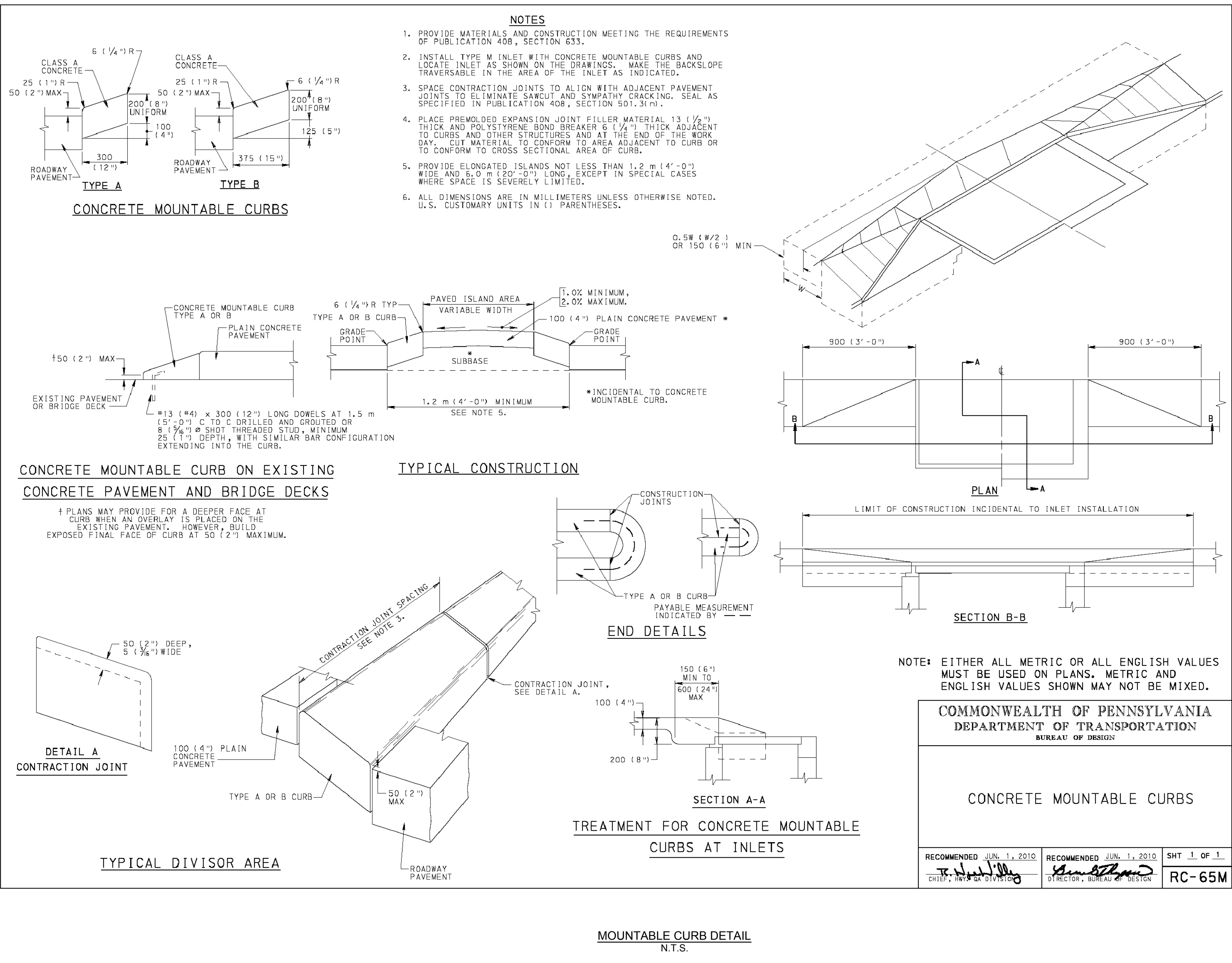
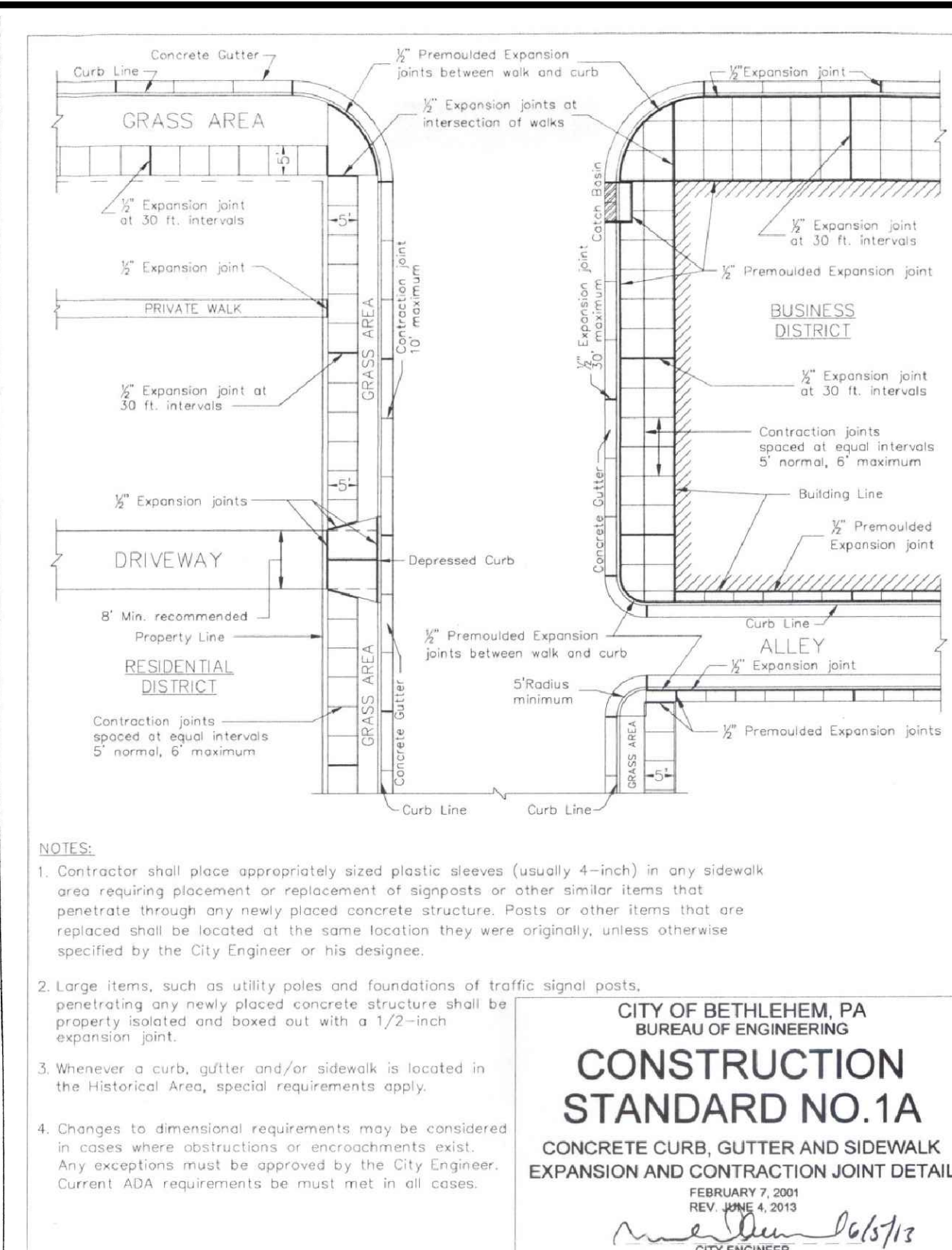
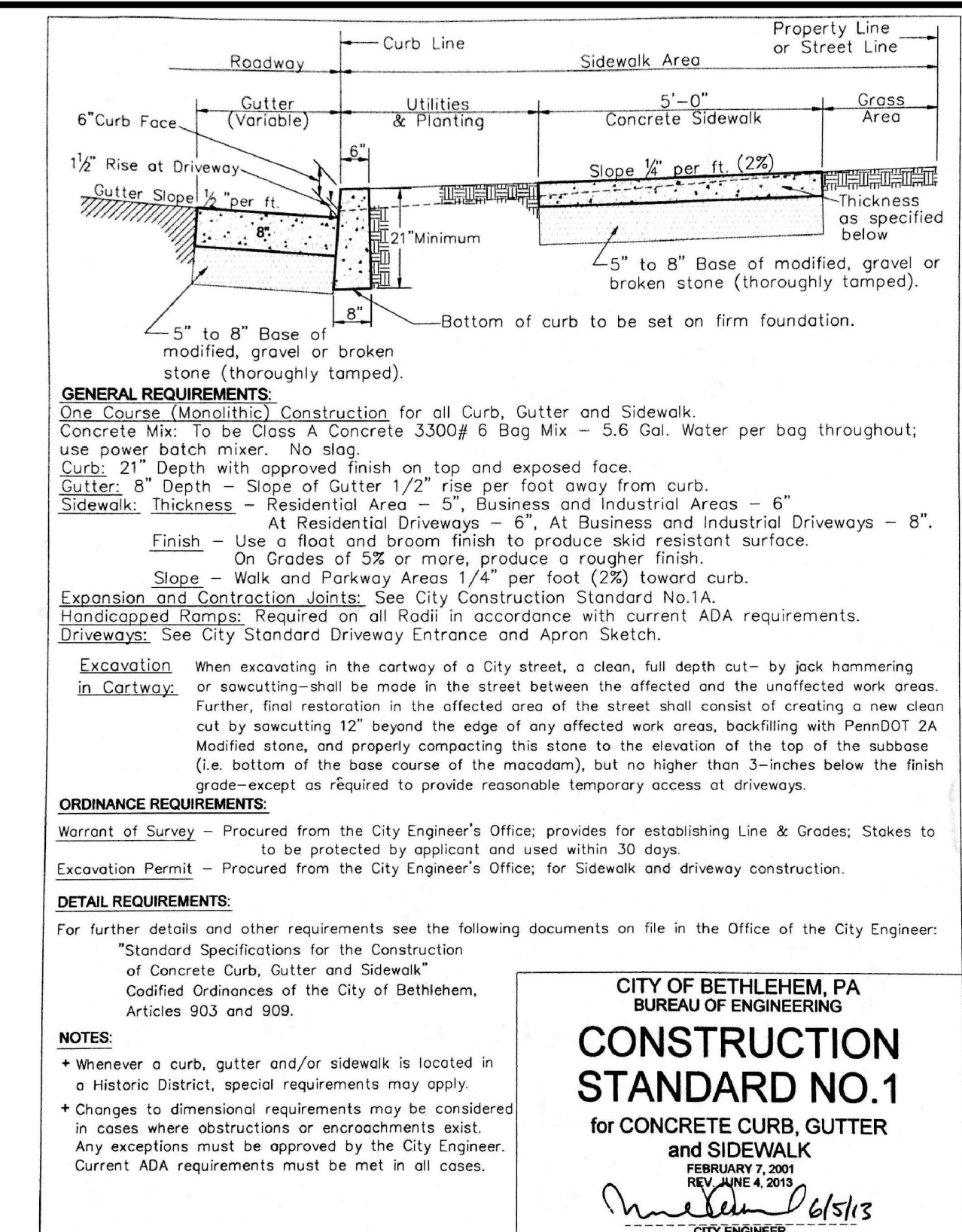
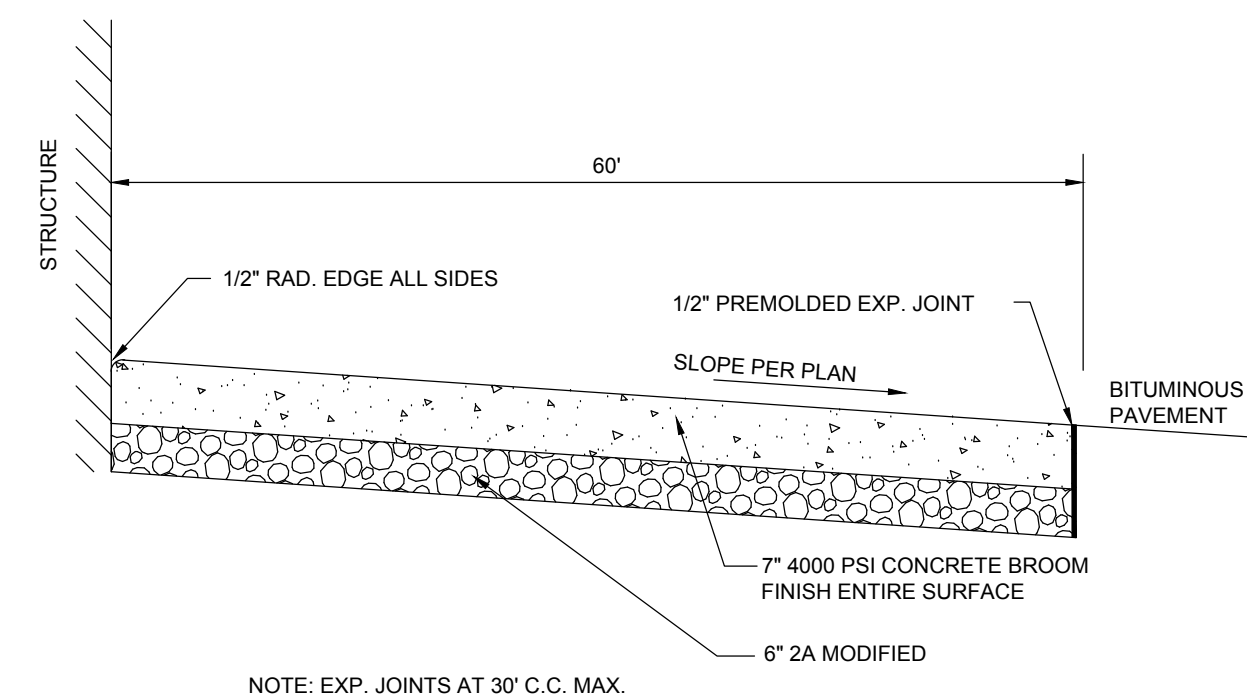
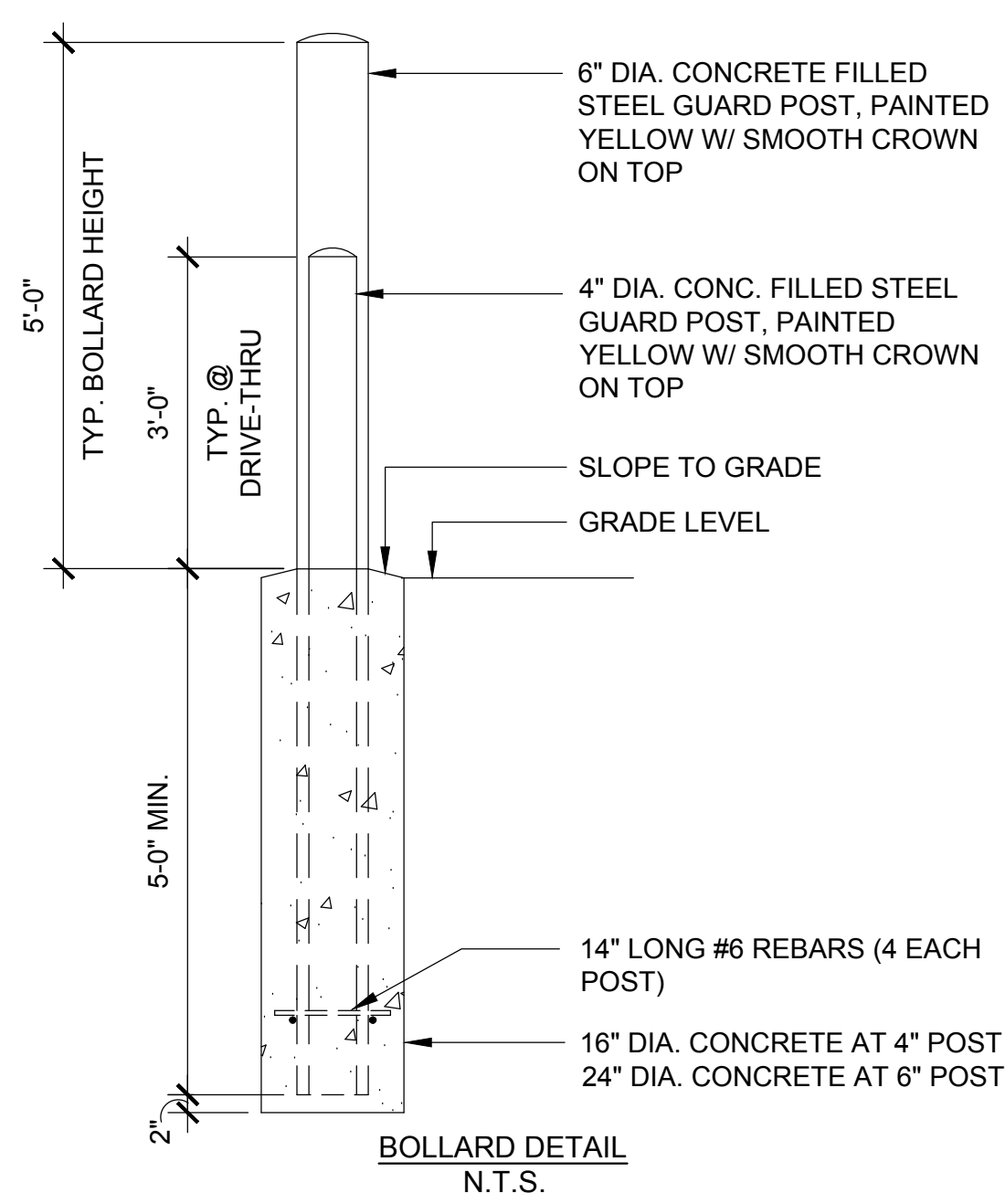
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PROJECT NO.	CMCN0801
SHEET	13 OF 20

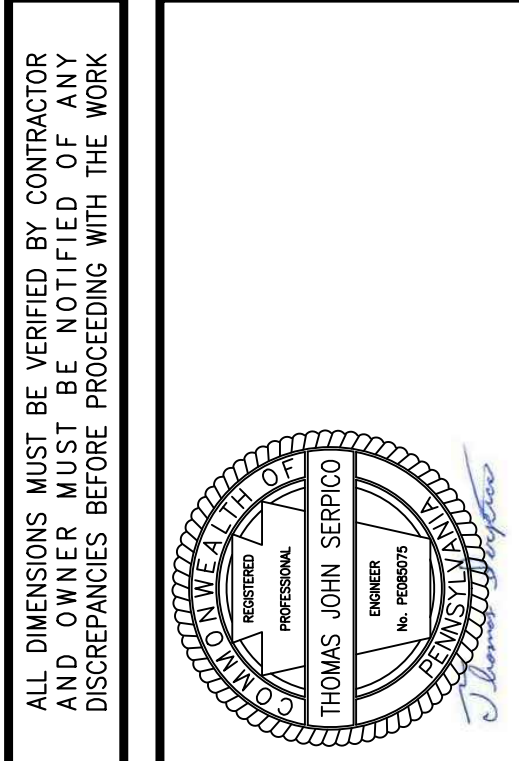
SCALE	NTS	DATE	10/3/22
DRAWN BY	1005	APPROVED	KDH

DRAWING NO. CS6001

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NO.	DATE	REVISIONS	BY
1	10/14/22	REVISED HEAVY DUTY PAVEMENT DETAIL	KDH



81 Highland Avenue, Suite 230  
Bethlehem, PA 18017 - 610.231.0600

**MAJESTIC BETHLEHEM CENTER—LOT 4C**  
3677 COMMERCE CENTER BOULEVARD  
BETHLEHEM, PA 18015

**BETHLEHEM COMMERCE CENTER, LLC.**  
13191 CROSSROADS PARKWAY NORTH, 6TH FLOOR  
CITY OF INDUSTRY, CA 91746

**Pennoni Associates Inc.**  
Engineers • Surveyors • Planners • Landscape Architects

**COMMONWEALTH OF PENNSYLVANIA**  
DEPARTMENT OF TRANSPORTATION  
BUREAU OF DESIGN

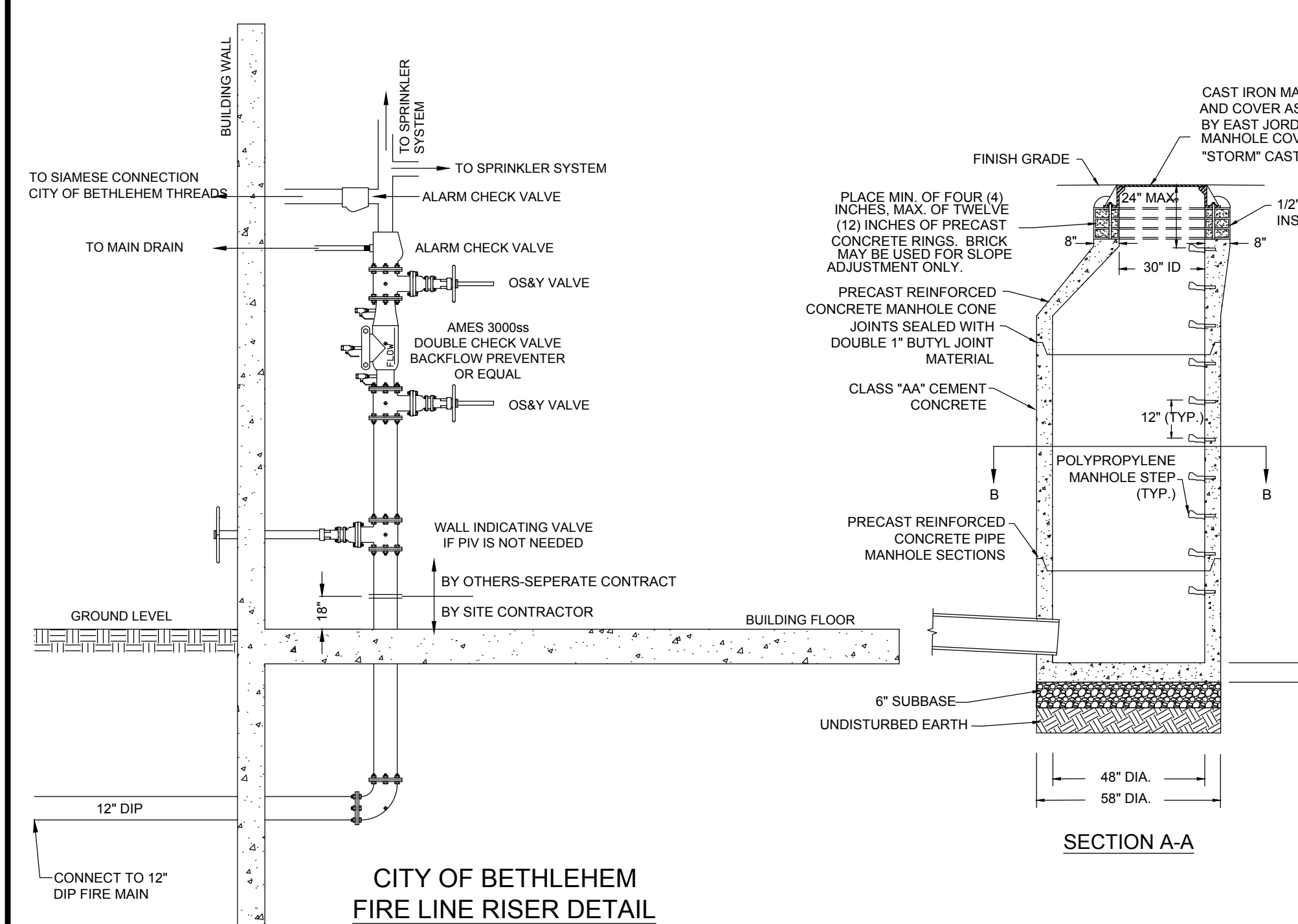
**CONCRETE MOUNTABLE CURBS**

PROJECT NO. MCN0801  
SHEET 14 OF 20

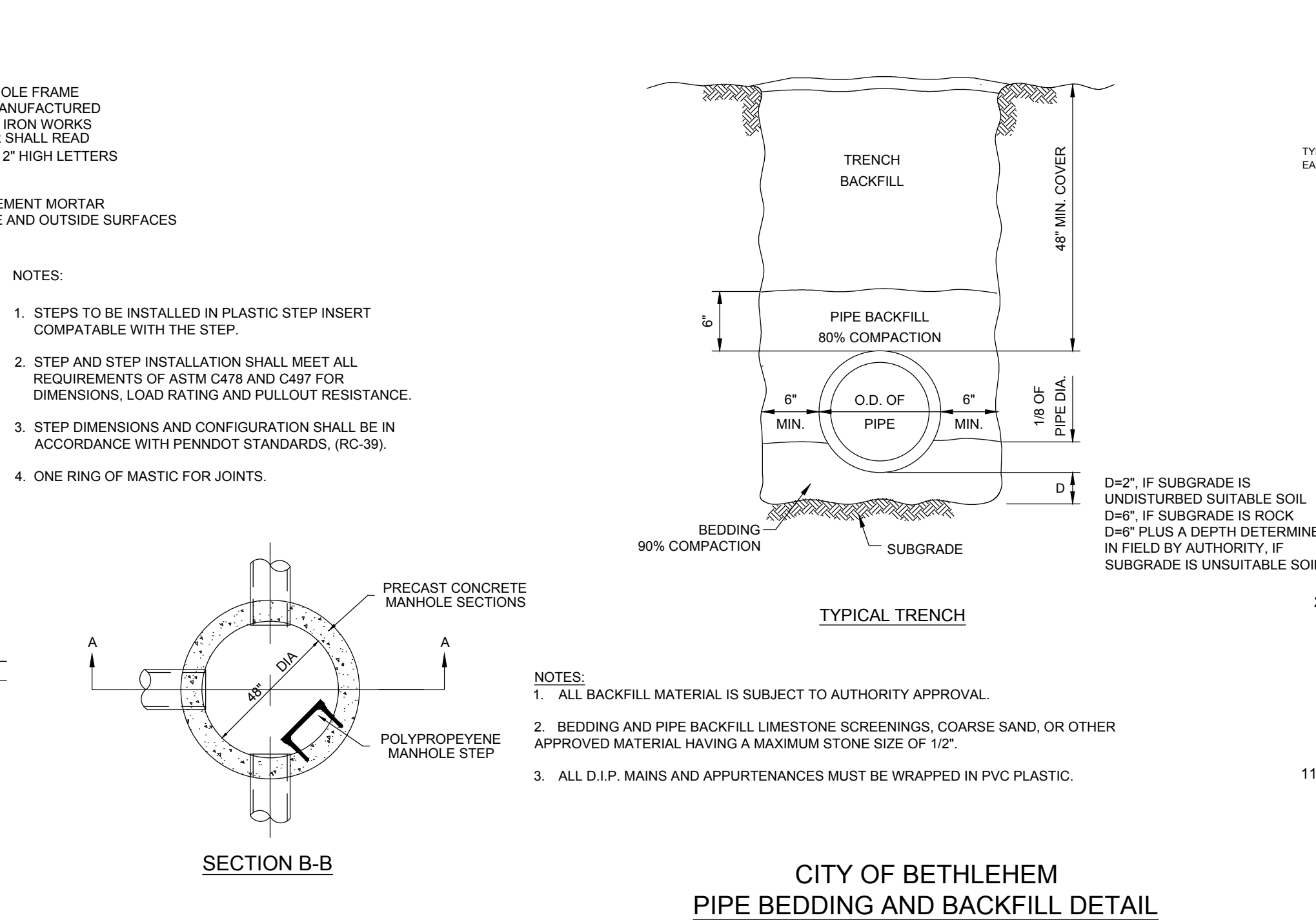
SCALE: NTS  
DATE: 10/3/22

DRAWN BY: 1005  
APPROVED: KDH

DRAWING NO. CS6002

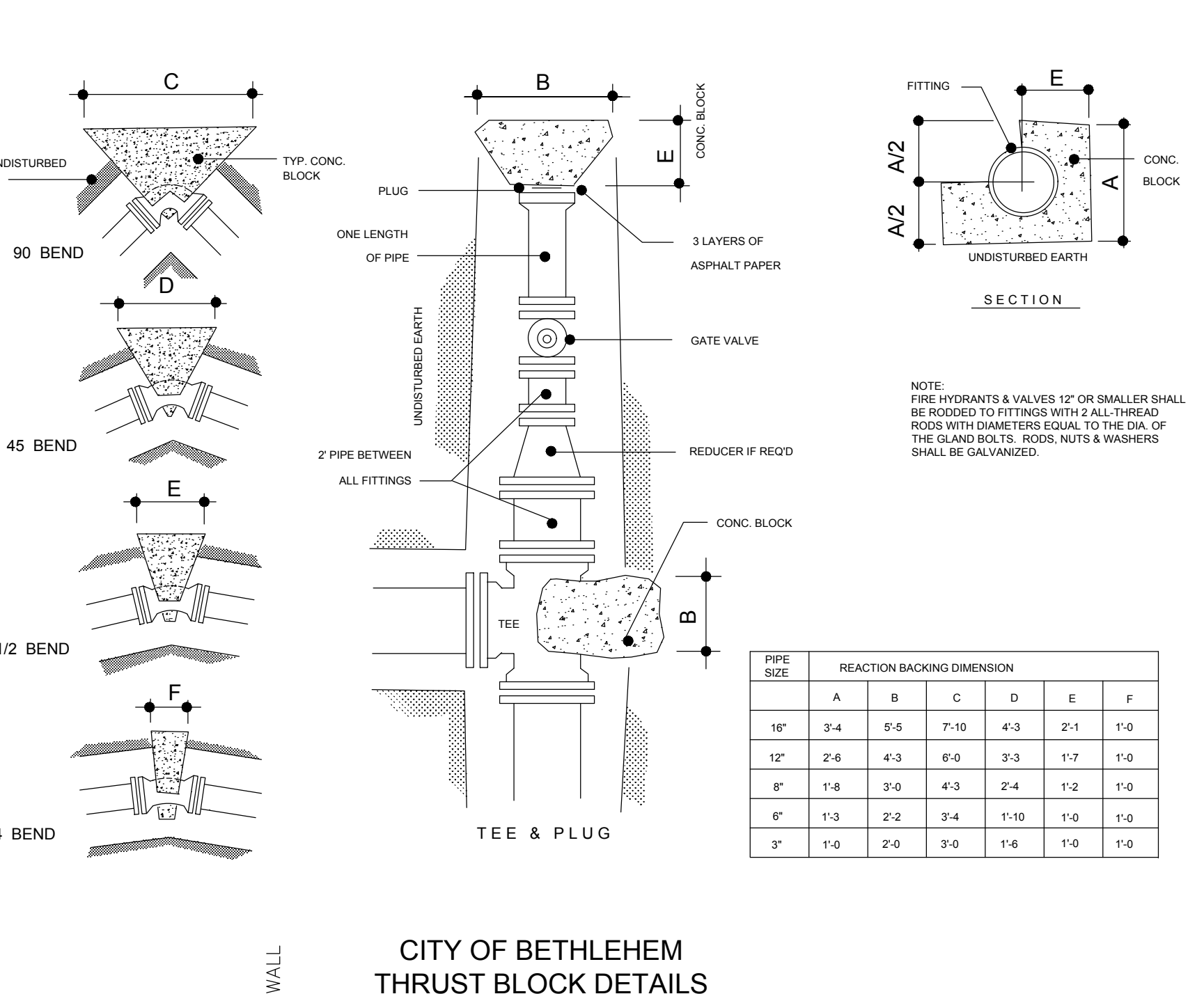


**CITY OF BETHLEHEM FIRE LINE RISER DETAIL**  
N.T.S.



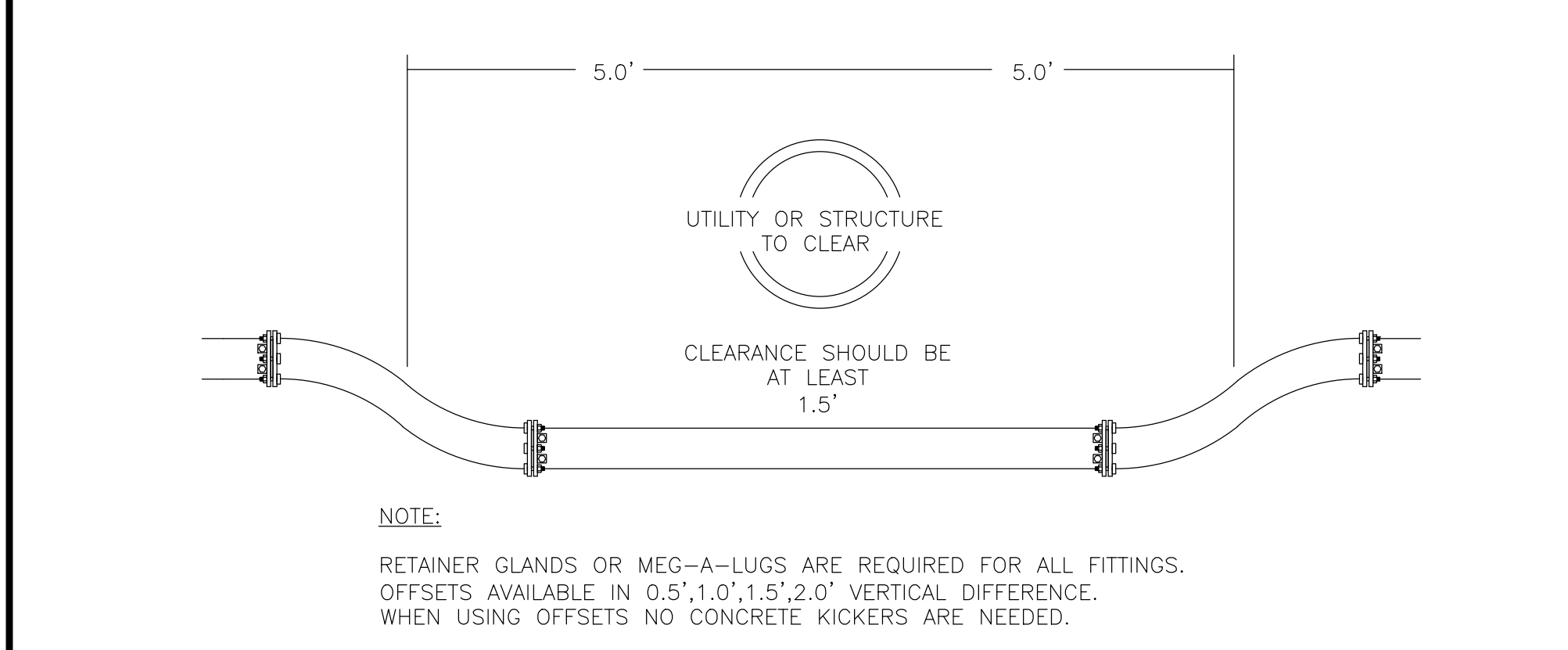
**STANDARD PRECAST MANHOLE-STORM**  
N.T.S.

**CITY OF BETHLEHEM PIPE BEDDING AND BACKFILL DETAIL**  
N.T.S.

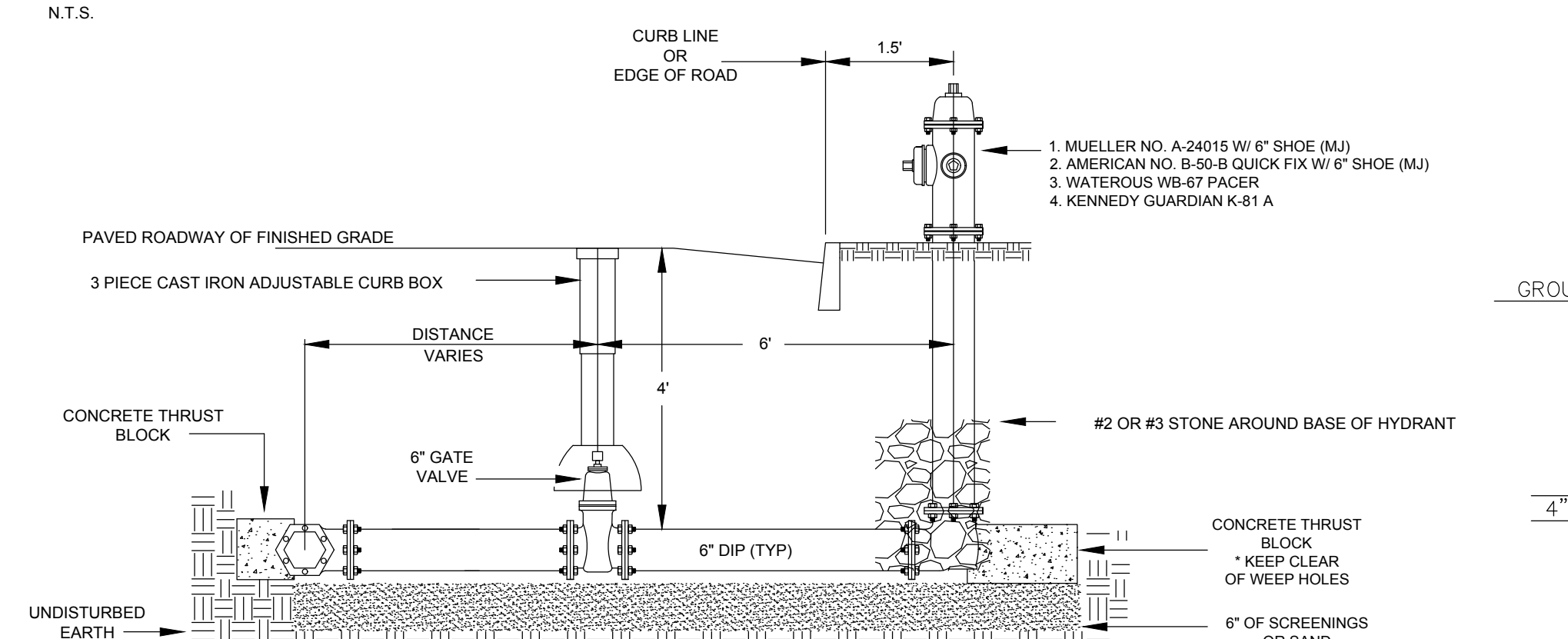


**CITY OF BETHLEHEM THRUST BLOCK DETAILS**  
N.T.S.

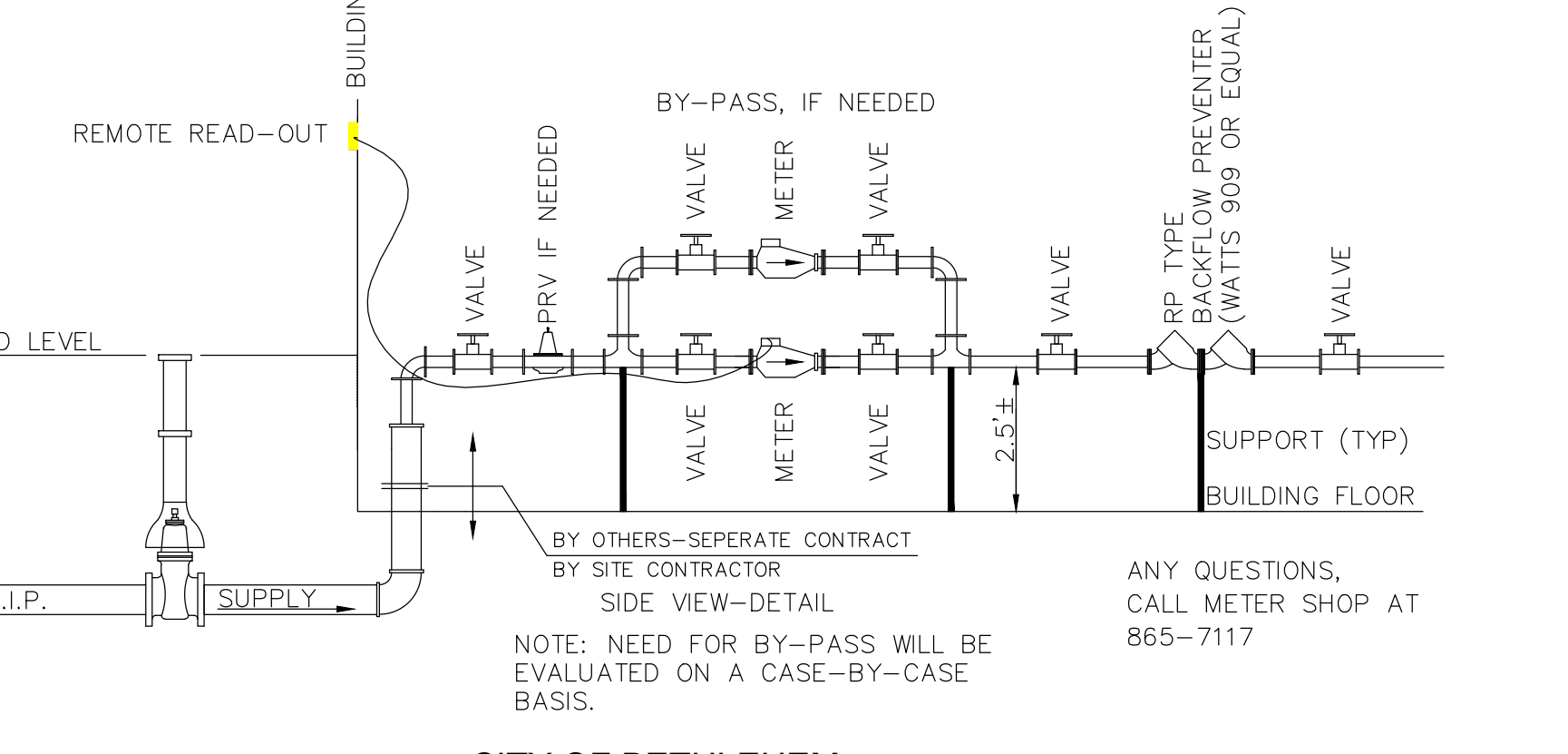
PIPE SIZE	REACTION BACKING DIMENSION					
	A	B	C	D	E	F
18"	3-4	5-5	7-10	4-3	2-1	1-0
12"	2-6	4-3	6-0	3-3	1-7	1-0
8"	1-8	3-0	4-3	2-4	1-2	1-0
6"	1-3	2-2	3-4	1-10	1-0	1-0
3"	1-0	2-0	3-0	1-6	1-0	1-0



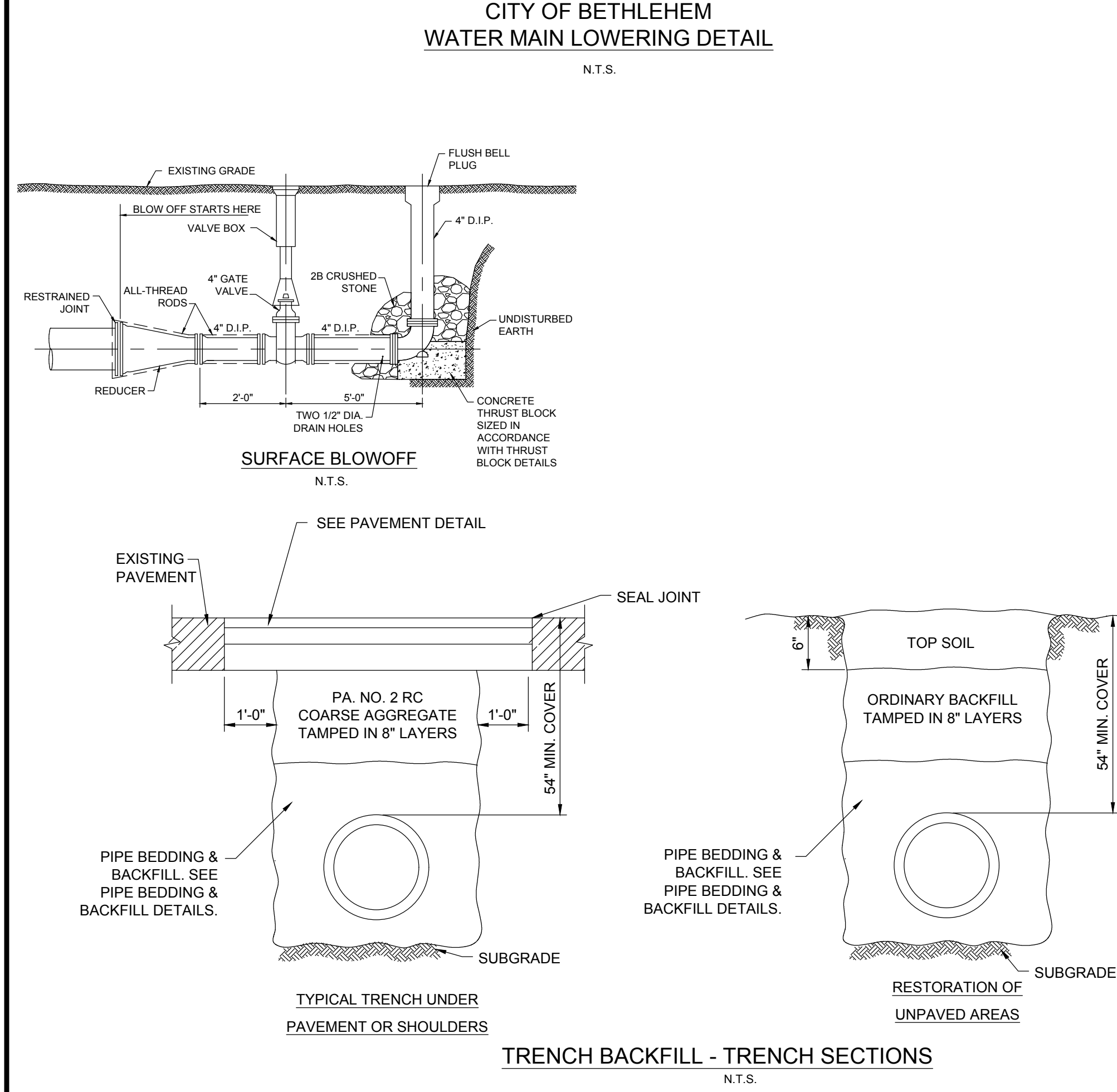
**CITY OF BETHLEHEM WATER MAIN LOWERING DETAIL**  
N.T.S.



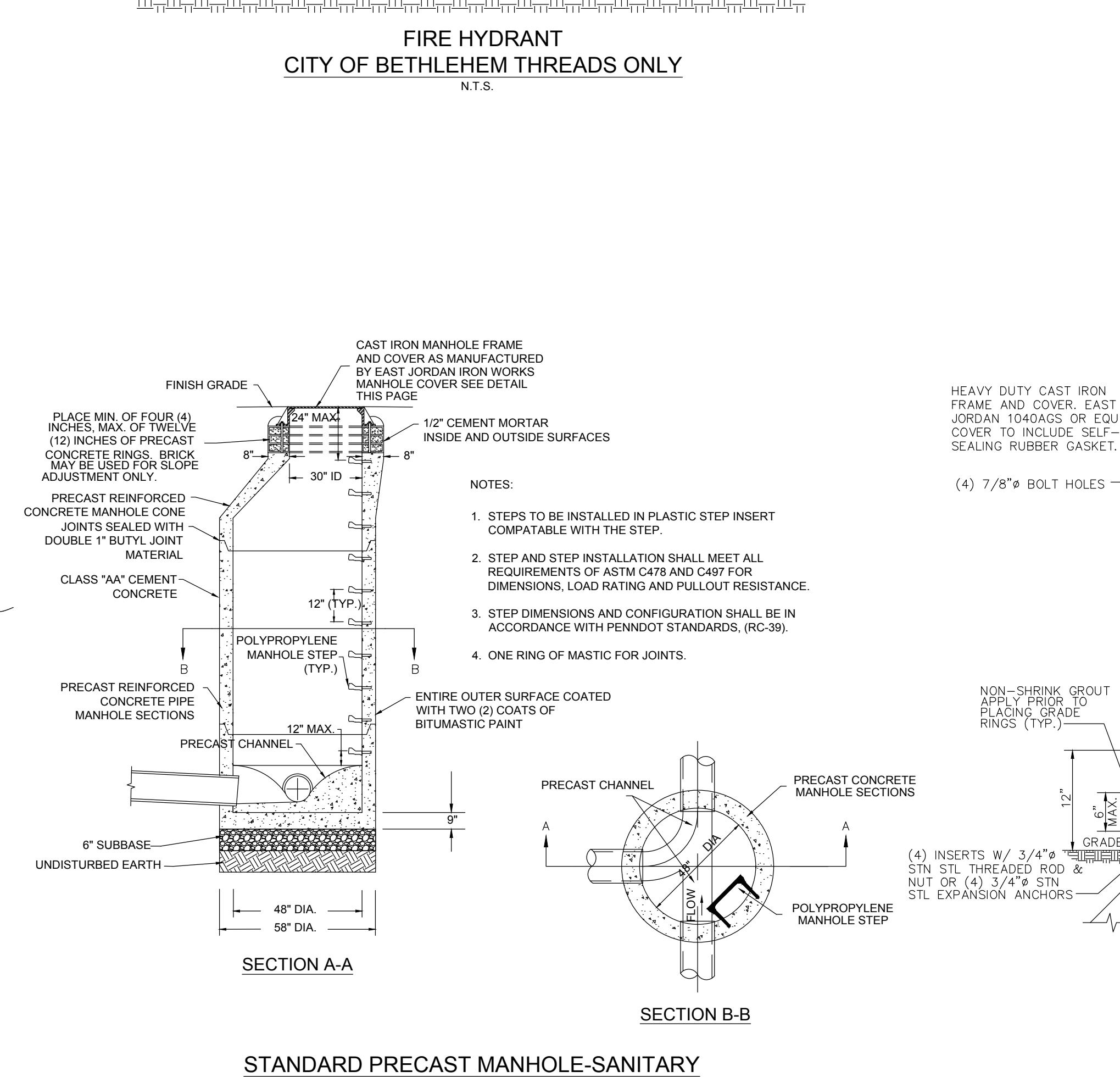
**CITY OF BETHLEHEM FIRE HYDRANT CITY OF BETHLEHEM THREADS ONLY**  
N.T.S.



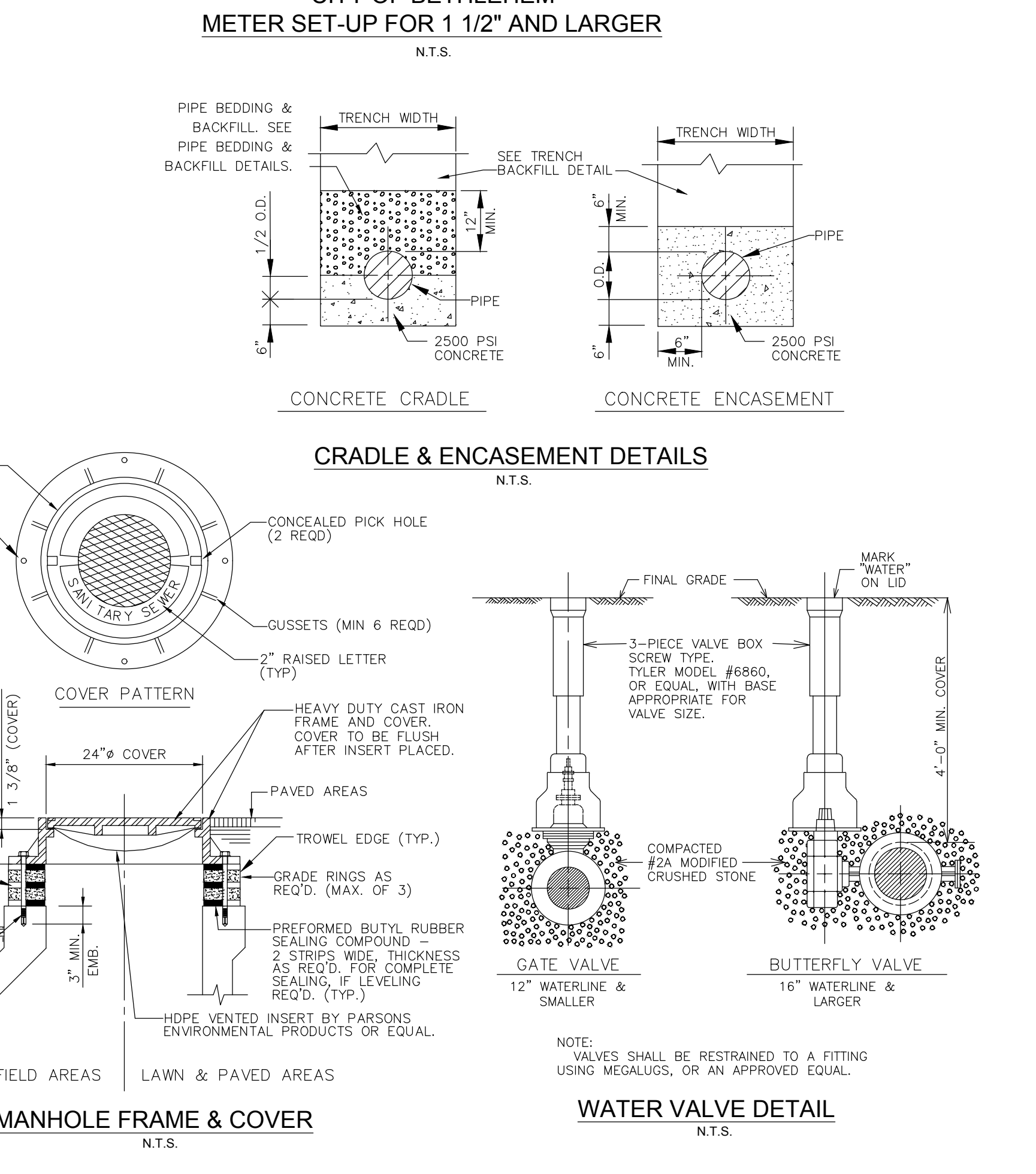
**CITY OF BETHLEHEM METER SET-UP FOR 1 1/2\"/>**



**TRENCH BACKFILL - TRENCH SECTIONS**  
N.T.S.



**STANDARD PRECAST MANHOLE-SANITARY**  
N.T.S.



**MANHOLE FRAME & COVER**  
N.T.S.

**WATER VALVE DETAIL**  
N.T.S.



NO.	DATE	REVISIONS	BY

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**MAJESTIC BETHLEHEM CENTER—LOT 4C**  
3677 COMMERCE CENTER BOULEVARD  
BETHLEHEM, PA 18015

**SITE DETAILS**

BETHLEHEM COMMERCE CENTER, LLC.  
13191 CROSSROADS PARKWAY NORTH, 6TH FLOOR  
CITY OF INDUSTRY, CA 91746

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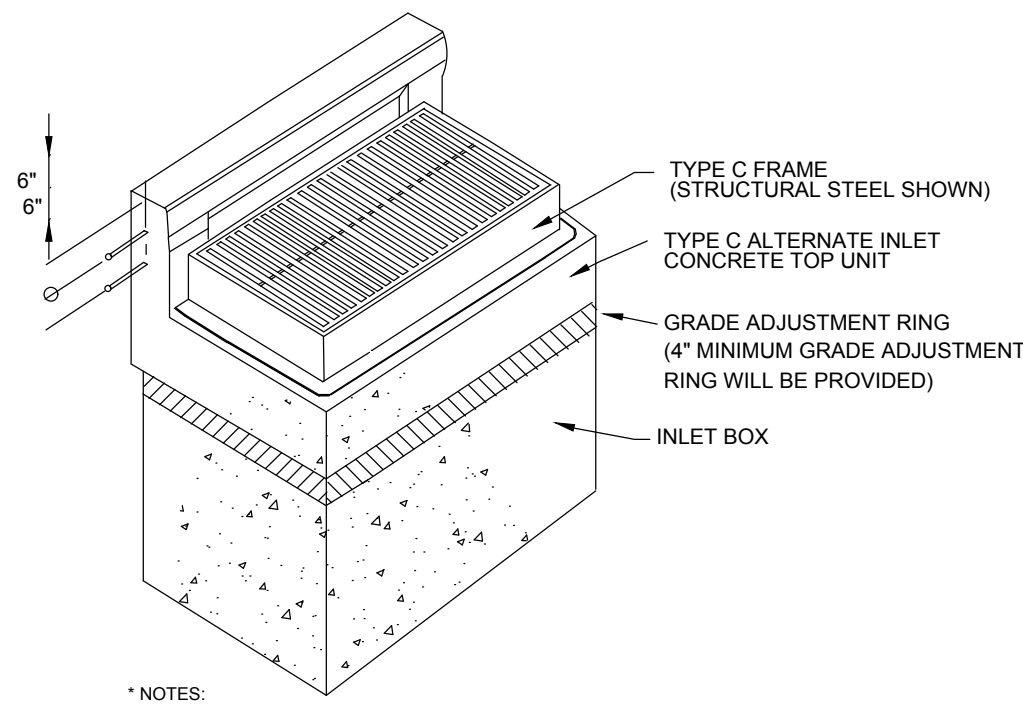
PROJECT NO. MCN0801  
SHEET 15 OF 20

SCALE: NTS DATE: 10/3/22  
DRAWN BY: 1005 APPROVED: KDH  
DRAWING NO. CS6003

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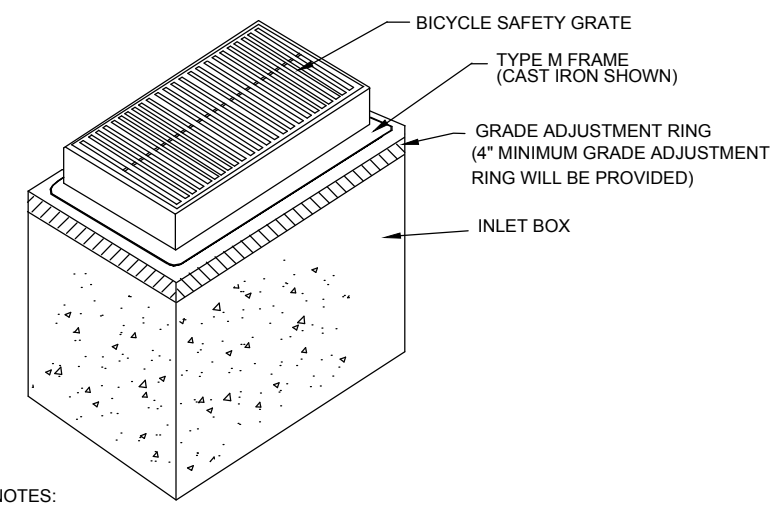
61 Highland Avenue, Suite 230 Bethlehem, PA 18017 - 610.231.0600

PENNONI ASSOCIATES INC. - BETHLEHEM, PA 18017 - 610.231.0600 - PLOTTED: 10/11/2022 10:08:30 AM - 10/11/2022 10:08:30 AM - PROJECT SHEET: 15 OF 20



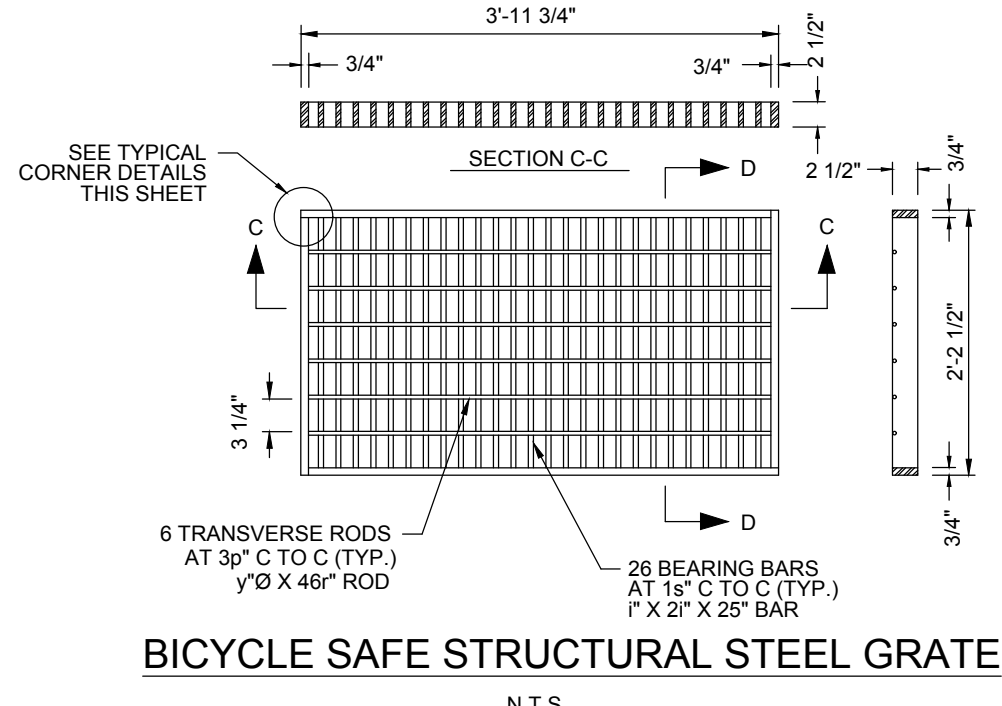
TYPE C INLET  
N.T.S.

\*NOTES:  
1. INLETS OVER 4 FEET DEEP WILL BE CONSTRUCTED WITH INLET STEPS.  
2. A Poured concrete flow channel is required in each inlet.  
3. WHERE STRUCTURE DEPTH ALLOWS, FOR DURING CONSTRUCTION, THE BOX SHOULD BE ORDERED 12" SHORTER THAN FINAL GRADE, ALONG WITH A 12" RISER FOR FINAL CONDITIONS. WHERE STRUCTURE DEPTH DOES NOT ALLOW, SEE THE "TEMPORARY DURING CONSTRUCTION INLET" DETAIL.

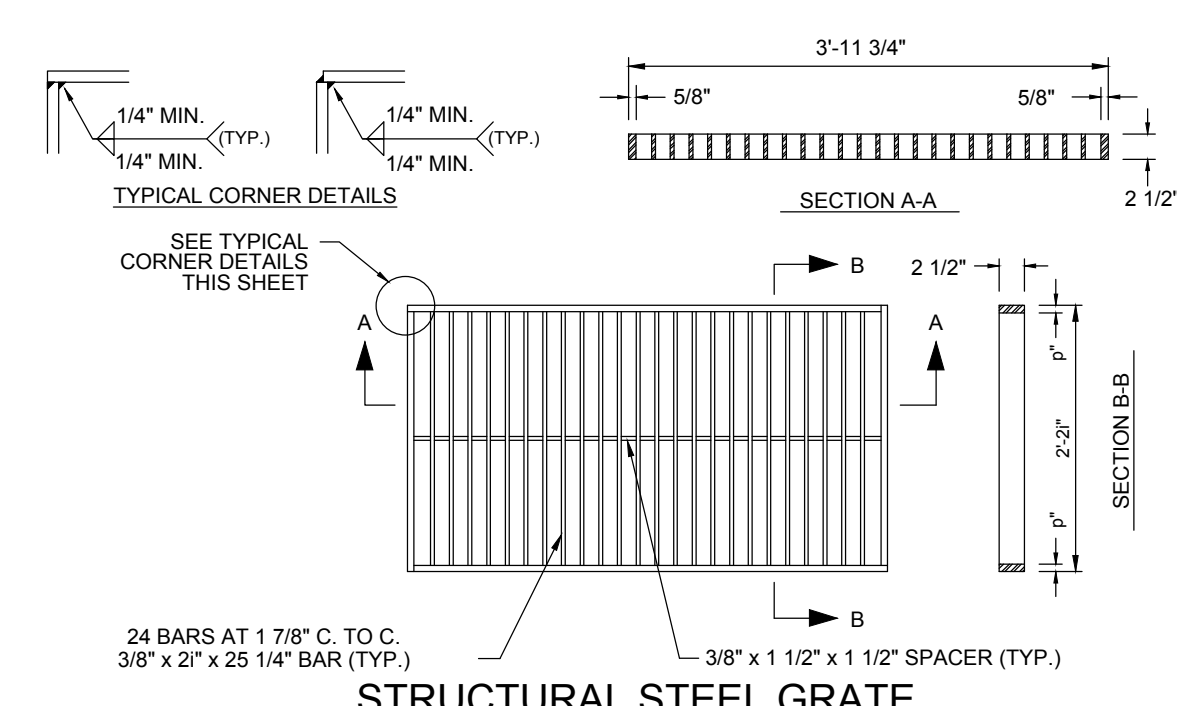


TYPE M INLET  
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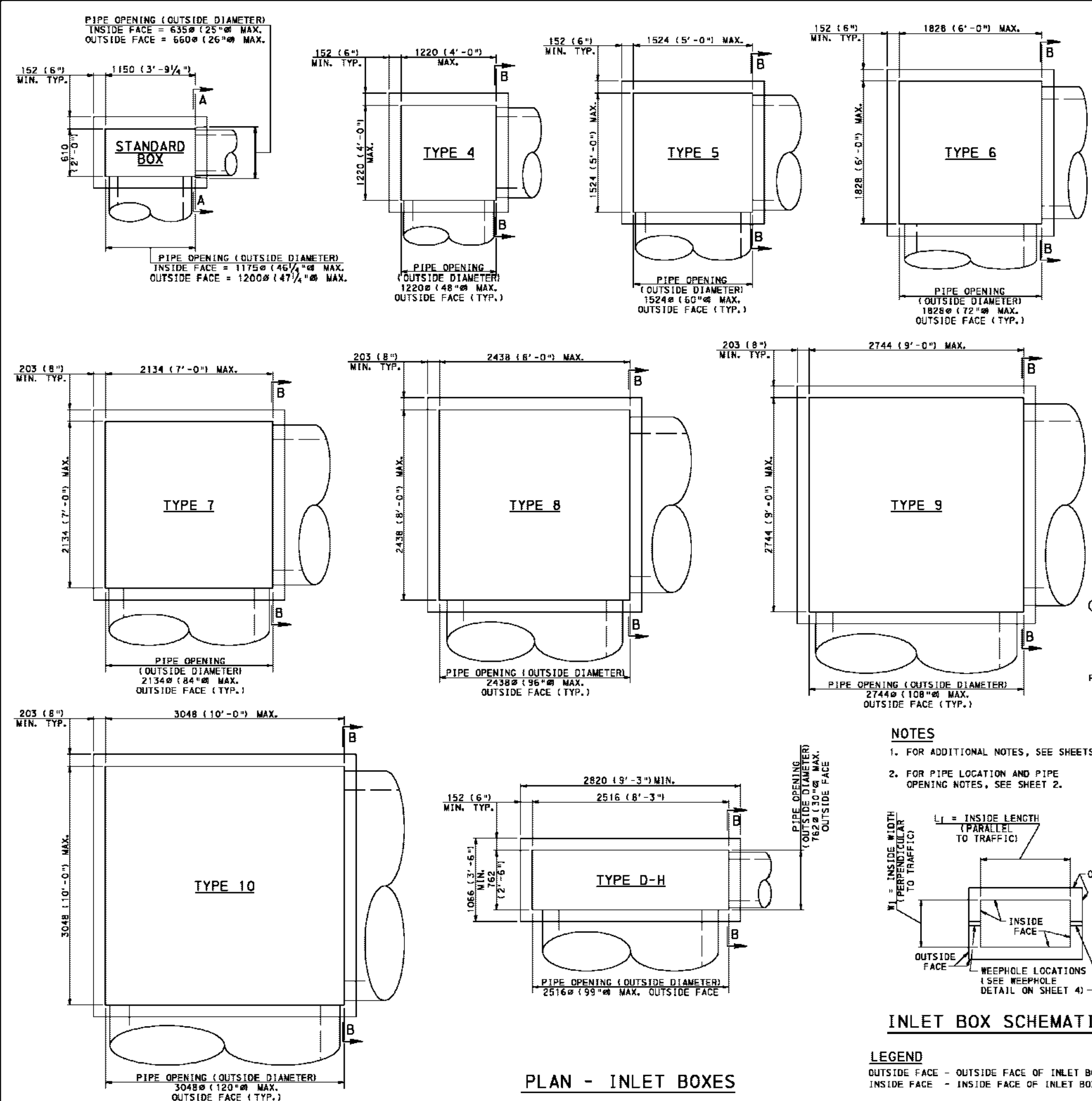
\*NOTES:  
1. INLETS OVER 4 FEET DEEP WILL BE CONSTRUCTED WITH INLET STEPS.  
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3. WHERE STRUCTURE DEPTH ALLOWS, FOR DURING CONSTRUCTION, THE BOX SHOULD BE ORDERED 12" SHORTER THAN FINAL GRADE, ALONG WITH A 12" RISER FOR FINAL CONDITIONS. WHERE STRUCTURE DEPTH DOES NOT ALLOW, SEE THE "TEMPORARY DURING CONSTRUCTION INLET" DETAIL.



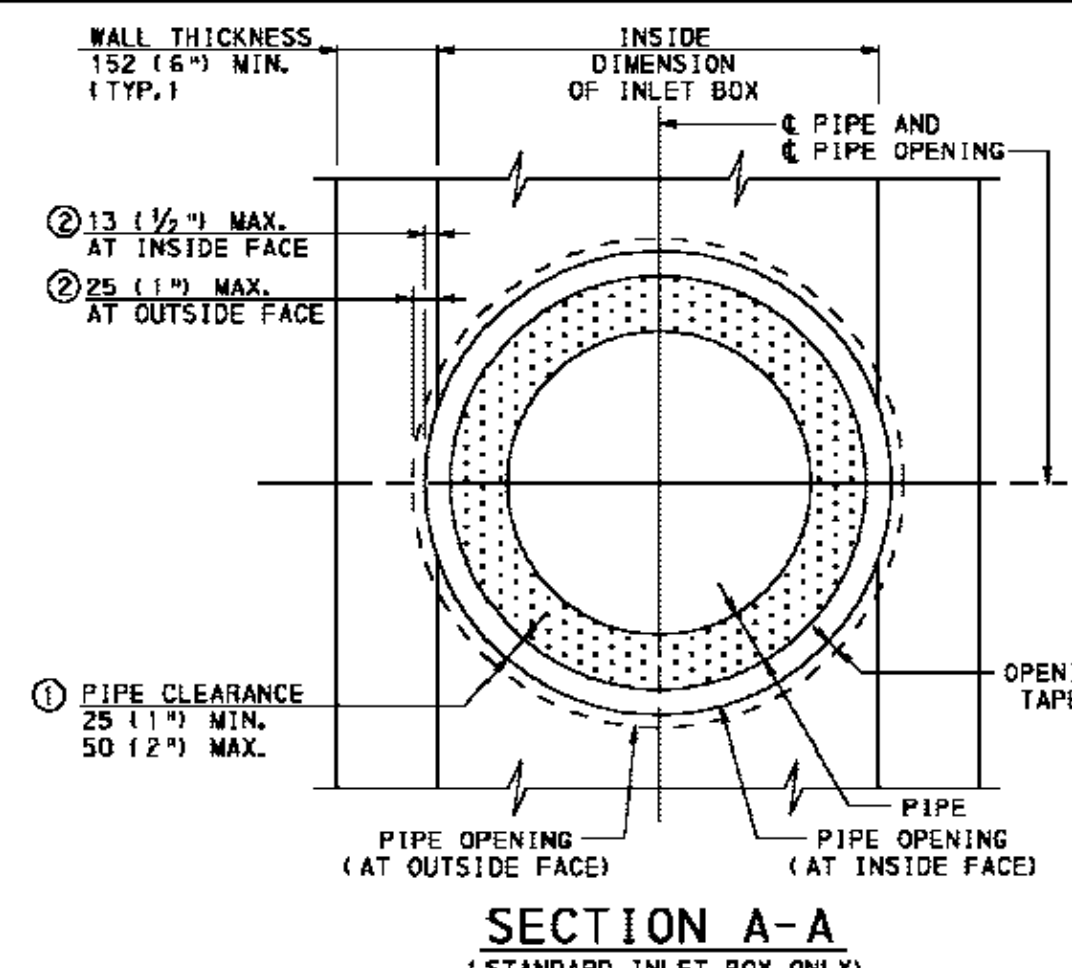
BICYCLE SAFE STRUCTURAL STEEL GRATE  
N.T.S.



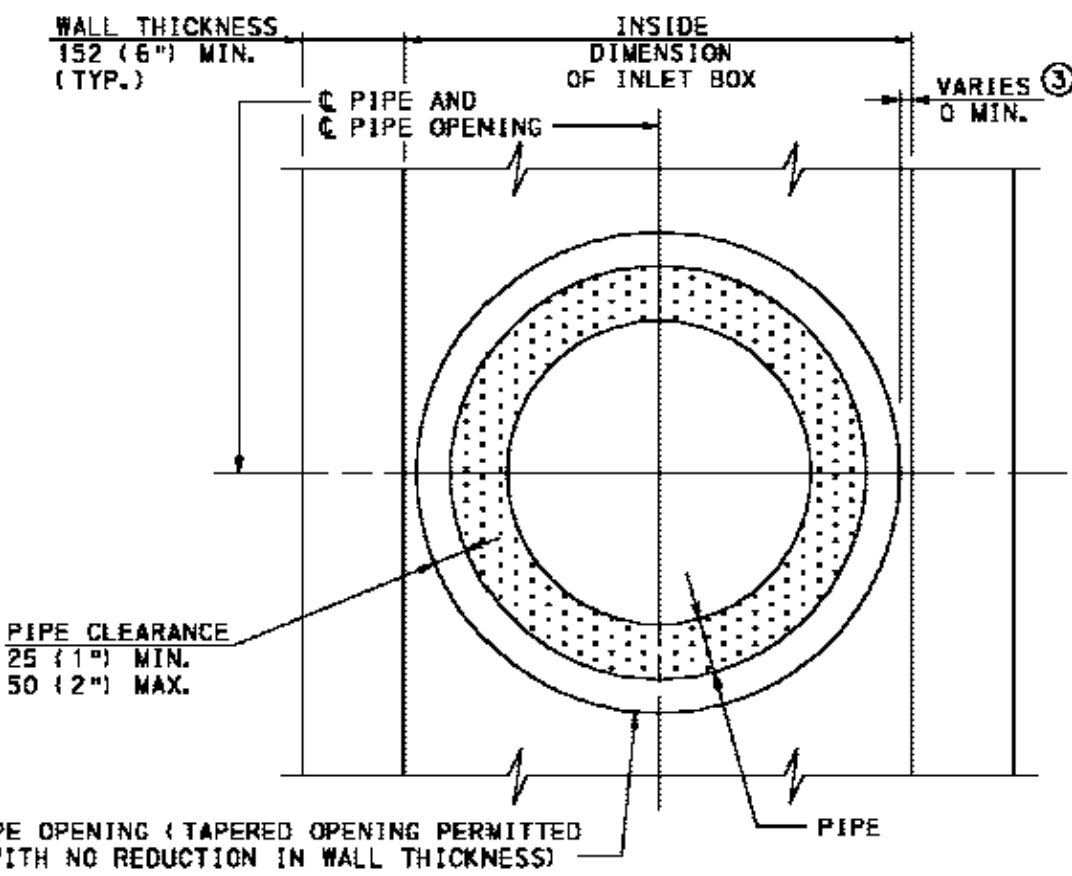
STRUCTURAL STEEL GRATE  
N.T.S.



PLAN - INLET BOXES



SECTION A-A  
(STANDARD INLET BOX ONLY)

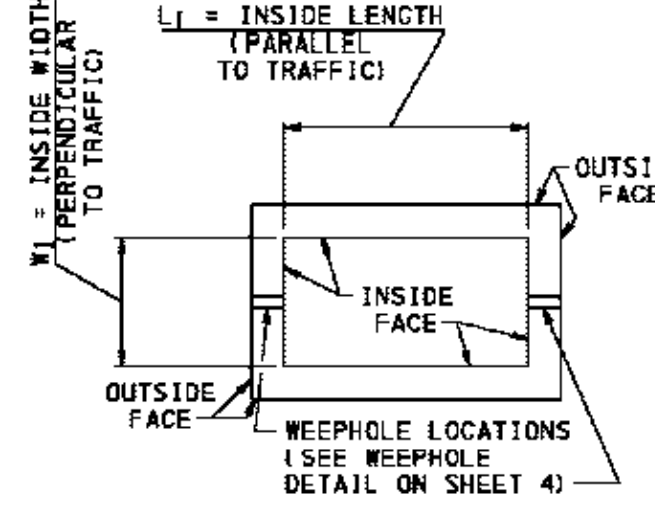


SECTION B-B  
(TYPICAL ALL TYPES EXCEPT STANDARD)

- NOTES
- FOR ADDITIONAL NOTES, SEE SHEETS 1 - 3.
  - FOR PIPE LOCATION AND PIPE OPENING NOTES, SEE SHEET 2.

- LEGEND
- OUTSIDE DIAMETER OF PIPE TO PIPE OPENING
  - REDUCTION IN WALL THICKNESS DIMENSION
  - INSIDE FACE OF BOX WALL TO OUTSIDE DIAMETER OF PIPE OPENING

NOTE: EITHER ALL METRIC OR ALL ENGLISH VALUES MUST BE USED ON PLANS. METRIC AND ENGLISH VALUES SHOWN MAY NOT BE MIXED.



INLET BOX SCHEMATIC

LEGEND  
OUTSIDE FACE - OUTSIDE FACE OF INLET BOX WALL  
INSIDE FACE - INSIDE FACE OF INLET BOX WALL

COMMONWEALTH OF PENNSYLVANIA  
DEPARTMENT OF TRANSPORTATION  
BUREAU OF DESIGN

INLET BOXES  
INLET BOX TYPES

RECOMMENDED JUN. 1, 2010

PROJECT NO. MCNC0801  
SHEET 16 of 20

SCALE: NTS DATE: 10/3/22  
DRAWN BY: 1005 APPROVED: KDH  
DRAWING NO. RC-46M



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NO.	DATE	REVISIONS	BY

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PROFESSIONAL SEAL OF THOMAS JOHN SERICO, LICENSED PROFESSIONAL ENGINEER, PENNSYLVANIA

MAJESTIC BETHLEHEM CENTER—LOT 4C  
3677 COMMERCE CENTER BOULEVARD  
BETHLEHEM, PA 18015

SITE DETAILS

BETHLEHEM COMMERCE CENTER, LLC.  
13191 CROSSROADS PARKWAY NORTH, 6TH FLOOR  
CITY OF INDUSTRY, CA 91746

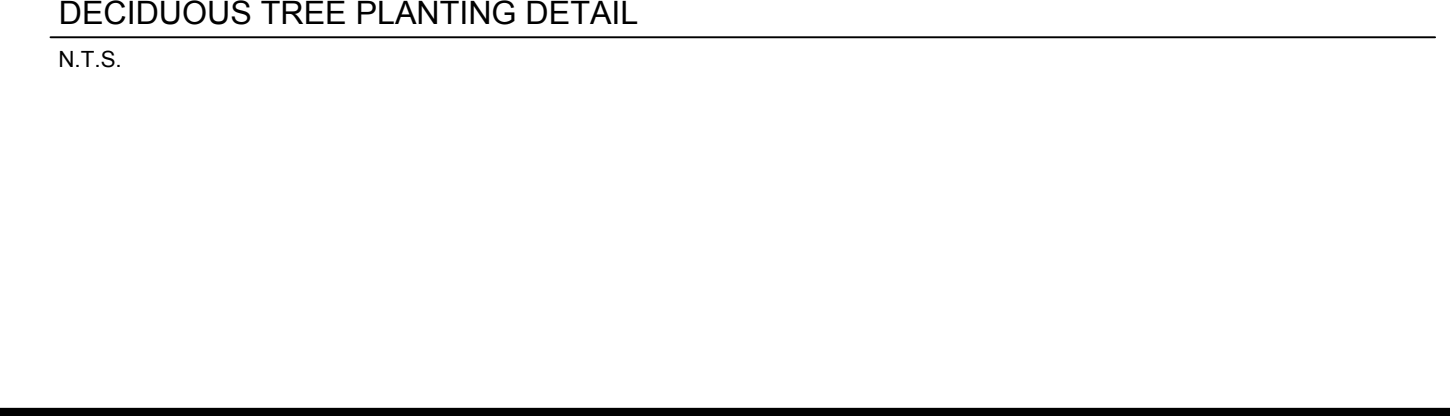
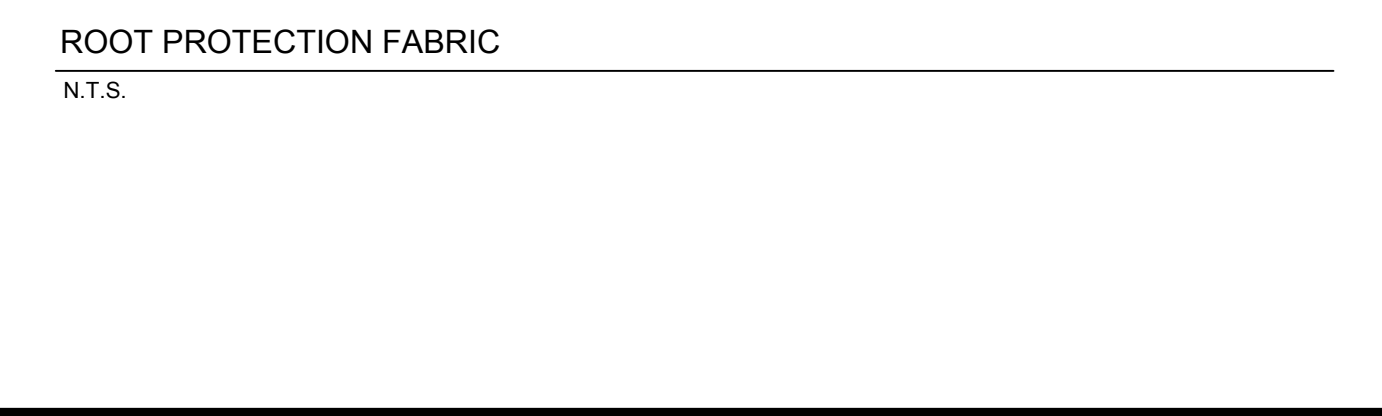
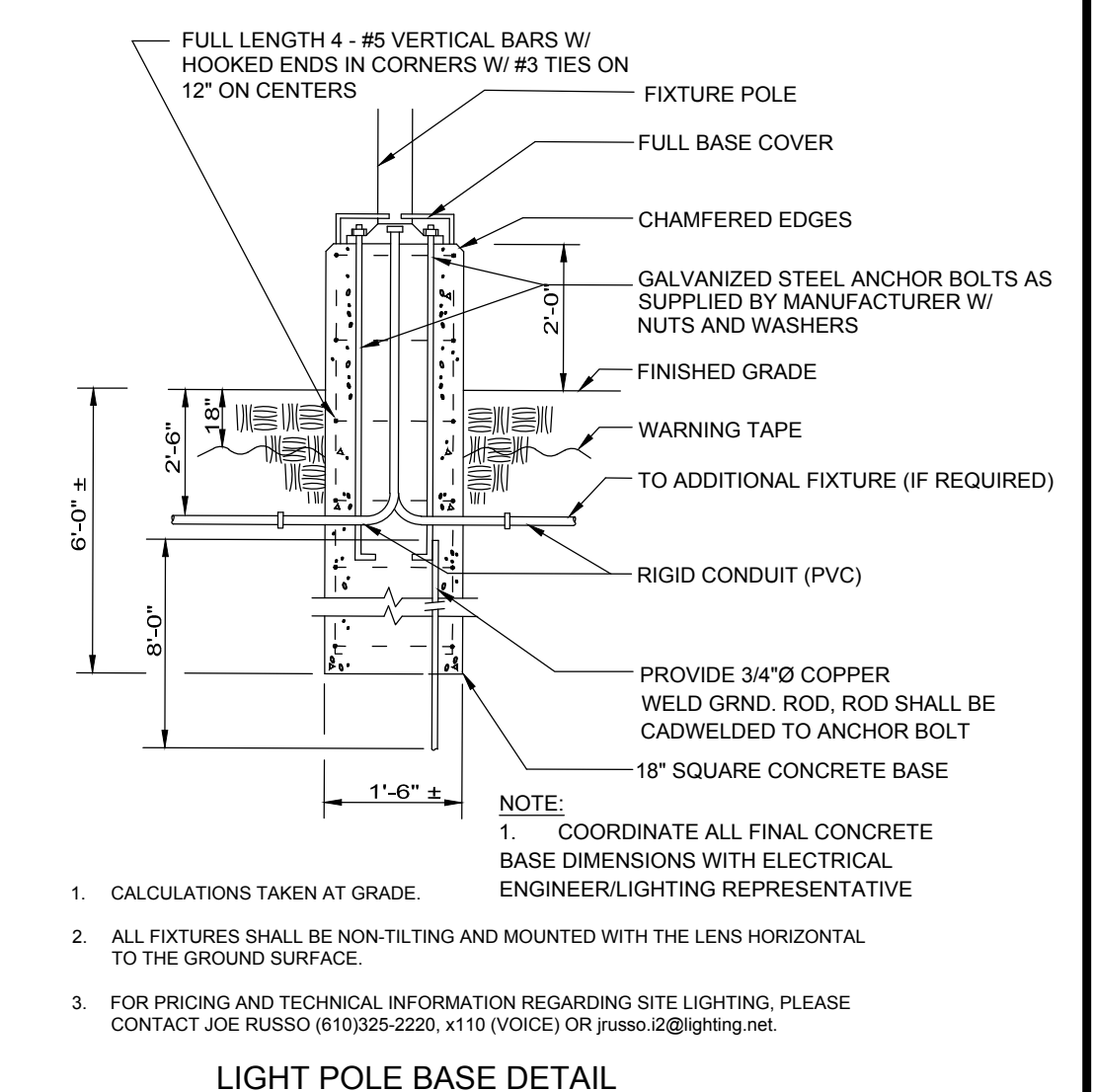
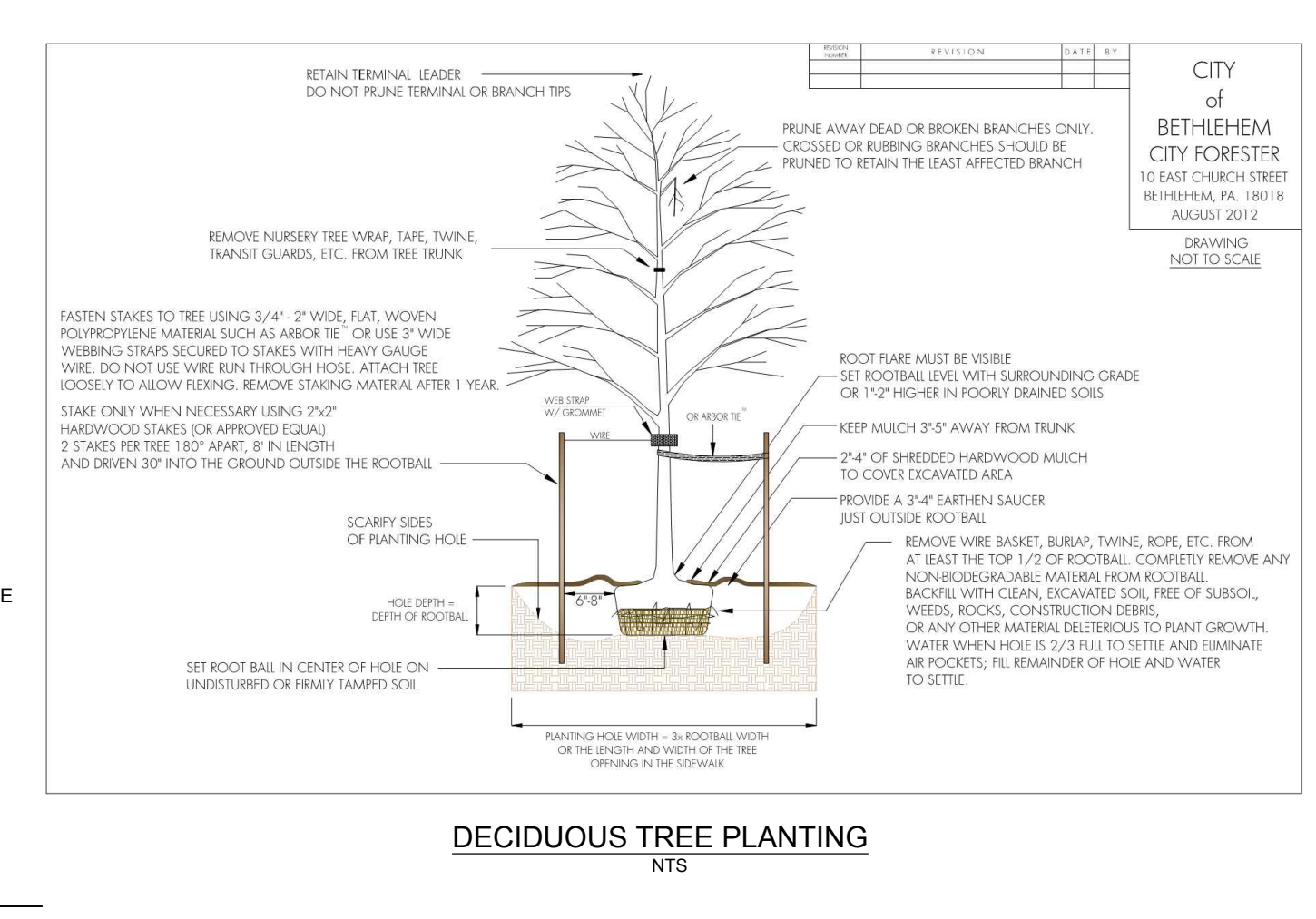
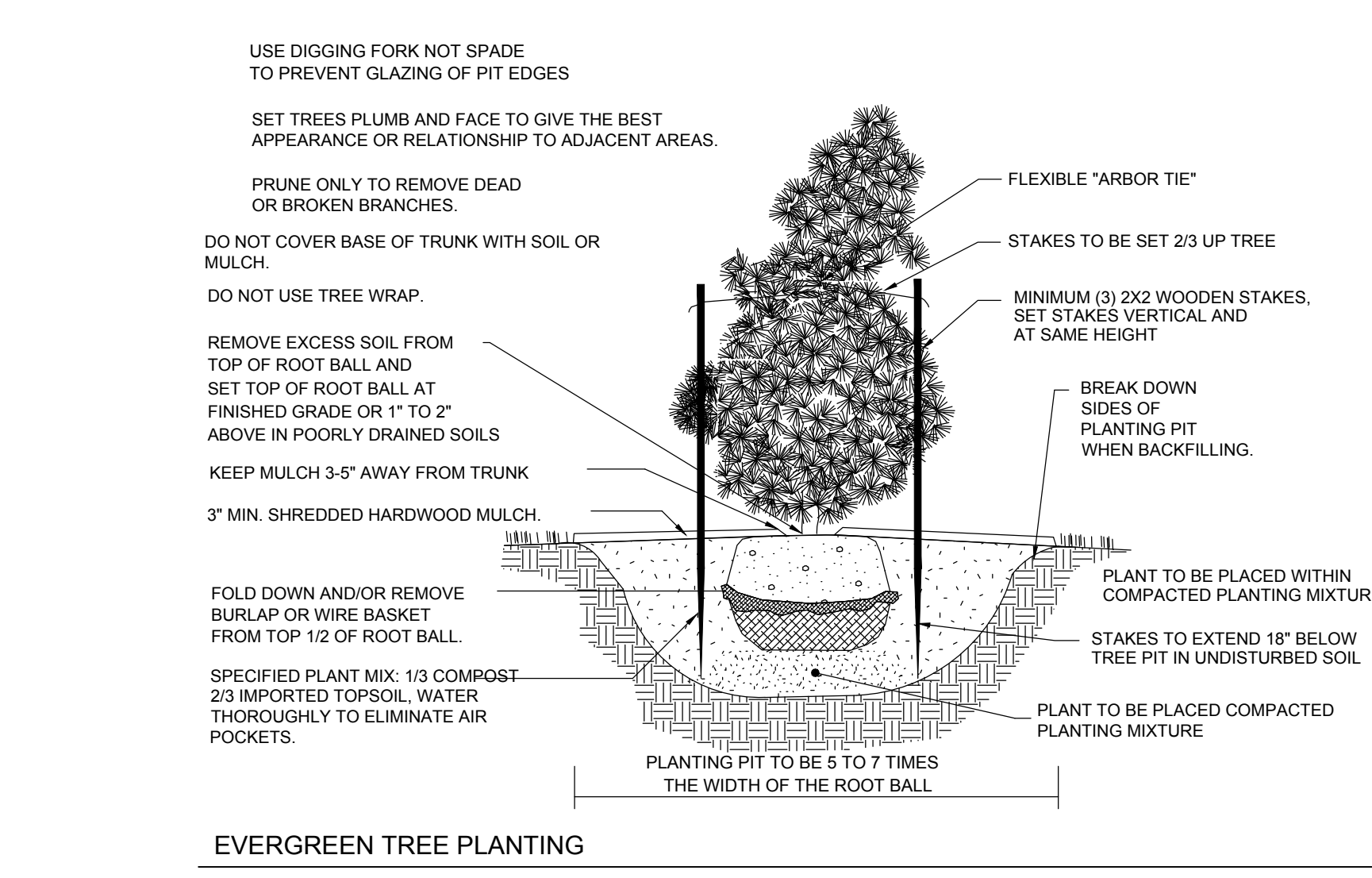
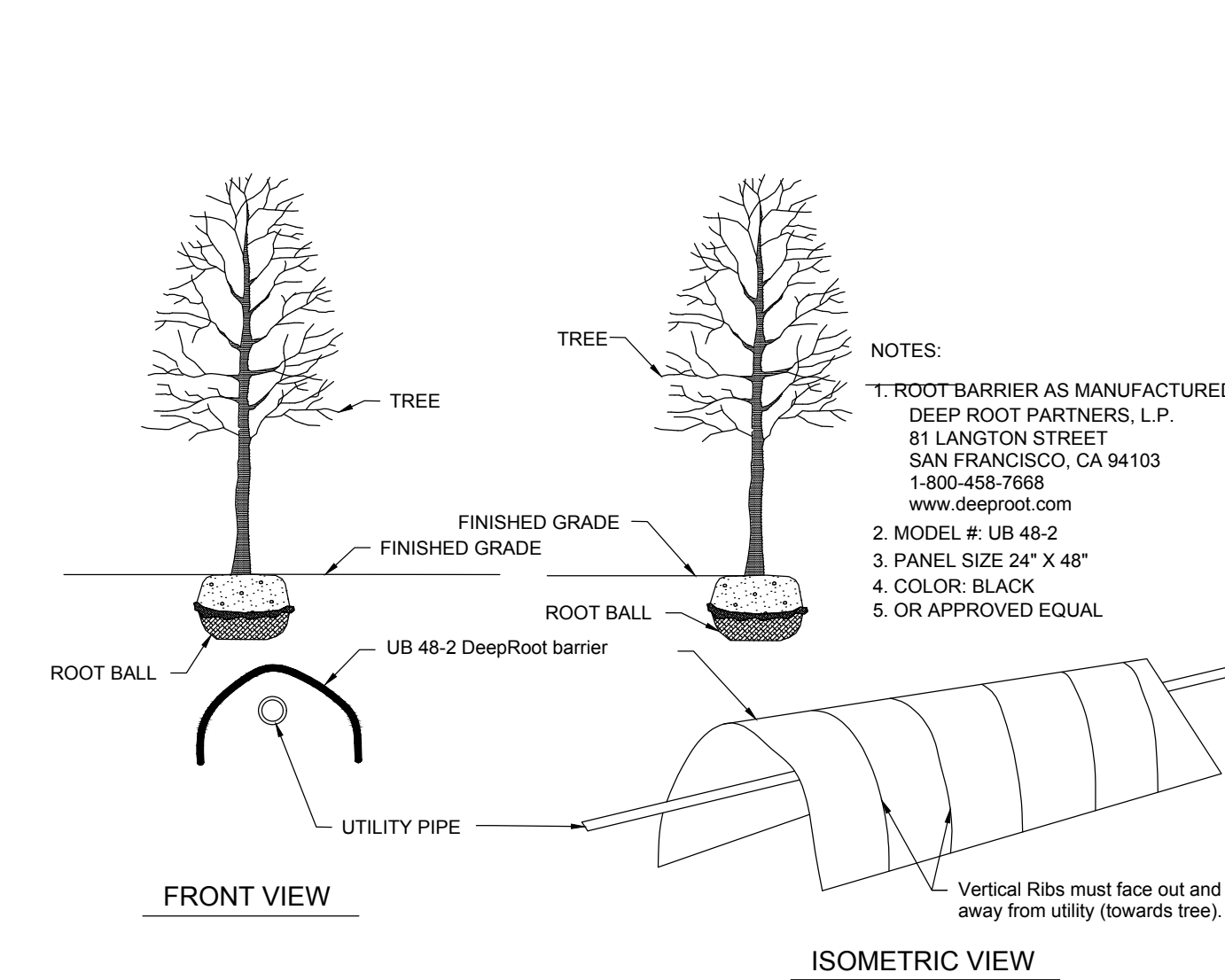
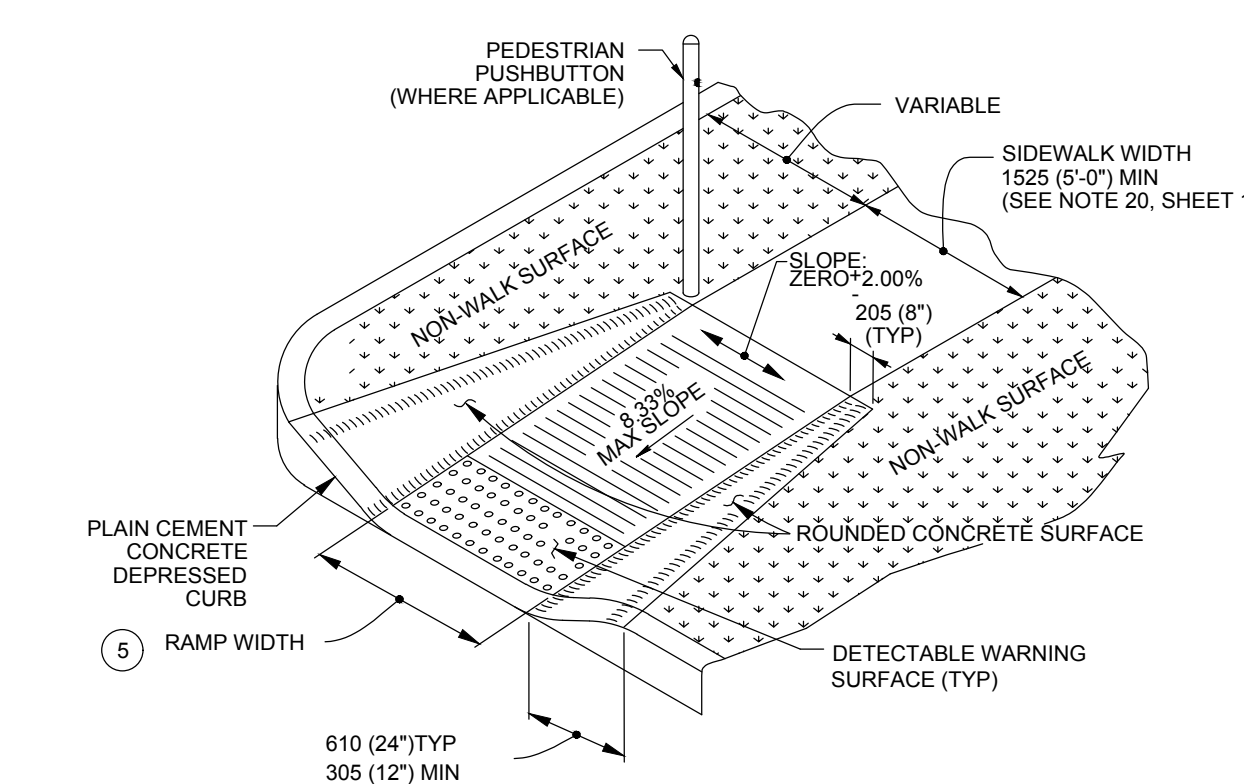
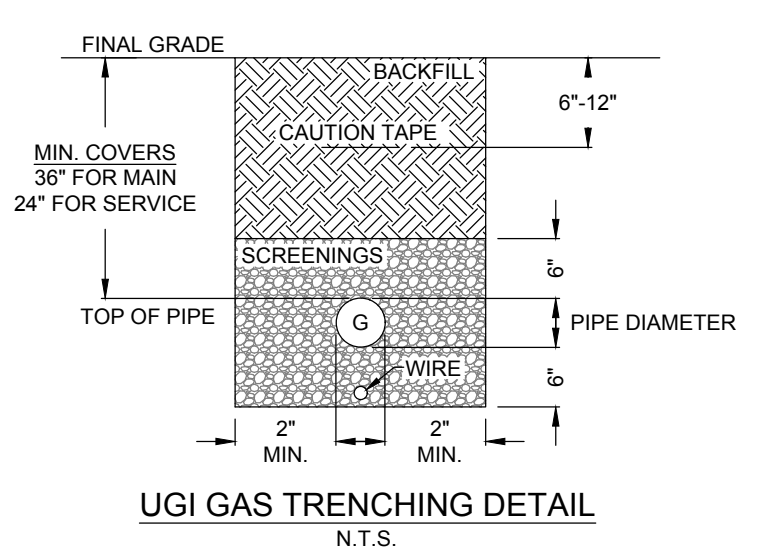
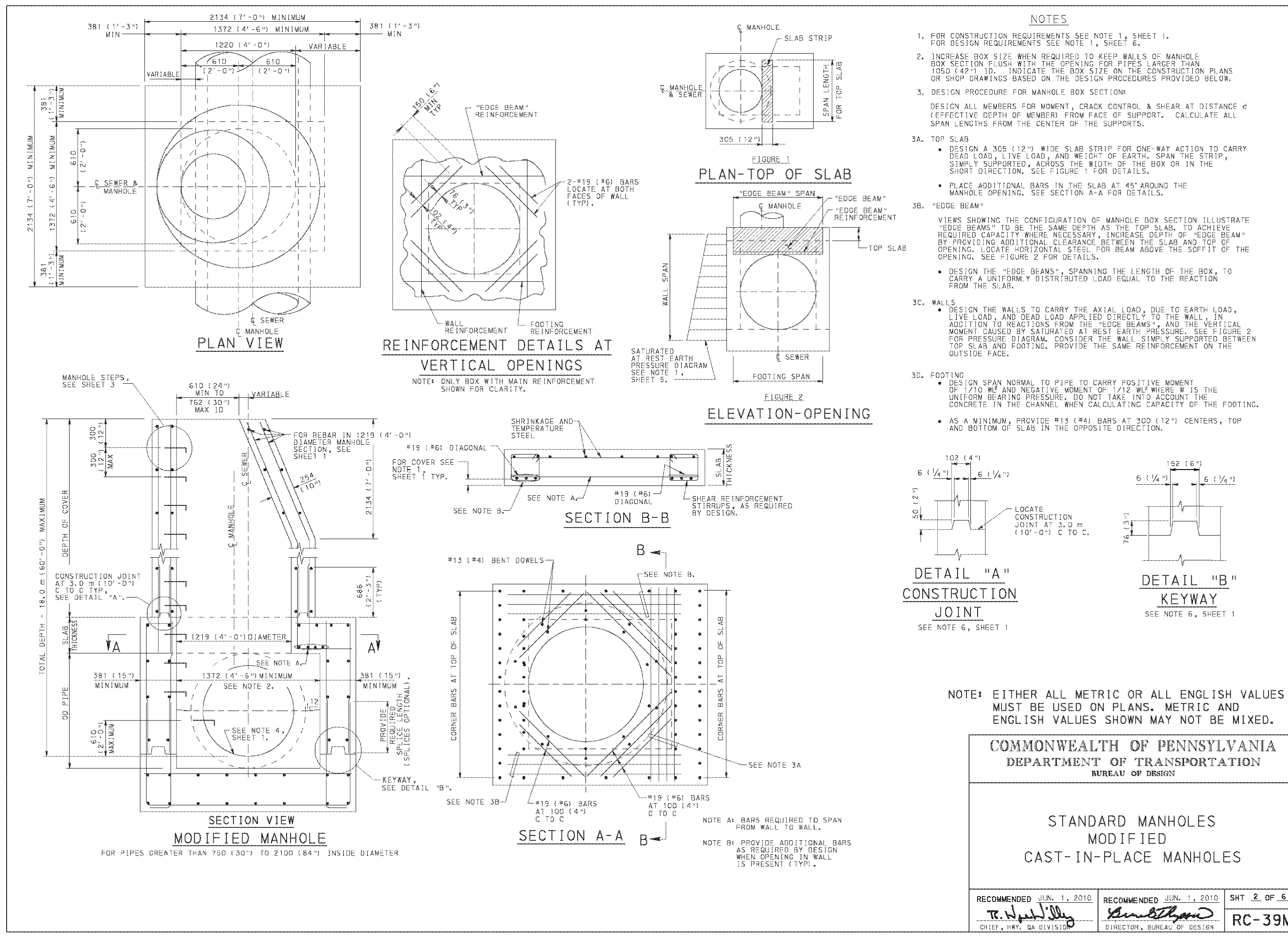
ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SURVEY FOR REUSE BY OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT NO. MCNC0801  
SHEET 16 of 20

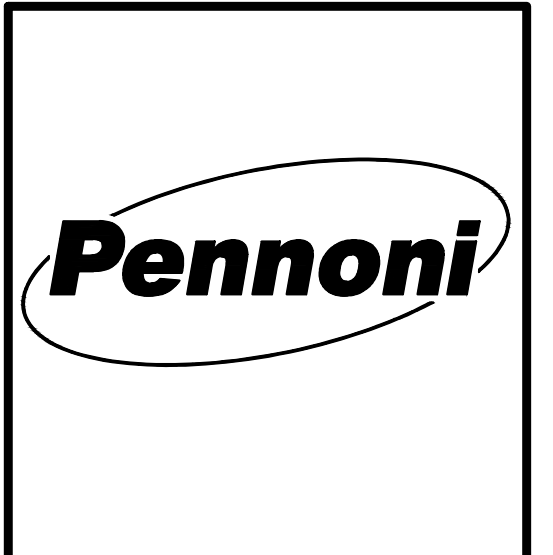
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DRAWING NO. RC-46M

CS6004





Pennoni Associates Inc. Engineers • Surveyors • Planners • Landscape Architects



NO.	DATE	REVISIONS	BY

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

**MAJESTIC BETHLEHEM CENTER—LOT 4C**  
3677 COMMERCE CENTER BOULEVARD  
BETHLEHEM, PA 18015

**SITE DETAILS**

BETHLEHEM COMMERCE CENTER, LLC.  
13191 CROSSROADS PARKWAY NORTH, 6TH FLOOR  
CITY OF INDUSTRY, CA 91746

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PROJECT NO. MCNCN0801  
SHEET 17 OF 20

SCALE: NTS DATE: 10/3/22  
DRAWN BY: 1005 APPROVED: KDH  
DRAWING NO. CS6005

**PLANTING NOTES**

- 1. ALL PLANT LOCATIONS SHALL BE STAKED IN THE FIELD AND LOCATIONS APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- 2. TOPSOIL WITH A QUALITY ORGANIC SOIL AMENDMENT SHALL BE USED FOR ALL PLANTING AND SEEDING OPERATIONS.
- 3. NOTIFY ALL UTILITY COMPANIES AND LOCATE ALL UTILITIES PRIOR TO EXCAVATING PLANT PITS. PLANT LOCATIONS MAY BE ADJUSTED IN THE FIELD TO AVOID INTERFERENCE WITH UNDERGROUND UTILITIES.
- 4. SHOULD ANY DISCREPANCY ARISE BETWEEN THE PLANTING PLAN AND THE PLANTING SCHEDULE, THE PLAN SHALL GOVERN AS TO THE QUANTITY OF PLANT MATERIAL.
- 5. ALL PLANT MATERIAL SHALL BE GUARANTEED TO LIVE AT LEAST 18 MONTHS FOLLOWING INSTALLATION.
- 6. ALL NON-BIODEGRADABLE ROOT WRAPPING TO BE REMOVED COMPLETELY BEFORE PLANTING.
- 7. ALL PLANT MATERIAL SHALL BE APPROVED UPON ARRIVAL TO THE SITE, UNLESS OTHERWISE NOTIFIED.
- 8. PROPOSED PLANT MATERIAL MAY BE SUBSTITUTED BY SIMILAR PLANTS PRIOR TO INSTALLATION, SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND THE CITY OF BETHLEHEM.
- 9. DISTURBANCE OF EXISTING VEGETATION SHALL BE LIMITED TO WORK AREA. CONTRACTOR IS RESPONSIBLE FOR FINE GRADING AND SEEDING ALL DISTURBED AREAS.
- 10. NO TOPSOIL IS AVAILABLE ON-SITE. ALL TOPSOIL FOR SEEDING AND PLANTING OPERATIONS SHALL BE IMPORTED FROM OFF-SITE.
- 11. STREET AND PARKING LOT TREES SHALL HAVE A CENTRAL LEADER ALONG WHICH PERMANENT SCAFFOLD LIMBS CAN BE ESTABLISHED AS THE TREE GROWS.
- 12. DEER CONTROL MEASURES SHALL BE ADDED TO ALL TREES, OTHER THAN TRUNK WRAP, TO PREVENT DEER RUBBING. ACCEPTABLE MEASURES SHALL BE, BUT NOT LIMITED TO, LOOSE FITTING WIRE, PLASTIC CONSTRUCTION FENCE, AND CORRUGATED OR PERFORATED TUBING.
- 13. BIOBARRIER TYPE ROOT BARRIER SHALL BE INSTALLED BETWEEN ALL STREET TREES AND ADJACENT SIDEWALK.

**SEEDING NOTES**

- 1. SEED AREAS DISTURBED BY CONSTRUCTION NOT OTHERWISE INDICATED TO BE SEED MIX, PLANTING BEDS, SIDEWALKS, BUILDINGS, ETC.
- 2. BEFORE SEEDING, CONTRACTOR SHALL PROVIDE SOIL TESTS, AND APPLICATIONS OF FERTILIZER AND/OR GROUND LIMESTONE SHALL BE MADE PER SOIL TEST RECOMMENDATIONS. INCORPORATE FERTILIZER OR LIMESTONE INTO TOPSOIL TO A 2" DEPTH.
- 3. MULCH SEEDING AREAS WITH CLEAN STRAW AND TACKIFIER.
- 4. MAINTAIN ALL SEED AREAS PER MANUFACTURER'S RECOMMENDATION.
- 5. RESEED BARE OR THIN AREAS AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- 6. SEED MIXTURE: SEE PLANT SCHEDULE FOR TYPE AND PLAN FOR LOCATION.
- 7. SEED TO BE INSTALLED WITH HYDROSEEDER OR SLIT SEEDER PER MANUFACTURER RECOMMENDATION.

**LIGHTING NOTES**

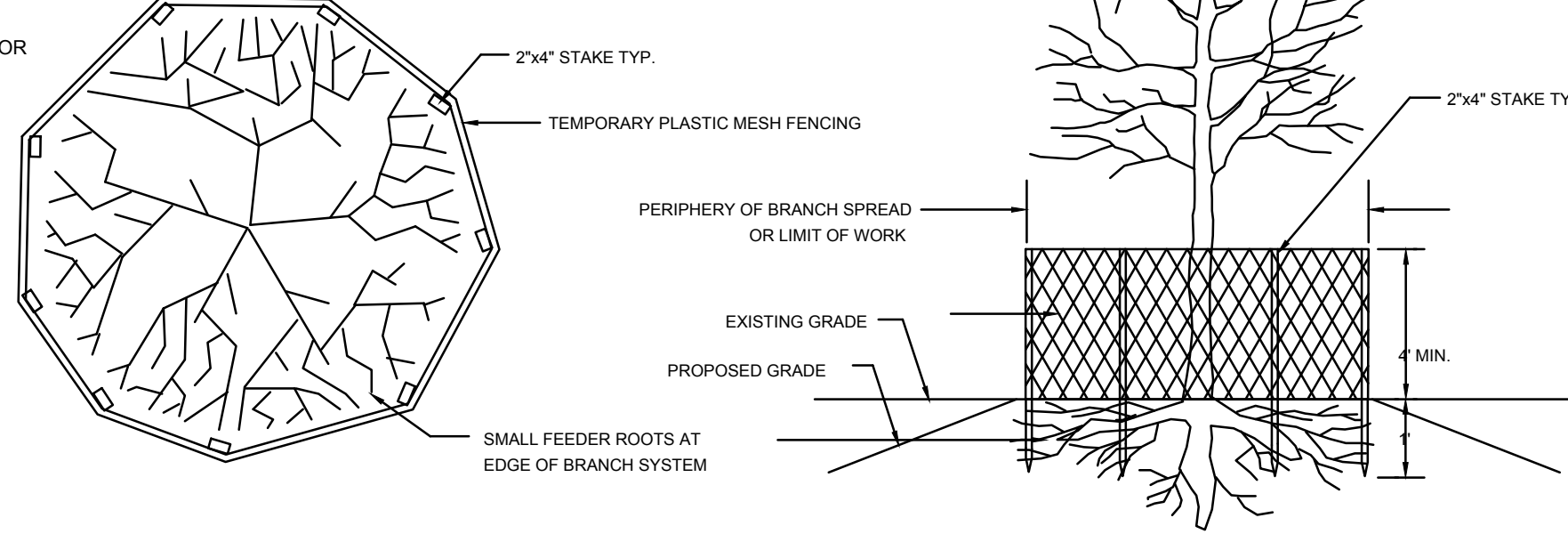
- 1. LUMINAIRE FIXTURE AND POLE SHALL BE MANUFACTURED BY VISIONAIRE LIGHTING OR AN APPROVED EQUAL.
- 2. POLE PER MANUFACTURER'S RECOMMENDATION. POLE MOUNTING HEIGHT PER LUMINAIRE SCHEDULE OF THE CONTRACTOR TO DETERMINE THAT THERE IS ADEQUATE SPACE AT THE LOCATIONS INDICATED FOR ALL EQUIPMENT PRIOR TO INSTALLATION OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL DIMENSIONS IN THE FIELD, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- 3. ALL WIRING SHALL BE RUN IN CONDUIT. MINIMUM SIZE OF CONDUIT AND WIRING SHALL BE 3/4" AND #12 THINWALL.
- 4. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS EMPLOYED ON THE PROJECT.
- 5. THIS DRAWING IS DIAGRAMMATIC IN NATURE AND INDICATES THE GENERAL ARRANGEMENT OF THE VARIOUS SYSTEMS AND APPROXIMATE LOCATIONS OF THE EQUIPMENT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THAT THERE IS ADEQUATE SPACE AT THE LOCATIONS INDICATED FOR ALL EQUIPMENT PRIOR TO INSTALLATION OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL DIMENSIONS IN THE FIELD, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- 6. CONTRACTOR SHALL OBTAIN ALL PERMITS.
- 7. PROVIDE 2-#10 AND #12 GROUND WIRE IN POLE UP TO LUMINAIRES.
- 8. CONTRACTOR SHALL SUBMIT AN APPLICATION FOR SERVICE AND METER WITH PECO AND ASSUME ALL EXPENSES.
- 9. MATERIAL QUANTITIES SHOWN ON THE DRAWINGS ARE INTENDED TO ASSIST IN DEFINING THE SCOPE OF THE WORK. IT IS NOT A COMPLETE LISTING OF ALL MATERIALS REQUIRED TO PERFORM THE WORK.
- 10. CONTRACTOR IS RESPONSIBLE FOR PERFORMING THE WORK AND CONSTRUCTING ALL PROPOSED IMPROVEMENTS AS SHOWN ON THE PLAN SHEETS. CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES AND NO ALLOWANCE WILL BE MADE FOR ANY CLAIM THAT THE BID WAS BASED ON INCOMPLETE INFORMATION PROVIDED ON THE QUANTITY LIST.
- 11. ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF CITY OF BETHLEHEM. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA STANDARDS.
- 12. ALL WORK AND MATERIALS SHALL BE INSPECTED BY THE CITY ENGINEER AND/OR THEIR APPROVED REPRESENTATIVE.
- 13. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY TO COMPLETE THE LIGHTING PLAN.
- 14. CONTRACTOR RESPONSIBLE FOR THE CONDUIT RUNS OR DIRECT BURIAL ELECTRIC SERVICE.
- 15. FINAL LOCATION OF LIGHT FIXTURES AND POLES SHALL BE APPROVED BY A MUNICIPAL REPRESENTATIVE.
- 16. THE POWER COMPANY "PECO" IS SEPARATE FROM THE UTILITY OF THE CITY IN THE DESIGN AND IMPACT OF THE STREET LIGHTING SYSTEM. PPL WILL NOT INSTALL NEW STREET LIGHTING FOR BETHLEHEM. THE CONTRACTOR/DEVELOPER WILL INSTALL A COMPLETE LIGHTING SYSTEM. ALL ELECTRICAL WORK WILL REQUIRE ELECTRICAL PERMIT AND A "PPL" JOB REQUEST.
- 17. THE MOUNTING HEIGHT OF WALL LIGHTS AND PARKING LOT POLES WILL BE 28 FEET UNLESS OTHERWISE SPECIFIED.
- 18. THE HOURS OF OPERATION OF EXTERIOR LIGHTING SHALL BE 24 HOURS.

**UTILITY NOTES**

- 1. THE CONTRACTOR MUST CALL PA ONE CALL (800) 242-1776 PRIOR TO ANY EXCAVATION.
- 2. THE CONTRACTOR MUST VERIFY LOCATION, SIZE, DEPTH AND MATERIAL OF ALL UNDERGROUND STRUCTURES WITHIN THE LIMIT OF DISTURBANCE PRIOR TO BEGINNING WORK. NOTIFY PROJECT ENGINEER OF ANY POTENTIAL CONFLICTS OR DISCREPANCIES PRIOR TO BEGINNING WORK.
- 3. THIS PLAN INDICATES IDENTIFIED UTILITIES AND UTILITY COMPANY STRUCTURES BASED ON VISUAL SURVEY AND EXISTING UTILITY COMPANY PLANS. CONTRACTOR IS CAUTIONED THAT OTHER UTILITIES NOT SHOWN MAY EXIST WITHIN THE PROJECT LIMITS. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITIES.

**NOTES:**

- 1. ALL EXISTING TREES TO REMAIN SHALL RECEIVE PLASTIC MESH PROTECTIVE FENCING AT THE EDGE OF THE CROWN OF EACH TREE. (SEE DETAIL THIS SHEET).
- 2. IF IT IS NECESSARY TO DRIVE OVER THE TREE ROOT SYSTEM THEN PROTECTIVE MATTING MUST BE USED TO PREVENT THE GROUND FROM BECOMING TOO COMPACTED.
- 3. PRUNING OF TREE LIMBS TO ALLOW FOR MOVEMENT OF CONSTRUCTION EQUIPMENT MAY BE DONE WHERE NECESSARY IN ACCORDANCE WITH NATIONAL ARBORIST ASSOCIATION STANDARDS.
- 4. PROTECTIVE FENCING TO BE INSTALLED PRIOR TO THE START OF WORK.



**TREE PROTECTION FENCE DETAIL**  
N.T.S.

**LANDSCAPE CALCULATIONS FOR OFF-STREET PARKING:**

CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA  
ZONING DISTRICT: IN-O (INDUSTRIAL OVERLAY DISTRICT)  
EXISTING USE: INDUSTRIAL (FORMER BETHLEHEM STEEL)  
PROPOSED USE: WAREHOUSE AND INDUSTRIAL OR MANUFACTURING

Table with 6 columns: NUMBER OF PARKING SPACES, PARKING/LOADING AREA, 10% OF PARKING/LOADING AREA, REQUIRED, PROVIDED, COMPLIANT. Includes a note for 103 CAR SPACES and a '1' in a triangle symbol.

- 1. CAR PARKING AREA BASED ON STANDARD 9'X19' PARKING STALL, ACCESS AISLES AND DRIVE AISLES, AND TRUCK PARKING ON 11'X55' PARKING STALL.
- 2. ACCORDING TO 1349.08(e) THE FOLLOWING PLANTING SHALL RECEIVE THE FOLLOWING CREDIT TOWARDS LANDSCAPE AREA REQUIREMENT AS AN APPROVED PLANTING.  
LARGE TREE SHADE TREE RECEIVES A 200 SF CREDIT.  
EVERGREEN TREES RECEIVE A 100 SF CREDIT.  
SHRUBS RECEIVE CREDIT FOR THE AREA IN WHICH IS OCCUPIED BY THE PLANTINGS.
- 3. LANDSCAPE AREA CALCULATIONS ASSUMES 100 SF CREDIT FOR ORNAMENTAL TREES.
- 4. LANDSCAPE AREA CALCULATIONS ASSUMES 16 SF CREDIT PER INDIVIDUAL SHRUB.
- 5. PLANT MATERIAL SATISFYING THIS REQUIREMENT ARE AS FOLLOWS:  
3 ACER RUBRUM 'OCTOBER GLORY' x 200 SF each = 600 SF  
8 QUERCUS IMPRIBICARIA x 200 SF each = 1,600 SF  
4 CERCIS CANADENSIS x 100 SF each = 400 SF  
2 PICEA GLAUCA X 100 SF each = 200 SF  
153 VARIOUS SHRUBS LISTED x 16 SF each = 2,448 SF  
**TOTAL = 5,248 SF**

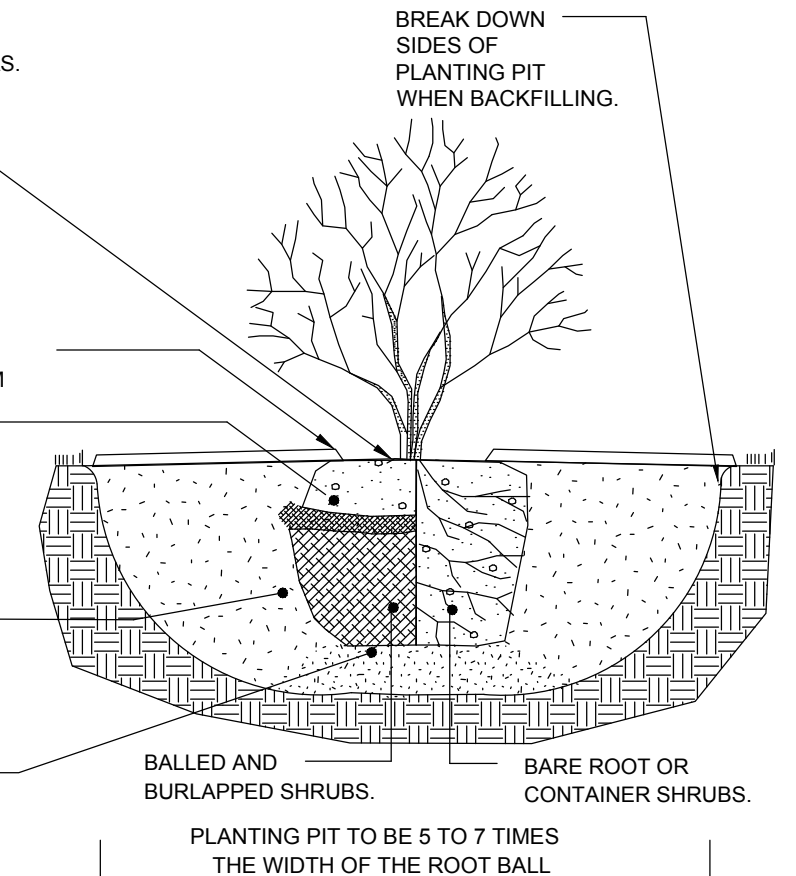
**SEED MIX 'A'**  
COMMERCIAL CONSERVATION MIX (ERNMX-113)  
OR APPROVED EQUAL  
25.00% FESTUCA RUBRA, "PENNLAWN" (PENNLAWN CREEPING RED FESCUE)  
25.00% LOLIUM MULTIFLORUM (ANNUAL RYEGRASS)  
25.00% LOLIUM PERENNE (VARIETY 1 TURF TYPE PERENNIAL RYEGRASS)  
25.00% LOLIUM PERENNE (VARIETY 2 TURF TYPE PERENNIAL RYEGRASS)  
APPLIED 75-100 LB PER ACRE, OR 3-5 LB PER 1000 SF

**SEED MIX 'B'**  
NORTHEASTERN U.S. ROADSIDE NATIVE SEED MIX (ERNMX-105)  
OR APPROVED EQUAL  
28% LITTLE BLUESTEM, ALBANY PINE BUSH-NY ECOTYPE (SCHIZACHYRIUM SCOPARIUM, ALBANY PINE BUSH-NY ECOTYPE)  
24% INDIANGRASS, 'SOUTHLOW-MI ECOTYPE (SORGHASTRUM NUTANS, 'SOUTHLOW-MI ECOTYPE)  
10% VIRGINIA WILDRYE, PA ECOTYPE (ELYMUS VIRGINICUS, PA ECOTYPE)  
5% CANADA WILDRYE (ELYMUS CANADENSIS)  
4% PARTURGE PEA, PA ECOTYPE (CHAMAECRISTA FASCICULATA (CASSIA F.), PA ECOTYPE)  
3% PURPLE COMEFLOWER (ECHINACEA PURPUREA)  
3% BLACKKEYED SUSAN, COASTAL PLAIN NC ECOTYPE (RUDBECKIA HIRTA, COASTAL PLAIN NC ECOTYPE)  
3% GOLDEN ALEXANDERS (ZIZIA AUREA)  
3% OHIO SPIDERWORT, PA ECOTYPE (TRADESCANTIA OHIENSIS, PA ECOTYPE)  
2% FLAT TOPPED WHITE ASTER, PA ECOTYPE (ASTER UMBELLATUS (DOELLINGERIA UMBELLATA), PA ECOTYPE)  
2% MARSH (DENSE) BLAZING STAR (SPIKED GAYFEATHER), PA ECOTYPE (LIATRIS SPICATA, PA ECOTYPE)  
2% WILD SENNA, VA & WV ECOTYPE (SENSA HEBECARPA (CASSIA H.), VA & WV ECOTYPE)  
2% SWAMP MILKWEED, PA ECOTYPE (ASCLEPIAS INCARNATA, PA ECOTYPE)  
2% ZIGZAG ASTER, PA ECOTYPE (ASTER PRENANTHOIDES (SYMPHYOTRICHUM P.), PA ECOTYPE)  
2% BLUE 0 INDIGO, SOUTHERN WV ECOTYPE (BAPTISIA AUSTRALIS, SOUTHERN WV ECOTYPE)  
1% WILD BERGAMOT (MONARDA FISTULOSA)  
1% EARLY GOLDENROD, PA ECOTYPE (SOLIDAGO JUNCEA, PA ECOTYPE)  
1% SMOOTH BLUE ASTER, MN ECOTYPE (ASTER LAEVIS (SYMPHYOTRICHUM LAEVE), MN ECOTYPE)  
1% OKXEY SUNFLOWER, PA ECOTYPE (HELIOPSIS HELIANTHOIDES, PA ECOTYPE)  
1% MARYLAND SENNA (SENSA MARILANDICA (CASSIA M.))  
APPLIED 20 LB PER ACRE, OR 1/2 LB PER 1,000 SQ FT

NOTE: SHADE TREES SHALL BE FREE OF BRANCHES TO A POINT NO MORE NOR NO LESS THAN APPROXIMATELY 50% OF THEIR HEIGHT

**NOTES:**

- SET PLANTS PLUMB AND FACE TO GIVE BEST APPEARANCE TO ADJACENT AREAS.
- PRUNE ONLY TO REMOVE DEAD OR DAMAGED BRANCHES.
- REMOVE EXCESS SOIL FROM TOP OF ROOT BALL AND SET TOP OF ROOT BALL AT FINISHED GRADE OR 1" TO 2" ABOVE IN POORLY DRAINED SOILS.
- 3" MIN. SHREDDED HARDWOOD MULCH, KEEP MULCH 3" AWAY FROM MAIN STEM.
- REMOVE BURLAP FROM TOP 1/2 OF ROOT BALL, OR WITH CONTAINER PLANTS REMOVE POTS AND SPLIT BALLS AS SPECIFIED.
- SPECIFIED PLANT MIX: 1/3 COMPOST 2/3 IMPORTED TOPSOIL, WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
- PLANT TO BE PLACED COMPACTED PLANTING MIXTURE
- BALLED AND BURLAPPED SHRUBS.
- BARE ROOT OR CONTAINER SHRUBS.
- PLANTING PIT TO BE 5 TO 7 TIMES THE WIDTH OF THE ROOT BALL



**SHRUB PLANTING DETAIL**  
N.T.S.

**PLANT SCHEDULE - BUILDING 4B**

Table with columns: SYM, BOTANICAL NAME, COMMON NAME, SIZE, ROOT, QTY. Lists various trees like Acer Rubrum, Quercus, Cercis, Picea, and shrubs like Clethra, Cornus, Itea, Rosa, Viburnum.

- 1. PLANT SCHEDULE INCLUDES STREET TREE AND PARKING AREA LANDSCAPE REQUIREMENTS ONLY.
- 2. BEFORE PLANTING, CONTRACTOR SHALL PROVIDE SOIL TESTS, AND APPLICATIONS OF COMPOST, FERTILIZER, GROUND LIMESTONE AND/OR ANY ADDITIONAL SOIL AMENDMENTS SHALL BE MADE PER SOIL TEST RECOMMENDATIONS. ADJUSTMENTS IN THE LOCATION OF PLANTS MAY BE NECESSARY PER THE SOIL TEST RESULTS.

**CITY OF BETHLEHEM LANDSCAPING NOTES**

- 1. NO SOIL DISTURBANCE OR COMPACTION. CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBANCE IS ALLOWED IN THE TREE PROTECTION ZONE UNLESS INDICATED ON THE PLAN.
- 2. BARRICADES MUST BE INSTALLED PRIOR TO ANY DESTRUCTION AND/OR CONSTRUCTION ACTIVITY.
- 3. THE ROOT PROTECTION ZONE SHALL BE THE AREA ENCOMPASSED BY A CIRCLE WITH A RADIUS EXTENDING 1.25 FT. FROM THE TRUNK OF THE TREE FOR EVERY INCH DBH (DIAMETER AT BREAST HEIGHT) OF THE TREE.
- 4. VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO PENALTY PER CITY ORDINANCE.
- 5. ALL TREES ON PUBLIC PROPERTY ARE PROTECTED BY ORDINANCE. NO PRUNING, ROOT PRUNING OF ROOTS OVER ONE INCH IN DIAMETER, AND/OR TREE REMOVAL IS TO BE PERFORMED WITHOUT A PERMIT AND WORK MUST BE PERFORMED BY A CITY LICENSED TREE CONTRACTOR.
- 6. ALL PLANT MATERIALS ARE TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- 7. STREET AND PARKING LOT TREES SHALL BE A MINIMUM OF 14' IN HEIGHT AND HAVE A SINGLE STRAIGHT TRUNK WITH THE FIRST LATERAL BRANCH AT 7' ABOVE THE ROOT BALL. TREES WITH AN UPRIGHT BRANCHING HABIT, SUCH AS ZELKOVA, MAY HAVE THE FIRST LATERAL BRANCH AT 6' ABOVE THE ROOT BALL.
- 8. ALL LANDSCAPING SHALL CONFORM TO THE CURRENT EDITION OF THE ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE OF THE CITY OF BETHLEHEM.
- 9. PROPERTY LINE LENGTH IS 1,538.21 L.F. ALONG APPLEBUTTER ROAD AND 961.50 L.F. ALONG COMMERCE CENTER BLVD.

Advertisement for TYPAR BIOBARRIER, including installation instructions, a diagram of the barrier, and contact information for Fibervet, Inc.

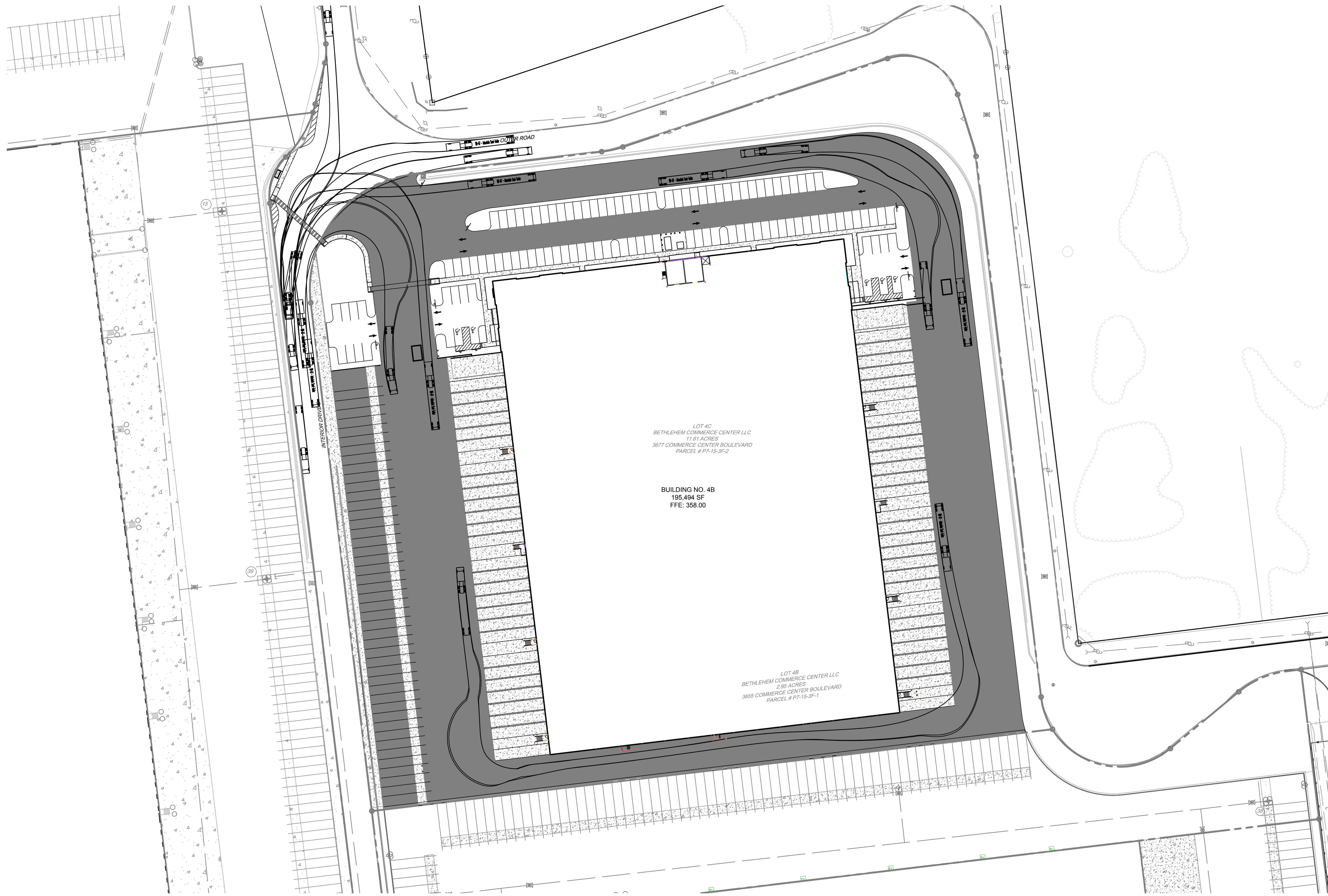
**LANDSCAPE COMPLIANCE SUMMARY:**

CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA  
ZONING DISTRICT: IN-O (INDUSTRIAL OVERLAY DISTRICT)  
EXISTING USE: INDUSTRIAL (FORMER BETHLEHEM STEEL)  
PROPOSED USE: WAREHOUSE AND INDUSTRIAL OR MANUFACTURING

Table with 4 columns: CODE REFERENCE, REQUIRED, PROPOSED, COMPLIANT. Lists various code references and their corresponding requirements for trees and landscaping.

Vertical sidebar containing logos for Pennoni, MAJESTIC BETHLEHEM CENTER LOT 4C, and Pennoni Associates Inc. Includes contact information for MAJESTIC BETHLEHEM CENTER LOT 4C and Pennoni Associates Inc.

Project details box including PROJECT NO. (CMCN0801), SHEET (18 of 20), SCALE (NTS), DATE (10/3/22), DRAWN BY (1005), APPROVED (KDH), and DRAWING NO. (CS6006).

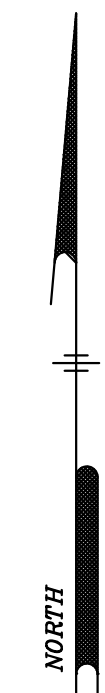
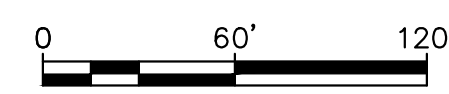
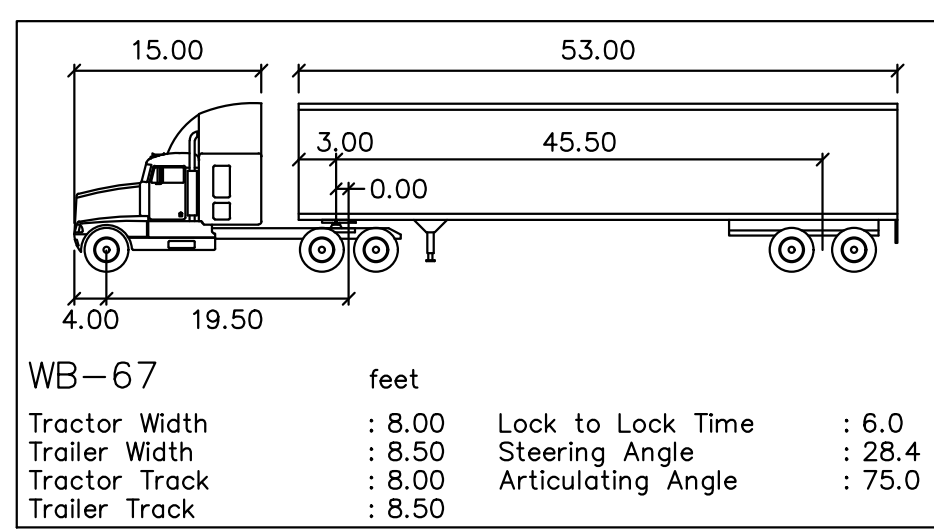


LOT 4C  
 BETHLEHEM COMMERCE CENTER LLC  
 11.61 ACRES  
 3677 COMMERCE CENTER BOULEVARD  
 PARCEL # P7-15-3F-2

BUILDING NO. 4B  
 195,494 SF  
 FFE: 358.00

LOT 4B  
 BETHLEHEM COMMERCE CENTER LLC  
 2.36 ACRES  
 3685 COMMERCE CENTER BOULEVARD  
 PARCEL # P7-15-3F-1

PROPOSED HEAVY DUTY PAVEMENT



Pennoni Associates Inc. 81 Highland Avenue, Suite 230 Bethlehem, PA 18017 - 610.231.0600 Engineers • Surveyors • Planners • Landscape Architects

**MAJESTIC BETHLEHEM CENTER—LOT 4C**  
 3677 COMMERCE CENTER BOULEVARD  
 BETHLEHEM, PA 18015

**TRUCK MOVEMENT PLAN**  
 BETHLEHEM COMMERCE CENTER, LLC.  
 13191 CROSSROADS PARKWAY NORTH, 6TH FLOOR  
 CITY OF INDUSTRY, CA 91746

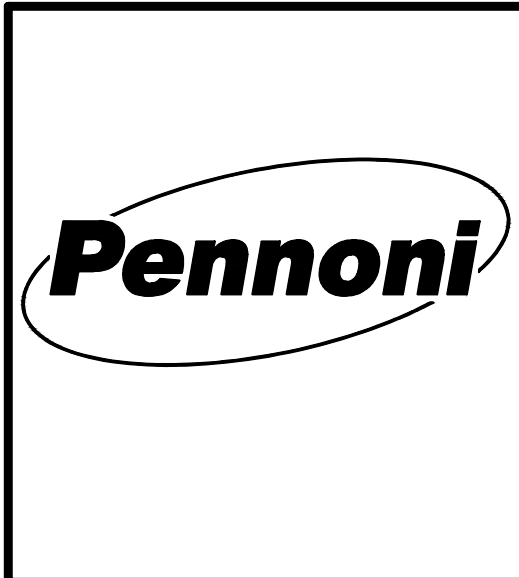
PROJECT NO. **CMCN0801**  
 SHEET **19 OF 20**

SCALE 1" = 50' DATE 10/3/22  
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 DRAWING NO. **CS9801**

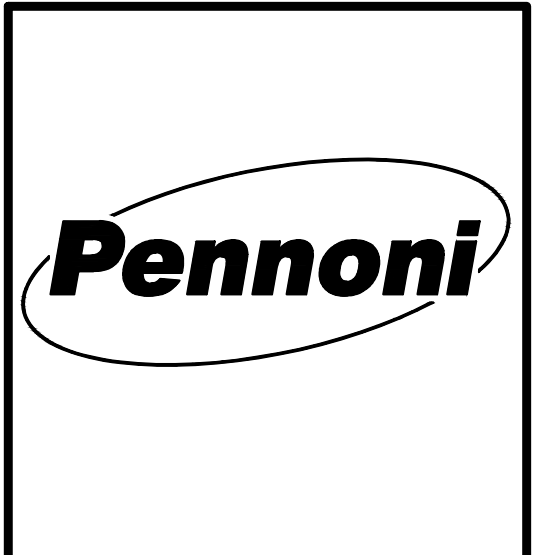
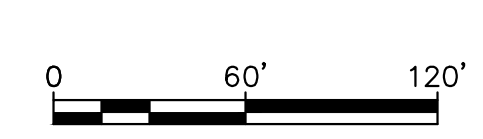
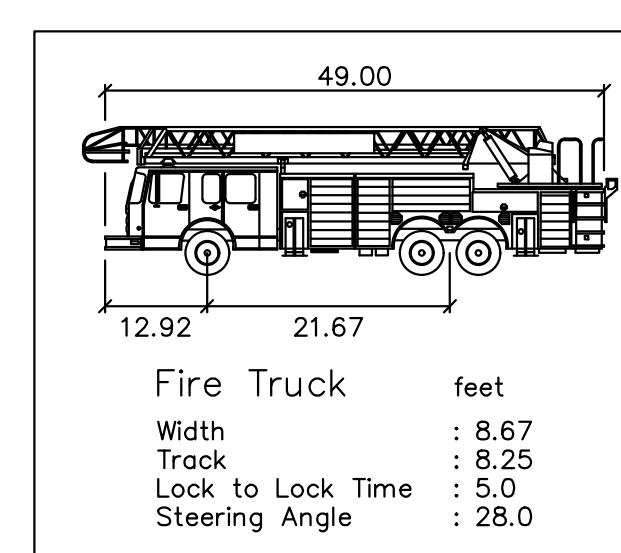
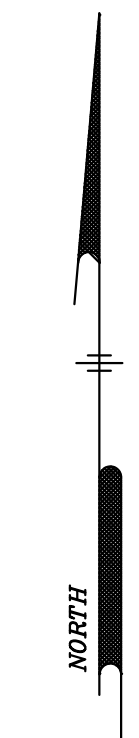
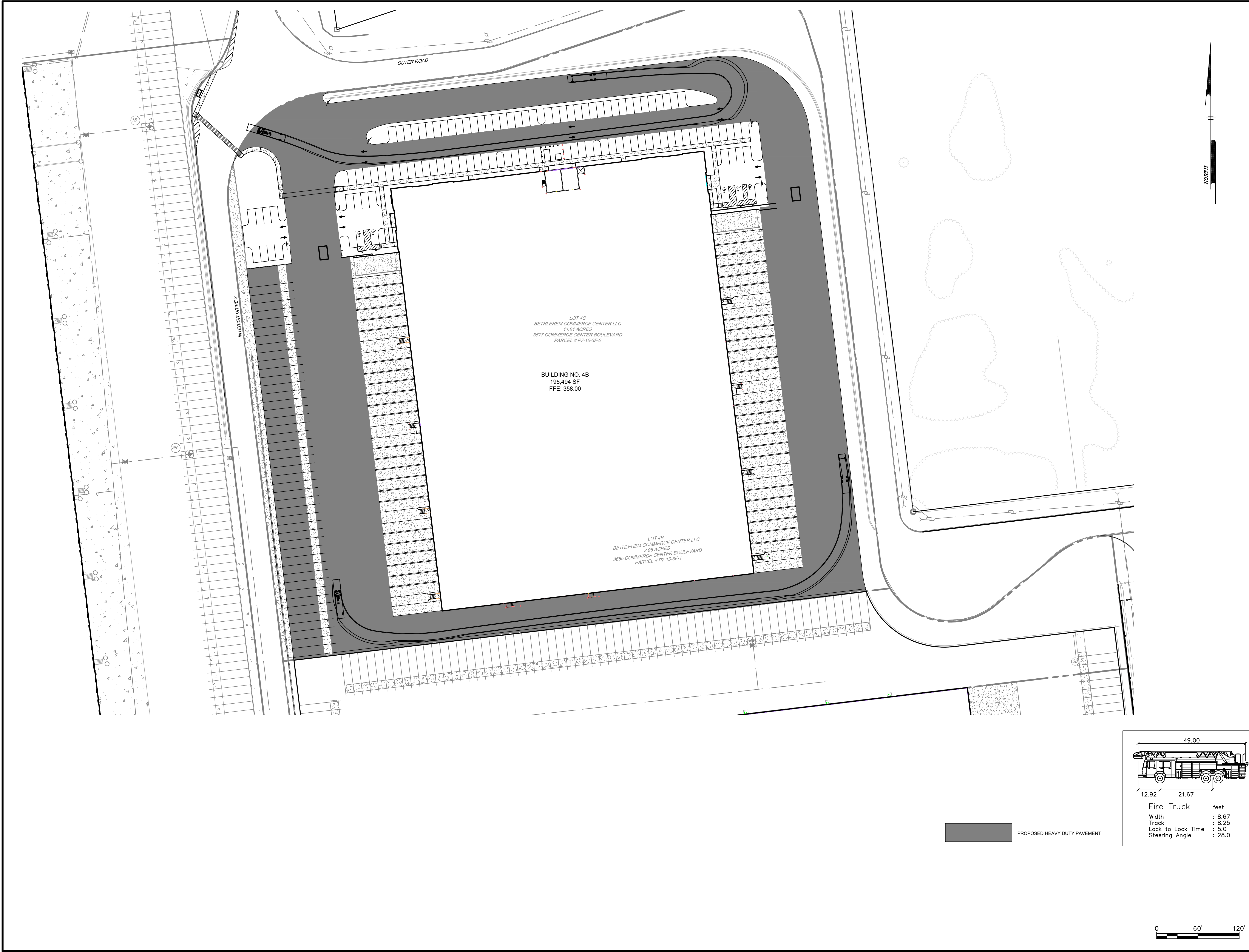
**Pennoni Associates Inc.**

NO.	DATE	REVISIONS	BY

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DATE	NO.	REVISIONS	BY

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK

THOMAS JOHN SERICO  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF PENNSYLVANIA

Pennoni Associates Inc.      2041 Avenue C, Suite 100      Engineers • Surveyors • Planners • Landscape Architects  
 Bethlehem, PA 18017 - 610.231.0600      MAJESTIC BETHLEHEM CENTER—LOT 4C     

3677 COMMERCE CENTER BOULEVARD  
BETHLEHEM, PA 18015

**FIRE TRUCK MOVEMENT PLAN**

BETHLEHEM COMMERCE CENTER, LLC.  
13191 CROSSROADS PARKWAY NORTH, 6TH FLOOR  
CITY OF INDUSTRY, CA 91746

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PROJECT NO.	CMCN0801
SHEET	20 OF 20

SCALE	1" = 50'
DATE	10/3/22
DRAWN BY	1005
APPROVED	KDH

DRAWING NO. **CS9802**

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