

CALL 1-800-242-1776 PA. ACT 287 OF 1974 REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC. SERIAL NO. 1167253

MAJESTIC BETHILETEM CENTER-LOT 4C

PRELIMINARY/FINAL LAND DEVELOPMENT PLANS

PREPARED FOR: OWNER/DEVELOPER MAJESTIC REALTY CO.

13191 CROSSROADS PARKWAY NORTH, 6TH FLOOR CITY OF INDUSTRY, CA 91746





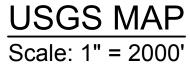
LOCATION MAP Scale: 1" = 2000'

PREPARED BY: **PENNONI ASSOCIATES INC.**

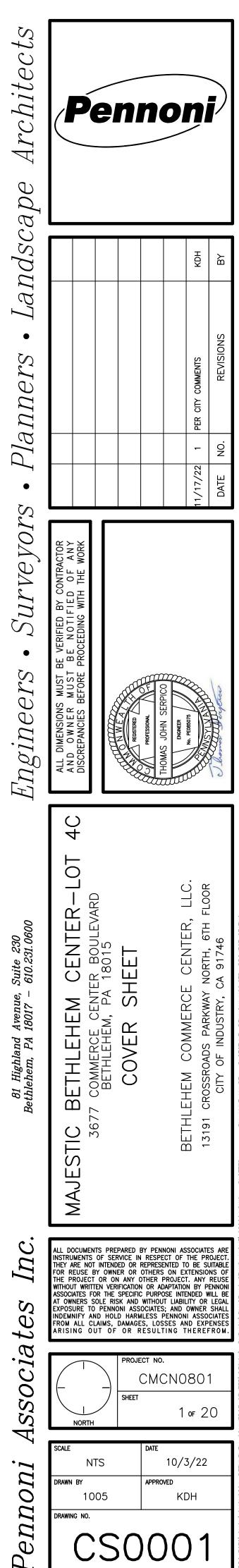
81 Highland Avenue, Suite 230 Bethlehem, PA 18017 610.231.0600 **F** 610.231.2033







		CIVIL SITE DRAWINGS		
SHEET NUMBER	PAGE	DESCRIPTION	DATE	LAST REVISED
CS0001	1 OF 20	COVER SHEET	10/3/2022	11/17/2022
CS0002-CS0003	2 THRU 3 OF 20	NOTES SHEETS	10/3/2022	11/17/2022
CS0200	4 OF 20	OVERALL EXISTING FEATURES AND DEMOLITION PLAN	10/3/2022	
CS0201	5 OF 20	EXISTING FEATURES AND DEMOLITION PLAN	10/3/2022	
CS1000	6 OF 20	OVERALL RECORD PLAN	10/3/2022	11/17/2022
CS1001	7 OF 20	SITE PLAN	10/3/2022	
CS1501	8 OF 20	GRADING PLAN	10/3/2022	
CS1701	9 OF 20	DRAINAGE AND UTILITY PLAN	10/3/2022	11/17/2022
CS2001	10 OF 20	LANDSCAPE PLAN	10/3/2022	
CS2201	11 OF 20	LIGHTING PHOTOMETRIC PLAN	10/3/2022	
CS4001	12 OF 20	STORM SEWER PROFILES	10/3/2022	
CS6001-CS6006	13 THRU 18 OF 20	SITE DETAILS	10/3/2022	11/17/2022
CS9801	19 OF 20	TRUCK MOVEMENT PLAN	10/3/2022	
CS9802	20 OF 20	FIRE TRUCK MOVEMENT PLAN	10/3/2022	



	ONING COMPLIA			SYLVANIA						
ΕX	NING DISTRICT: IN-O (I ISTING USE: INDUSTRIA	AL (FORMER BI	ETHLEHEM STE	EL)	INC				GENERAL NOTES: 1. OWNER/APPLICANT:	
	EA REQUIREMENTS			REQUIRE	D/				BETHLEHEM COMMERCE CENTER, LLC BY MAJESTIC REALTY CO. 13191 CROSSROADS PARKWAY NORTH, 6TH FLOOR	
	ONT YARD (ADJ. TO RE	SIDENTIAL/ST		PERMITTED 50 FT/20 F	. ,	LOT 4C 50 FT/>20 FT			CITY OF INDUSTRY, CA 91746 PHONE: (610) 625-1700	
	AR YARD (ADJ. TO RES DE YARD (ADJ. TO RESII	,		50 FT/0 F 50 FT/0 F		50 FT/>0 FT 50 FT/>0 FT			2. SITE DATA: THE SITE IS LOCATED SOUTH OF APPLEBUTTER ROAD, WEST OF RINGHOFFER ROAD AND NO	RTH OF COMME
MA *SE	X BUILDING HEIGHT	ONLY IF THE AD		80 FT	TED IS IN A	<80 FT			BOULEVARD IN THE CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PA AND IS 11.61 ACRES. T BE FOUND IN D.B.V 2007-1, PAGE 437813, WARD 16. SITE CONSISTS OF ONE TAX PARCEL NUM TAX PARCEL NO. P7-15-3F-2 (CITY OF BETHLEHEM, WARD 16)	
	IERE SHALL BE NO REA	AR OR SIDE YA	RD REQUIREME		\sim	\frown			ZONING DISTRICT: IN-O (INDUSTRIAL OVERLAY DISTRICT) THIS PLAN HAS BEEN PREPARED IN CONJUNCTION WITH A SUBDIVISION PLAN TITLED "MAJ LOT LINE ADJUSTMENT AND CONSOLIDATION PLAN, BY PENNONI ASSOCIATES INC., DATED THIS PLAN PROPOSES DEVELOPMENT OF LOT 4C OF THE SAID SUBDIVISION PLAN.	
	ARKING REQUIR				NTS	5			3. SURVEY REFERENCES NOTES:	
	TICLE 1319.01(A)(19)**					Ş			A. AN ALTA SURVEY WAS PREPARED FOR THE PROPERTY TITLED, ALTA/ASCM LAND TITLE FOR MAJESTIC REALTY CO., CITY OF BETHLEHEM (16TH WARD) & LOWER SAUCON TOWI COUNTY, PENNSYLVANIA, BY BARRY ISETT & ASSOCIATES, INC., DATED AUGUST 7, 2006	NSHIP, NORTHAN
	1 PARKING SPACE FOR (BASED UPON THE MA AT ANY ONE SHIFT)				IT 4C R: 13	$\left\{ \right.$			 NUMEROUS EASEMENTS AFFECTING THE PROPERTY ARE REFERENCED ON THIS PLAN. B. A BOUNDARY RETRACEMENT WAS PERFORMED BY PENNONI ASSOCIATES INC. IN MAY 2 C. THE EXISTING TOPOGRAPHY WAS TAKEN FROM AN AERIAL SURVEY PERFORMED BY BO ON OCTOBER 22, 2002 AND FIELD VERIFIED BY PENNONI ASSOCIATES INC. IN APRIL 2008 	2008 AND JUNE 2 DRTON LAWSON 3.
$\langle \rangle$	PLUS 1 PARKING SPAC SQUARE FEET OF GRO BUILDINGS.		,	CA	R: 20	Ş			 D. THE SITE BENCHMARK IS A CAPPED IRON PIN IN CONCRETE ON THE SOUTHERLY SIDE (3,000 FEET EAST OF THE COMMERCE CONSTRUCTION OFFICE BUILDING. (SPC N=47361) ELEVATION: 347.65) AND IS TIED TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1988 	3.04, E = 2643906
	TION 2: WAREHOUSES, KING REQUIREMENTS FICLE 1319.01(A)(40)		, AND TRUCKING	G TERMINAL	_S	$\left\{ \begin{array}{c} 1 \end{array} \right\}$			 E. THE EXISTING TEMPORARY ACCESS EASEMENT SHOWN ON THE NORTH SIDE OF THE S P7-15-3-1 MAY BE ABANDONED WITH FULL BUILDOUT OF THE PROPERTY ONLY AFTER AI ACCESS IS ESTABLISHED. F. AN ACCESS EASEMENT SHOWN ON THE SOUTH SIDE OF COMMERCE CENTER BOULEVA 	ITE FOR THE BEN N ALTERNATE AF
$\geq \vdash$	PARKING OR STORAGE					$\left\{ \right.$			APPROXIMATELY STATION 7+50 THIS PLAN WAS GRANTED ACROSS SAID AREA FOR THE AND IS RECORDED IN BOOK 2007-1, PAGE 437862. G. IN ACCORDANCE WITH NOTE #5 ON THE SUBDIVISION PLAN ENTITLED "SUBDIVISION OF	
$\left \right\rangle$	OF SUCH BUSINESS, PL SPACE FOR EACH 1.5 P EMPLOYED ON THE PR	LUS ONE PARK PERSONS REGI	ING		IICLE: NOWN	Ş			TECUMSEH REDEVELOPMENT IN. CITY OF BETHLEHEM AND LOWER SAUCON TOWNSHI LAST REVISED DECEMBER 10, 2003, AND RECORDED IN MAP BOOK VOLUME 2004-5, PAG P7-15-B2 AND P7-15-B3] ARE NOT STAND ALONE LOTS. THEY ARE NOT TO BE TRANSFER THE LOTS RECEIVE ACCESS THAT IS SUITABLE TO THE CITY OF BETHLEHEM AT ITS SOL	P" DATED DECEN E 75: "[TAX PARC RRED OR DEVELC
1	PLUS 1 SPACE FOR EAG EMPLOYED ON PREMIS		EGULARLY	CA	R: 20	Ş			4. AS SHOWN ON THE FLOOD INSURANCE RATE MAPS FOR NORTHAMPTON COUNTY, PA, MAP #4	42095C0327 D (PA
						المر			355) AND 42095C0335 D (PANEL 335 OF 355) EFFECTIVE DATE APRIL 6, 2001, THE SITE LIES WIT AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN AND "ZONE A" DEFINED AS S INUNDATED BY THE 100-YEAR FLOOD WITH NO BASE FLOOD ELEVATIONS DETERMINED. FLOO DATA DISK 4.1.	SPECIAL FLOOD
PR	OPOSED OFF STREET F			LO CA	rT 4C R:103				5. A WETLANDS INVESTIGATION STUDY WAS PERFORMED IN JUNE 2008 BY BRAND ENVIRONMEN PENNSYLVANIA STREET, ALLENTOWN, PA 18102. FLAGS WERE SURVEY LOCATED BY PENNON WETLANDS ONLY EXIST ON THE NORTHWESTERN AREA OF THE OVERALL PROPERTY, ENTIRE	NI ASSOCIATES II
PR	ACES OPOSED ACCESSIBLE S OPOSED NUMBER OF E		*		JCK:46 5 20				 BETHLEHEM. 6. A BASELINE ENVIRONMENTAL REPORT WAS PREPARED BY O'BRIEN & GERE OF BLUE BELL, PA 215-628-9100. 	A DATED JULY 20
***		BLE SPACES D ONS, 28 CFR P	ETERMINED FR ART 36 PAGE 49	97.					7. IN ORDER TO MAINTAIN CONTINUITY BETWEEN PLAN REVISIONS, ANY CHANGES TO A PREVIO BE FLAGGED WITH A TRIANGLE. ANY CHANGES NOT FLAGGED MAY BE CONSIDERED NOT API SHALL BE REFERENCED TO THE APPROPRIATE REVISION DATE IN THE REVISION BLOCK.	
	10,000 SF OF PROPO								 ACCURATE AS-BUILT PLANS SHALL BE KEPT UP TO DATE DURING THE CONSTRUCTION PROC THE PROJECT, RECORD DRAWINGS SHALL BE DEVELOPED FROM THE AS-BUILT PLANS AND S ENGINEER'S OFFICE. ALL FINAL DRAWINGS SHALL SHOW NORTH AMERICAN DATUM (NAD) 198 	UBMITTED TO TH
			F	REQUIRE		LOT 4C			IN FEET (PENNSYLVANIA SOUTH, FIPS ZONE 3702) AND THE DIGITAL FILE SHALL BE IN STATE F APPLICABLE. THE HARD COPY OF THE RECORD DRAWINGS SHALL BE IN THE FORM OF A MYLA RECORD SHALL CERTIFY (I.E. P.E. STAMPED AND SIGNED) THAT THE RECORD DRAWINGS COM	PLANE FEET COC AR COPY. THE EI MPLY SUBSTANT
MA	N LOT SIZE (AC) X BUILDING COVERAGI	()		1 N/A 90		11.61 38.7			THE APPROVED PLAN AND THAT THEY CONFORM TO INDUSTRY STANDARDS. ALL DIGITAL FIL COMPATIBLE CD ROM CONTAINING THE DIGITAL REPRESENTATION OF THE FINAL PLAN AS PF TWENTY-FOUR (24) INCH BY THIRTY-SIX (36) INCH SHEETS. THE DIGITAL MAP SHALL BE AUTO INCLUDED IN THE DIGITAL MAPS SHALL BE THE STANDARDIZED LAYERS PREPARED AND UTIL	RESENTED ON TH
* - I INC	PERVIOUS SURFACE CO PER MASTER DEVELOP IVIDUAL LOT MAY CON DE. ON A RECORDED P	MENT AGREEM	0% IMPERVIOUS	CITY OF BE COVER PR	OVIDED BC	C HAS SET			 BETHLEHEM TO ENSURE COMPATIBILITY WITH THE CITY'S EXISTING CAD STANDARDS AND AS THE CITY'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. 9. THE PROPOSED SITE WILL BE SERVICED BY PUBLIC WATER SUPPLY AND PUBLIC SEWER AND 	
	S THAN 15% OF ALL AF	,							ORDINANCE NO. 4342, AT THE TIME OF A REQUEST FOR A BUILDING PERMIT, A SANITARY SEW PER EDU WILL NEED TO BE PAID. THE TOTAL AMOUNT WILL BE DETERMINED WHEN A SANITAR PLANNING MODULE APPLICATION IS SUBMITTED.	
API PR	DPOSED TOTAL 55.13	4 AC 90.96%* 3 AC 92.49%*	_						 SANITARY PUMP STATION LOCATED NEAR APPLEBUTTER ROAD HAS BEEN UPGRADED BY THI WITH CITY OF BETHLEHEM. THE PROPOSED SANITARY SERVER MAIN WILL BE PRIVATELY OWNED AND MAINTAINED. SANIT 	
(*-1	EERENCE 0.19 PER MASTER DEVELOP IVIDUAL LOT MAY CON DE, ON A RECORDED P	TAIN UP TO 100	MENT WITH THE	COVER PR	OVIDED BC	C HAS SET			 THE PROPOSED SANITARY SEWER MAIN WILL BE PRIVATELY OWNED AND MAINTAINED. SANI LATERALS WILL BE PRIVATELY OWNED AND MAINTAINED. THE WATER MAINS WILL BE PRIVATELY OWNED AND MAINTAINED. WATER SERVICE MAINS AND 	
	S THAN 15% OF ALL AF	PPROVED IMPE	RVIOUS DEVEL	OPMENT AT	THE BCC F				PRESSURE FIRE PROTECTION LINES WILL BE PRIVATELY OWNED AND MAINTAINED. 13. PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY, PERMITS MUST BE OBTAINED FROM CITY E	NGINEERING OF
	195,494		237,094	1,281,8	,	- 44,706			 ALL ELECTRICAL WORK WILL REQUIRE AN ELECTRICAL PERMIT AND A PPL JOB REQUEST NUM PER BETHLEHEM CITY ORDINANCE NO. 3821, THE FACILITY WILL BE REQUIRED TO RECYCLE I CORRUGATED CARDBOARD, AND ALUMINUM. THE OWNER SHALL CONTACT THE RECYCLING 	MIXED OFFICE P
<u></u> SO	LS TABLE:	000							COORDINATE. THE OWNER IS RESPONSIBLE FOR ESTABLISHING RECYCLE PROCEDURES. 16. SECURITY FENCE SHALL BE INSTALLED ON A TENANT NEED BASIS AND IN ACCORDANCE WITH	
SYM	BOL NAME	HYDROLOGIC SOIL GROUP		WATER TABLE (IN)	BEDROCK (IN)	LIMIT/	ATIONS BUILDING SITES	RESOLUTIONS	REQUIREMENTS, AS APPLICABLE. 17. PERSON DOORS WILL BE PROVIDED ON THE BUILDING PERMIT PLAN FOR EACH TENANT. ACC PARKING LOT TO THE BUILDING WILL BE PROVIDED AT THAT TIME.	ESSIBLE ROUTE
CaE	CALIFON LOAM, 3-8% SLOPES	С	NO	6 - 36	72 - 99	SEASONAL HIGH WATER TABLE, SINKHOLES IN KARST	SEASONAL HIGH WATER TABLE, SINKHOLES IN KARST AREAS	*SEE BELOW	18. ROADWAY NETWORK WAS DESIGNED FOR 25 MPH SPEED AND A WB-67 TRUCK.	
CIB	CLARKSBURG					AREAS	SLOW PERMEABILITY,		19. LOT 4C CONNECTS TO THE SANITARY SEWER AND WATER IN OUTER ROAD, THE CITY OF BETI MAY TAKE OWNERSHIP OF THE UTILITY MAINS UP THE CONNECTION POINT(S) BY WAY OF EAS	, -
	SILT LOAM, 3-8% SLOPES	С	NO	18 - 36	60 - 99	SEASONAL HIGH WATER TABLE, SINKHOLES IN KARST AREAS	SEASONAL HIGH WATER TABLE, SINKHOLES IN KARST AREAS	*SEE BELOW	20. BY SUBMISSION OF THESE PLANS THE ENGINEER ON RECORD CERTIFIES THAT THESE PLANS CONFORMANCE WITH THE CITY OF BETHLEHEM STORM WATER MANAGEMENT ORDINANCE. (I	
CnE	SILT LOAM, 3-8% SLOPES	D	NO	0 - 12	72 - 99	SEASONAL HIGH WATER TABLE, SINKHOLES IN KARST AREAS	SEASONAL HIGH WATER TABLE, SINKHOLES IN KARST AREAS	*SEE BELOW	 21. ANY FUTURE INSTALLATION OF LANDSCAPING NOT DEPICTED ON THE APPROVED PLANS SHAFOR REVIEW AND APPROVAL. 22. PRIOR TO CONSTRUCTION OF A RETAINING WALLS ON-SITE, A PLAN CONTAINING DESIGN AND 	D DETAILS, CERT
GIB	GRAVELLY LOAM, 3-8% SLOPES	В	NO	>80	60 - 100	SINKHOLES IN KARST AREAS	SINKHOLES IN KARST AREAS	*SEE BELOW	 ENGINEER EXPERIENCED IN THE DESIGN OF RETAINING WALLS AND LICENSED IN THE STATE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL 23. A KNOX BOX WILL BE INSTALLED PER THE DIRECTION OF THE CITY OF BETHLEHEM FIRE DEP/ 	
GIC	GRAVELLY LOAM, 8-15% SLOPES	В	NO	>80	60 - 100	SINKHOLES IN KARST AREAS	SINKHOLES IN KARST AREAS	*SEE BELOW	24. CONTRACTOR TO COORDINATE ONSITE TOPSOIL WITH GENERAL CONTRACTOR.	
Gml	GLADSTONE GRAVELLY LOAM, 15-25% SLOPES	В	NO	>80	60 - 100	BOULDERS, SINKHOLES IN KARST AREAS	BOULDERS, SINKHOLES IN KARST AREAS	*SEE BELOW		
Но	HOLLY SILT LOAM	D	YES	0 - 12	>80	HIGH WATER TABLE, FLOODING, SUBJECT TO CAVING, HIGH CORROSION POTENTIAL	HIGH WATER TABLE, FLOODING, SUBJECT TO CAVING	*SEE BELOW		
UbE	UDORTHENTS, LIMESTONE, 0-8% SLOPES	D	NO	12 - 36	40 - 99	SINKHOLES IN KARST AREAS	SINKHOLES IN KARST AREAS	*SEE BELOW		
UbE	UDORTHENTS, LIMESTONE, 8-25% SLOPES	D	NO	12-36	40 - 99	SINKHOLES IN KARST AREAS	SINKHOLES IN KARST AREAS	*SEE BELOW		
Ukal	3 URBAN LAND, 0-8% SLOPES	D	NO	VARIES	10 - 98	VARIES	VARIES	VARIES		
Wal	3 WASHINGTON SILT LOAM, 3-8% SLOPES	В	NO	>80	60 - 99	SEASONAL HIGH WATER TABLE, SEEPAGE ABOVE FRAGIPAN, STONES IN PLACES, HIGH CORROSION POTENTIAL, SINKHOLES IN KARST AREAS	SEASONAL HIGH WATER TABLE, SEEPAGE ABOVE FRAGIPAN, STONES IN PLACES, SINKHOLES IN KARST AREAS	*SEE BELOW	CS-0002, CS-0003 [I CS-1000 [OVERA	
Wa	C WASHINGTON SILT LOAM, 8-15% SLOPES	В	NO	>80	60 - 99	SEASONAL HIGH WATER TABLE, SEEPAGE ABOVE FRAGIPAN, STONES IN PLACES, HIGH CORROSION POTENTIAL, SINKHOLES IN KARST AREAS	SEASONAL HIGH WATER TABLE, SEEPAGE ABOVE FRAGIPAN, STONES IN PLACES, SINKHOLES IN KARST AREAS	*SEE BELOW	CS-1001 [SITE CONSIDERED TO B RECORD PLAN S PURPOSES IN THE COUNTY RECORD	E PLAN] ARE BE A COMP ET FOR FIL NORTHAM DER OF DEI
* DE	WATER EXCAVATIONS	THROUGH A PL	JMPED WATER	FILTER BAG	AS NECES	SARY.			OFFI	CE

AVOID PONDING OF WATER DURING CONSTRUCTION; CLOSE ALL EXCAVATIONS AS SOON AS PRACTICAL; ENSURE ALL INSTALLED PIPE IS WATERTIGHT; IF SINKHOLE FORMS, CONSULT GEOTECHNICAL ENGINEER AND REPAIR ACCORDING TO APPROVED DETAILS.

ANT

MMERCE CENTER, LLC EALTY CO.

CATED SOUTH OF APPLEBUTTER ROAD, WEST OF RINGHOFFER ROAD AND NORTH OF COMMERCE CENTER THE CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PA AND IS 11.61 ACRES. THE DEED FOR THIS SITE CAN B.V 2007-1, PAGE 437813, WARD 16. SITE CONSISTS OF ONE TAX PARCEL NUMBER:

$\sim\sim\sim\sim\sim\sim$ NO. P7-15-3F-2 (CITY OF BETHLEHEM, WARD 16) TRICT: IN-O (INDUSTRIAL OVERLAY DISTRICT)

IS BEEN PREPARED IN CONJUNCTION WITH A SUBDIVISION PLAN TITLED "MAJESTIC BETHLEHEM CENTER -JUSTMENT AND CONSOLIDATION PLAN, BY PENNONI ASSOCIATES INC., DATED 3/1/17, LAST REVISED 3/16/21. ROPOSES DEVELOPMENT OF LOT 4C OF THE SAID SUBDIVISION PLAN

SURVEY WAS PREPARED FOR THE PROPERTY TITLED, ALTA/ASCM LAND TITLE SURVEY PLANS, PREPARED STIC REALTY CO., CITY OF BETHLEHEM (16TH WARD) & LOWER SAUCON TOWNSHIP, NORTHAMPTON PENNSYLVANIA, BY BARRY ISETT & ASSOCIATES, INC., DATED AUGUST 7, 2006, LAST REVISED MAY 10, 2007. JS EASEMENTS AFFECTING THE PROPERTY ARE REFERENCED ON THIS PLAN.

ARY RETRACEMENT WAS PERFORMED BY PENNONI ASSOCIATES INC. IN MAY 2008 AND JUNE 2010. TING TOPOGRAPHY WAS TAKEN FROM AN AERIAL SURVEY PERFORMED BY BORTON LAWSON ENGINEERING BER 22, 2002 AND FIELD VERIFIED BY PENNONI ASSOCIATES INC. IN APRIL 2008. BENCHMARK IS A CAPPED IRON PIN IN CONCRETE ON THE SOUTHERLY SIDE OF COMMERCE CENTER BLVD., TEAST OF THE COMMERCE CONSTRUCTION OFFICE BUILDING. (SPC N=473613.04, E = 2643906.28, N: 347.65) AND IS TIED TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1988 (NAVD88).

TING TEMPORARY ACCESS EASEMENT SHOWN ON THE NORTH SIDE OF THE SITE FOR THE BENEFIT OF TMP# MAY BE ABANDONED WITH FULL BUILDOUT OF THE PROPERTY ONLY AFTER AN ALTERNATE APPROVED S ESTABLISHED. SS EASEMENT SHOWN ON THE SOUTH SIDE OF COMMERCE CENTER BOULEVARD FROM STATION 1+00 TO

MATELY STATION 7+50 THIS PLAN WAS GRANTED ACROSS SAID AREA FOR THE BENEFIT OF TMP# P7-15-28 ECORDED IN BOOK 2007-1, PAGE 437862. DANCE WITH NOTE #5 ON THE SUBDIVISION PLAN ENTITLED "SUBDIVISION OF A PORTION OF THE LANDS OF H REDEVELOPMENT IN. CITY OF BETHLEHEM AND LOWER SAUCON TOWNSHIP" DATED DECEMBER 17, 2002, ISED DECEMBER 10, 2003, AND RECORDED IN MAP BOOK VOLUME 2004-5, PAGE 75: "[TAX PARCEL NOS. AND P7-15-B3] ARE NOT STAND ALONE LOTS. THEY ARE NOT TO BE TRANSFERRED OR DEVELOPED UNTIL

THE FLOOD INSURANCE RATE MAPS FOR NORTHAMPTON COUNTY, PA, MAP #42095C0327 D (PANEL 327 OF C0335 D (PANEL 335 OF 355) EFFECTIVE DATE APRIL 6, 2001, THE SITE LIES WITHIN "ZONE X" DEFINED AS IINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN AND "ZONE A" DEFINED AS SPECIAL FLOOD HAZARD AREAS THE 100-YEAR FLOOD WITH NO BASE FLOOD ELEVATIONS DETERMINED. FLOODPLAIN SHOWN PER LVPC GIS

IVESTIGATION STUDY WAS PERFORMED IN JUNE 2008 BY BRAND ENVIRONMENTAL CONSULTING, 1401 W. STREET, ALLENTOWN, PA 18102. FLAGS WERE SURVEY LOCATED BY PENNONI ASSOCIATES IN JUNE 2008. Y EXIST ON THE NORTHWESTERN AREA OF THE OVERALL PROPERTY, ENTIRELY WITHIN THE CITY OF

VIRONMENTAL REPORT WAS PREPARED BY O'BRIEN & GERE OF BLUE BELL, PA DATED JULY 2007, PH.

AINTAIN CONTINUITY BETWEEN PLAN REVISIONS, ANY CHANGES TO A PREVIOUS PLAN SUBMISSION SHALL ITH A TRIANGLE. ANY CHANGES NOT FLAGGED MAY BE CONSIDERED NOT APPROVED. FLAGGED CHANGES ERENCED TO THE APPROPRIATE REVISION DATE IN THE REVISION BLOCK.

BUILT PLANS SHALL BE KEPT UP TO DATE DURING THE CONSTRUCTION PROCESS. AT THE COMPLETION OF RECORD DRAWINGS SHALL BE DEVELOPED FROM THE AS-BUILT PLANS AND SUBMITTED TO THE CITY FICE. ALL FINAL DRAWINGS SHALL SHOW NORTH AMERICAN DATUM (NAD) 1983 STATE PLANE COORDINATES YLVANIA SOUTH, FIPS ZONE 3702) AND THE DIGITAL FILE SHALL BE IN STATE PLANE FEET COORDINATES AS IE HARD COPY OF THE RECORD DRAWINGS SHALL BE IN THE FORM OF A MYLAR COPY. THE ENGINEER OF CERTIFY (I.E. P.E. STAMPED AND SIGNED) THAT THE RECORD DRAWINGS COMPLY SUBSTANTIALLY WITH PLAN AND THAT THEY CONFORM TO INDUSTRY STANDARDS. ALL DIGITAL FILES SHALL RESIDE ON PC ROM CONTAINING THE DIGITAL REPRESENTATION OF THE FINAL PLAN AS PRESENTED ON THE (24) INCH BY THIRTY-SIX (36) INCH SHEETS. THE DIGITAL MAP SHALL BE AUTOCAD COMPATIBLE. ALL LAYERS E DIGITAL MAPS SHALL BE THE STANDARDIZED LAYERS PREPARED AND UTILIZED BY THE CITY OF ENSURE COMPATIBILITY WITH THE CITY'S EXISTING CAD STANDARDS AND AS DESCRIBED IN APPENDIX A OF DIVISION AND LAND DEVELOPMENT ORDINANCE.

) SITE WILL BE SERVICED BY PUBLIC WATER SUPPLY AND PUBLIC SEWER AND IN ACCORDANCE WITH 2. 4342, AT THE TIME OF A REQUEST FOR A BUILDING PERMIT, A SANITARY SEWER TAPPING FEE OF \$2,527 NEED TO BE PAID. THE TOTAL AMOUNT WILL BE DETERMINED WHEN A SANITARY SEWER FACILITIES ULE APPLICATION IS SUBMITTED.

STATION LOCATED NEAR APPLEBUTTER ROAD HAS BEEN UPGRADED BY THE OWNER PER DISCUSSIONS ETHLEHEM.

SANITARY SEWER MAIN WILL BE PRIVATELY OWNED AND MAINTAINED. SANITARY SERVICE MAINS AND BE PRIVATELY OWNED AND MAINTAINED.

INS WILL BE PRIVATELY OWNED AND MAINTAINED. WATER SERVICE MAINS AND LATERALS AND HIGH PROTECTION LINES WILL BE PRIVATELY OWNED AND MAINTAINED.

WORK WITHIN THE RIGHT-OF-WAY, PERMITS MUST BE OBTAINED FROM CITY ENGINEERING OFFICE. WORK WILL REQUIRE AN ELECTRICAL PERMIT AND A PPL JOB REQUEST NUMBER.

M CITY ORDINANCE NO. 3821. THE FACILITY WILL BE REQUIRED TO RECYCLE. MIXED OFFICE PAPER. CARDBOARD, AND ALUMINUM. THE OWNER SHALL CONTACT THE RECYCLING OFFICE AT 610-865-7075 TO THE OWNER IS RESPONSIBLE FOR ESTABLISHING RECYCLE PROCEDURES.

WILL BE PROVIDED ON THE BUILDING PERMIT PLAN FOR EACH TENANT. ACCESSIBLE ROUTES FROM THE O THE BUILDING WILL BE PROVIDED AT THAT TIME.

CTS TO THE SANITARY SEWER AND WATER IN OUTER ROAD, THE CITY OF BETHLEHEM, AT ITS DISCRETION, IERSHIP OF THE UTILITY MAINS UP THE CONNECTION POINT(S) BY WAY OF EASEMENT.

N OF THESE PLANS THE ENGINEER ON RECORD CERTIFIES THAT THESE PLANS ARE IN COMPLETE WITH THE CITY OF BETHLEHEM STORM WATER MANAGEMENT ORDINANCE. (PER S. W. DESALVA 09-19-2006) STALLATION OF LANDSCAPING NOT DEPICTED ON THE APPROVED PLANS SHALL BE SUBMITTED TO THE CITY

TRUCTION OF A RETAINING WALLS ON-SITE, A PLAN CONTAINING DESIGN AND DETAILS, CERTIFIED BY AN ERIENCED IN THE DESIGN OF RETAINING WALLS AND LICENSED IN THE STATE OF PENNSYLVANIA SHALL BE THE CITY FOR REVIEW AND APPROVAL

CS-0002, CS-0003 [NOTES SHEETS], CS-1000 [OVERALL SITE PLAN] CS-1001 [SITE PLAN] ARE CONSIDERED TO BE A COMPLETE RECORD PLAN SET FOR FILING PURPOSES IN THE NORTHAMPTON COUNTY RECORDER OF DEEDS OFFICE

SANITARY SEWER NOTES:

3

- IN ACCORDANCE WITH ORDINANCE NO. 4342, AT THE TIME OF EXECUTION OF THE DEVELOPERS AGREEMENT, A SANITARY SEWER TAPPING FEE SHALL BE PAID.
- 2. ALL SANITARY SEWER CONSTRUCTION MUST CONFORM TO THE CITY OF BETHLEHEM SEWER REGULATIONS, STANDARDS, AND SPECIFICATIONS.
- LOW PRESSURE AIR TESTING REQUIRED FOR ALL SANITARY SEWER SYSTEMS. THIS TEST, AT A MINIMU MUST MEET ALL REQUIREMENTS AS OUTLINED IN ASTM C-828-80 OR CURRENT REVISION.
- CONTRACTOR TO FIELD VERIFY LOCATION AND INVERT OF EXISTING SANITARY SEWER MAINS AND EXISTING LATERALS FOR CONNECTION TO EXISTING SEWER SYSTEM.
- UNLESS OTHERWISE NOTED, SANITARY LATERALS SHALL CONSIST OF SIX (6") INCH DIAMETER SDR-26 PIPE AT A MINIMUM SLOPE OF 1/4" PER FOOT.
- THE APPLICANT/OWNER SHALL OWN AND BE RESPONSIBLE FOR PERPETUAL MAINTENANCE OF THE SANITARY SEWER SYSTEM.

STORMWATER NOTES PER CITY OF BETHLEHEM:

- THE MAINTENANCE OF STORM WATER FACILITIES SHALL BE THE OWNER'S RESPONSIBILITY. THE 1 OWNER'S DEED, AND THE DEED TO ANY SUBSEQUENT OWNER, SHALL NOTE THAT THE OWNER SHAL ACCEPT THE MAINTENANCE RESPONSIBILITIES. THE CITY OF BETHLEHEM SHALL BE PERMITTED TO INSPECT THE STORM WATER FACILITIES ON AT LEAST AN ANNUAL SCHEDULE TO ENSURE THAT ANY NECESSARY CORRECTIVE WORK IS PERFORMED IN A TIMELY MANNER.
- THE DRAINAGE EASEMENT PROVIDES FOR THE FLOW OF STORM WATER ACROSS LOTS, AND MAY NO ALTERED WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEER. NO OBSTRUCTIONS SUCH A PLANTING BERMS OR FENCES MAY BE INSTALLED IN THE DRAINAGE EASEMENTS AREAS WITHOUT SUFFICIENT PROVISION FOR THE PASSAGE OF STORM WATER, AND ANY SUCH PROPOSED PROVISION SHALL BE APPROVED IN WRITING BY THE CITY ENGINEER.
- ALL PUBLIC INLETS SHOULD HAVE INLET MARKERS. THE DESIGN OF THE INLET MARKERS SHALL BE APPROVED BY THE CITY ENGINEER.
- 4. A NPDES PERMIT AND APPROVED EROSION AND SEDIMENTATION CONTROL PLAN ARE REQUIRED PF TO ANY EARTHWORK COMMENCING.
- 5. UNLESS A GEOLOGICAL SURVEY DEMONSTRATES THE FEASIBILITY OF ENCOURAGING INFILTRATION DETENTION POND, THE DETENTION POND SHALL, GENERALLY, BE LINED WITH A FULL 6-INCH THICK (LINER WITH A PERMEABILITY OF 1 x 10^(-7) CM/SEC. OR LESS. THIS CLAY LINER SHALL, IN TURN, BE COVERED BY A 6-INCH LAYER OF VIABLE TOPSOIL ON WHICH A HEALTHY GROWTH OF GRASS SHALL ESTABLISHED (UNLESS RIP-RAPPED). THIS LINER SYSTEM SHALL EXTEND FROM THE BOTTOM OF TH POND TO THE ELEVATION OF THE EMERGENCY SPILLWAY. THE LINER PERMEABILITY OF 1x10^(-7) CM SHALL BE VERIFIED BY LAB TESTS ON THREE FIELD SAMPLES OR OTHER EQUIVALENT PROCEDURE ACCEPTABLE TO THE CITY ENGINEER. ADDITIONAL TESTS MAY BE REQUIRED BY THE CITY ENGINEER SHOULD ANY OF THE THREE ORIGINAL TESTS YIELD UNACCEPTABLE RESULTS. ALL THE TESTING SH BE ARRANGED AND PAID BY THE DEVELOPER; HOWEVER, THE TESTING LAB SHALL BE CERTIFIED IN AREA OF TESTING AND ACCEPTABLE TO THE CITY ENGINEER.
- THE CONTRACTOR SHALL CLEAN ALL ACCUMULATED SEDIMENT AND SILT FROM THE POND AT THE E OF THE CONSTRUCTION, AND RETURN THE POND TO ITS ORIGINAL DESIGN CONDITION.
- THE MAINTENANCE OF THE STORM WATER FACILITIES, INCLUDING THE DETENTION POND, SHALL BE OWNER'S RESPONSIBILITY. THE OWNER'S DEED, AND THE DEEDS TO ANY SUBSEQUENT OWNER, SH. NOTE THAT THE OWNER SHALL ACCEPT THE MAINTENANCE RESPONSIBILITIES. THE CITY OF BETHL SHALL BE PERMITTED TO INSPECT THE STORM WATER FACILITIES ON AT LEAST AN ANNUAL SCHED TO ENSURE THAT ANY NECESSARY CORRECTIVE WORK IS PERFORMED IN A TIMELY MANNER.

GENERAL UTILITY NOTES:

- 1. THE LOCATION OF THE EXISTING OVERHEAD UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FRO FIELD OBSERVATION.
- 2. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCT IS NOT GUARANTEED.
- 3. IN ACCORDANCE WITH PA ACT 287 AMENDED, THE CONTRACTOR SHALL NOTIFY ALL UTILITIES WITHIN WORK AREA VIA THE PENNSYLVANIA ONE CALL SYSTEM, INC (800-242-1776) A MINIMUM OF 3 WORKING DAYS DAYS BEFORE THE START OF EXCAVATION.
- 4. THE CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.
- 5. IF CONFLICTS ARE FOUND THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
- 6. ALL PIPE LENGTHS AND DISTANCES BETWEEN STRUCTURES ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE ALONG A HORIZONTAL PLANE.
- 7. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVEL STABLE EARTH CONDITIONS, ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING A BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- 8. COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% (THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROO STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED 6 INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY 1 PUBLIC WORKS INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 9. CONTRACTOR MUST APPLY FOR ALL UTILITY CONNECTION APPLICATIONS. CONTRACTOR IS RESPON FOR ALL UTILITY CONNECTION FEES FOR CONSTRUCTION. REFER TO COVER SHEET FOR AVAILABLE UTILITY COMPANY LIST.
- 10. CONTRACTOR MUST OBTAIN ANY REQUIRED UTILITY DETAILS FOR RECONNECTION OF EXISTING SER OR NEW SERVICE AND IS RESPONSIBLE FOR THE CONSTRUCTION OF EACH NEW SERVICE PER THE APPROPRIATE UTILITY COMPANY'S SPECIFICATIONS.
- 11. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS; HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITII SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
- 12. THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILIT AND APPURTENANCES TO MINIMIZE DISTURBANCE TO CURBING, PAVING, AND COMPACTED SUBGRAD
- 13. UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION. THE CONTRACTOR SHOULD SEEK ASSISTANCE FROM ALL UTILITY COMPANIES TO LO AND PROTECT THEIR FACILITIES.
- 14. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL THE CONTRACTOR'S RESPONSIBILITY.
- 15. SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNIC/ ENGINEER. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL MEET THESE SPECIFICATIONS.
- 16. CONTRACTOR SHALL EXCAVATE ONLY ENOUGH TRENCH FOR WHICH PIPE CAN BE INSTALLED AND TR BACKFILLED BY THE END OF EACH WORK DAY.
- 17. ALL PIPE WHICH HAS BEEN DESIGNATED "TO BE REMOVED" SHALL BE EXCAVATED, REMOVED, AND T TRENCH BACKFILLED WITH SUITABLE COARSE AGGREGATE MATERIAL OR THE PIPE SHALL BE COMPL FILLED WITH SAND AND SEALED WITH WATERTIGHT GROUT. PIPES DESIGNATED "TO BE REMOVED" S NO LONGER BE THE PROPERTY OR THE MAINTENANCE RESPONSIBILITY OF THE APPLICABLE UTILITY COMPANY
- 18. PROPOSED UTILITY POLES SHALL BE PLACED A MINIMUM OF TWO FEET OFF THE CURB OR FOUR FEE THE EDGE OF ROAD WHICH HAS NO CURB.
- 19. ALL UTILITIES UNDER FUTURE RAIL LOCATIONS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS FOR E-30 LOADING REQUIREMENTS.
- 20. ALL HYDRANTS MUST HAVE CITY OF BETHLEHEM THREADS, AND ALL HYDRANTS ON THE LOOP SYSTE SHALL BE PAINTED RED.

	STORM SEWER NOTES: 1. ALL STORM DRAINAGE PIPE SHALL BE LAID ON SMOOTH CONTINUOUS GRADES WITH NO VISIBLE BENDS AT	ects	
	 ALL STORM DRAINAGE PIPE SHALL BE LAID ON SMOOTH CONTINUOUS GRADES WITH NO VISIBLE BENDS AT JOINTS. ALL STORM DRAINAGE PIPE SHALL BE CONSTRUCTED WITH WATERTIGHT JOINTS. PROVIDE GASKETS SUITABLE FOR REINFORCED CONCRETE PIPE OR HIGH-DENSITY POLYETHYLENE PIPE AS NECESSARY. EXISTING STORM SEWER STRUCTURES TO BE MODIFIED SHALL BE ADJUSTED BY THE USE OF PRECAST CONCRETE RISER SECTIONS. IF STRUCTURE CANNOT BE MODIFIED, IT SHALL BE REPLACED. CONTRACTOR TO VERIFY DIMENSIONS OF ALL EXISTING STRUCTURES TO BE MODIFIED. 	ape Architects	Pennoni
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, OT BE AS DN	RECORDER OF DEEDS OFFICE RECORDED IN THE OFFICE FOR RECORDING OF DEEDS, ETC. IN AND FOR THE COUNTY OF NORTHAMPTON, AT EASTON, PENNSYLVANIA IN PLAN BOOK, PAGE, ON THE DAY OF, 20	nners • L	COMMENTS
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.BE IE M/SEC. R IALL THIS	ENGINEER'S CERTIFICATION I HEREBY CERTIFY THAT THIS PLAN CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND, WHERE APPLICABLE, THE LOTS, BUILDINGS, STREETS, PARKING AREAS, WALKWAYS, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN THEREON.	I • SI	11/17/22 DATE
END ETHE ALL EHEM JLE	THOMAS JOHN SERPICO, P.E. (DATE) LICENSE NO. PE085075 81 HIGHLAND AVENUE, SUITE 230 BETHLEHEM, PA 18017 SURVEYOR'S CERTIFICATION I HEREBY CERTIFY THAT THIS PLAN CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND, WHERE APPLICABLE, THE LOTS, BUILDINGS, STREETS, PARKING AREAS, WALKWAYS, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN THEREON.	Surveyc	BE VERIFIED BY CONTRACTOR BE NOTIFIED OF ANY PROCEEDING WITH THE WORK
DM	DAVID RUSSEL BOYER, P.L.S. (DATE) LICENSE NO. 061141 81 HIGHLAND AVENUE, SUITE 230 BETHLEHEM, PA 18017	Engineers •	ALL DIMENSIONS MUST BE V AND OWNER MUST BE DISCREPANCIES BEFORE PRO REGETTRED REGTTRED REGETTRED REGTTRED REGTTRED REGTTRED REGTTRED REGTTRED REGTTRED REGTTRED REGTTRED REGTTRED REGTTRED REGTTRED REGTTRED REGTTRED REGTTRED REGTTRED REGTTRED REGTT
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AL THE O RENCH	OWNER BETHLEHEM COMMERCE CENTER, LLC, A DELAWARE LIMITED LIABILITY COMPANY BY: BETHLEHEM DISTRIBUTION CENTERS, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS SOLE MEMBER BY: MAJESTIC REALTY CO., A CALIFORNIA CORPORATION, ITS MANAGER'S AGENT OF MAJESTIC REALTY CO. NAME CORPORATION NAME A CALIFORNIA CORPORATION AS ITS MANAGER'S AGENT, BEING DULY SWORN ACCORDING TO LAW, AND ACTING IN MY CAPACITY AS PRESIDENT AND CHAIRMAN OF THE BOARD DEPOSE	ia te	THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATE; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM. PROJECT NO.
HE LETELY SHALL	LAW, AND ACTING IN MIT CAPACITY AS	Assoc	CMCN0801 SHEET 2 OF 20
ΞM	MAJESTIC REALTY CO. BY: CORPORATION OFFICIAL SWORN ON THIS SUBSCRIBED BEFORE THIS DAY	inoni	SCALEDATENTS10/3/22DRAWN BYAPPROVED1005KDHDRAWING NO.
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LANDSCAPE COMPLIANCE SUMMARY:

CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA ZONING DISTRICT: IN-O (INDUSTRIAL OVERLAY DISTRICT) EXISTING USE: INDUSTRIAL (FORMER BETHLEHEM STEEL) PROPOSED USE: WAREHOUSE AND INDUSTRIAL OR MANUFACTURING

CODE REFERENCE	REQUIRED	PROPOSED	COMPLIANT
1319.02(j) SHADE TREES. A MINIMUM AVERAGE OF ONE DECIDUOUS SHADE TREE SHALL BE REQUIRED FOR EVERY 15 SURFACE PARKING SPACES. SUCH DECIDUOUS TREES SHALL MEET THE STREET TREES REQUIREMENTS OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. NO MORE THAN 20 CONSECUTIVE PARKING SPACES SHALL BE LOCATED IN A STRAIGHT ROW WITHOUT BEING SEPERATED BY A LANDSCAPED ISLAND WITH A DECIDUOUS TREE.	8	13	YES
1319.02(j) STREET TREES MEETING REQUIREMENTS OF THE CITY SHALL BE PLANTED REQUIRED FOR EACH 30 FEET OF PUBLIC OR PRIVATE STREET LENGTH, UNLESS EXISTING TREES WILL BE PRESERVED TO SERVE THE SAME PURPOSE, OR UNLESS THE CITY ALLOWS AN AVERAGE OF ONE TREE FOR EVERY 50 FEET FOR TREES WITH LARGER CANOPIES	N/A	N/A	N/A
1349.08(f)(1) LANDSCAPE OFF-STREET PARKING AND LOADING AREAS SHALL HAVE A MINIMUM OF 10% OF THE AREA REPRESENTED BY APPROVED PLANTINGS. THESE PLANTINGS SHALL BE IN ADDITION TO ANY BUFFER PLANTINGS WHICH MAY BE NECESSARY.	3,645 S.F.	> 3,645 S.F.	YES

LANDSCAPE CALCULATIONS FOR OFF-STREET PARKING:

CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA ZONING DISTRICT: IN-O (INDUSTRIAL OVERLAY DISTRICT) EXISTING USE: INDUSTRIAL (FORMER BETHLEHEM STEEL)

PROPOSED USE: WAREHOUSE AND INDUSTRIAL OR MANUFACTURING

NUMBER OF PARKING SPACES	PARKING/LOADING AREA	10% OF PARKING/ LOADING AREA	REQUIRED	PROVIDED	COMPLIANT
103 CAR SPACES	36,442 SF	3,645	15 LARGE TREES 7 EVERGREEN TREES	12 DECIDUOUS TREES 4 ORNAMENTAL TREES 2 EVERGREEN TREES 153 SHRUBS	YES

. CAR PARKING AREA BASED ON STANDARD 9'X19' PARKING STALL, ACCESS AISLES AND DRIVE AISLES, AND TRUCK PARKING ON 11'X55' PARKING STALL 2. ACCORDING TO 1349.08(e) THE FOLLOWING PLANTING SHALL RECEIVE THE FOLLOWING CREDIT TOWARDS LANDSCAPE AREA REQUIREMENT AS AN APPROVED PLANTING. LARGE TREE/SHADE TREE RECIEVES A 200 SF CREDIT.

EVERGREEN TREES RECEIVE A 100 SF CREDIT. SHRUBS RECEIVE CREDIT FOR THE AREA IN WHICH IS OCCUPIED BY THE PLANTINGS.

3. LANDSCAPE AREA CALCULATIONS ASSUMES 100 SF CREDIT FOR ORNAMENTAL TREES.

4. LANDSCAPE AREA CALCULATIONS ASSUMES 16 SF CREDIT PER INDIVIDUAL SHRUB.

5. PLANT MATERIAL SATISFYING THIS REQUIREMENT ARE AS FOLLOWS: 3 ACER RUBRUM 'OCTOBER GLORY' x 200 SF each = 600 SF 8 QUERCUS IMPRICARIA x 200 SF each = 1,600 SF

4 CERCIS CANADENSIS x 100 SF each = 400 SF 2 PICEA GLAUCA X 100 SF each = 200 SF 153 VARIOUS SHRUBS LISTED x 16 SF each = 2,448 SF

DEMOLITION. CONSTRUCTION AND GRADING NOTES:

1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING STANDARDS:

- A. THE PENNDOT SPECIFICATIONS, PUB 408/2007 OR LATEST EDITION. B. THE PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION, PUBLICATION 72/2004 OR LATEST EDITION. LAST REVISED 09/19/2008, OR MORE RECENT VERSION. C. THE PENNDOT HANDBOOK OF APPROVED SIGNS, PUB 236/2006 OR LATEST EDITION.
- D. THE PENNSYLVANIA CLEAN STREAM LAW (35 P.S. SECTION 691.1 ET SEQ.). E. REGULATIONS OF PA CODE TITLE 25, CHAPTER 102.
- IN EVENT OF A CONFLICT AMONG THESE REQUIREMENTS AND/OR THE PLANS, THE MORE RESTRICTIVE REGULATION SHALL APPLY OR A CLARIFICATION SHALL BE OBTAINED FROM THE ENGINEER.
- 2. THE CONTRACTOR SHALL BE REQUIRED TO REVIEW AND ABIDE BY ALL DOCUMENTS, PERMITS, AND REPORTS FOR THIS SITE, INCLUDING, BUT NOT LIMITED TO:
- A. BASELINE ENVIRONMENTAL REPORT (BER).
- B. APPROVED EROSION AND SEDIMENTATION CONTROL PLAN. C. APPROVED POST CONSTRUCTION STORMWATER MANAGEMENT PLAN.
- D. NPDES PERMIT #PA62-1554-08-001.
- 3. NO EXCAVATED SOIL/FILL MATERIAL WILL BE REMOVED FROM THE SITE, EXCEPT AS OUTLINED IN THE SOIL
- MANAGEMENT PLAN (SEE BER, APPENDIX BB). 4. COMMERCE CONSTRUCTION CO., LP SHALL HAVE DESIGNATED REPRESENTATIVE WITH EXPERIENCE IN
- ASSESSING ENVIRONMENTAL CONDITIONS AVAILABLE WHENEVER INTRUSIVE ACTIVITIES ARE BEING CONDUCTED ON THE SITE.
- 5. DEMOLITION NOTES
- A. ALL SURFACE FEATURES SUCH AS EXISTING VEGETATION AND STRUCTURES SHALL BE REMOVED. B. ALL SUBSURFACE FEATURES CAN BE ABANDONED WITH THE FOLLOWING EXCEPTIONS IF FEATURE POSES A CONFLICT WITH PROPOSED SCOPE OF WORK, IT SHALL BE REMOVED. EXISTING STORM SEWER SHALL BE MAINTAINED UNLESS SPECIFICALLY IDENTIFIED AS "TO BE ABANDONED"
- C. CLARIFICATION OF TERMS i. TO BE ABANDONED - MEANS FEATURE CAN REMAIN IN PLACE AND FILLED WITH FLOWABLE FILL
- OR FOUIVALENT SUBSTITUTE OR CAN BE COMPLETELY REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
- ii. TO BE REMOVED MEANS FEATURE MUST BE COMPLETELY REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
- iii. TO BE REPLACED MEANS FEATURE CAN BE RESET AND REUSED IF POSSIBLE OR MUST BE REMOVED AND REPLACED IF IT POSES A CONFLICT WITH THE PROPOSED SCOPE OF WORK AND
- DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL
- REGULATIONS. 6. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY
- BE REQUIRED TO PROPERLY CONSTRUCT THE WORK. 7. BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LAYERS NOT TO EXCEED 6 INCHES IN COMPACTED FILL
- THICKNESS, A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE PUBLIC WORKS INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL
- WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 8. THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE. IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL
- BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
- 9. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO
- CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE
- THE CONTRACTOR'S RESPONSIBILITY.

10. SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL

ENGINEER. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST, AND CERTIFY TO THE

PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK

PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.

SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION

13. ALL RADII ARE 5' UNLESS OTHERWISE NOTED ON THE PLAN.

COMPACTION OF ALL LOAD BEARING FILLS. THE GEOTECHNICAL ENGINEER SHALL PROVIDE COPIES OF

11. CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AREA AND

12. TOP OF WALL/BOTTOM OF WALL (TW/BW) SHOTS SHOWN ON THE GRADING PLAN INDICATE TOPOGRAPHIC

ELEVATIONS ADJACENT TO THE WALL AND ARE NOT THE PHYSICAL TOP OF WALL OR BOTTOM OF WALL.

TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL

APPLIANCE SHALL BE A WHITE STROBE (MINIMUM 95 CANDELA STROBE RATING) PLACED IN AN APPROVED LOCATION ON THE EXTERIOR WALL, AS CLOSE AS PRACTICABLE, TO EACH SPRINKLER RISER. THE STROBE WILL ACTIVATE

- 17. VERTICAL CLEARANCE FOR FIRE TRUCKS HAS BEEN CHECKED ALONG THE FIRE TRUCK ROUTE. 18. THE CITY OF BETHLEHEM FIRE DEPARTMENT WILL RETAIN JURISDICTION TO ENFORCE THE INTERNATIONAL FIRE CODE IN ITS ENTIRETY AS ADOPTED BY CITY ORDINANCE AND CONDUCT FIRE INSPECTIONS AS PER ARTICLE 150 FOR THE LIFETIME OF THE BUILDINGS.
- 19. THE BUILDING MUST BE CONSTRUCTED IN COMPLIANCE WITH INTERNATIONAL FIRE CODE, 2015 EDITION, AS ADOPTED BY CITY OF BETHLEHEM.

WATER/FIRE NOTES:

UNLESS OTHERWISE APPROVED.

- 1. THE WATER PURVEYOR IS THE CITY OF BETHLEHEM. ALL WORK ON THE WATER DISTRIBUTION SYSTEM SHALL BE IN ACCORDANCE WITH THE CITY OF BETHLEHEM STANDARDS AND SPECIFICATIONS. CONTACT THE CITY BEFORE TAPPING EXISTING WATER MAIN. WATER LINE SHALL HAVE A BEDDING CONSISTENT WITH THE WATER CITY'S REQUIREMENTS AND SPECIFICATIONS
- 2. FIRE HYDRANT AND WATER MAINS/FIRE MAINS TO BE INSTALLED AND UNDER PRESSURE BEFORE ANY COMBUSTIBLE CONSTRUCTION IS STARTED.
- 3. ALL PROPOSED WATER MAINS AND APPURTENANCES SHALL BE HYDROSTATICALLY TESTED AND BACTERIOLOGICALLY TESTED IN THE PRESENCE OF A CITY OF BETHLEHEM REPRESENTATIVE PRIOR TO CONNECTING TO THE EXISTING SYSTEM. ALL BACTERIOLOGICAL SAMPLES SHALL BE COLLECTED BY CITY PERSONNEL FOR DELIVERY TO ITS LAB FOR ANALYSIS.
- 4. WATER LINE CONSTRUCTION SHALL BE SEQUENCED IN SUCH A MANNER AS TO MINIMIZE LOSS OF SERVICE TO ANY OTHER AUTHORITY CUSTOMER. CONTRACTOR SHALL NOTIFY THE CITY OF BETHLEHEM AND THE OWNER 48 HOURS IN ADVANCE OF ANY LOSS OF SERVICE. DEPENDING UPON THE NATURE OF THE LOSS OF SERVICE, THE CITY MAY REQUIRE THAT WORK BE COMPLETED IN THE EVENING AFTER NORMAL BUSINESS. ALL VALVES NEEDED FOR SHUT-DOWN SHALL BE OPERATED BY CITY PERSONNEL ONLY,
- 5. MINIMUM COVER OF ALL WATER MAIN AND APPURTENANCES SHALL BE FOUR FEET (4') AND THE MAXIMUM
- COVER SHALL NOT EXCEED FIVE FEET (5') UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY. 6. A SEPARATE WATER METER, SHUT-OFF VALVE AND TAPPING FEE WILL BE REQUIRED FOR EACH INDIVIDUAL TENANT CONNECTION.
- 7. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND CUT SHEETS FOR ALL WATER SYSTEM CONSTRUCTION FOR REVIEW AND APPROVAL BY THE CITY OF BETHLEHEM PRIOR TO CONSTRUCTION.
- 8. ALL FITTINGS SHALL BE MECHANICAL JOINTS WITH MEGALUG GLANDS.
- 9. A MINIMUM VERTICAL CLEARANCE OF EIGHTEEN (18) INCHES BETWEEN ANY UTILITY AND THE WATER MAIN AND APPURTENANCES OF THE CITY.
- 10. FIRE SERVICE DESIGN, ALIGNMENT, VALVE MANAGEMENT, PIV, ETC., SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLANS PREPARED BY THE FIRE SUPPRESSION ENGINEER. SCHEMATIC SHOWN ON
- THESE PLANS IS FOR BID PURPOSES ONLY AND NOT FOR CONSTRUCTION. 11. SLAG WILL NOT BE PERMITTED FOR PIPE BEDDING AND BACKFILL AROUND ANY METAL-BASED PIPE, UNLESS THE PIPE IS WRAPPING IN PLASTIC LINER. PLASTIC LINER SHALL BE APPROVED BY THE
- GEOTECHNICAL ENGINEER AND BE IN ACCORDANCE WITH AWWA C105/A21.5-82, SECTION 5.4 PRIOR TO INSTALLATION.
- 12. THE PROPOSED FIRE HYDRANTS (NOT INCLUDING THE VALVE AND RISER) ALONG THE OUTER ROAD SHALL BE PROVIDED BY CITY OF BETHLEHEM.
- FOR 10 FEET ON EITHER SIDE OF THE WATER LINE.
- 14. DETAILED SPECIFICATIONS FOR LAYING WATER MAIN ARE AVAILABLE UPON REQUEST.
- AN APPROVED LOCATION. WHERE A FIRE ALARM SYSTEM IS INSTALLED. ACTUATION OF THE AUTOMATIC SPRINKLER SYSTEM SHALL ACTUATE THE BUILDING FIRE ALARM SYSTEM. IN AUTOMATIC SPRINKLER SYSTEMS
- AUTOMATIC SPRINKLER SYSTEM. SUCH SPRINKLER WATER FLOW ALARM DEVICES SHALL BE ACTIVATED BY WATER FLOW EQUIVALENT TO THE FLOW OF A SINGLE SPRINKLER OF THE SMALLEST ORIFICE SIZE INSTALLED IN THE SYSTEM. ALARM DEVICES SHALL BE PROVIDED ON THE EXTERIOR OF THE BUILDING IN

- 16. BUILDING MUST MEET IBC 903.4.2 ALARMS. APPROVED AUDIBLE DEVICES SHALL BE CONNECTED TO EVERY

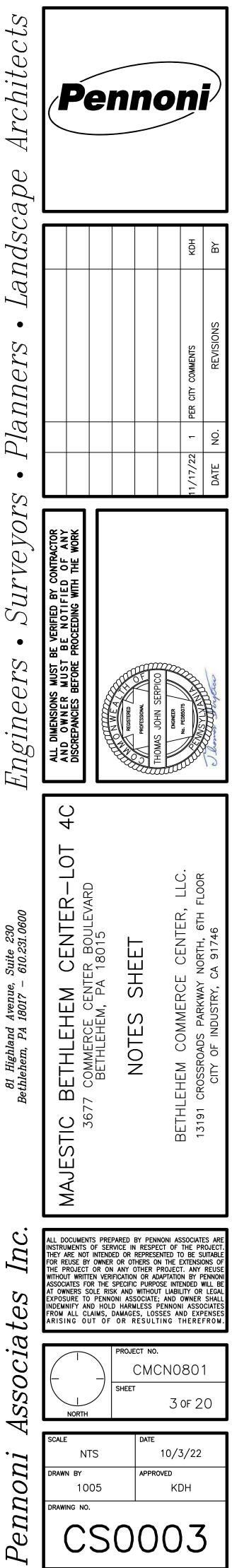
- 13. ALL PROPOSED SANITARY LINES THAT CROSS OVER A WATER LINE SHALL BE ENCASED WITH CONCRETE

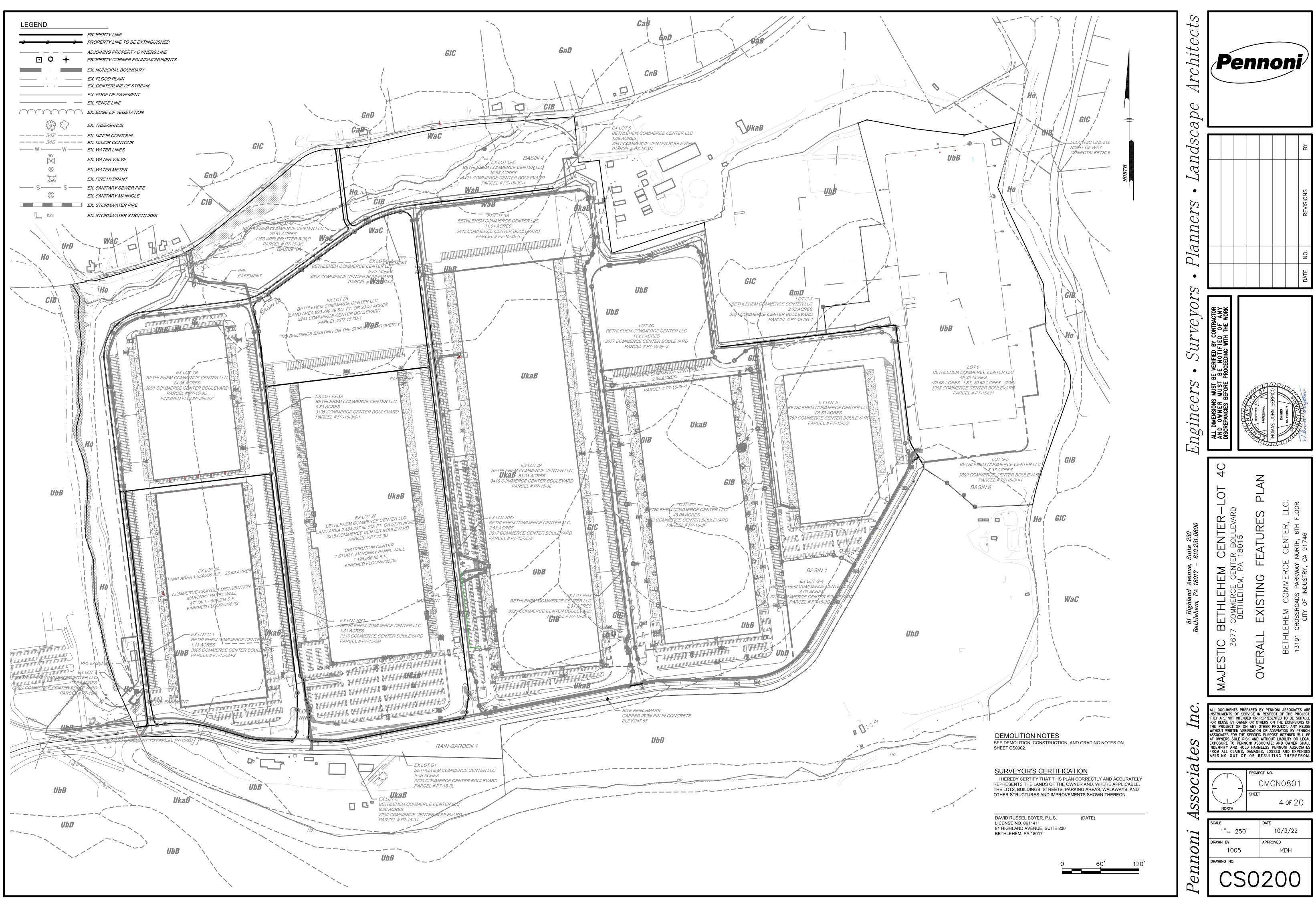
- 15. FIRE RISERS WITHIN THE BUILDING WILL BE SUPPLIED BY THE FIRE LOOP AROUND THE BUILDING.

WHERE MULTIPLE SPRINKLER RISERS ARE REQUIRED, AND THE RISERS ARE LOCATED IN SEPARATE AREAS WITHIN THE BUILDING, AN OUTSIDE VISIBLE ALARM NOTIFICATION APPLIANCE SHALL BE REQUIRED FOR EACH RISER. SUCH

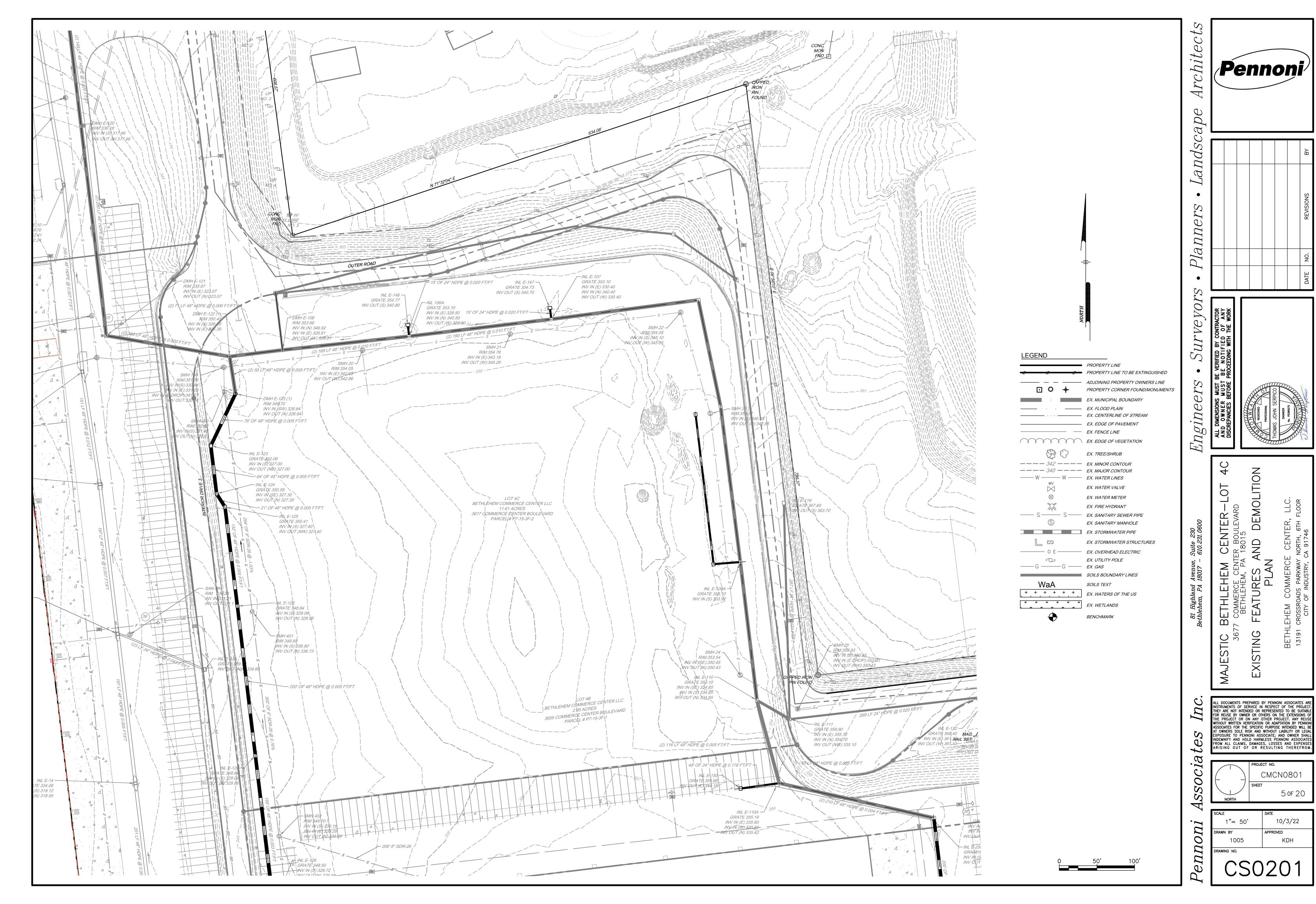
WHEN THE WATER FLOW ALARM FOR ITS RESPECTIVE RISER IS ACTIVATED. (ORD. 2014-21 - PASSED 8/5/14).

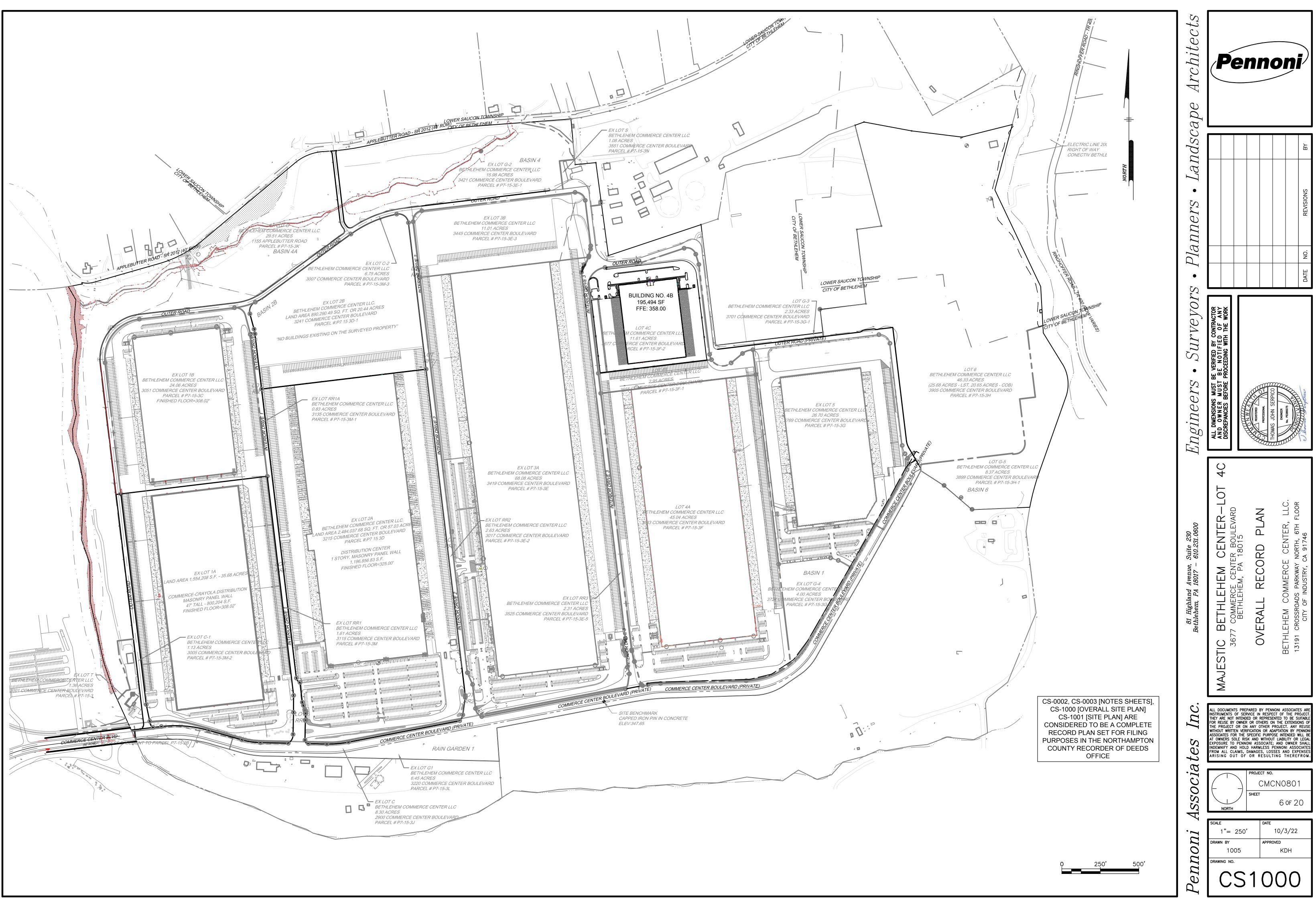
CS-0002, CS-0003 [NOTES SHEETS] CS-1000 [OVERALL SITE PLAN] CS-1001 [SITE PLAN] ARE CONSIDERED TO BE A COMPLETE RECORD PLAN SET FOR FILING PURPOSES IN THE NORTHAMPTON COUNTY RECORDER OF DEEDS OFFICE



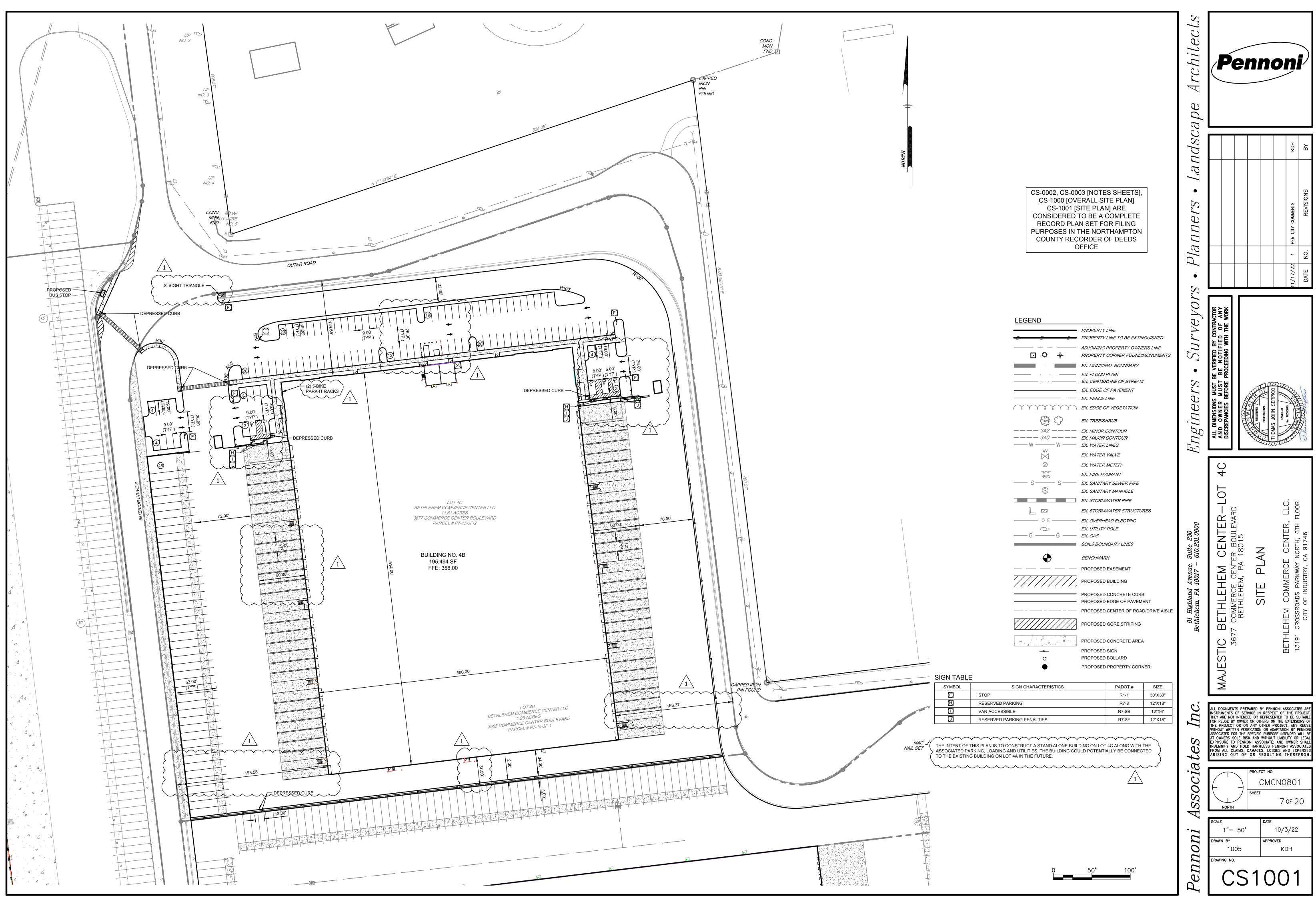


JECTS/CMCN/CMCN0801-BETHLEHEM COMMERCE CENTER/DESIGN/_PUBLISH/PHASE 4C STAND ALONE/CS0200.DWG PLOTTED: ----, BY: KYLE HAYDT PLOTSTYLE: PENNONI NCS.STB, PRO.

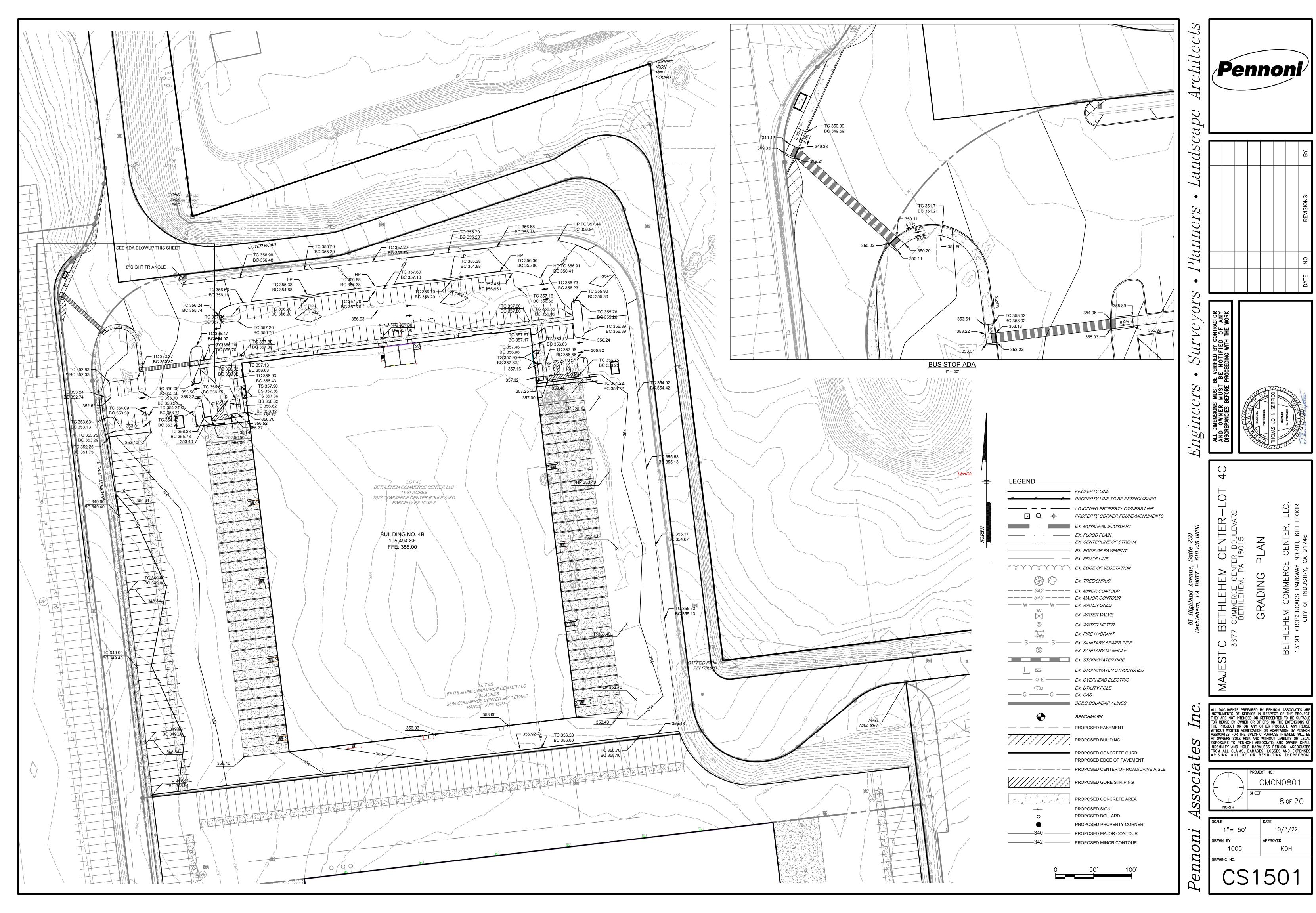


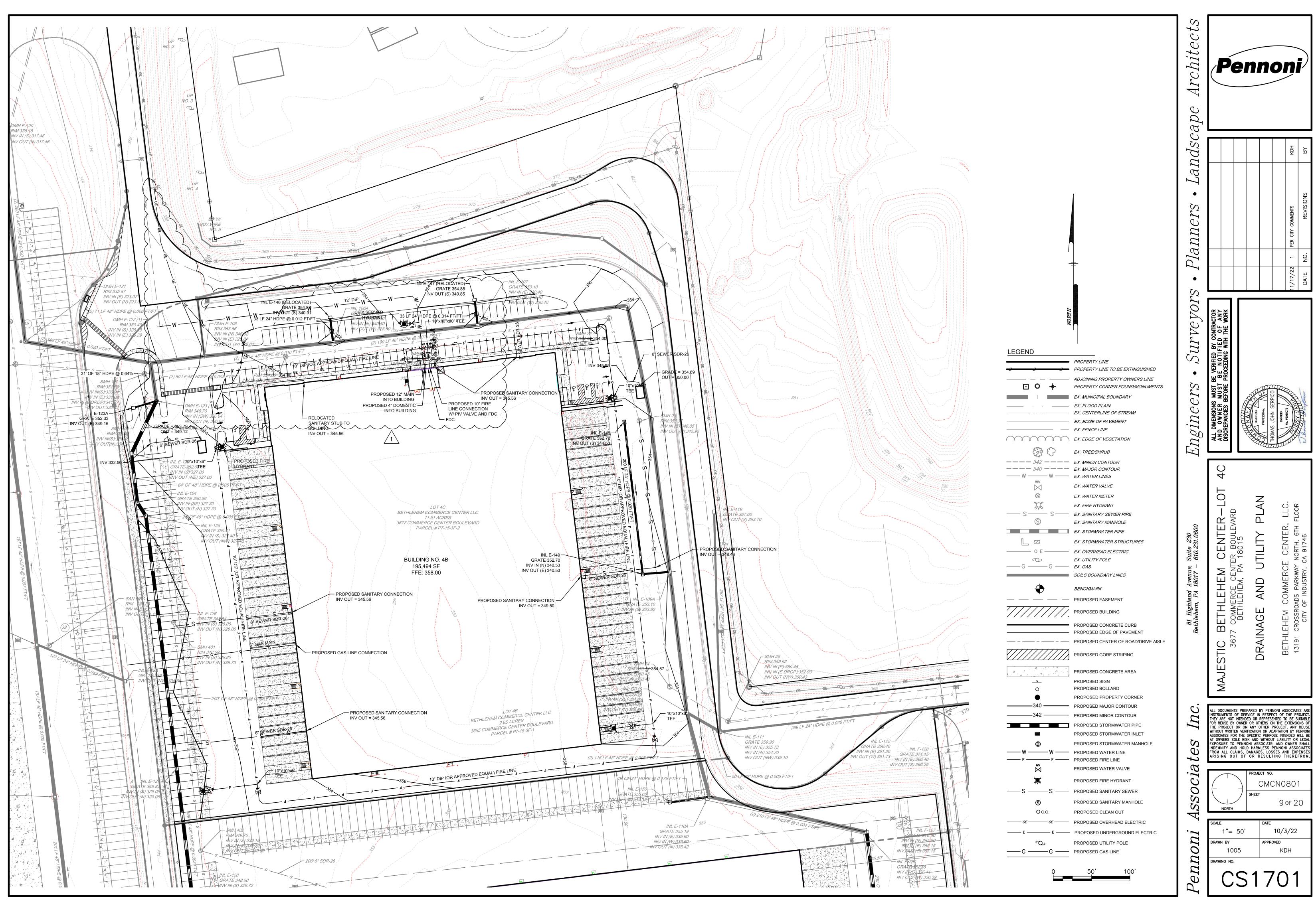


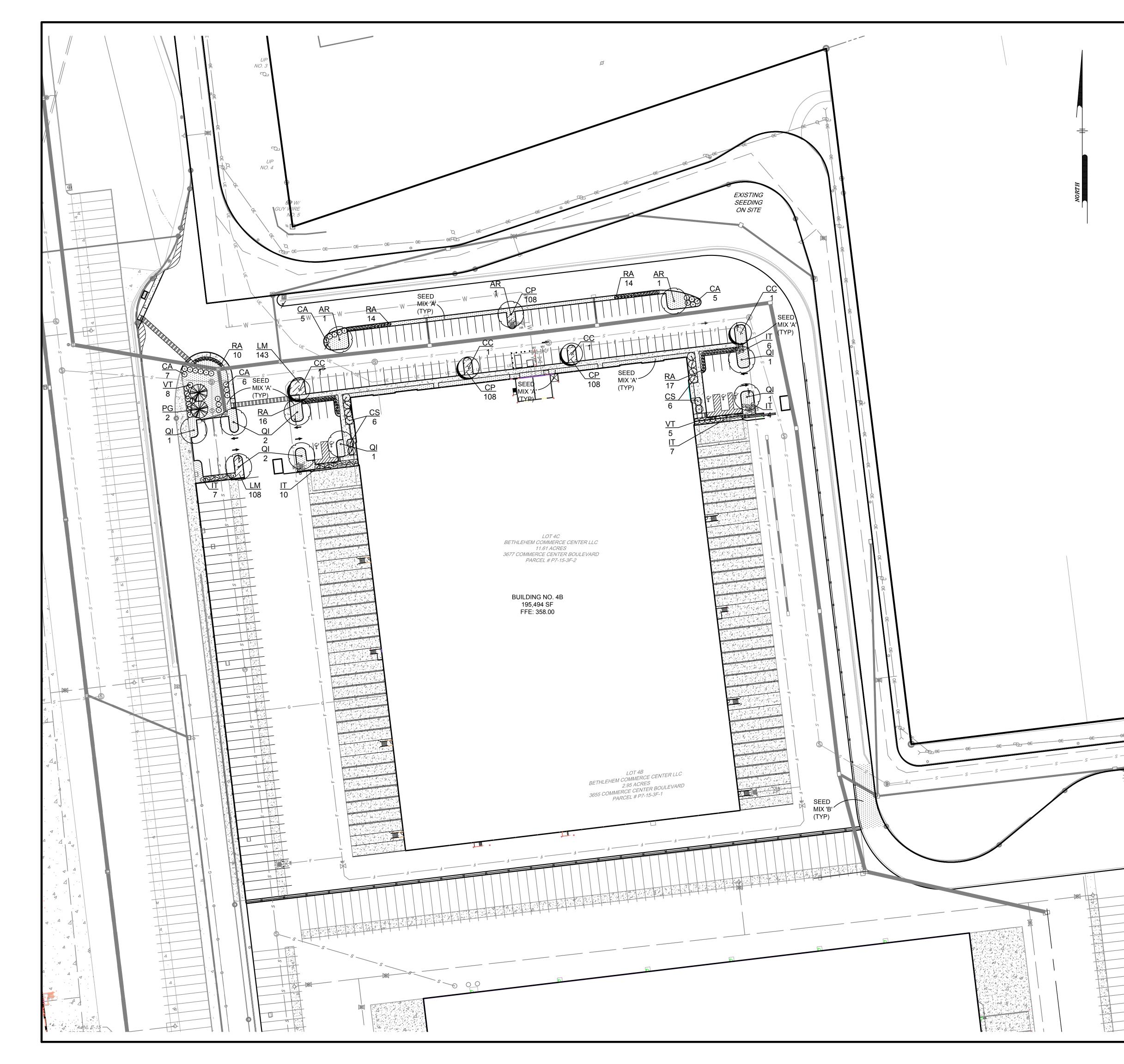
OJECTS/CMCN/CMCN0801-BETHLEHEM COMMERCE CENTER/DESIGN/_PUBLISH/PHASE 4C STAND ALONE/CS1000.DWG PLOTTED: ----, BY: KYLE HAYDT PLOTSTYLE: PENNONI NCS:STB, PROJEC

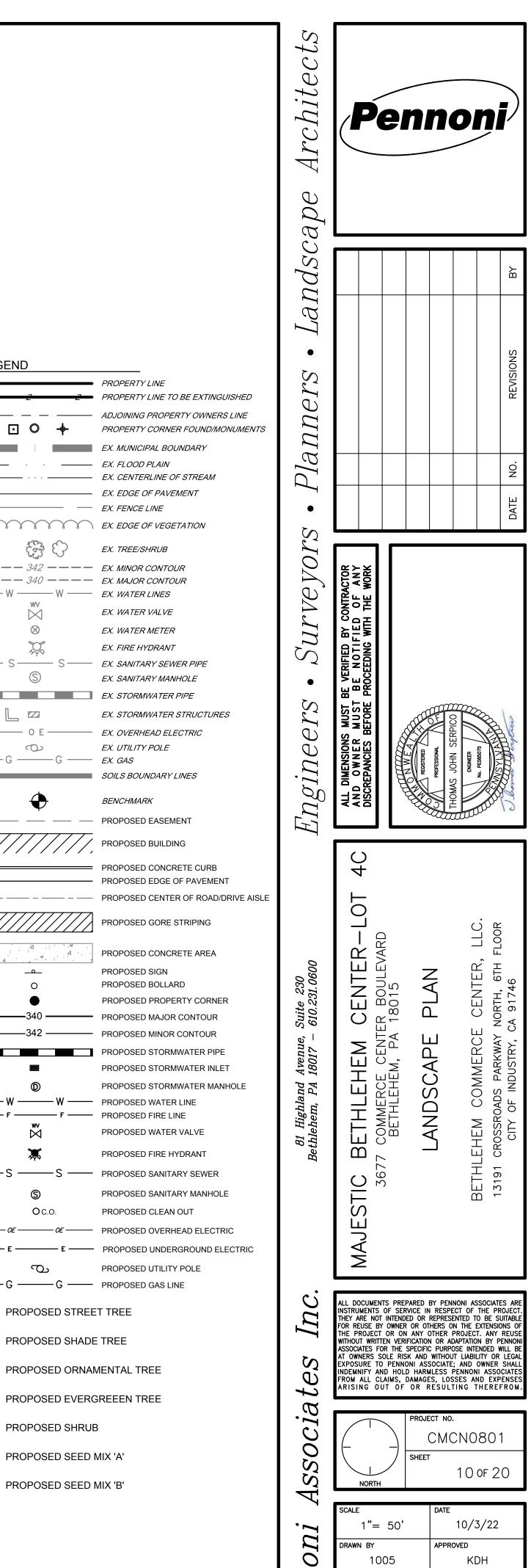


PROJECTS/CMCN/CMCN0801-BETHLEHEM COMMERCE CENTER/DESIGN/_PUBLISH/PHASE 4C STAND ALONE/CS1001.DWG PLOTTED: ---- BY: KYLE HAYDT PLOTSTYLE: PENNONI NCS.STB, PROJEC









2

Pen.

AWING NO.

CS200

LEGEND

 \Box

PROPERTY LINE

EX. MUNICIPAL BOUNDARY

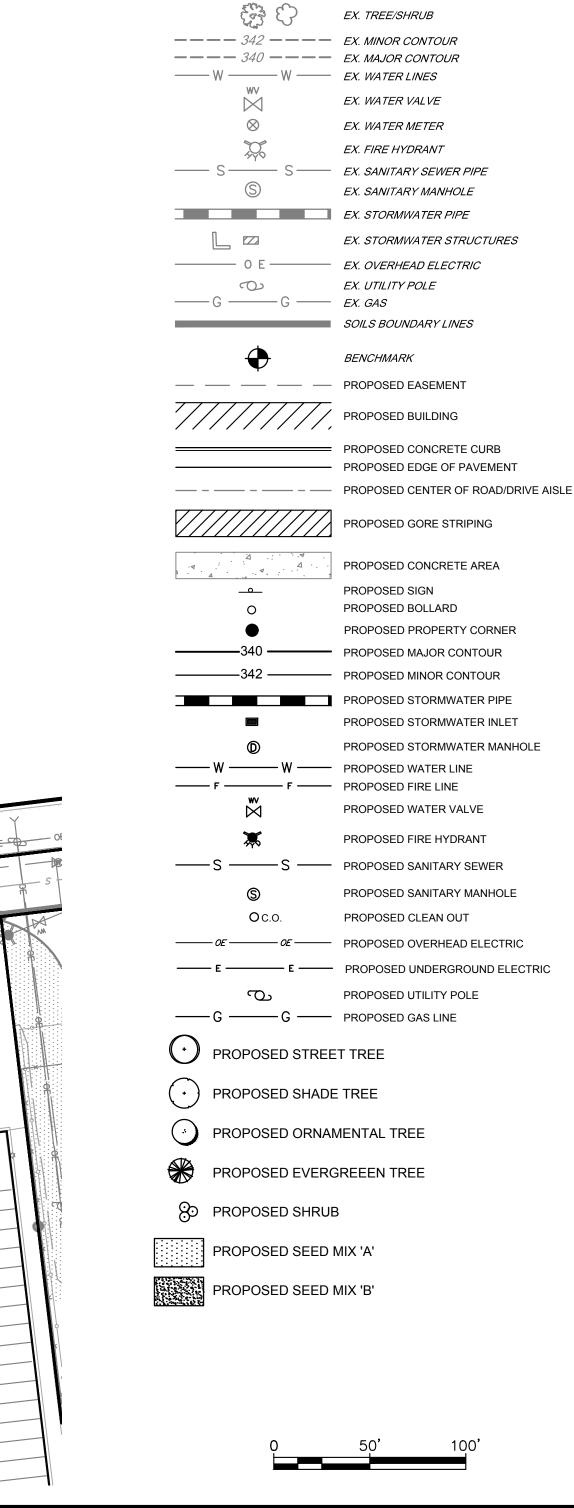
------ EX. CENTERLINE OF STREAM

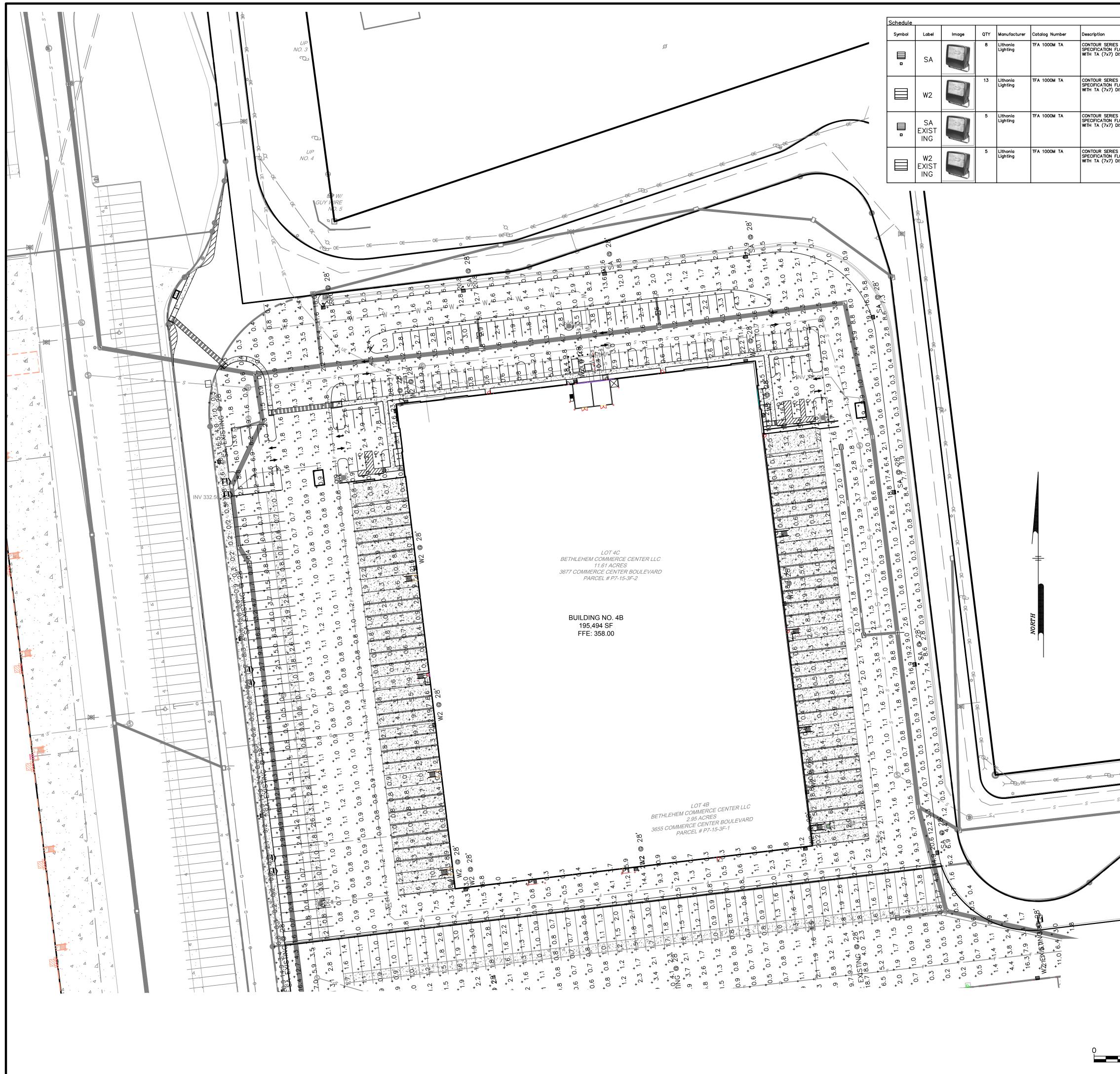
— EX. EDGE OF PAVEMENT

——— EX. FLOOD PLAIN

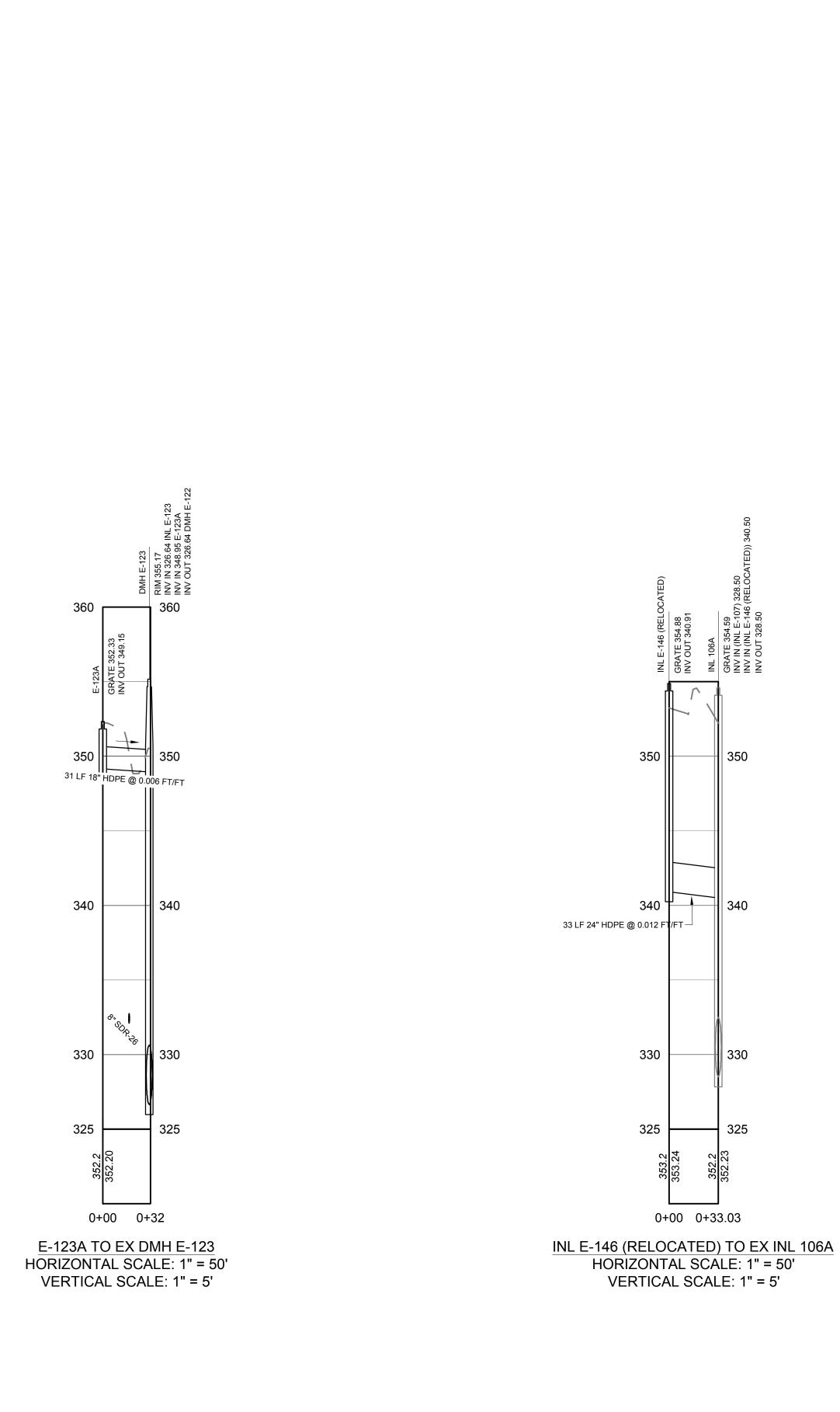
------ EX. FENCE LINE

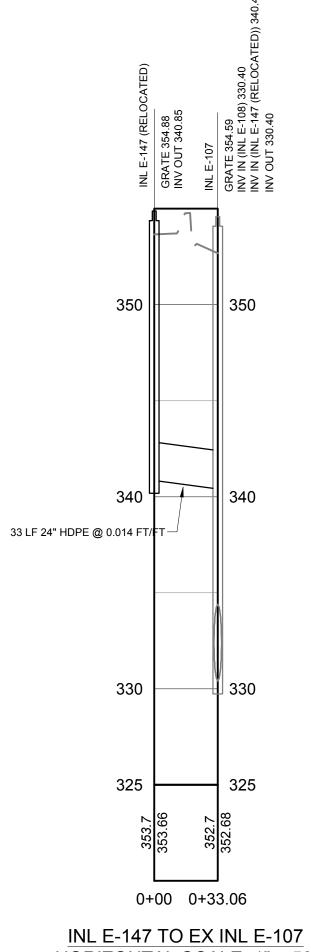
EX. EDGE OF VEGETATION

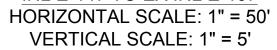


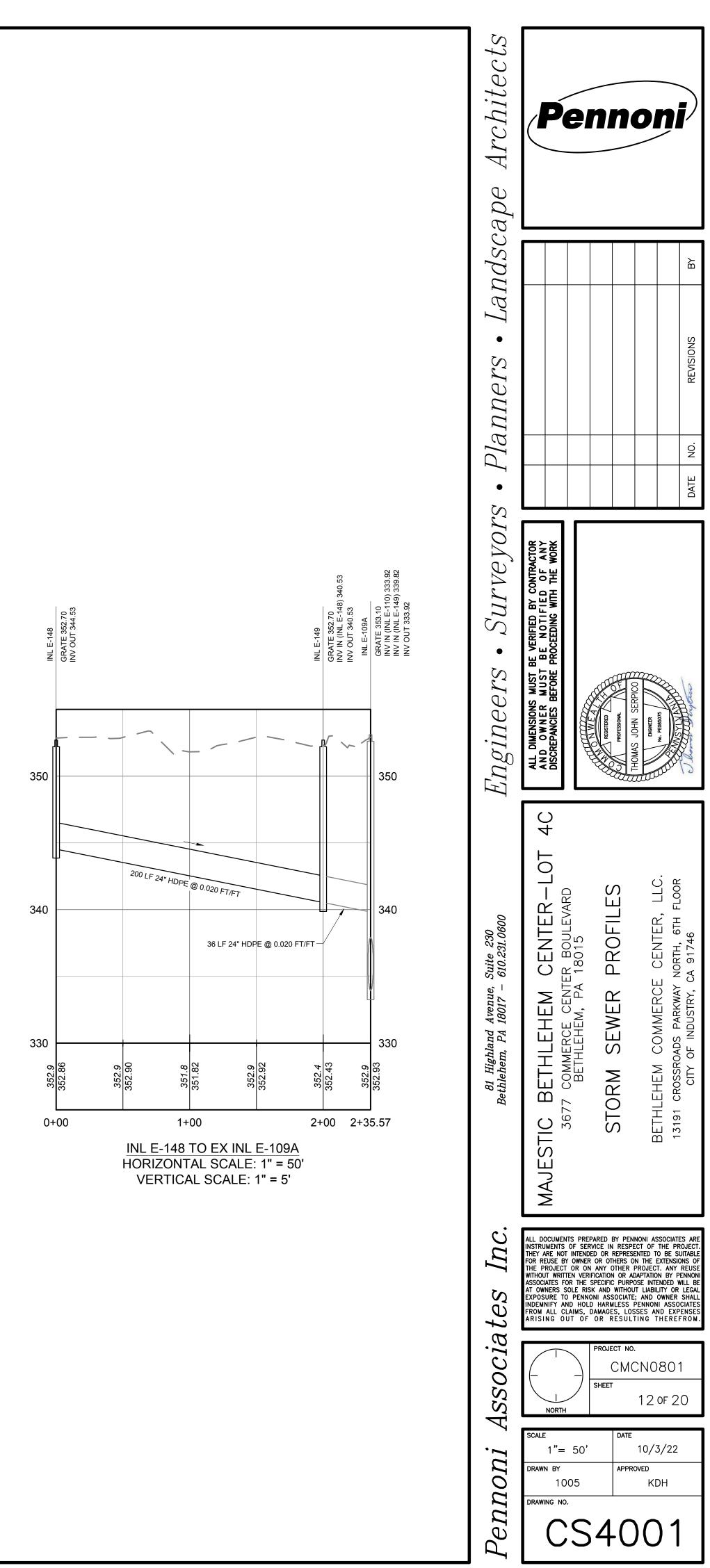


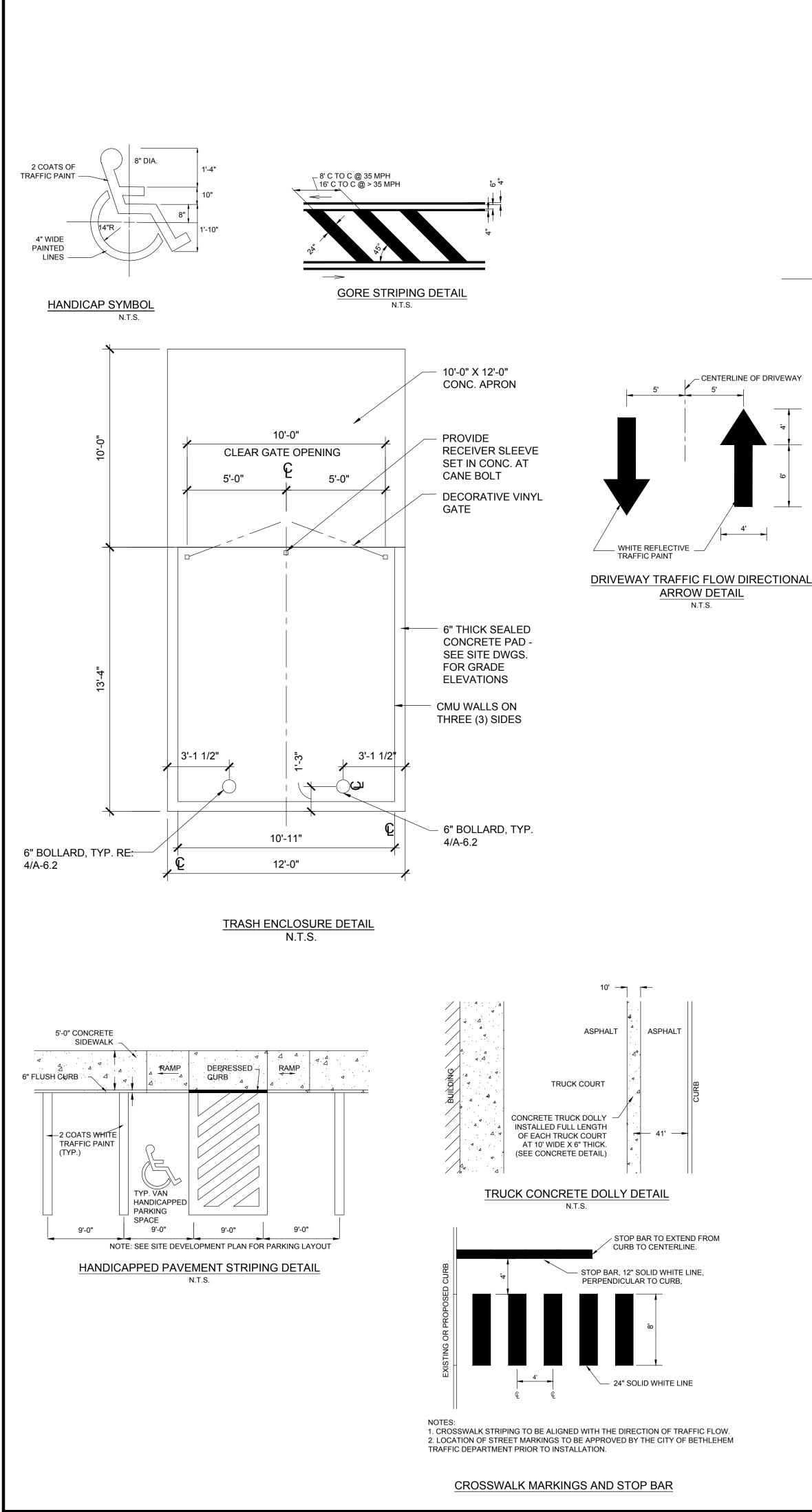
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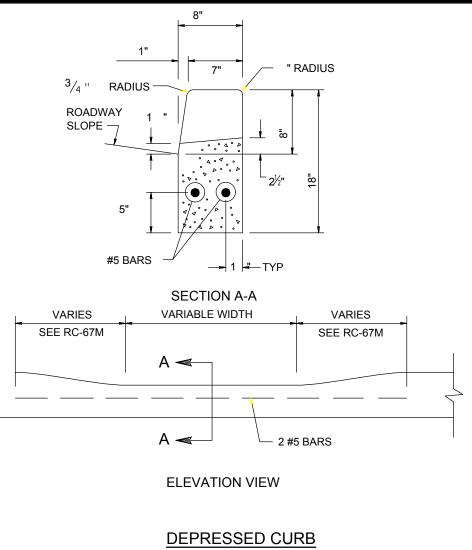


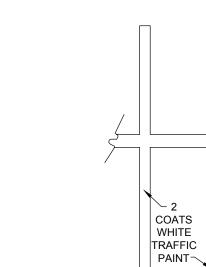




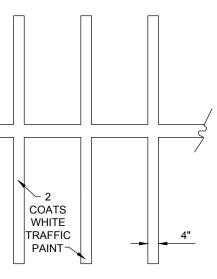








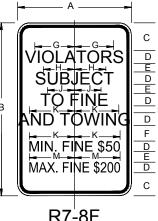
N.T.S.



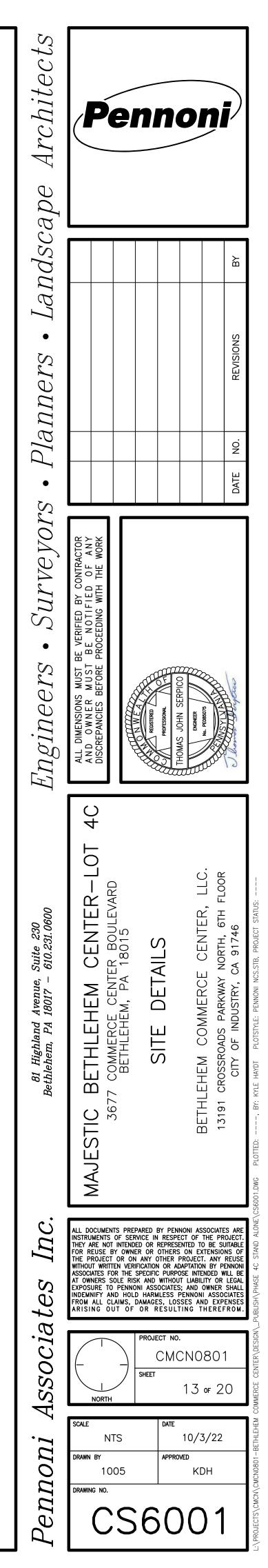
NOTE: SEE SITE DEVELOPMENT PLAN FOR PARKING DIMENSIONS & LAYOUT PAVEMENT STRIPING DETAIL N.T.S.

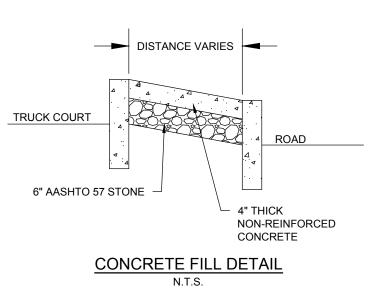


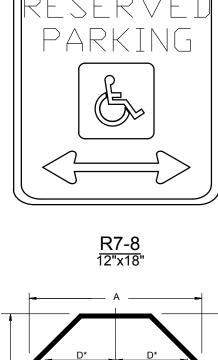
<u>R7-8B</u> 12"x6"

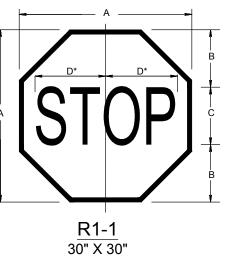


R7-8F 12" X 18"

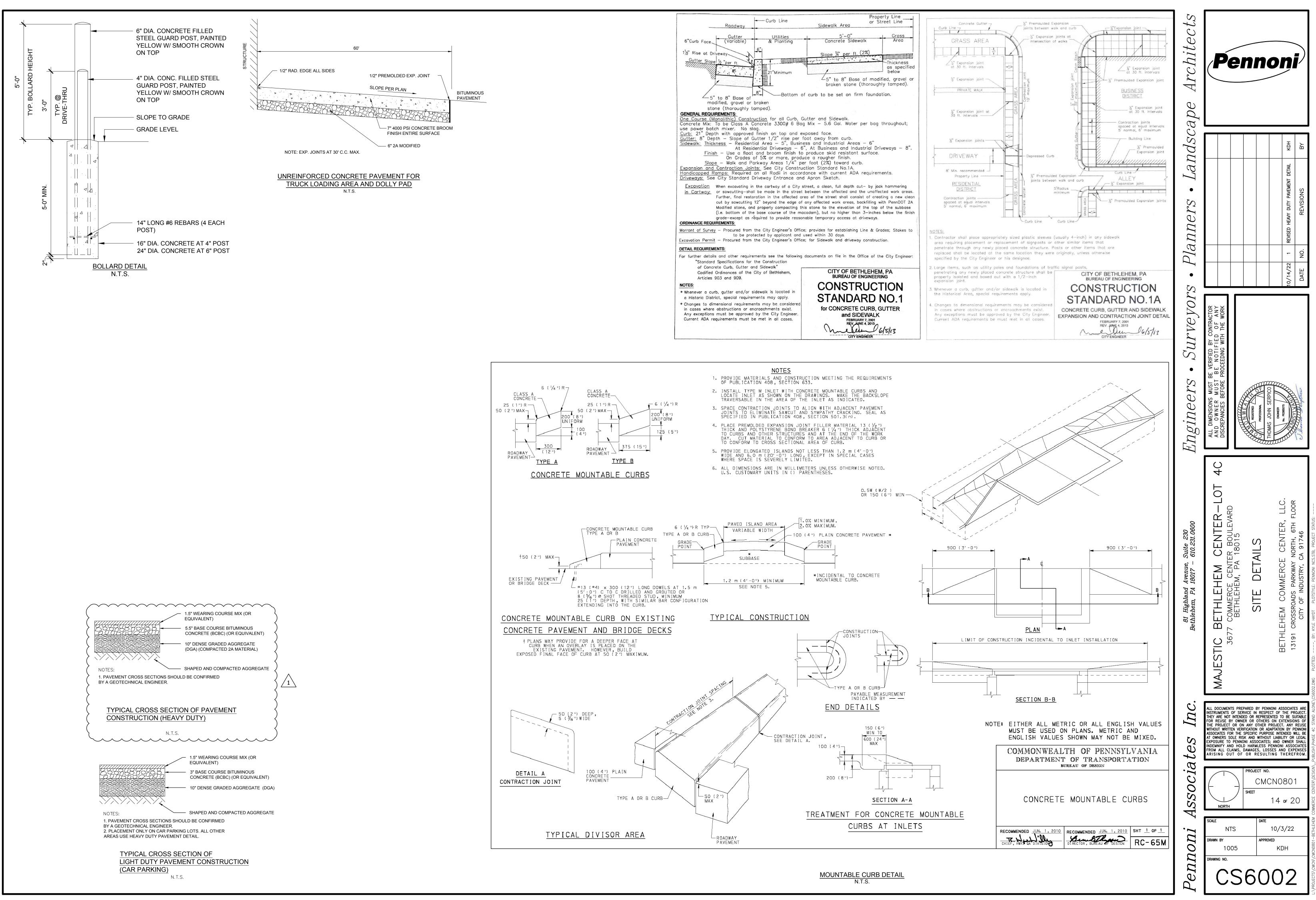


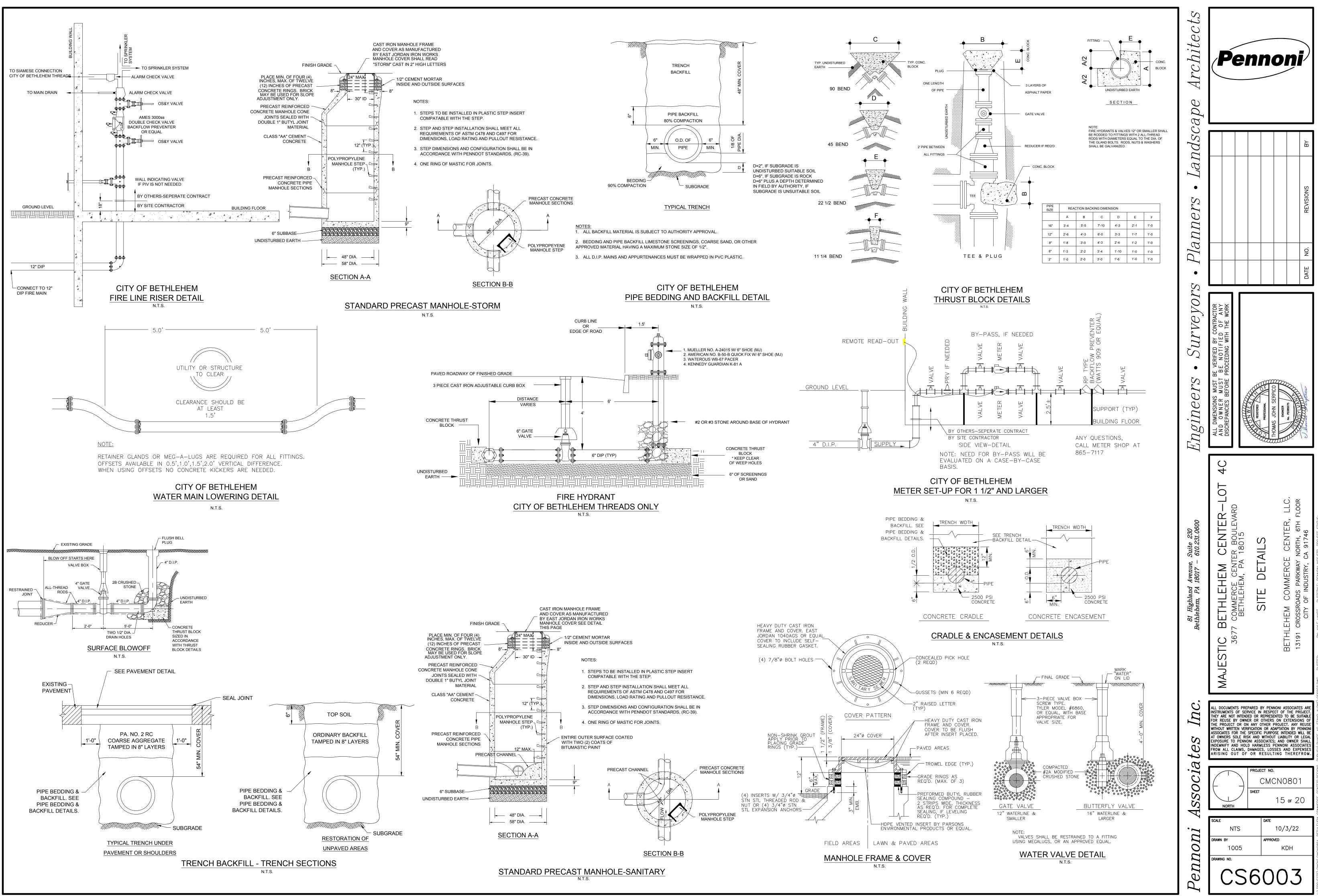


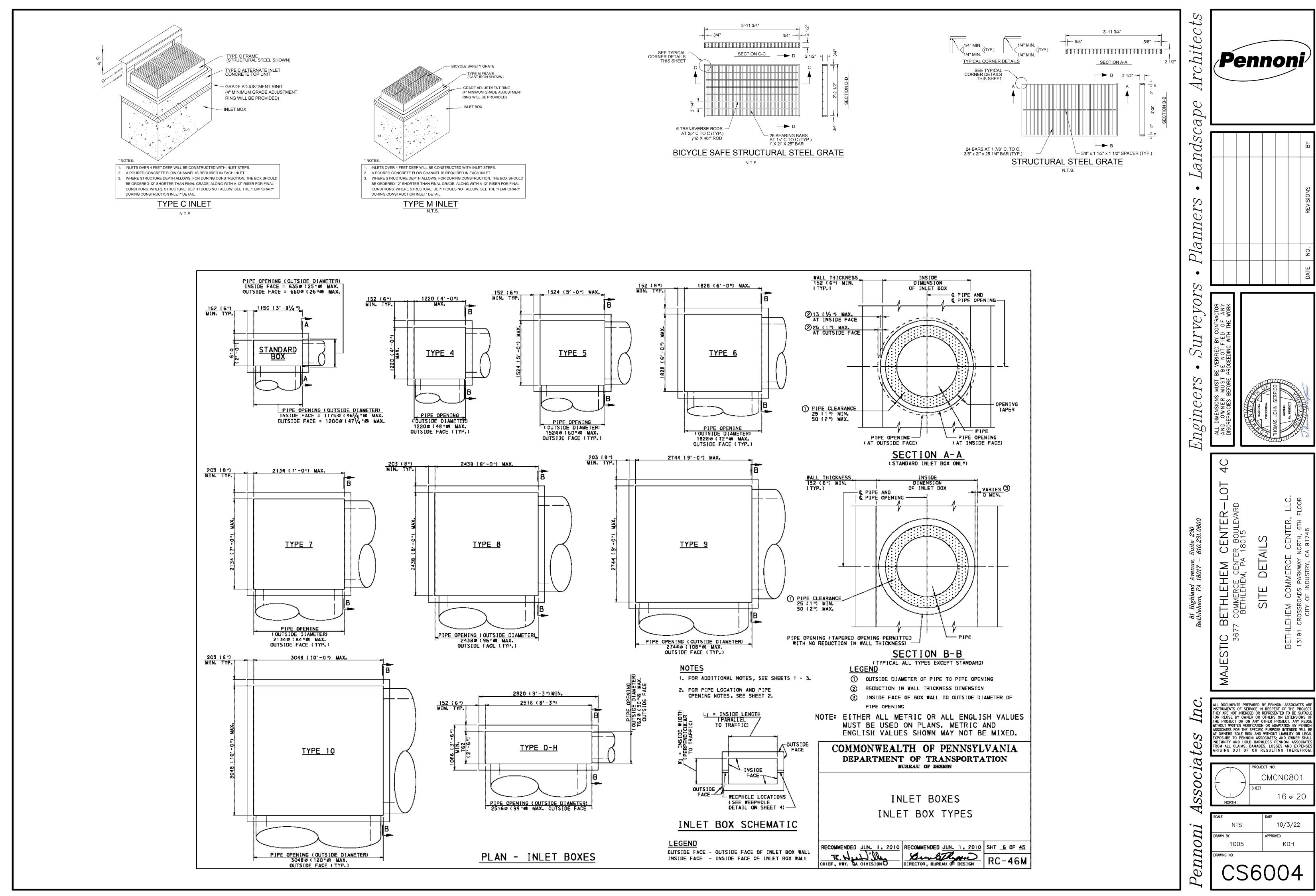


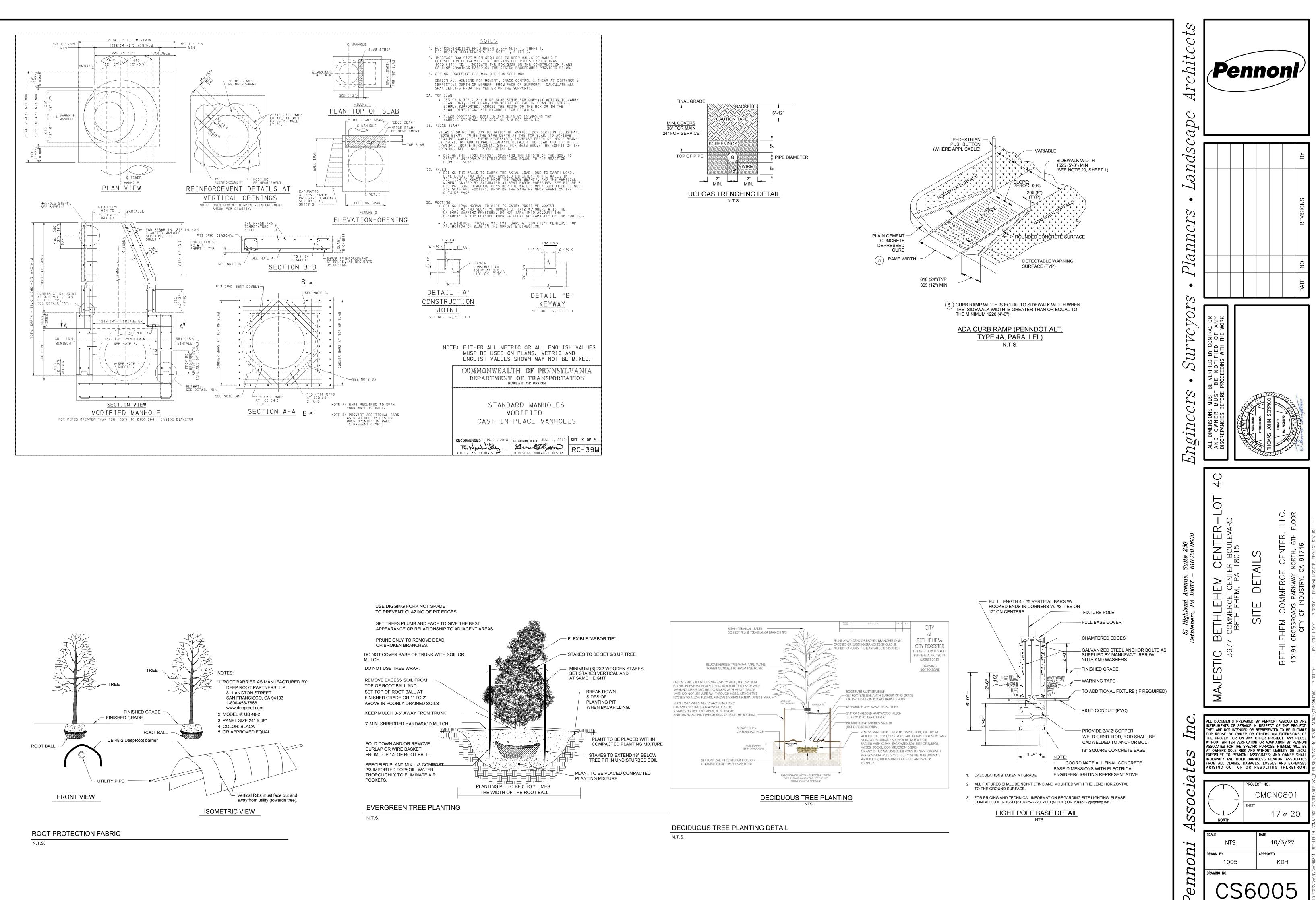


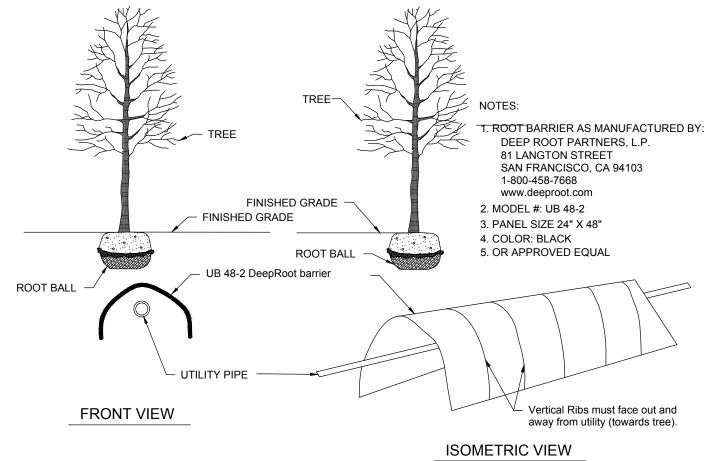
TRAFFIC SIGNS

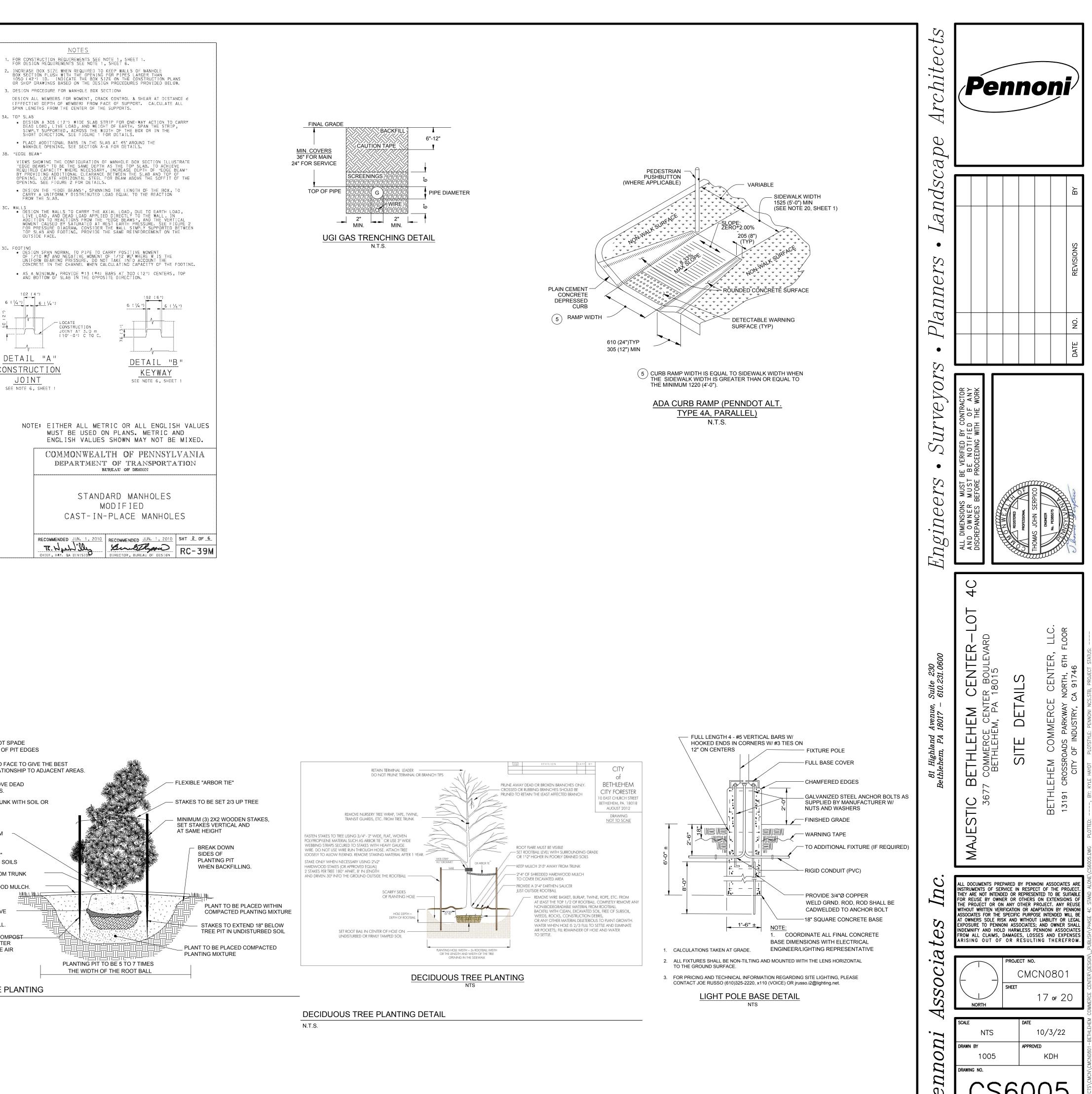




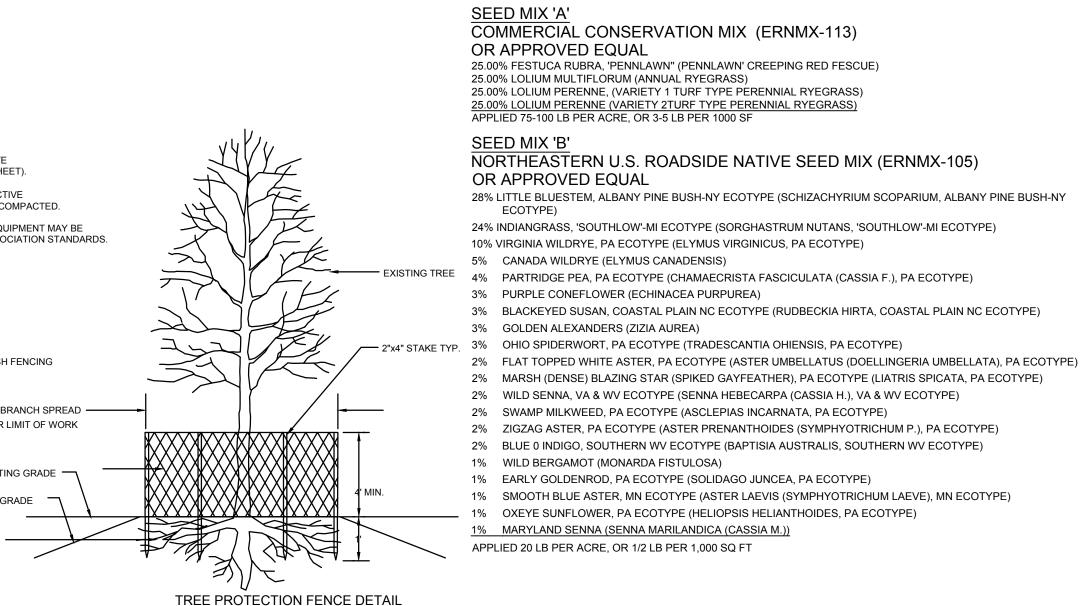








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RKING

AIV

ACTURING

١	10% OF PARKING/ LOADING AREA	REQUIRED	PROVIDED COMPLIANT	PROVIDED
	3,645	15 LARGE TREES 7 EVERGREEN TREES	12DECIDUOUS TREES4ORNAMENTAL TREESYES2EVERGREEN TREES153SHRUBS	4 ORNAMENTAL TREES2 EVERGREEN TREES

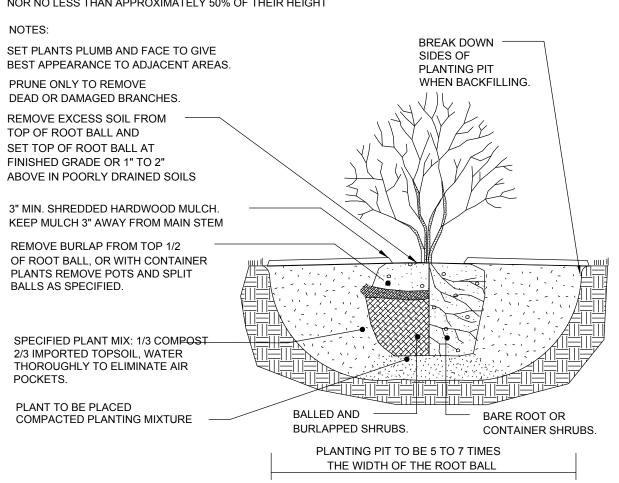
N.T.S.

STALL, ACCESS AISLES AND DRIVE AISLES, AND TRUCK PARKING ON 11'X55' PARKING STALL ALL RECEIVE THE FOLLOWING CREDIT TOWARDS LANDSCAPE AREA REQUIREMENT AS AN APPROVED PLANTING.

H IS OCCUPIED BY THE PLANTINGS. T FOR ORNAMENTAL TREES.

PER INDIVIDUAL SHRUB. OLLOWS:

NOTE: SHADE TREES SHALL BE FREE OF BRANCHES TO A POINT NO MORE NOR NO LESS THAN APPROXIMATELY 50% OF THEIR HEIGHT

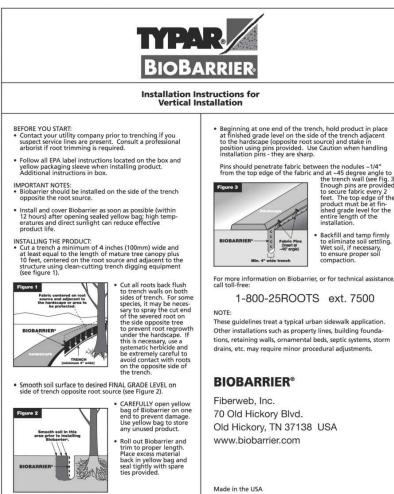


SHRUB PLANTING DETAIL

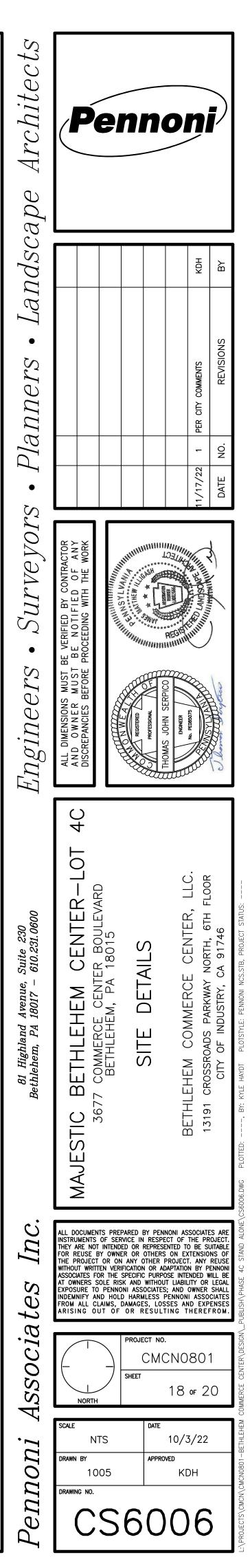
N.T.S.

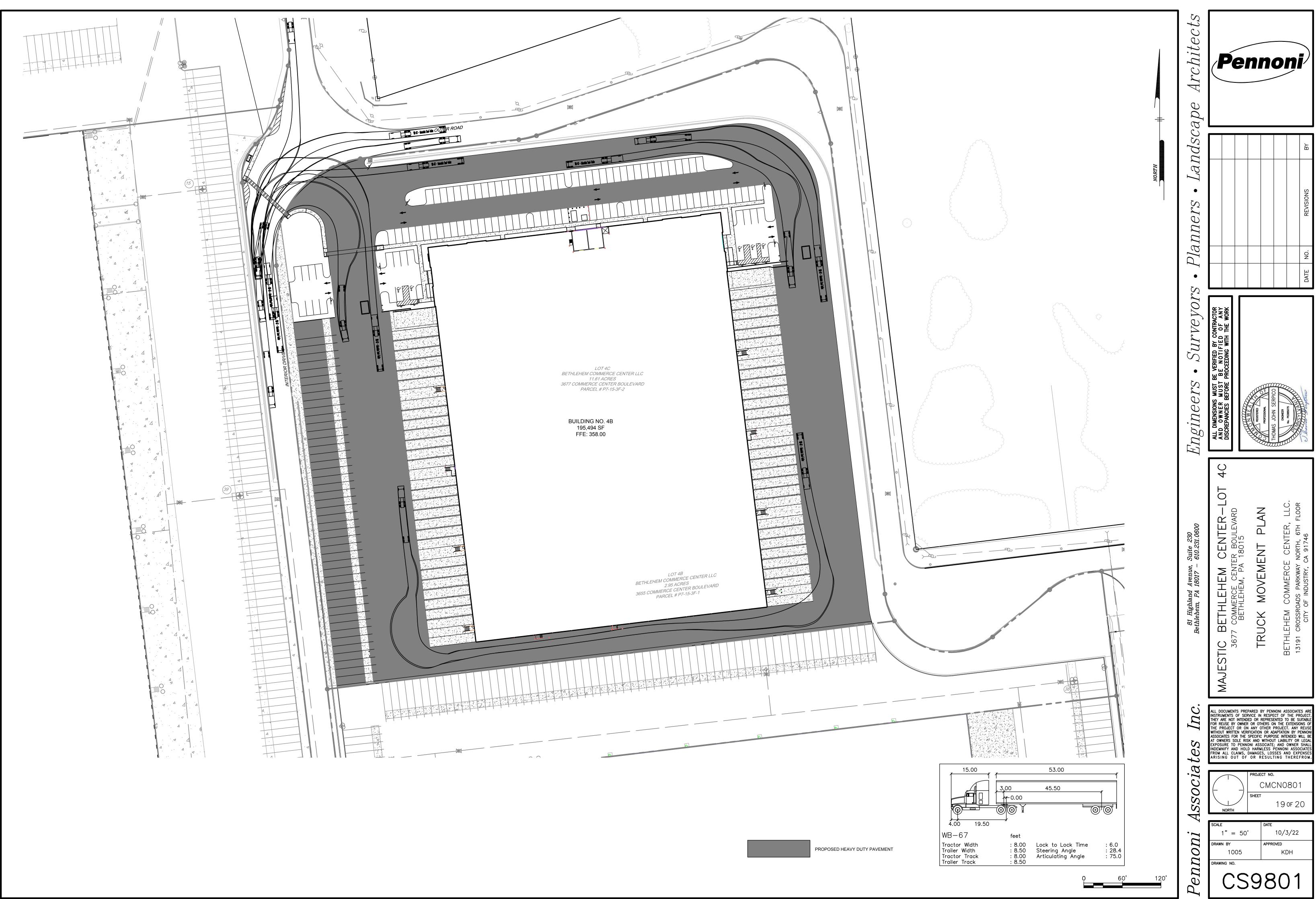


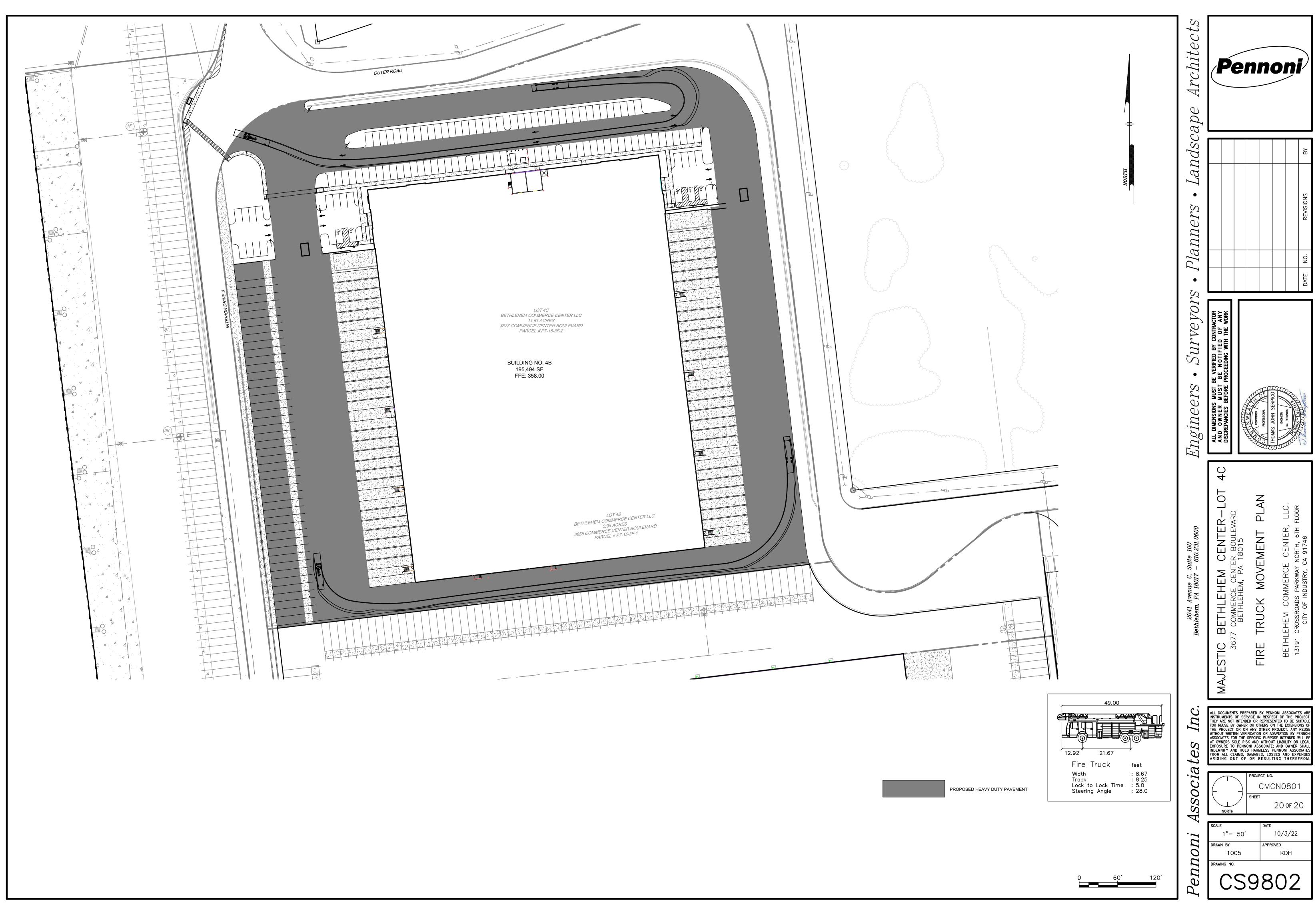
- TREE PROTECTION ZONE UNLESS INDICATED ON THE PLAN. 2. BARRICADES MUST BE INSTALLED PRIOR TO ANY DESTRUCTION AND/OR
- CONSTRUCTION ACTIVITY. 3. THE ROOT PROTECTION ZONE SHALL BE THE AREA ENCOMPASSED BY A CIRCLE WITH A RADIUS EXTENDING 1.25 FT. FROM THE TRUNK OF THE TREE FOR EVERY
- INCH DBH (DIAMETER AT BREAST HEIGHT) OF THE TREE. 4. VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO PENALTY PER CITY ORDINANCE. 5. ALL TREES ON PUBLIC PROPERTY ARE PROTECTED BY ORDINANCE: NO PRUNING,
- ROOT PRUNING OF ROOTS OVER ONE INCH IN DIAMETER, AND/OR TREE REMOVAL IS TO BE PERFORMED WITHOUT A PERMIT AND WORK MUST BE PERFORMED BY A CITY LICENSED TREE CONTRACTOR. 6. ALL PLANT MATERIALS ARE TO CONFORM TO THE AMERICAN STANDARD FOR
- NURSERY STOCK, LATEST EDITION, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- 7. STREET AND PARKING LOT TREES SHALL BE A MINIMUM OF 14' IN HEIGHT AND HAVE A SINGLE STRAIGHT TRUNK WITH THE FIRST LATERAL BRANCH AT 7' ABOVE THE ROOT BALL. TREES WITH AN UPRIGHT BRANCHING HABIT, SUCH AS ZELKOVA, MAY HAVE THE FIRST LATERAL BRANCH AT 6' ABOVE THE ROOT BALL. 8. ALL LANDSCAPING SHALL CONFORM TO THE CURRENT EDITION OF THE
- ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE OF THE CITY OF BETHLEHEM. 9. PROPERTY LINE LENGTH IS 1,538.21 L.F. ALONG APPLEBUTTER ROAD AND 981.50
- L.F. ALONG COMMERCE CENTER BLVD.



LANDSCAPE COMPLIANCE SUMMARY:			
CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA			
ZONING DISTRICT: IN-O (INDUSTRIAL OVERLAY DISTRICT) EXISTING USE: INDUSTRIAL (FORMER BETHLEHEM STEEL) PROPOSED USE: WAREHOUSE AND INDUSTRIAL OR MANUFACTURING			
CODE REFERENCE	REQUIRED	PROPOSED	COMPLIANT
1319.02(j) SHADE TREES. A MINIMUM AVERAGE OF ONE DECIDUOUS SHADE TREE SHALL BE REQUIRED FOR EVERY 15 SURFACE PARKING SPACES. SUCH DECIDUOUS TREES SHALL MEET THE STREET TREES REQUIREMENTS OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. NO MORE THAN 20 CONSECUTIVE PARKING SPACES SHALL BE LOCATED IN A STRAIGHT ROW WITHOUT BEING SEPERATED BY A LANDSCAPED ISLAND WITH A DECIDUOUS TREE.	8	13	YES
1319.02(j) STREET TREES MEETING REQUIREMENTS OF THE CITY SHALL BE PLANTED REQUIRED FOR EACH 30 FEET OF PUBLIC OR PRIVATE STREET LENGTH, UNLESS EXISTING TREES WILL BE PRESERVED TO SERVE THE SAME PURPOSE, OR UNLESS THE CITY ALLOWS AN AVERAGE OF ONE TREE FOR EVERY 50 FEET FOR TREES WITH LARGER CANOPIES	N/A	N/A	N/A
1349.08(f)(1) LANDSCAPE OFF-STREET PARKING AND LOADING AREAS SHALL HAVE A MINIMUM OF 10% OF THE AREA REPRESENTED BY APPROVED PLANTINGS. THESE PLANTINGS SHALL BE IN ADDITION TO ANY BUFFER PLANTINGS WHICH MAY BE NECESSARY.	3,645 S.F.	> 3,645 S.F.	YES







DJECTS\CMCN\CMCN0801-BETHLEHEM COMMERCE CENTER\DESIGN_PUBLISH\PHASE 4C STAND ALONE\CS8802.DWG PLOTTED: ----, BY: KYLE HAYDT PLOTSTYLE: PENNONI NCS.STB, PROJ