

EAST FRANKFORD STREET

(40' WIDE PUBLIC RIGHT-OF-WAY)

REPLACE SIDEWALK IN THE AREA OF THE EXISTING DRIVEWAY AND WHERE THE TREE WELL IS LOCATED. SEE CITY DETAIL FOR CITY SIDEWALKS

TRASH ENCLOSURE ON 4'x6' CONCRETE PAD

BICYCLE RACK ON 4'x4' CONCRETE PAD

CONC. SIDEWALK

EASTWARDLY 100.18'

8.0'

10.0'

12.0'

10.0'

1014 PULASKI STREET

1016 PULASKI STREET

1018 PULASKI STREET PROPOSED 4-UNIT TOWNHOUSE BUILDING

1020 PULASKI STREET

3.7'

15' SIGHT TRIANGLE

3.0'

20.2'

UP# 66055 S48055

±90.00'(R)

CHAIN LINK FENCE

REPLACE ADA RAMP WITH CURRENT STANDARD ADA RAMP (SEE DETAIL)

BICYCLE RACK ON 4'x4' CONCRETE PAD

7-SPACE PARKING AREA

PROPOSED DEPRESSED CURB ALONG PARKING

CONCRETE SIDEWALK

±90.00'(S)

PULASKI STREET (20' WIDE PUBLIC RIGHT-OF-WAY)

NORTHWARDLY 90.24'(S)

BENCHMARK MAG NAIL ELEV.=340.33

UP# 66054 S48044 I711447 2451

PARID N6SE3D 19 5 0204 LANDS N/F

UFFELMAN BERNADETTE M, D.B. 2005-1 PG. 228929 321 FAIRVIEW ST E

WESTWARDLY 100.18'

PARID N6SE3D 19 4 0204 LANDS N/F

RUSSO JOSEPH D, D.B. 2002-1 PG. 286859 325 FAIRVIEW ST E

PARID N6SE3D 19 3 0204 LANDS N/F

PERSON JOHN H JR, D.B. 566 PG. 000382 331 FAIRVIEW ST E

SPRINKLER ROOM

15'

36.2'

20'

METAL WIRE FENCE

±90.00'(R)

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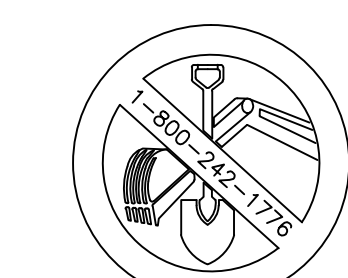
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KNOW WHAT'S BELOW CALL BEFORE YOU DIG! PENNSYLVANIA ONE CALL SYSTEM, INC. 1-800-242-1776 or 811

PENNSYLVANIA ACT 287 OF 1974 (AS AMENDED) REQUIRES 3 WORKING DAYS NOTICE FOR EXCAVATION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP! CALL!



LEGEND:

- EXISTING BOUNDARY
- EXISTING CONTOUR
- EXISTING 5' CONTOUR
- EXISTING CURB
- EXISTING BUILDING
- EXISTING BUILDING SETBACK
- EXISTING DRIVEWAY
- EXISTING EASEMENT
- EXISTING ELECTRIC SERVICE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- PROPOSED STORM PIPE
- PROPOSED WATER LINE
- PROPOSED ROOF DRAINS
- PROPOSED SEWER LINE
- PROPOSED ELECTRIC SERVICE
- PROPOSED GAS SERVICE
- PROPOSED SILT FENCE
- PROPOSED CONTOUR
- PROPOSED LIMIT OF DISTURBANCE

SCALE: 1" = 10'

GENERAL NOTES:

- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON WAS TAKEN FROM A SURVEY PERFORMED BY VALLEY LAND SERVICES, LLC ON DECEMBER 21, 2021. BOLO ENGINEERING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON.
- BENCHMARK = MAG NAIL, ELEVATION 340.33.
- ANY INFORMATION APPEARING ON THESE DRAWINGS AS TO THE UNDERGROUND UTILITY LINES HAS BEEN DEVELOPED FROM ABOVE-GROUND EXAMINATIONS OF THE SITE. THE CONTRACTOR, WITHIN THREE DAYS OF THE START OF CONSTRUCTION, SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES IN ACCORDANCE WITH PA ACT NO. 287 (1-800-242-1776).
- ANY FILL BEING UTILIZED FOR CONSTRUCTION ON THIS SITE SHALL BE OBTAINED FROM A SITE THAT HAS AN APPROVED E&SP PLAN.
- ANY PROPOSED ELECTRIC, GAS, TELEPHONE AND CATV SERVICE LINES SHALL BE LOCATED UNDERGROUND.
- ALL SOILS EXCAVATED FROM THE PROPOSED CONSTRUCTION WILL BE DISPERSED ON-SITE OR TAKEN TO AN APPROVED SITE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND PENNSYLVANIA DEPARTMENT OF TRANSPORTATION STANDARDS AND REGULATIONS AS APPLICABLE.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ANY AND ALL UNDERGROUND UTILITIES IN ACCORDANCE WITH PA ACT 121 PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER IN THE EVENT THAT A CONFLICT IS DISCOVERED.
- PROPOSED ELEVATION CONTOUR LINES DEPICTED ON THIS PLAN REPRESENT FINAL GRADES AT THE COMPLETION OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AT ALL TIMES DURING CONSTRUCTION TO PREVENT THE PONDING OF WATER ON THE SITE.
- CONTRACTOR SHALL Dewater AND OTHERWISE MAINTAIN UTILITY TRENCHES AND OTHER EXCAVATIONS FREE OF WATER (GROUND WATER AND SURFACE WATER) AT ALL TIMES USING A PUMPED WATER FILTER BAG OR OTHER APPROVED METHODS (REFER TO PUMPED WATER FILTER BAG DETAIL ON E&S POLLUTION CONTROL DETAILS PLAN). ADDITIONALLY, CONTRACTOR SHALL PROPERLY GRADE ADJACENT AREAS AND TAKE ANY OTHER REASONABLE PRECAUTIONS NECESSARY TO PREVENT WATER FROM ENTERING EXCAVATIONS.
- IF CONTRACTOR ENCOUNTERS SOFT OR SATURATED SOILS DEEMED UNSUITABLE BY THE PROJECT ENGINEER DURING CONSTRUCTION, CONTRACTOR SHALL EXCAVATE, REMOVE, AND REPLACE ANY SUCH UNSUITABLE MATERIAL WITH COMPACTED CLEAN FILL OR AGGREGATE MATERIAL AS DIRECTED BY THE PROJECT ENGINEER.
- WHERE PLACEMENT OF FILL BENEATH SETTLEMENT SENSITIVE STRUCTURES (E.G. BUILDING PADS, PARKING LOTS, UTILITY AND STORM SEWERS LINES, AND RELATED STRUCTURES) IS NECESSARY TO ACHIEVE DESIRED SUBGRADE, CONTRACTOR SHALL PLACE AND COMPACT APPROPRIATE FILL MATERIAL IN MAXIMUM 6-INCH LIFTS TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR DENSITY OF THE MATERIAL (98% FOR BUILDING PADS) OR AS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER.
- LOCATIONS OF WATER AND SANITARY SEWER LATERALS AS DEPICTED HEREIN ARE APPROXIMATE AND COULD BE SUBJECT TO FIELD ADJUSTMENT.
- PRIOR TO ANY WORK WITHIN PUBLIC RIGHTS-OF-WAY, PERMITS MUST BE OBTAINED FROM THE CITY OF BETHLEHEM ENGINEERING OFFICE AND/OR PENNDOT, AS APPLICABLE.
- ANY AND ALL SITE IMPROVEMENTS PROPOSED HEREIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF BETHLEHEM AND/OR PENNDOT CONSTRUCTION STANDARDS IN EFFECT AT THE TIME OF SUBDIVISION AND/OR PENNDOT HIGHWAY OCCUPANCY PERMIT APPROVAL, AS APPLICABLE.
- BUILDING DESIGN, MATERIALS, AND CONSTRUCTION FOR THE PROPOSED BUILDINGS SHALL MEET OR EXCEED INTERNATIONAL BUILDING CODE STANDARDS, LATEST EDITION.
- PROPERTY OWNER(S) THEIR HEIRS, SUCCESSORS, AND ASSIGNS SHALL BE PERPETUALLY RESPONSIBLE TO MAINTAIN EXISTING AND PROPOSED EASEMENTS LOCATED ON THEIR RESPECTIVE PROPERTIES IN A GRASSED OR OTHERWISE IMPROVED CONDITION IN ACCORDANCE WITH THE GRADES AND DESIGNS INDICATED ON THE APPROVED LAND DEVELOPMENT PLANS FOR THE PROJECT. DRAINAGE EASEMENTS PROVIDE FOR THE FLOW OF STORMWATER ACROSS LOTS AND MAY NOT BE ALTERED WITHOUT WRITTEN PERMISSION OF THE CITY ENGINEER. NO OBSTRUCTIONS SUCH AS PLANTING BERMS OR FENCES, OTHER THAN THOSE DEPICTED HEREIN, MAY BE INSTALLED IN DRAINAGE EASEMENTS WITHOUT MAKING SUFFICIENT PROVISIONS FOR THE PASSAGE OF STORMWATER. ANY SUCH PROPOSED PROVISIONS SHALL BE APPROVED IN WRITING BY THE CITY ENGINEER. IT IS INTENDED THAT THE MAINTENANCE RESPONSIBILITIES IMPOSED HEREUNDER SHALL BE A COVENANT RUNNING WITH THE LAND AND ENFORCEABLE AGAINST ALL FUTURE OWNERS.
- ACCURATE AS-BUILT PLANS SHALL BE KEPT CURRENT DURING THE CONSTRUCTION PROCESS. AT THE COMPLETION OF THE PROJECT, RECORD DRAWINGS SHALL BE PREPARED FROM AS-BUILT PLANS AND SUBMITTED TO THE CITY ENGINEER'S OFFICE. ALL FINAL DRAWINGS SHALL SHOW NORTH AMERICAN DATUM (NAD) 1983 STATE PLANE COORDINATES IN FEET (PA SOUTH, FIPS ZONE 3703) AND THE DIGITAL FILE SHALL BE IN STATE PLANE FEET COORDINATES AS APPLICABLE. HARD COPIES OF RECORD DRAWINGS SHALL BE IN THE FORM OF MYLAR COPIES. THE ENGINEER OF RECORD SHALL CERTIFY (i.e. P.E. STAMPED AND SIGNED) THAT THE RECORD DRAWINGS COMPLY SUBSTANTIALLY WITH THE APPROVED PLANS AND THAT THEY CONFORM TO INDUSTRY STANDARDS. ALL DIGITAL FILES SHALL RESIDE ON A PC COMPATIBLE CD-ROM CONTAINING THE DIGITAL REPRESENTATION OF THE FINAL PLAN AS PRESENTED ON TWENTY-FOUR (24) THIRTY-SIX INCH SHEETS. DIGITAL PLANS SHALL BE AUTOCAD COMPATIBLE. ALL DRAWING LAYERS INCLUDED IN THE DIGITAL PLANS SHALL BE THE STANDARDIZED LAYERS PREPARED AND UTILIZED BY THE CITY OF BETHLEHEM TO ENSURE COMPATIBILITY WITH THE CITY'S EXISTING CAD STANDARDS DESCRIBED IN APPENDIX A OF THE CITY'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. THE CITY'S EXISTING CAD STANDARDS MUST BE REVIEWED AND REVISED TO BE COMPATIBLE WITH THE CITY'S CURRENT GIS SYSTEM AND STANDARDS.

SOIL TYPE

THE FOLLOWING SOIL TYPE IS SHOWN ON THE PROJECT SITE ON WEB SOIL SURVEY.
UoB, URBAN LAND-DUFFIELD COMPLEX, 0 TO 6 PERCENT SLOPES (ENTIRE SITE)

- HSG B
- NOT PRIME FARMLAND
- NON-HYDRIC SOILS
- WELL-DRAINED SOILS

- RESOLUTIONS TO SOIL TYPE LIMITATIONS
- CONSTRUCTION ACTIVITIES WILL BE SEQUENCED IN SUCH A WAY AS TO PREVENT THE DEVELOPMENT OF LOW SPOTS AND STANDING WATER.
 - THE CONTRACTOR SHALL EXCAVATE UNSUITABLE SOIL TO A SUFFICIENT DEPTH AND REPLACE SAME WITH SUITABLE MATERIAL, AS DIRECTED BY PROJECT ENGINEER.
 - THE CONTRACTOR SHALL EXCAVATE ROCK BY MEANS OF PNEUMATIC HAMMERING OR RIPPING TO A SUFFICIENT DEPTH (MINIMUM TWO (2) FEET BELOW THE BOTTOM ELEVATION OF INFILTRATION FACILITIES) AND REPLACE SAME WITH SUITABLE MATERIAL, AS DIRECTED BY PROJECT ENGINEER.
 - THE CONTRACTOR SHALL Dewater OR OTHERWISE MAINTAIN ALL EXCAVATIONS AND TRENCHES FREE OF WATER FOR THE DURATION OF THE PROJECT.
 - THE CONTRACTOR SHALL REPAIR SINKHOLES IMMEDIATELY UPON DISCOVERY IN ACCORDANCE WITH THE SINKHOLE REPAIR DETAIL ON THE PLAN OR AS DIRECTED BY THE PROJECT ENGINEER.

PARKING REQUIREMENTS

ZONING ORDINANCE SECTION 1319.01(a)(1)(i)
MULTI-FAMILY DWELLING/ APARTMENTS WITH TWO OR FEWER BEDROOMS
1.75 SPACES/UNIT X 4 UNITS = 7 SPACES REQUIRED
7 SPACES PROVIDED

BICYCLE PARKING = 5% OF PARKING REQUIREMENTS WITH A MINIMUM 2 SPACES REQUIRED. 2 SPACES ARE PROPOSED.

ZONING DATA:

- SITE IS WITHIN THE RT - HIGH DENSITY RESIDENTIAL ZONING DISTRICT
- SINGLE-FAMILY ATTACHED DWELLING UNITS ARE PERMITTED BY RIGHT
- THE SITE IS SERVED BY PUBLIC SEWER AND PUBLIC WATER
- THE LOT AREA IS 9,036.24 SF (0.21 ACRES) PER THE SURVEY

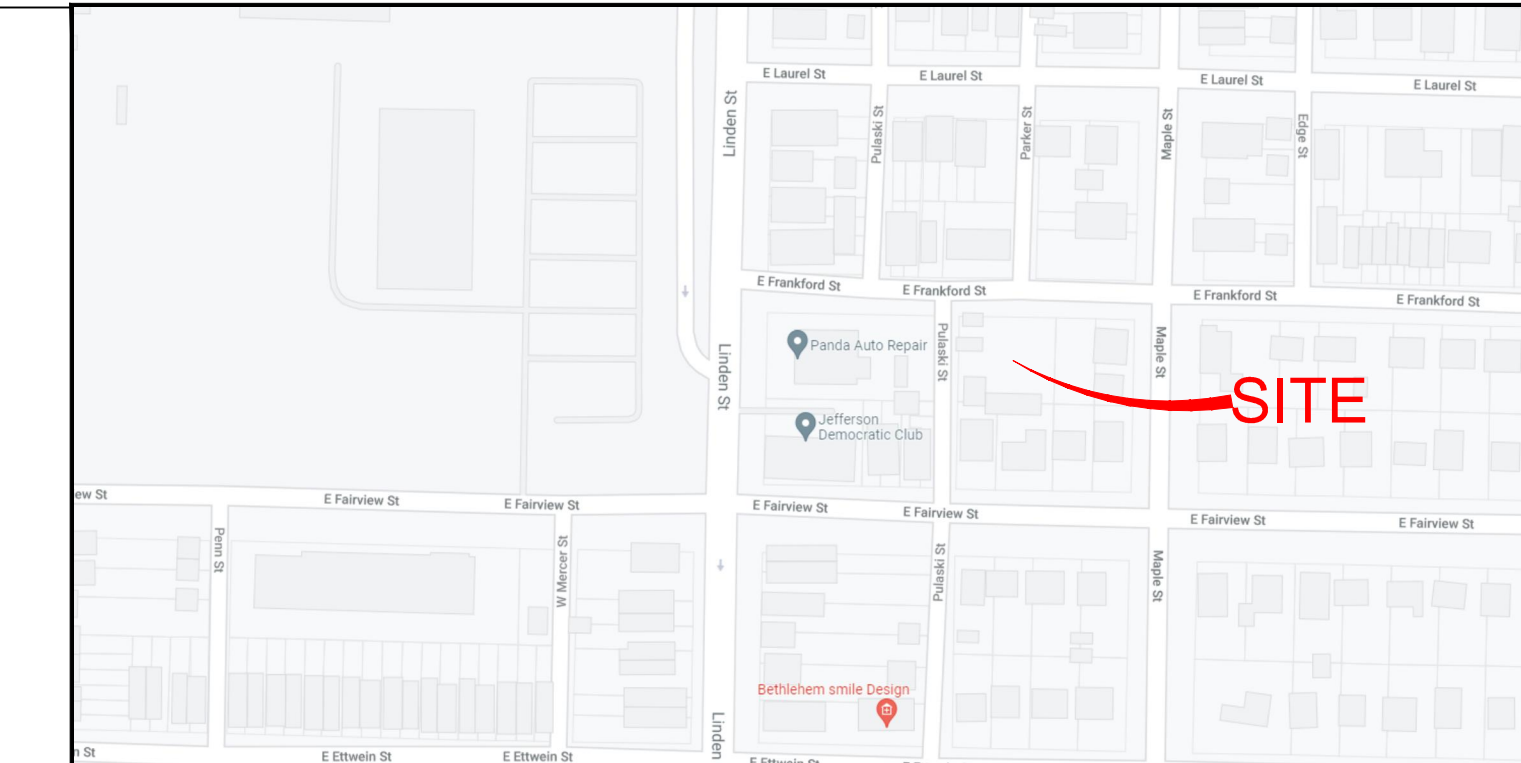
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA:	9,000 SF	9,036 SF	9,036 SF
MINIMUM LOT DENSITY:	2,200 SF/DU	N/A	2,259 SF/DU
MINIMUM LOT WIDTH:	90 FT	100.18 FT	100.18 FT
MAX. BUILDING COVERAGE:	30%	N/A	28%
MAXIMUM BUILDING HEIGHT:	35 FT 3.5 STY	N/A	< 35 FT 3.5 STY
MINIMUM BUILDING SETBACKS:			
FRONT YARD:	N/A	N/A	10.0 FT
SIDE YARD:	15 FT	N/A	10.0 FT
REAR YARD:	20 FT	N/A	42.2 FT

IMPERVIOUS COVERAGES:

EXISTING LOT AREA:	9,036.24 SF
EXISTING IMPERVIOUS COVER:	7,178 SF (79%)
ASPHALT/CONCRETE:	
PROPOSED IMPERVIOUS COVER:	2,559 SF
DWELLING UNITS:	1,106 SF
ASPHALT PARKING:	532 SF
CONCRETE SIDEWALK:	16 SF
BICYCLE RACK PAD:	24 SF
TRASH PAD:	24 SF
TOTAL PROPOSED IMPERVIOUS:	4,246 SF (47%)

BUILDING DESIGN

- THE BUILDING SHALL HAVE 30% VINYL SIDING ALONG PULASKI STREET.
- THE FRONT FACADE SHALL BE MASONRY AND VINYL SIDING.
- THE HVAC UNITS WILL BE LOCATED INSIDE OF THE BUILDINGS.



AREA MAP

PLANNING COMMISSION REVIEW

REVIEWED AND ACCEPTED FOR RECORDING BY THE CITY OF BETHLEHEM PLANNING COMMISSION THIS _____ DAY OF _____, 20__.

CHAIRMAN _____ SECRETARY _____

LVPC REVIEW

REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION

L.V.P.C. STAFF PERSON _____ DATE _____
RESPONSIBLE FOR REVIEW

OWNERS ACKNOWLEDGEMENT

I (WE), THE UNDERSIGNED, BEING THE OWNER(S) IN PEACEFUL POSSESSION OF THE LAND HEREIN PLATTED, DO HEREBY ADOPT THIS PLAN OF PROPERTY SITUATED IN THE CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA AND DESIRE THAT THIS PLAN BE RECORDED ACCORDING TO LAW.

SIGNATURE _____ DATE _____

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF NORTHAMPTON

SWORN AND SUBSCRIBED TO ME THIS _____ DAY OF _____, 20__

IN WITNESS THEREOF, I HEREUNTO SET MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC _____

RECORDED THIS _____ DAY OF _____, 20__

IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR THE COUNTY OF NORTHAMPTON, PENNSYLVANIA, IN PLAN

BOOK NO. _____, PAGE _____.

RECORDER OF DEEDS _____

SITE DATA

RECORD OWNER: ROBERT SABO
PROPERTY ADDRESS: EAST FRANKFORD STREET
TAX MAP REFERENCE: N6SE3D 19 6 0204
DEED REFERENCE: D.B. 2000-1, PG. 070280
EX LOT AREA (BY SURVEY): 9,036.24 S.F. (0.2074 AC.)
CITY WARD/BLOCK: WARD 9, BLOCK 19A
ZONING CLASSIFICATION: HIGH-DENSITY RESIDENTIAL (RT)
CITY OF BETHLEHEM SANITARY SEWER: CITY OF BETHLEHEM
EXISTING/PROPOSED LOTS: 1/1

STATEMENT OF INTENT

THE APPLICANT INTENDS TO CONSTRUCT A FOUR-UNIT TOWNHOUSE BUILDING WITH AN ASSOCIATED PARKING AREA, UTILITY SERVICE CONNECTIONS, SIDEWALK, LANDSCAPE, AND RELATED IMPROVEMENTS AND SITE GRADING, ALL AS DEPICTED HEREIN.

APPLICANT

1015 PARTNERS
555 ASHWOOD
NAZARETH, PA 18064
239-272-3173

		CIVIL & CONSULTING ENGINEERS 4340 CREEK ROAD ALLENTOWN, PA 18104 (610) 297-2868 mrcengineer@hotmail.com
	Title: FRANKFORD STREET APARTMENTS EAST FRANKFORD STREET, CITY OF BETHLEHEM, PA 18015	
Date: SEPTEMBER 2, 2022		Sheet No. RP (3 OF 6)
Plan Scale: 1"=10'		Project No. 21084

RODERICK M. CHIRUMBULO
PE-075093