FRANKFORD STREET APARTMENTS

EAST FRANKFORD AND PULASKI STREETS CITY OF BETHLEHEM NORTHAMPTON COUNTY, PA





AERIAL MAP

DRAWING INDEX

CV 1 OF 6	SHE	ET NO.	TITLE
	EC RP GU UD	2 OF 6	(ISTING CONDITIONS & DEMOLITION PLAN ECORD PLAN RADING AND UTILITY PLAN TILITY DETAILS
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LANDSCAPE PLAN - BY OTHERS

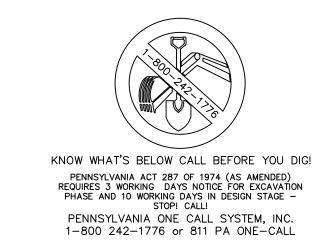
OWNER ROBERT SABO 482 ELMHURST AVENUE BETHLEHEM, PA 18017-3873

FRANKFORD STREET APARTMENTS

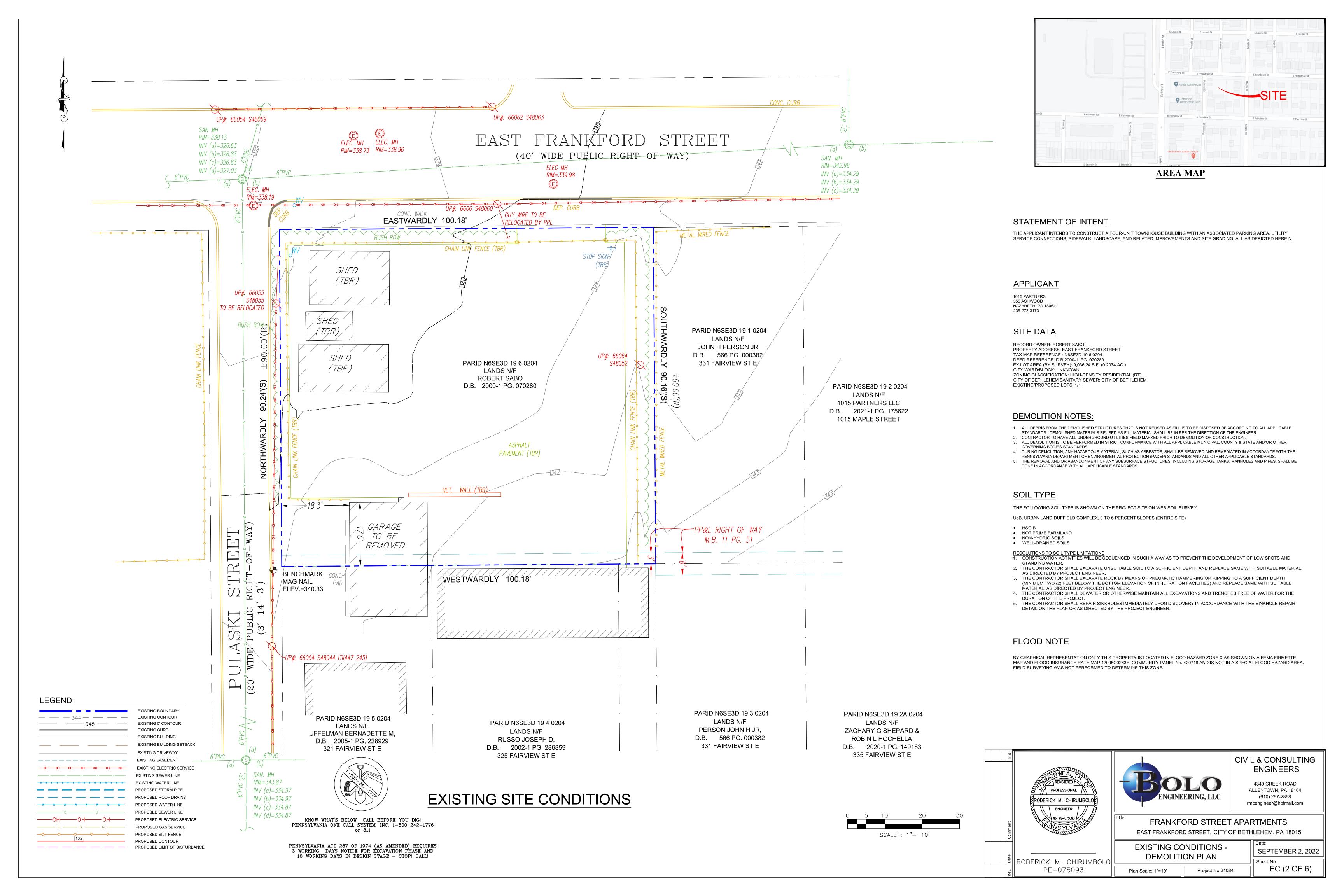
EQUITABLE OWNER APPLICANT / DEVELOPER DOMINIC VILLANI, JR. 555 ASHWOOD DRIVE NAZARETH, PA 18064

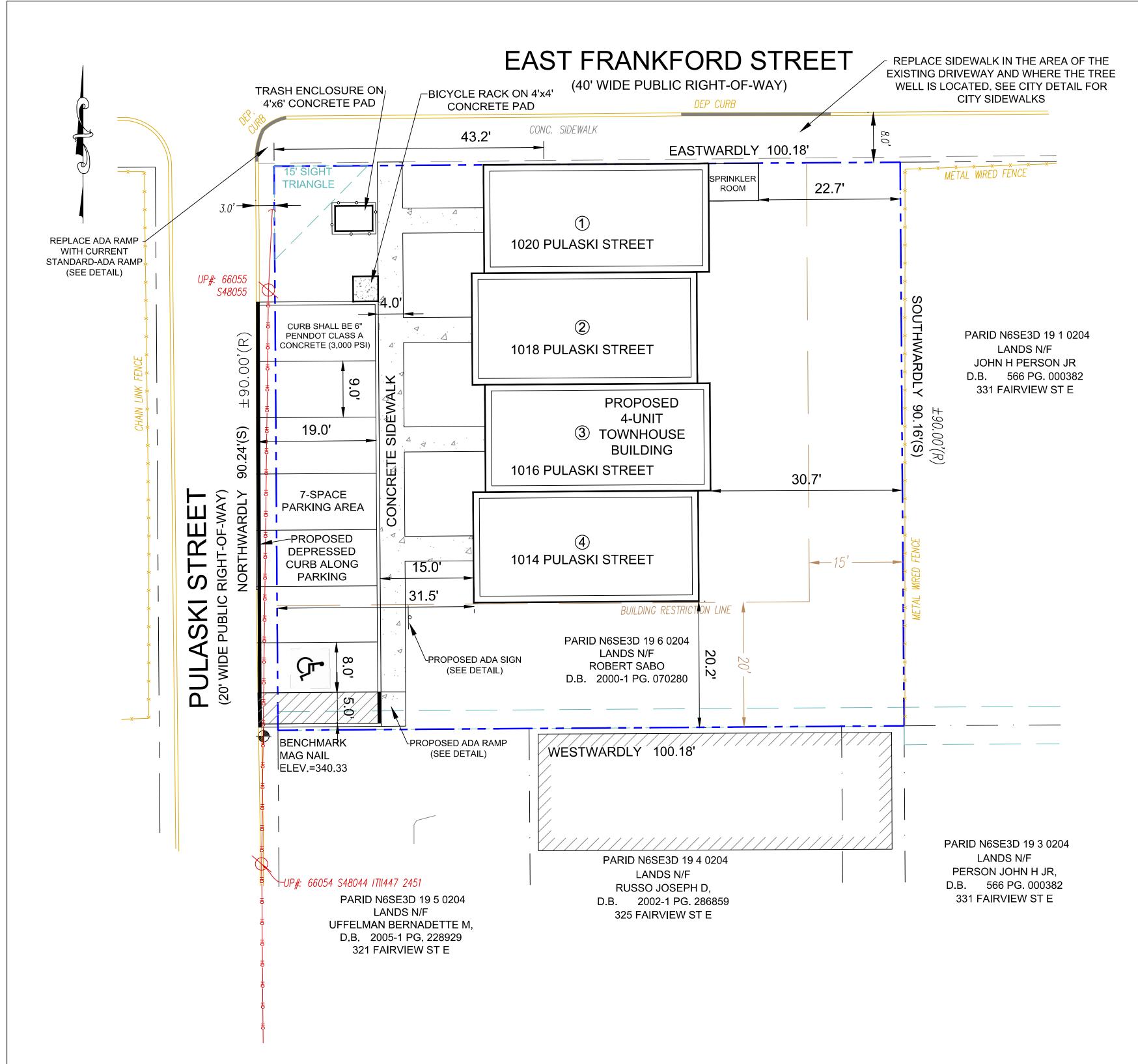
SHEET No: CV 1 OF 6 SEPTEMBER 2, 2022 REVISED: OCTOBER 10, 2022

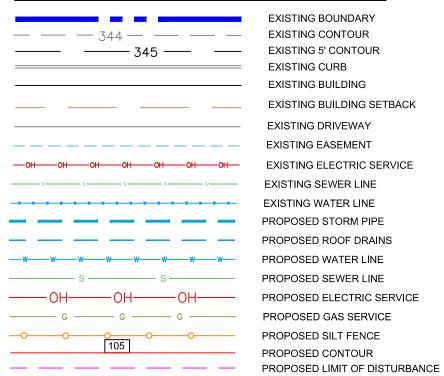
PROJECT No. 21084













KNOW WHAT'S BELOW CALL BEFORE YOU DIG! PENNSYLVANIA ONE CALL SYSTEM, INC. 1-800 242-1776

PENNSYLVANIA ACT 287 OF 1974 (AS AMENDED) REQUIRES 3 WORKING DAYS NOTICE FOR EXCAVATION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP! CALL!

GENERAL NOTES:

- 1. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON WAS TAKEN FROM A SURVEY PERFORMED BY VALLEY LAND SERVICES, LLC ON DECEMBER 21, 2021. BOLO ENGINEERING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON.
- BENCHMARK = MAG NAIL, ELEVATION 340.33 ANY INFORMATION APPEARING ON THESE DRAWINGS AS TO THE UNDERGROUND UTILITY LINES HAS BEEN DEVELOPED FROM ABOVE-GROUND EXAMINATIONS OF THE SITE. THE CONTRACTOR, WITHIN THREE DAYS OF THE START OF CONSTRUCTION, SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES IN ACCORDANCE WITH PA ACT NO. 287
- 4. ANY FILL BEING UTILIZED FOR CONSTRUCTION ON THIS SITE SHALL BE OBTAINED FROM A SITE THAT HAS AN APPROVED E&SPC
- 5. ANY PROPOSED ELECTRIC, GAS, TELEPHONE AND CATV SERVICE LINES SHALL BE LOCATED UNDERGROUND. 6. ALL SOILS EXCAVATED FROM THE PROPOSED CONSTRUCTION WILL BE DISPERSED ON-SITE OR TAKEN TO AN APPROVED SITE.
- 7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND PENNSYLVANIA DEPARTMENT OF TRANSPORTATION STANDARDS AND REGULATION AS APPLICABLE.
- 8. CONTRACTOR SHALL VERIFY LOCATIONS OF ANY AND ALL UNDERGROUND UTILITIES IN ACCORDANCE WITH PA ACT 121 PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER IN THE EVENT THAT A CONFLICT IS
- 9. PROPOSED ELEVATION CONTOUR LINES DEPICTED ON THIS PLAN REPRESENT FINAL GRADES AT THE COMPLETION OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AT ALL TIMES DURING CONSTRUCTION TO PREVENT THE
- PONDING OF WATER ON THE SITE 10. CONTRACTOR SHALL DEWATER AND OTHERWISE MAINTAIN UTILITY TRENCHES AND OTHER EXCAVATIONS FREE OF WATER (GROUND WATER AND SURFACE WATER) AT ALL TIMES USING A PUMPED WATER FILTER BAG OR OTHER APPROVED METHODS (REFER TO PUMPED WATER FILTER BAG DETAIL ON E&S POLLUTION CONTROL DETAILS PLAN). ADDITIONALLY, CONTRACTOR SHALL PROPERLY GRADE ADJACENT AREAS AND TAKE ANY OTHER REASONABLE PRECAUTIONS NECESSARY TO PREVENT
- WATER FROM ENTERING EXCAVATIONS. 11. IF CONTRACTOR ENCOUNTERS SOFT OR SATURATED SOILS DEEMED UNSUITABLE BY THE PROJECT ENGINEER DURING CONSTRUCTION, CONTRACTOR SHALL EXCAVATE, REMOVE, AND REPLACE ANY SUCH UNSUITABLE MATERIAL WITH COMPACTED CLEAN FILL OR AGGREGATE MATERIAL AS DIRECTED BY THE PROJECT ENGINEER.
- 12. WHERE PLACEMENT OF FILL BENEATH SETTLEMENT SENSITIVE STRUCTURES (E.G. BUILDING PADS, PARKING LOTS, UTILITY AND STORM SEWERS LINES, AND RELATED STRUCTURES) IS NECESSARY TO ACHIEVE DESIRED SUBGRADE, CONTRACTOR SHALL PLACE AND COMPACT APPROPRIATE FILL MATERIAL IN MAXIMUM 8-INCH LIFTS TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR DENSITY OF THE MATERIAL (98% FOR BUILDING PADS) OR AS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER.
- 14. PRIOR TO ANY WORK WITHIN PUBLIC RIGHTS-OF-WAY, PERMITS MUST BE OBTAINED FROM THE CITY OF BETHLEHEM
- ENGINEERING OFFICE AND/OR PENNDOT, AS APPLICABLE. 15. ANY AND ALL SITE IMPROVEMENTS PROPOSED HEREIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF BETHLEHEM AND/OR PENNDOT CONSTRUCTION STANDARDS IN EFFECT AT THE TIME OF SUBDIVISION AND/OR PENNDOT HIGHWAY OCCUPANCY PERMIT APPROVAL, AS APPLICABLE.

13. LOCATIONS OF WATER AND SANITARY SEWER LATERALS AS DEPICTED HEREIN ARE APPROXIMATE AND COULD BE SUBJECT TO

- 16. BUILDING DESIGN, MATERIALS, AND CONSTRUCTION FOR THE PROPOSED BUILDINGS SHALL MEET OR EXCEED INTERNATIONAL BUILDING CODE STANDARDS, LATEST EDITION.
- 17. PROPERTY OWNER(S) THEIR HEIRS, SUCCESSORS, AND ASSIGNS SHALL BE PERPETUALLY RESPONSIBLE TO MAINTAIN EXISTING AND PROPOSED EASEMENTS LOCATED ON THEIR RESPECTIVE PROPERTIES IN A GRASSED OR OTHERWISE IMPROVED CONDITION IN ACCORDANCE WITH THE GRADES AND DESIGNS INDICATED ON THE APPROVED LAND DEVELOPMENT PLANS FOR THE PROJECT. DRAINAGE EASEMENTS PROVIDE FOR THE FLOW OF STORMWATER ACROSS LOTS AND MAY NOT BE ALTERED WITHOUT WRITTEN PERMISSION OF THE CITY ENGINEER. NO OBSTRUCTIONS SUCH AS PLANTING BERMS OR FENCES, OTHER THAN THOSE DEPICTED HEREIN, MAY BE INSTALLED IN DRAINAGE EASEMENTS WITHOUT MAKING SUFFICIENT PROVISIONS FOR THE PASSAGE OF STORMWATER. ANY SUCH PROPOSED PROVISIONS SHALL BE APPROVED IN WRITING BY THE CITY ENGINEER. IT IS INTENDED THAT THE MAINTENANCE RESPONSIBILITIES IMPOSED HEREUNDER SHALL BE A COVENANT RUNNING WITH THE LAND AND ENFORCEABLE AGAINST ALL FUTURE OWNERS.
- 18. ACCURATE AS-BUILT PLANS SHALL BE KEPT CURRENT DURING THE CONSTRUCTION PROCESS. AT THE COMPLETION OF THE PROJECT, RECORD DRAWINGS SHALL BE PREPARED FROM AS-BUILT PLANS AND SUBMITTED TO THE CITY ENGINEER'S OFFICE. ALL FINAL DRAWINGS SHALL SHOW NORTH AMERICAN DATUM (NAD) 1983 STATE PLANE COORDINATES IN FEET (PA SOUTH, FIPS ZONE 3702) AND THE DIGITAL FILE SHALL BE IN STATE PLANE FEET COORDINATES AS APPLICABLE. HARD COPIES OF RECORD DRAWINGS SHALL BE IN THE FORM OF MYLAR COPIES. THE ENGINEER OF RECORD SHALL CERTIFY (i.e. P.E. STAMPED AND SIGNED) THAT THE RECORD DRAWINGS COMPLY SUBSTANTIALLY WITH THE APPROVED PLANS AND THAT THEY CONFORM TO INDUSTRY STANDARDS. ALL DIGITAL FILES SHALL RESIDE ON A PC COMPATIBLE CD-ROM CONTAINING THE DIGITAL REPRESENTATION OF THE FINAL PLAN AS PRESENTED ON TWENTY-FOUR BY THIRTY-SIX INCH SHEETS, DIGITAL PLANS SHALL BE AUTOCAD COMPATIBLE, ALL DRAWING LAYERS INCLUDED IN THE DIGITAL PLANS SHALL BE THE STANDARDIZED LAYERS PREPARED AND UTILIZED BY THE CITY OF BETHLEHEM TO ENSURE COMPATIBILITY WITH THE CITY'S EXISTING CAD STANDARDS AND AS DESCRIBED IN APPENDIX A OF THE CITY'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. THE CITY'S EXISTING CADD STANDARDS MUST BE REVIEWED AND REVISED TO BE COMPATIBLE WITH THE CITY'S CURRENT GIS SYSTEM AND

SOIL TYPE

THE FOLLOWING SOIL TYPE IS SHOWN ON THE PROJECT SITE ON WEB SOIL SURVEY.

UoB, URBAN LAND-DUFFIELD COMPLEX, 0 TO 6 PERCENT SLOPES (ENTIRE SITE)

- HSG BNOT PRIME FARMLAND
- NON-HYDRIC SOILS
- WELL-DRAINED SOILS

CONSTRUCTION ACTIVITIES WILL BE SEQUENCED IN SUCH A WAY AS TO PREVENT THE DEVELOPMENT OF LOW SPOTS AND

- 2. THE CONTRACTOR SHALL EXCAVATE UNSUITABLE SOIL TO A SUFFICIENT DEPTH AND REPLACE SAME WITH SUITABLE MATERIAL,
- AS DIRECTED BY PROJECT ENGINEER. 3. THE CONTRACTOR SHALL EXCAVATE ROCK BY MEANS OF PNEUMATIC HAMMERING OR RIPPING TO A SUFFICIENT DEPTH (MINIMUM TWO (2) FEET BELOW THE BOTTOM ELEVATION OF INFILTRATION FACILITIES) AND REPLACE SAME WITH SUITABLE
- MATERIAL, AS DIRECTED BY PROJECT ENGINEER. 4. THE CONTRACTOR SHALL DEWATER OR OTHERWISE MAINTAIN ALL EXCAVATIONS AND TRENCHES FREE OF WATER FOR THE DURATION OF THE PROJECT. 5. THE CONTRACTOR SHALL REPAIR SINKHOLES IMMEDIATELY UPON DISCOVERY IN ACCORDANCE WITH THE SINKHOLE REPAIR
- PARKING REQUIREMENTS

ZONING ORDINANCE SECTION 1319.01(a)(1)(ii) MULTI-FAMILY DWELLING/ APARTMENTS WITH TWO OR FEWER BEDROOMS

DETAIL ON THE PLAN OR AS DIRECTED BY THE PROJECT ENGINEER.

1.75 SPACES/UNIT X 4 UNITS = 7 SPACES REQUIRED

7 SPACES PROVIDED INCLUDING ONE SPACE IN THE EXISTING GARAGE AND ONE SPACE OUTSIDE OF THE EXISTING GARAGE

20.2 FT

BICYCLE PARKING = 5% OF PARKING REQUIREMENTS WITH A MINIMUM 2 SPACES REQUIRED. 2 SPACES ARE PROPOSED.

ZONING DATA:

- SITE IS WITHIN THE RT HIGH DENSITY RESIDENTIAL ZONING DISTRICT SINGLE-FAMILY ATTACHED DWELLING UNITS ARE PERMITTED BY RIGHT
- THE SITE IS SERVED BY PUBLIC SEWER AND PUBLIC WATER THE LOT AREA IS 9.036.24 SF (0.21 ACRES) PER THE SURVEY

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•			
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA:	9,000 SF	9,036 SF	9,036 SF
MINIMUM LOT DENSITY:	2,200 SF/DU	N/A	2,259 SF/DU
MINIMUM LOT WIDTH:	90 FT	100.18 FT	100.18 FT
MAX. BUILDING COVERAGE:	30%	N/A	28%
MAXIMUM BUILDING HEIGHT:	35 FT 3.5 STY	N/A	< 35 FT 3.5 STY
MINIMUM BUILDING SETBACKS:			

IMPERVIOUS COVERAGES:

SIDE YARD:

FRONT YARD: N/A

EXISTING LOT AREA: 9,036.24 SF

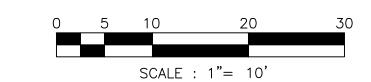
7,178 SF (79%)

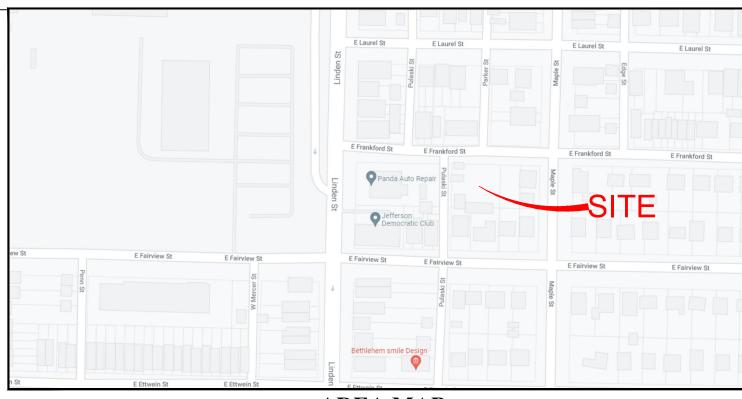
2.568 SF ASPHALT PARKING 1.123 SF CONCRETE SIDEWALK 552 SF BICYCLE RACK PAD

TRASH PAD 24 SF
TOTAL PROPOSED IMPERVIOUS: 4,283 SF (47%)

BUILDING DESIGN

- 1. THE BUILDING SHALL HAVE 30% VINYL SIDING ALONG FRANKFORD STREET. 2. THE FRONT FACADE SHALL BE MASONRY AND VINYL SIDING.
- 3. THE HVAC UNITS WILL BE LOCATED INSIDE OF THE BUILDINGS.





AREA MAP

PLANNING COMMISSION REVIEW

REVIEWED AND ACCEPTED FOR RECORDING BY THE CITY OF BETHLEHEM PLANNING COMMISSION THIS _____ DAY OF _____ 20__.

CHAIRMAN **SECRETARY**

LVPC REVIEW

REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION

DATE L.V.P.C. STAFF PERSON RESPONSIBLE FOR REVIEW

OWNERS ACKNOWLEDGEMENT

I (WE), THE UNDERSIGNED, BEING THE OWNER(S) IN PEACEFUL POSSESSION OF THE LAND HEREIN PLATTED, DO HEREBY ADOPT THIS PLAN OF PROPERTY SITUATED IN THE CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA AND DESIRE THAT THIS PLAN BE RECORDED ACCORDING TO LAW.

SIGNATURE

COMMONWEALTH OF PENNSYLVANIA **COUNTY OF NORTHAMPTON**

SWORN AND SUBSCRIBED TO ME THIS ___ DAY OF __

IN WITNESS THEREOF. I HEREUNTO SET MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

RECORDED THIS _____ DAY OF _____

IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR THE COUNTY OF NORTHAMPTON, PENNSYLVANIA, IN PLAN

BOOK NO. _____ , PAGE _____

SITE DATA

RECORDER OF DEEDS

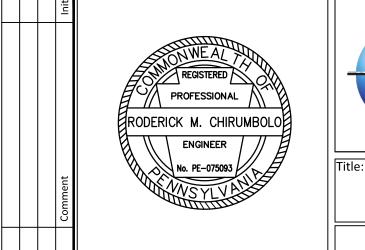
RECORD OWNER: ROBERT SABO PROPERTY ADDRESS: EAST FRANKFORD STREET TAX MAP REFERENCE.: N6SE3D 19 6 0204 DEED REFERENCE: D.B 2000-1, PG, 070280 EX LOT AREA (BY SURVEY): 9,036,24 S.F. (0,2074 AC.) CITY WARD/BLOCK: WARD 9, BLOCK 19A ZONING CLASSIFICATION: HIGH-DENSITY RESIDENTIAL (RT) CITY OF BETHLEHEM SANITARY SEWER: CITY OF BETHLEHEM EXISTING/PROPOSED LOTS: 1/1

STATEMENT OF INTENT

THE APPLICANT INTENDS TO CONSTRUCT A FOUR-UNIT TOWNHOUSE BUILDING WITH AN ASSOCIATED PARKING AREA, UTILITY SERVICE CONNECTIONS, SIDEWALK, LANDSCAPE, AND RELATED IMPROVEMENTS AND SITE GRADING, ALL AS DEPICTED HEREIN.

APPLICANT

1015 PARTNERS 555 ASHWOOD NA7ARETH. PA 18064 239-272-3173



RODERICK M. CHIRUMBOLO

PE-075093



CIVIL & CONSULTING **ENGINEERS**

4340 CREEK ROAD

ALLENTOWN, PA 18104

(610) 297-2868 rmcengineer@hotmail.com FRANKFORD STREET APARTMENTS

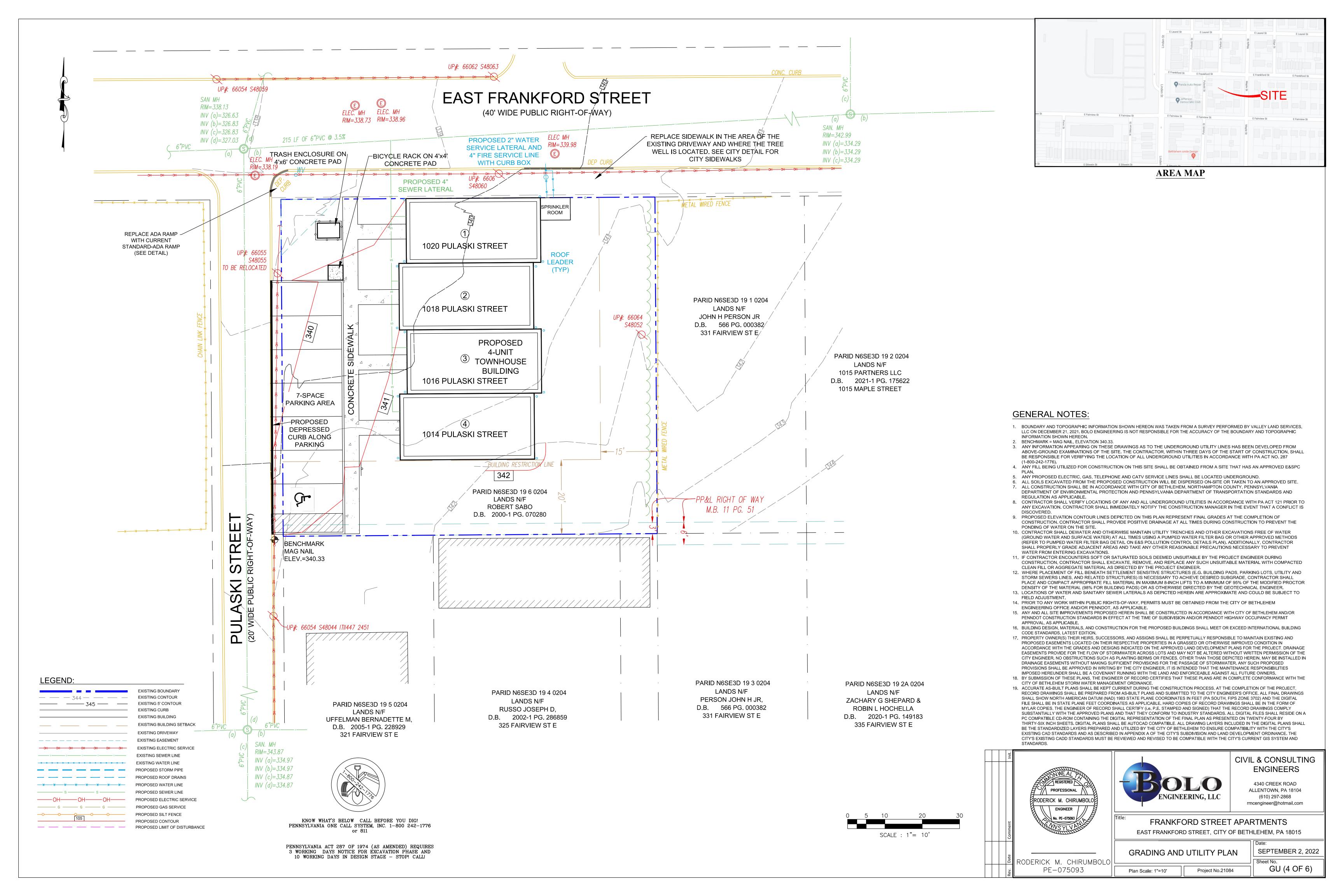
EAST FRANKFORD STREET. CITY OF BETHLEHEM. PA 18015

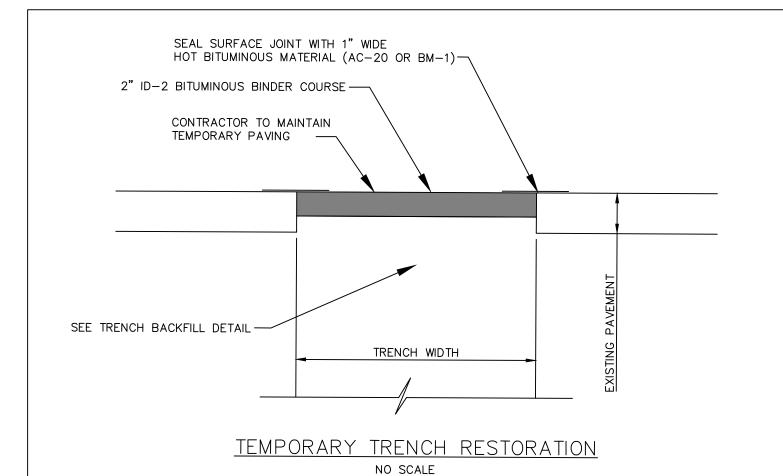
RECORD PLAN

SEPTEMBER 2, 2022

Project No.21084 Plan Scale: 1"=10'

RP (3 OF 6)



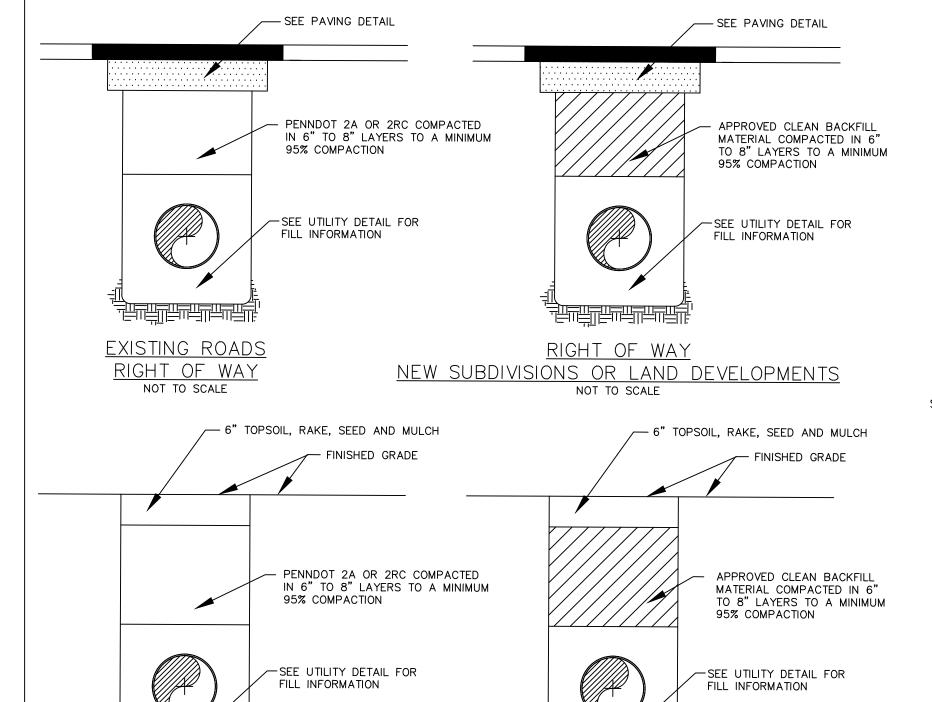


/-HIGH EARLY STRENGTH CONCRETE POURED UNDISTURBED AROUND SLEEVE AFTER TAP IS MADE AND INSPECTED FOR NO LEAKAGE ——TAPPING VALVE CONCRETE

* SIZE IN FIELD, MIN. OF 4 SF. BEARING AREA

TAPPINE SLEEVE & VALVE

-UNDISTURBED



NOTES:

UNPAVED AREAS

WITHIN PUBLIC R/W

NOT TO SCALE

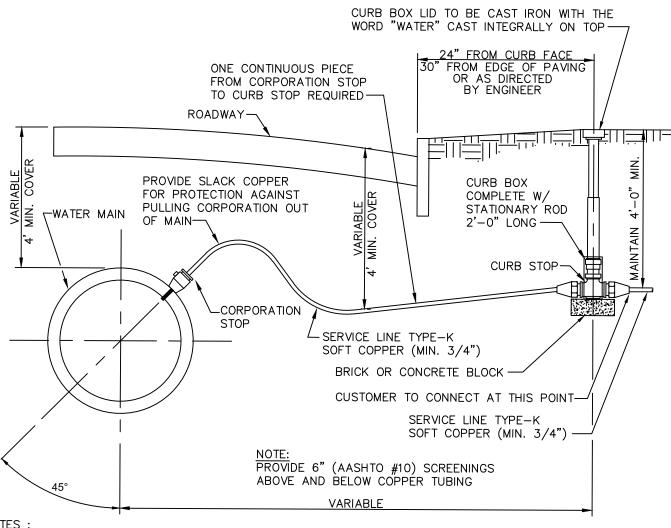
1. TRENCH COMPACTION TO BE TESTED, AT THE DEVELOPERS EXPENSE, IN ACCORDANCE WITH PENNDOT PUB 408, AS REQUIRED BY THE AUTHORITY'S ENGINEER.

UNPAVED AREAS

OUTSIDE PUBLIC R/W

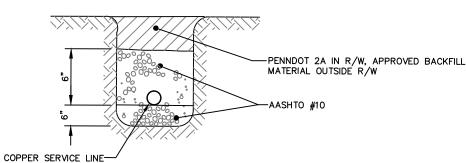
NOT TO SCALE

- 2. CLEAN FILL MUST BE APPROVED BY THE AUTHORITY'S ENGINEER PRIOR TO PLACEMENT
- 3. AREAS AROUND MANHOLES AND OTHER APPURTENANCES SHALL BE HAND COMPACTED AS
- DIRECTED BY THE AUTHORITY'S ENGINEER. 4. SPECIAL CONDITIONS OF HIGHWAY OCCUPANCY PERMIT MAY SUPERCEDE THIS DETAIL.

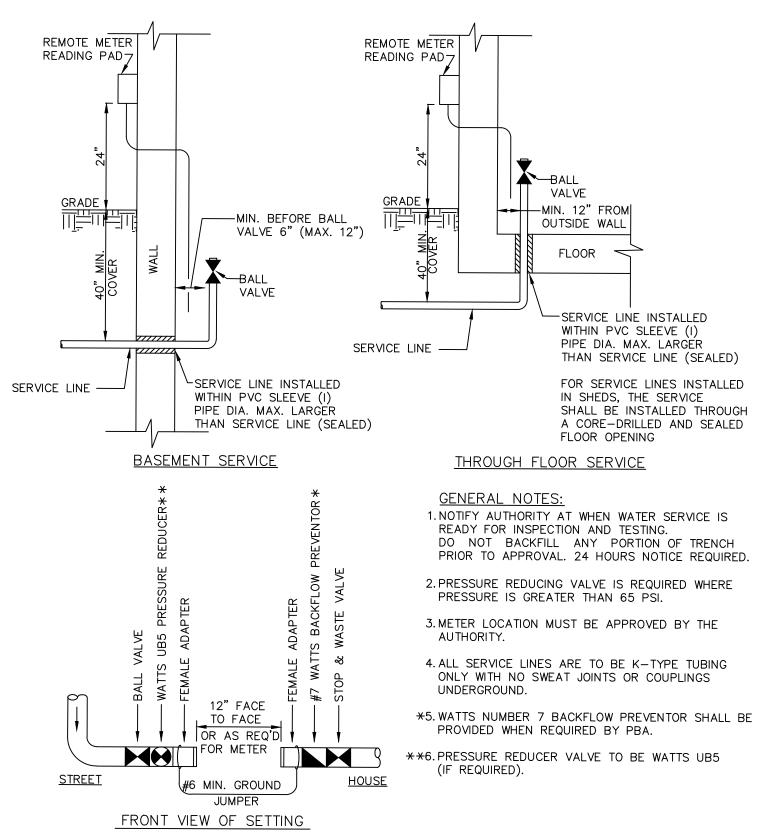


1. WET TAPPING UNDER NORMAL LINE PRESSURE IS REQUIRED. 2. CORPORATION STOPS: MULLER B-25008, OR McDONALD 4701B-22, OR EQUAL. 3. CURB STOPS: MULLER B-25209, OR McDONALD 6100-22, OR EQUAL. 4. CURB BOX: MUELLER H-10306, OR McDONALD 5604, OR FORD EA2-45-50, OR EQUAL. 5. LID WITH CENTER, REMOVABLE, PENTAGONAL PLUG: MUELLER 89375, OR McDONALD 5614L 6. CORPORATION STOP AND CURB STOP TO HAVE COMPRESSION FITTINGS.

FLARE FITTINGS NOT PERMITTED.

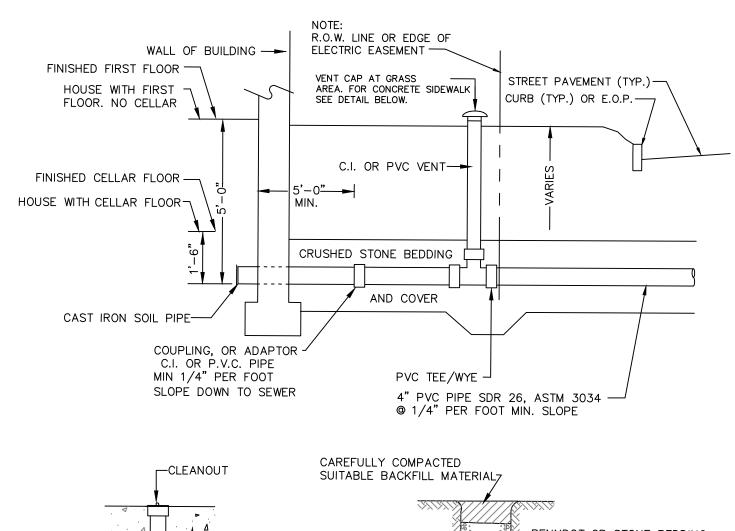


TYPICAL RESIDENTIAL SERVICE LINE **CONNECTION DETAIL**



RESIDENTIAL METER SETTING REQUIREMENTS

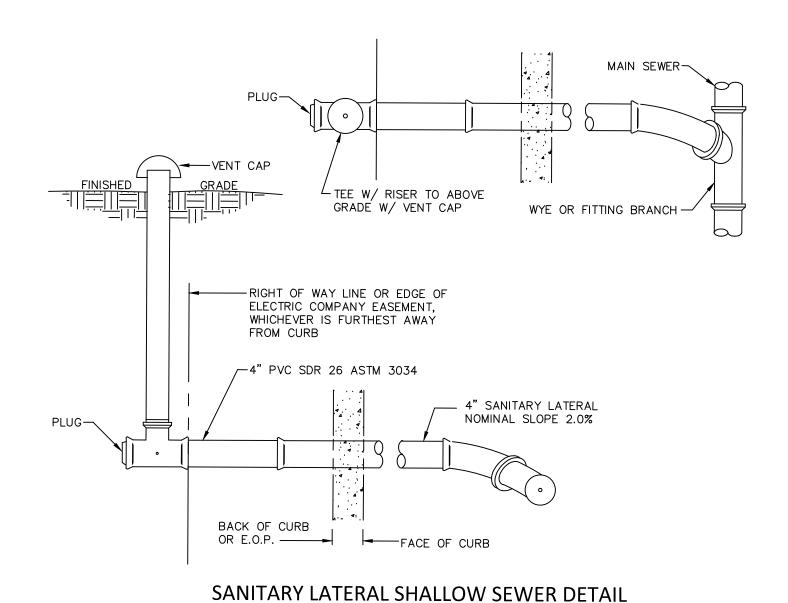
1. ALL WATER SERVICES MUST HAVE DOUBLE STRAP BRASS SADDLES. 2. DIP IS REQUIRED FROM THE HYDRANT VALVE TO THE FIRE HYDRANT AND UNDER STORM SEWERS WHERE THERE IS LESS THAN 18" OF CLEARANCE.

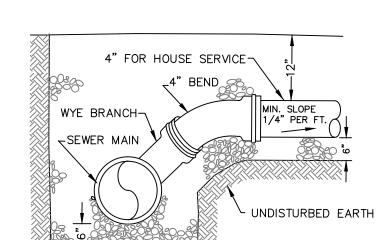


PENNDOT 2B STONE BEDDING 6" ALL AROUND (TYPICAL) C.I. OR P.V.C. CLEANOUT -CLEANOUT AT CONCRETE SIDEWALK CRUSHED STONE BEDDING DETAIL

SEWER LATERAL NEW HOUSE

CONNECTION DETAIL





TYPICAL CONNECTION TO SEWER MAIN

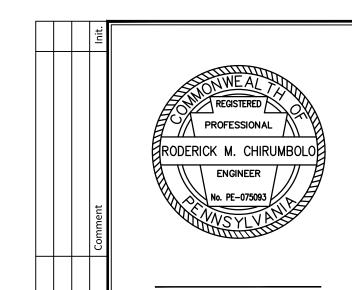
SANITARY SEWER SYSTEM NOTES

1. SANITARY SEWERAGE SYSTEM SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH CITY OF BETHLEHEM AND PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION STANDARDS AND REGULATION AS APPLICABLE.

- 2. PIPING SHALL BE 8-INCH DIAMETER SDR-35 PVC PIPE FOR GRAVITY MAINS AND 4-INCH SDR-35 PVC PIPE FOR INDIVIDUAL SERVICE
- ANY SANITARY SEWER GRAVITY MAIN WITH EQUAL TO OR GREATER THAN 15 FEET OF COVER SHALL BE 8-INCH DIAMETER SDR-26 PVC PIPE FOR THE ENTIRE LENGTH OF THE RUN BETWEEN ADJACENT STRUCTURES. IN CASE OF CONFLICT, THIS REQUIREMENT
- SHALL SUPERCEDE ALL OTHER NOTATIONS ON THIS PLAN. 4. PIPING, STRUCTURES, AND APPURTENANCES SHALL BE DESIGNED TO WITHSTAND HS-25 HIGHWAY LOADING AND SHALL MEET OR EXCEED APPLICABLE PennDOT AND ASTM STANDARDS.
- 5. PROPOSED SANITARY SEWER MAINS, MANHOLES, AND APPURTENANCES WILL BE DEDICATED TO THE CITY OF BETHLEHEM.
- 6. PROPOSED SANITARY SEWER SERVICE LATERALS (UPSTREAM OF THE WYE FITTING) WILL BE PRIVATELY OWNED AND MAINTAINED BY THE RESPECTIVE PROPERTY OWNER.

WATER SYSTEM NOTES

- 1. WATER DISTRIBUTION SYSTEM SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH CITY OF BETHLEHEM, PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, AND AMERICAN WATER WORKS ASSOCIATION STANDARDS AND REGULATION AS APPLICABLE.
- 2. PIPING SHALL BE CLASS 52 DUCTILE IRON PIPE OF THE SIZES INDICATED HEREIN FOR MAINS AND 3/4-INCH TYPE 'K' FLEXIBLE COPPER TUBING FOR INDIVIDUAL SERVICE LINES.
- 3. PROVIDE A MINIMUM 10-FOOT HORIZONTAL SEPARATION OR 18-INCH CLEAR VERTICAL SEPARATION BETWEEN WATERLINES AND SANITARY OR STORM SEWERS WHERE PRACTICABLE.
- 4. PROVIDE CONCRETE THRUST BLOCKS BEHIND ALL BENDS, TEES, FIRE HYDRANTS AND PLUGS.
- 5. INSTALL WATER LINES AT LEAST FOUR FEET BELOW FINAL GRADE.
- 6. WATER MAINS AND APPURTENANCES WILL BE DEDICATED TO THE CITY OF BETHLEHEM.
- 7. INDIVIDUAL WATER SERVICE LATERALS (DOWNSTREAM OF CURB STOPS) WILL BE PRIVATELY OWNED AND MAINTAINED BY THE RESPECTIVE PROPERTY OWNER.
- 8. ALL EXISTING SERVICE LINES ARE TO BE DISCONNECTED FROM THE WATER MAIN,



RODERICK M. CHIRUMBOLO

PE-075093



CIVIL & CONSULTING **ENGINEERS**

> 4340 CREEK ROAD ALLENTOWN, PA 18104 (610) 297-2868 rmcengineer@hotmail.com

FRANKFORD STREET APARTMENTS EAST FRANKFORD STREET, CITY OF BETHLEHEM, PA 18015

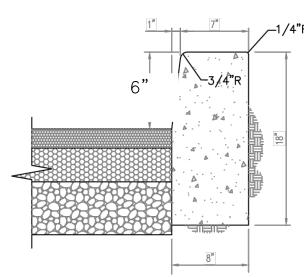
UTILITY DETAILS

SEPTEMBER 2, 2022

NTS

Project No.21084

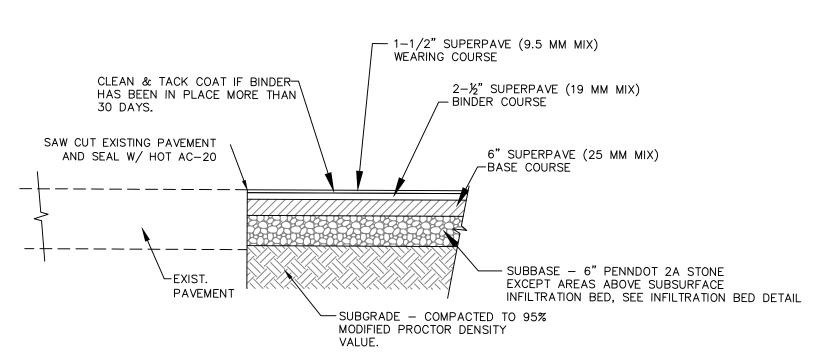
UD (5 OF 6)



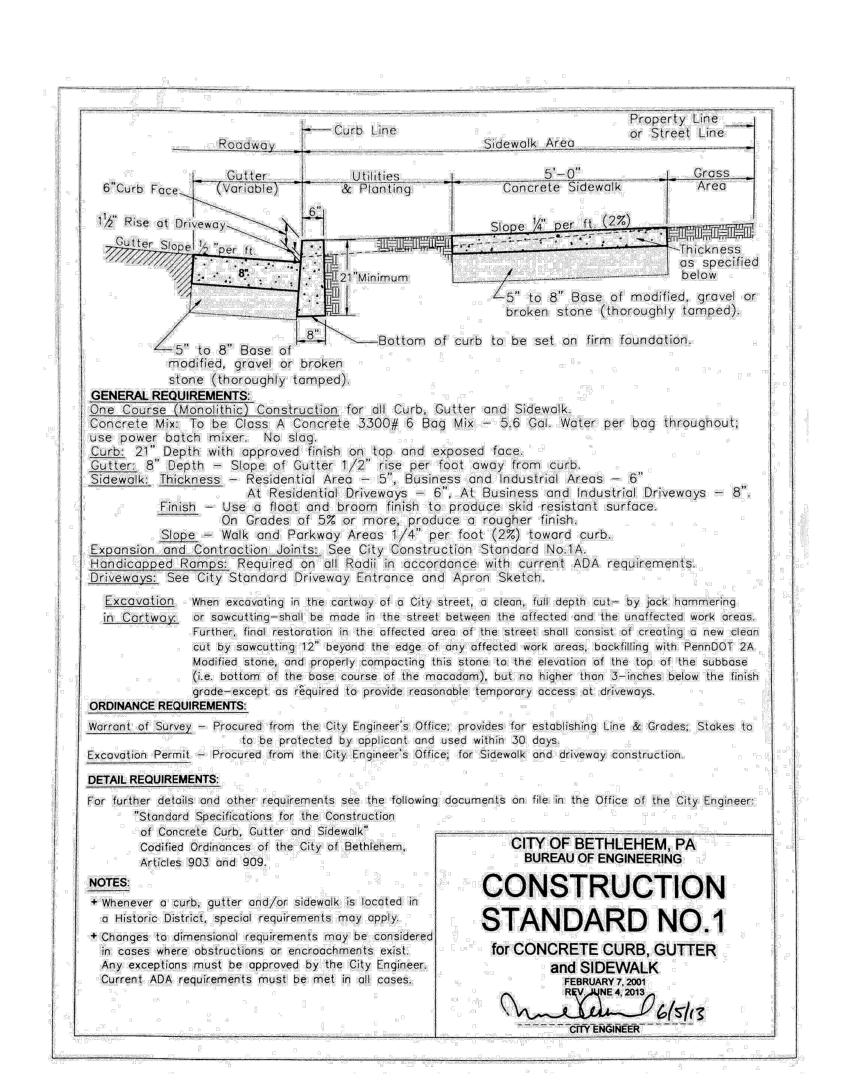
NOTE: PLAIN CEMENT CONCRETE CURB SHALL BE 18 INCHES IN DEPTH PLACED AND FINISHED IN ACCORDANCE WITH REQUIREMENTS SET FORTH IN THE LATEST EDITION OF PENNDOT SPECIFICATIONS, FORM 408. MATERIAL SHALL CONSIST OF CLASS 'A' CEMENT CONCRETE WITH 6% AIR ENTRAINMENT AND WHITE CURING COMPOUND SEALANT WITH A MINIMUM DESIGN COMPRESSIVE STRENGTH OF 3,000 AFTER 28 DAYS. MAXIMUM CONTRACTION SPACING SHALL BE 20 FEET, MINIMUM CONTRACTION SPACING SHALL BE 4 FEET. THREE QUARTER INCH EXPANSION MATERIAL JOINTS SHALL BE PLACED AT MINIMUM INTERVALS

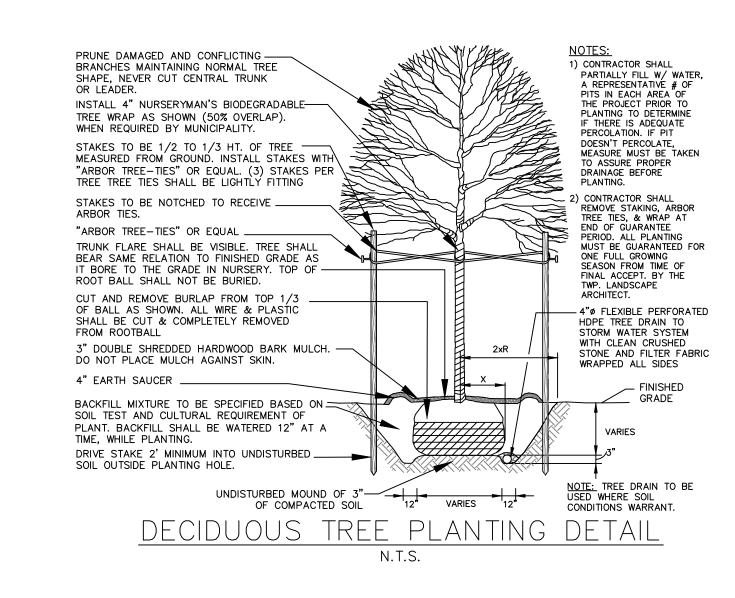
FLEXIBLE FORMS SHALL BE REQUIRED FOR ALL CURB RADII LESS THAN 150 FEET.

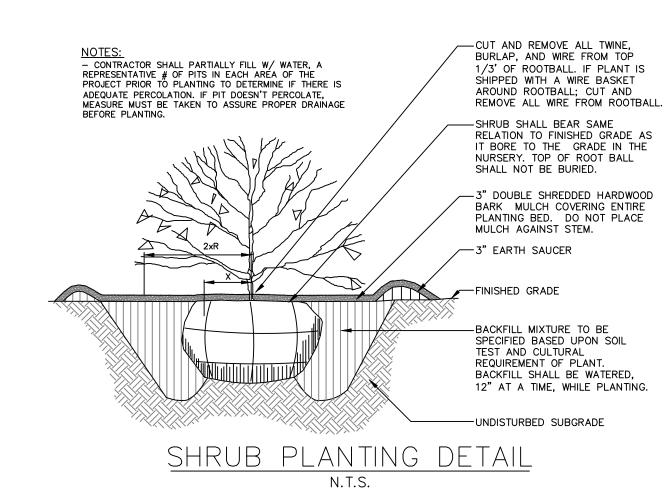
CONCRETE CURB DETAIL NOT TO SCALE

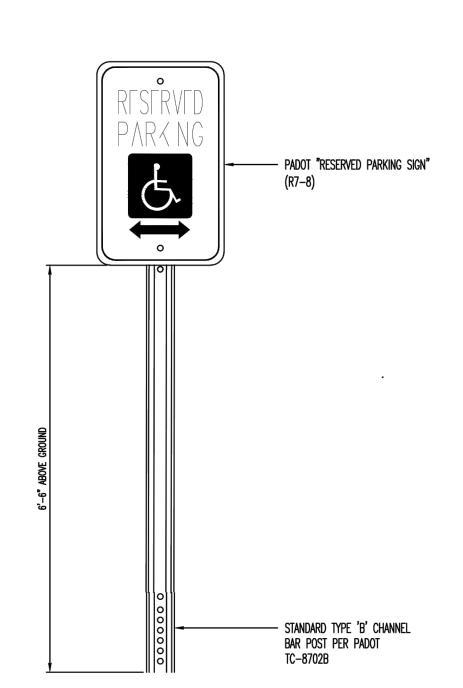












1. SIGNS TO BE INSTALLED IN ACCORDANCE WITH APPLICABLE NOTES AND SPECIFICATIONS PROVIDED WITHIN PADOT TC-8702B. 2. SIGNS TO BE INSTALLED WITHIN CONCRETE BOLLARD IF WITHIN 2 FT FROM FACE OF CURB.

ADA ACCESSIBLE PARKING SIGN

NOT TO SCALE

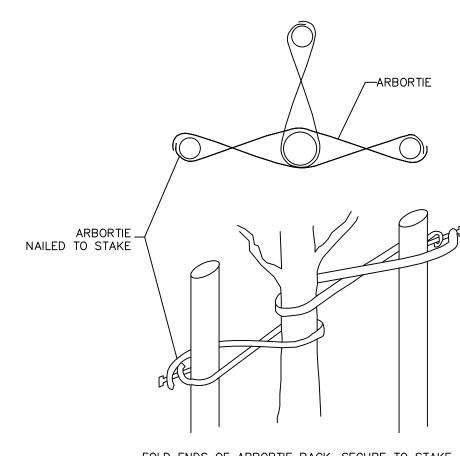
LANDSCAPING NOTES

CONDITION.

- 1. CONTRACTOR SHALL VERIFY THE PRESENCE, LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO BEGINNING LANDSCAPE CONSTRUCTION. CALL PA ONE CALL (800) 242-1776.
- 2. CONTRACTOR SHALL LAYOUT AND REVIEW ALL PLANT MATERIAL AND PLANT LOCATIONS WITH LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION.
- 3. CONTRACTOR SHALL LOCATE PLANTINGS TO AVOID PLACEMENT WITHIN SWALE CENTERLINES.

FERTILIZING, MULCHING, CULTIVATING, ETC, FOR A WEED FREE HEALTHY LANDSCAPE.

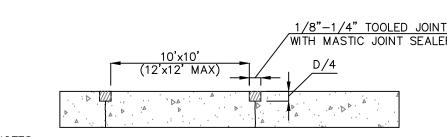
- 4. MULCH FOR ALL PLANTINGS SHALL BE DOUBLE SHREDDED HARDWOOD BARK MULCH, DARK BROWN IN COLOR, AGED AT LEAST ONE YEAR AND CLEAN AND FREE OF WEEDS.
- 5. ALL PLANT GROUPINGS AND HEDGES SHALL BE COMPLETELY ENCOMPASSED WITHIN ONE LARGE MULCH BED AT EACH PLANT GROUPING LOCATION.
- 6. CONTRACTOR SHALL APPLY A PRE-EMERGENT WEED PREVENTATIVE SUCH AS TREFLAN TO TOPSOIL PRIOR TO MULCHING ACTIVITIES.
- CONTRACTOR SHALL MAINTAIN ALL NEW PLANTINGS FOR A PERIOD OF THIRTY DAYS. THIS SHALL INCLUDE WATERING,
- 8. CONTRACTOR SHALL PERMANENTLY RESTORE ALL NON-PAVED AREAS ON THE SUBJECT PROPERTY TO A GRASSED
- 9. CONTRACTOR SHALL TEST EXISTING TOPSOIL TO DETERMINE PROPER LIME AND FERTILIZER APPLICATION RATES. PERMANENT LAWN ESTABLISHMENT SHALL INCLUDE FINE GRADING OF TOPSOIL, SEEDING, FERTILIZER, MULCH, AND ADEQUATE 60-DAY MAINTENANCE IN ORDER TO ACHIEVE A "GOOD STAND" OF TURF. A "GOOD STAND" OF TURF SHALL BE DEFINED AS A WEED FREE LAWN WITH 95% COVERAGE UPON CLOSE EXAMINATION OF ANY GIVEN FOUR SQUARE FOOT
- 10. CONTRACTOR SHALL GUARANTEE ALL REQUIRED PLANTINGS FOR A PERIOD OF TWENTY-FOUR MONTHS FROM THE DATE OF FINAL ACCEPTANCE. PLANTINGS SHALL BE ALIVE AND HEALTHY AS DETERMINED BY THE ARCHITECT, OWNER, OR HIS AGENT AT THE END OF THE GUARANTEE PERIOD. FINAL ACCEPTANCE SHALL BEGIN UPON SUCCESSFUL COMPLETION OF THE REQUIRED MAINTENANCE PERIOD.
- 11. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBANCE IS ALLOWED IN THE TREE PROTECTION ZONE UNLESS INDICATED ON THE PLAN.
- 12. TREE PROTECTION BARRICADES MUST BE INSTALLED PRIOR TO ANY DESTRUCTION AND/OR CONSTRUCTION ACTIVITY.
- 13. THE ROOT PROTECTION ZONE SHALL BE DEFINED AS THE AREA ENCOMPASSED BY A CIRCLE WITH A RADIUS EXTENDING 1.25 FT. FROM THE TRUNK OF THE TREE FOR EVERY INCH DBH (DIAMETER AT BREAST HEIGHT) OF THE TREE.
- 14. VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO PENALTY PER CITY ORDINANCE.
- 15. ALL TREES ON PUBLIC PROPERTY ARE PROTECTED BY ORDINANCE: NO PRUNING, ROOT PRUNING OF ROOTS OVER ONE INCH IN DIAMETER, AND/OR TREE REMOVAL IS TO BE PERFORMED WITHOUT A PERMIT AND WORK MUST BE PERFORMED BY A CITY LICENSED TREE CONTRACTOR.
- 16. ALL PLANT MATERIALS ARE TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- 17. STREET AND PARKING LOT TREES SHALL BE A MINIMUM OF 14 FT. IN HEIGHT AND HAVE A SINGLE STRAIGHT TRUNK WITH THE FIRST LATERAL BRANCH AT 7 FT. ABOVE THE ROOT BALL. TREES WITH AN UPRIGHT BRANCHING HABIT, SUCH AS ZELKOVA, MAY HAVE THE FIRST LATERAL BRANCH AT 6 FT, ABOVE THE ROOT BALL.
- 18. ALL LANDSCAPING SHALL CONFORM TO THE CURRENT EDITION OF THE ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE OF THE CITY OF BETHLEHEM.
- 19. A ROOT CONTROL SYSTEM IS REQUIRED WHEN INSTALLING STREET TREES. THE ROOT BARRIER SHALL BE OF THE BIO-BARRIER TYPE AND A MINIMUM OF EIGHTEEN (18) INCHES WIDE. ANY SUBSTITUTION SHALL BE APPROVED BY THE CITY FORESTER. THE ROOT-CONTROL SYSTEM IS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TREE OPENINGS IN THE SIDEWALK SHALL HAVE THE BIO-BARRIER INSTALLED ALONG THE FACE OF THE TREE OPENING WHICH IS PARALLEL TO THE STREET AND CLOSEST TO THE PROPERTY LINE, OVERLAPPING THE NEAREST TWO CORNERS BY APPROXIMATELY FOUR (4) INCHES. WHERE TREES ARE TO BE PLANTED IN A PARKWAY OR PLANTING STRIP BETWEEN CURB AND SIDEWALK, THE BARRIER SHALL BE INSTALLED ALONG THE SIDEWALK EDGE CLOSEST TO THE CURB AND CENTERED ON THE ROOT SOURCE. THE LENGTH OF THE BARRIER SHALL BE A MINIMUM LENGTH EQUAL TO THE SPREAD OF THE TREE CANOPY AT MATURITY PLUS TEN (10) FEET.



FOLD ENDS OF ARBORTIE BACK. SECURE TO STAKE WITH 1" GALVANIZED ROOFING NAIL OR USE A KNOT.

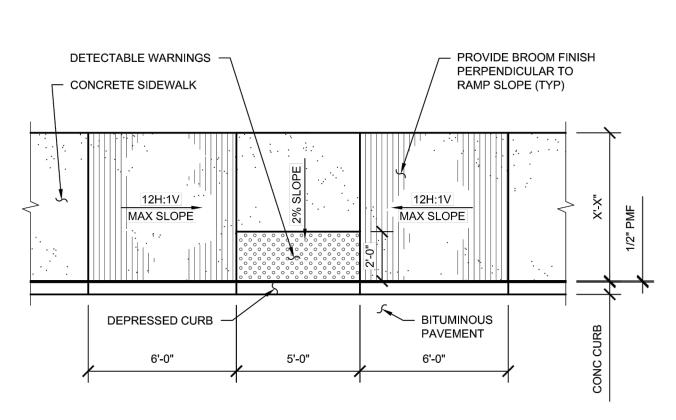
STAKING DETAIL

N.T.S.



1) EXPANSION JOINTS TO BE LOCATED AT ALL STRUCTURES; AND WHERE PATIO ABUTS THE EXISTING CONCRETE 2) EXPANSION MATERIALS TO BE 1/2" PREMOLDED, ASPHALT IMPREGNATED, JOINT FILLER. 3) TOOLED JOINTS TO BE SPACED EQUAL TO THE PATIO WIDTH 10'x10' (12'x12' MAX).

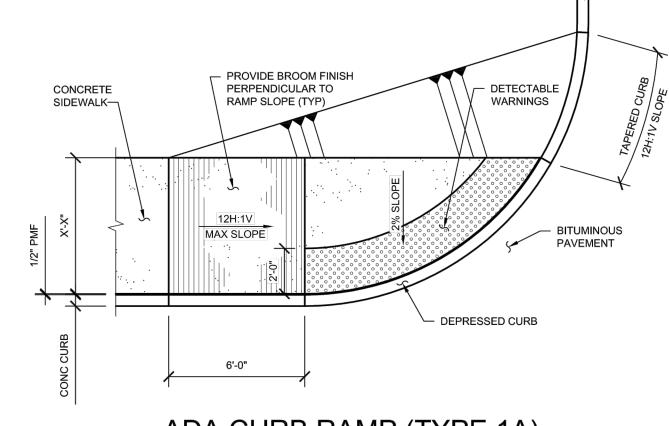
4) ALL MATERIALS AND METHODS TO BE IN CONFORMANCE WITH THE STANDARD SPECIFICATIONS.



ADA CURB RAMP

NOT TO SCALE

1. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A NOMINAL DIAMETER OF 0.9 INCH. A NOMINAL HEIGHT OF 0.2 INCH AND A CENTER TO CENTER SPACING OF 2.35 INCHES AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.



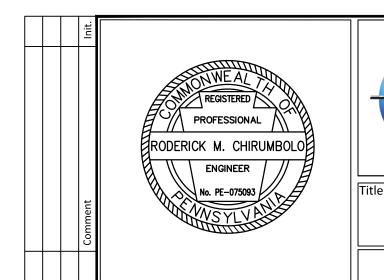
ADA CURB RAMP (TYPE 1A)

NOT TO SCALE

1. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A NOMINAL DIAMETER OF 0.9 INCH. A NOMINAL HEIGHT OF 0.2 INCH AND A CENTER TO CENTER SPACING OF 2.35 INCHES AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.

SEE CONCRETE SIDEWALK DETAIL. 3. SEE CONCRETE CURB DETAIL.

NTS



RODERICK M. CHIRUMBOLO

PE-075093



CIVIL & CONSULTING **ENGINEERS**

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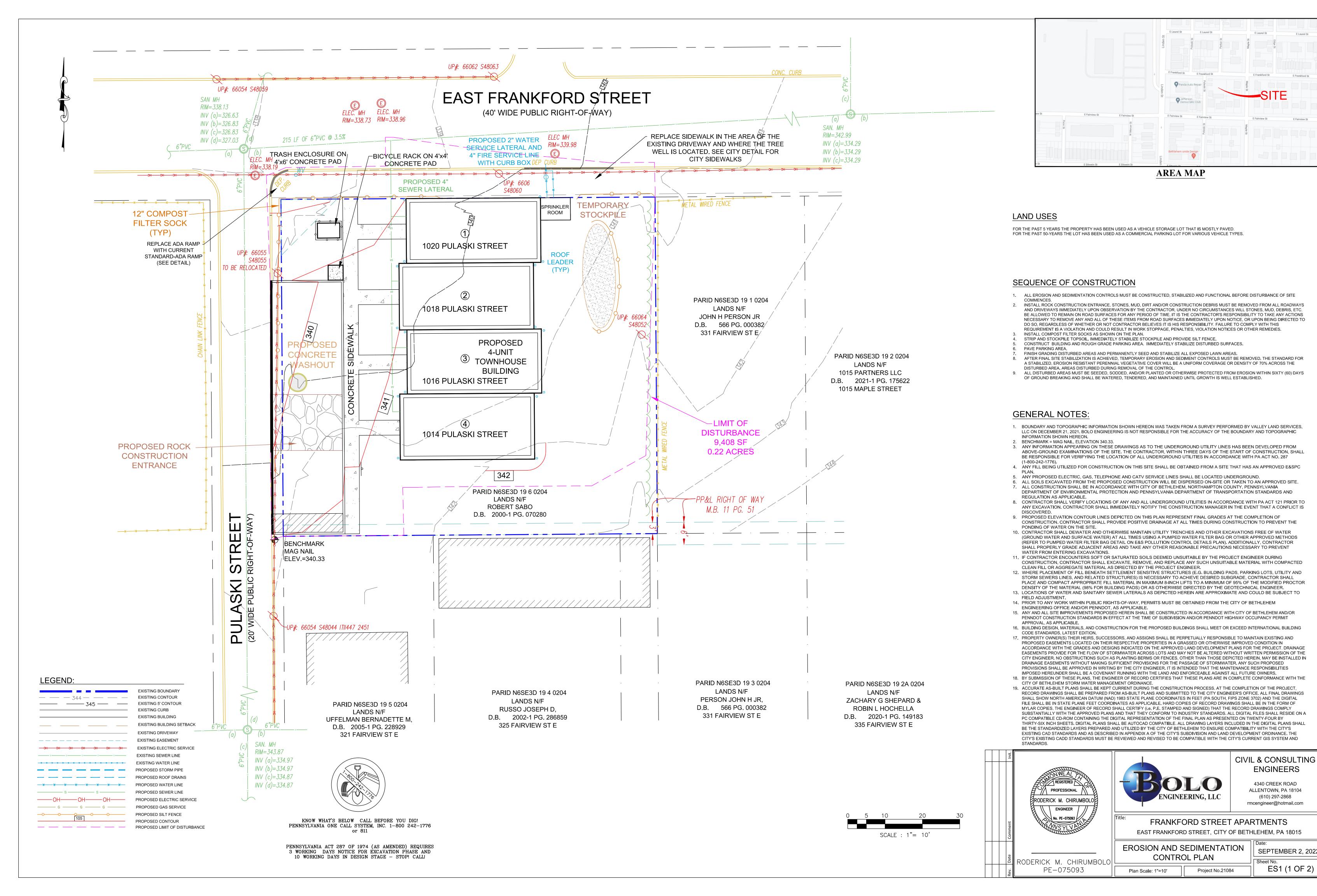
FRANKFORD STREET APARTMENTS EAST FRANKFORD STREET, CITY OF BETHLEHEM, PA 18015

CONSTRUCTION DETAILS

SEPTEMBER 2, 2022

CD (6 OF 6)

Project No.21084



ENGINEERS

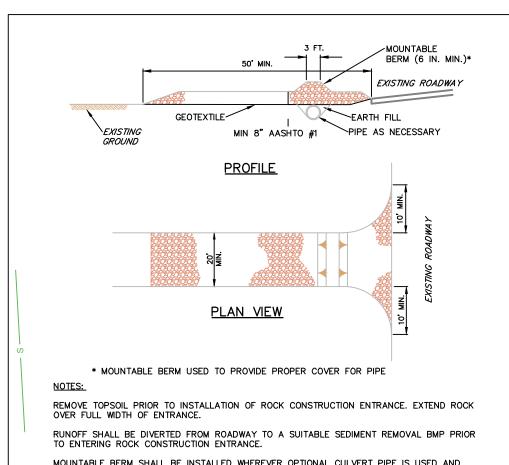
4340 CREEK ROAD

ALLENTOWN, PA 18104

SEPTEMBER 2, 2022

ES1 (1 OF 2)

(610) 297-2868



MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AN PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE

> STANDARD CONSTRUCTION DETAIL #3-1 ROCK CONSTRUCTION ENTRANCE NOT TO SCALE

TARIF 41

Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MFPP)	Heavy Duty Multi-Filament Polypropylene (HDMFPP)
Material Characteristics	Photo- degradable	Photo- degradable	Bio- degradable	Photo- degradable	Photo- degradable
Sock Diameters	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength		26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years
		Two-pl	y systems	HDPE biaxial n	

TABLE 4.2

Inner Containment Netting

Compost S	Compost Standards				
Organic Matter Content	25% - 100% (dry weight basis)				
Organic Portion	Fibrous and elongated				
рН	5.5 - 8.5				
Moisture Content	30% - 60%				
Particle Size	30% - 50% pass through 3/8" sieve				
Soluble Salt Concentration	5.0 dS/m (mmhos/cm) Maximum				

Sock fabrics composed of burlap may be used on projects lasting 6 months or less.

usion-welded junctures

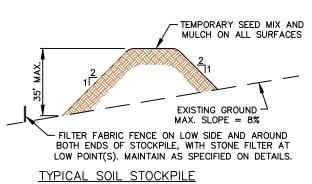
Composite Polypropylene Fabri

(Woven layer and non-woven fleece

mechanically fused via needle punch)

3/16" Max. aperture size

/4" X 3/4" Max. aperture size



N.T.S. SOIL STOCKPILE MAINTENANCE STOCKPILE TOPSOIL OR EXCAVATED SOIL MATERIAL AT LOCATIONS SHOWN FOR EACH PHASE OF CONSTRUCTION.

. HEIGHT AND SIDE SLOPES SHALL NOT EXCEED MAXIMUM VALUES SHOWN ON 5. INSTALL COMPOST FILTER SOCK PRIOR TO STOCKPILING OF MATERIAL. F. REPLACE ANY FENCE REMOVED FOR VEHICULAR ACCESS AFTER EACH WORK DAY.

IMMEDIATELY APPLY A TEMPORARY SEED MIX AND MULCH WHEN PILE IS NOT SUBJECT TO VEHICULAR ACCESS.

PERMANENT SEEDING TEMPORARY SEEDING TYPE OF COVER AND SPECIES OR MIXTURES AMOUNT PER 1,000 SF

1 TON PER ACRE

FERTILIZER 500 LBS 10-10-10 PER ACRE

3 TONS PER ACRE

40.0 LB

100% ANNUAL RYE

MULCH

TYPE OF COVER AND SPECIES OR MIXTURES PER 1,000 SF 90.0 LB 6 LB RECOMMENDED FERTILIZATION RATE RECOMMENDED FERTILIZATION RATE 6 TONS PER ACRE FERTILIZER | 1000 LBS 10-20-20 PER ACRE

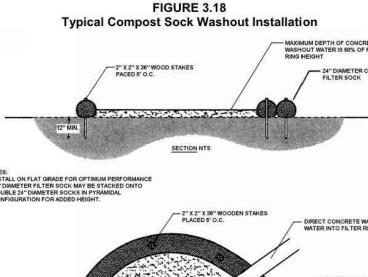
MULCH 3 TONS PER ACRE

NOTES SEED SHALL BE A MINIMUM 90% PURITY AND 80% GERMINATION. LIME SHALL BE AGRICULTURAL LIMESTONE AT 90% MINIMUM OF CARBONATES.

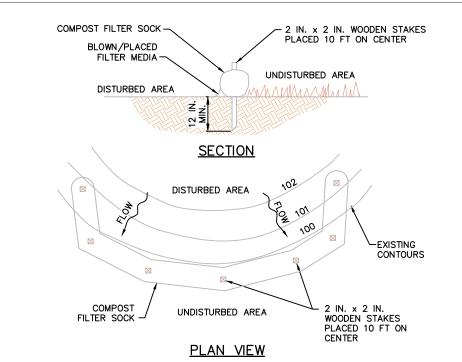
SEEDING SPECIFICATIONS

NOT TO SCALE

NOTE: SEEDING SHOULD TAKE PLACE BETWEEN THE MONTHS OF APRIL AND OCTOBER.



A suitable impervious geomembrane shall be placed at the location of the washout prior to installing the socks. Adapted from Filtrexx



SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL. USE SPECIFIED SOCK FABRIC ON TABLE 4.1 (THIS SHEET). COMPOST FILTER SOCK FILL MATERIAL SHALL BE TESTED AND THE RESULTS REPORTED TO LEHIGH COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF

BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT

OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. AMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION. BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; IOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED, IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT. STANDARD CONSTRUCTION DETAIL #4-1

COMPOST FILTER SOCK

TABLE 11.6 Mulch Application Rates

	Application Rate (Min.)			
Mulch Type	Per Acre	Per 1,000 sq. ft.	Per 1,000 sq. yd.	Notes
Straw	3 tons	140 lb.	1,240 lb.	Either wheat or oat straw, free of weeds, not chopped or finely broken
Hay	3 tons	140 lb.	1,240 lb.	Timothy, mixed clover and timothy or other native forage grasses
Wood Chips	4 - 6 tons	185 - 275 lb.	1,650 - 2,500 lb.	May prevent germination of grasses and legumes
Hydromulch	1 ton	47 lb.	415	See limitations above

NOTE: HIGHLIGHTED MULCH IS PREFERRED METHOD OF STABILIZATION

CLEAN FILL

CLEAN FILL IS DEFINED AS UNCONTAMINATED. NON-WATER SOLUBLE. NON-DECOMPOSABLE. INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE).

CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS ON TABLES FP-1a AND FP-1b FOUND IN THE DEP POLICY "MANAGEMENT OF FILL".

ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FOR FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL AND MUST BE KEPT ON SITE AND MADE AVAILABLE UPON REQUEST BE DEP OR AUTHORIZED CONSERVATION DISTRICT. FAILURE TO PRODUCE THE FORM UPON REQUEST MAY RESULT IN THE REVOKING. SUSPENSION OR TERMINATION OF YOUR PERMIT COVERAGE.

ENVIRONMENTAL DUE DILIGENCE

ENVIRONMENTAL DUE DILIGENCE INCLUDES THE INVESTIGATIVE TECHNIQUES. INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.

ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL ME HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEP POLICY "MANAGEMENT

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL, REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEP MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25Pa. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.

RECYCLING AND DISPOSAL OF MATERIALS

OPERATOR/PERMITTEE SHALL INSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. CONSTRUCTION WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY. MEASURES SHOULD BE PLANNED AND IMPLEMENTED FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL. OFF-SITE TRANSPORT OF MATERIALS REQUIRES THAT THE RECEIVING FACILITY HAVE IT'S OWN APPROVED. ACTIVE PERMIT TO RECEIVE SUCH MATERIALS.

SOIL LIMITATION RESOLUTIONS

EXCAVATION SHALL BE DEWATERED AS NECESSARY USING DESILTING BAGS ON STRAW BALE STRUCTURE TO MINIMIZE EROSION AND SEDIMENTATION OUTSIDE THE PROJECT AREA. THE DOWN SLOPE SIDE OF THE DEWATERING SITES WILL BE PROTECTED WITH SILTSOXX AND LOCATED AN AMPLE DISTANCE FROM DRAINAGE CHANNELS TO ALLOW FOR NATURAL FILTERING OF THE WATER BY THE EXISTING VEGETATION.

CUTBANKS CAVING

THE CAVING IN OF STEEP EXCAVATION SIDE SLOPES IS ANTICIPATED DUE TO THE PERCENTAGE OF SAND AND SILT THAT COMPRISES THE SOILS WITHIN THE PROJECT AREA. TRENCH BOXES AND SLOPING-BACK OF THE TRENCH WALLS WILL BE PERFORMED AT THE DISCRETION OF THE CONTRACTOR IN ACCORDANCE WITH OSHA REGULATIONS

CORROSIVE SOILS MAY BE PRESENT WITHIN THE PROPOSED WORK AREA. A SOIL TEST TO DETERMINE THE RESISTIVITY SHOULD BE CONDUCTED PRIOR TO CONSTRUCTION. A CATHODIC PROTECTION SYSTEM WILL BE USED ON THE PIPELINES TO SLOW THE CORROSION PROCESS.

THE RIGHT-OF-WAY AND TEMPORARY WORKSPACE WILL BE TEMPORARILY GRADED, OR TWO-TONED, IN ORDER TO ALLOW TYPICAL TRENCHING. THIS WAS CONSIDERED WHEN DETERMINING THE SIZE AND ORIENTATION OF THE TEMPORARY WORKSPACE.

MAINTENANCE PROGRAM

STRINGENT REQUIREMENTS ARE DISCUSSED ON THE LAND DEVELOPMENT PLANS.

ROCK CONSTRUCTION ENTRANCE - THE STRUCTURE'S THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSION BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL MUST BE MAINTAINED ON THE SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PUBLIC ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE.

COMPOST FILTER SOCKS - SEDIMENT MUST BE REMOVED WHERE ACCUMULATIONS REACH ½ THE ABOVE GROUND HEIGHT OF THE STRUCTURE. REPAIR ALL UNDERCUTTING OR EROSION OF THE TOE ANCHOR IMMEDIATELY WITH COMPACTED BACKFILL MATERIALS. ANY COMPOST FILTER SOCKS WHICH HAVE BEEN UNDERMINED OR TOPPED, MUST BE REPAIRED BY THE END OF THE WORK DAY. SEDIMENT DEPOSITS MUST SPREAD ACROSS THE SITE AS FILL, WHEN SUITABLE OR TRANSPORTED OFF-SITE FOR PROPER

TEMPORARY STABILIZATION - ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED AND WHICH WILL REMAIN EXPOSED SHALL BE

STABILIZED IMMEDIATELY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES.

UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION CONTROLS MUST BE MAINTAINED. MAINTENANCE MUST INCLUDE INSPECTION OF ALL ESC MEASURES AFTER EACH RUNOFF EVENT AND ON A MINIMUM OF A WEEKLY BASIS. ALL PREVENTION AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RE-GRADING, RESEEDING, AND RE-MULCHING. MUST BE PERFORMED WITHIN 24 HOURS OF OBSERVANCE, SHOULD ANY MEASURES CONTAINED WITHIN THIS PLAN PROVE INCAPABLE OF ADEQUATELY REMOVING SEDIMENT FROM ON-SITE FLOWS PRIOR TO DISCHARGE, OR OF STABILIZING THE SURFACES INVOLVED, ADDITIONAL MEASURES MUST BE IMPLEMENTED TO ELIMINATE ALL SUCH PROBLEMS.

SOIL TYPE

THE FOLLOWING SOIL TYPE IS SHOWN ON THE PROJECT SITE ON WEB SOIL SURVEY.

UoB, URBAN LAND-DUFFIELD COMPLEX, 0 TO 6 PERCENT SLOPES (ENTIRE SITE)

HSG BNOT PRIME FARMLAND

DURATION OF THE PROJECT.

- NON-HYDRIC SOILS
- WELL-DRAINED SOILS

RESOLUTIONS TO SOIL TYPE LIMITATIONS

1. CONSTRUCTION ACTIVITIES WILL BE SEQUENCED IN SUCH A WAY AS TO PREVENT THE DEVELOPMENT OF LOW SPOTS AND

- STANDING WATER. 2. THE CONTRACTOR SHALL EXCAVATE UNSUITABLE SOIL TO A SUFFICIENT DEPTH AND REPLACE SAME WITH SUITABLE MATERIAL, AS DIRECTED BY PROJECT ENGINEER.
- THE CONTRACTOR SHALL EXCAVATE ROCK BY MEANS OF PNEUMATIC HAMMERING OR RIPPING TO A SUFFICIENT DEPTH (MINIMUM TWO (2) FEET BELOW THE BOTTOM ELEVATION OF INFILTRATION FACILITIES) AND REPLACE SAME WITH SUITABLE MATERIAL, AS
- DIRECTED BY PROJECT ENGINEER 4. THE CONTRACTOR SHALL DEWATER OR OTHERWISE MAINTAIN ALL EXCAVATIONS AND TRENCHES FREE OF WATER FOR THE
- 5. THE CONTRACTOR SHALL REPAIR SINKHOLES IMMEDIATELY UPON DISCOVERY IN ACCORDANCE WITH THE SINKHOLE REPAIR DETAIL ON THE PLAN OR AS DIRECTED BY THE PROJECT ENGINEER.

STANDARD EROSION AND SEDIMENT CONTROL PLAN NOTES

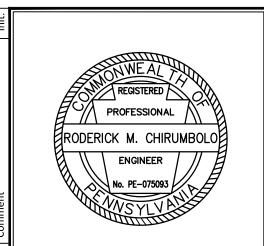
- 1) ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- 2) AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS. THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER. THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A
- REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING. 3) AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES. OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED. THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- 4) ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER **OBJECTIONABLE MATERIAL**
- 6) CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN. 7) AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE
- PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN. 8) TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION, EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES
- SHALL BE 2H:1V OR FLATTER. 9) IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- 0) ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THIS SITE.
- 11) ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED 12) THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE
- PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING. 13) ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN. OVER UNDISTURBED VEGETATED AREAS. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER
- BAG DISCHARGING OVER NON-DISTURBED AREAS. 14) VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM THE LOT ONTO ANY STREET. VEHICLES AND EQUIPMENT MAY ONLY ENTER AND EXIT THE CONSTRUCTION SITE VIA A STABILIZED ROCK CONSTRUCTION ENTRANCE. 15) UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. THE OPERATOR WILL MAINTAIN AND MAKE AVAILABLE TO

LOCAL COUNTY CONSERVATION DISTRICT COMPLETE, WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL PREVENTATIVE AND REMEDIAL

- MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED 16) A LOG SHOWING DATES THAT F&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION
- 17) SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED. SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- 18) ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES. 19) AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES – 6 TO 12 INCHES ON COMPACTED SOILS – PRIOR
- TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL. 20) ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR
- 21) ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS. 22) FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS
- 23) FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS. 24) FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- 25) SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD 26) ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK
- AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS. SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN 27)IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT. THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS, DURING NON-GERMINATING MONTHS, MULCH OR OTHER PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE
- PLAN AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS. 28) PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE
- COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR MOTHER MOVEMENTS.
- 29) EROSION AND SEDIMENT BMPS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPS. E&S BMPS SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT
- 30)UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPS. 31) AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED. TEMPORARY EROSION AND SEDIMENT BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPS, AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPS SHALL
- BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS. SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON. 32) UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS. THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
- PROPER IMPLEMENTATION OF THIS PLAN REQUIRES MAINTENANCE OF THE PROPOSED ESC MEASURES, AS FOLLOWS, UNLESS MORE 33) FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES
 - FOR EACH VIOLATION 34)IN THE EVENT OF SINKHOLE DISCOVERY A PROFESSIONAL GEOLOGIST OR ENGINEER WILL BE CONTACTED CONCERNING MITIGATION. ADDITIONALLY, THE LOCAL COUNTY CONSERVATION DISTRICT WILL BE MADE AWARE OF THE SINKHOLE DISCOVERY IMMEDIATEL 5) THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED 36) THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND
 - REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL. 37) THE E&S CONTROL PLAN MAPPING MUST DISPLAY A PA ONE CALL SYSTEM INCORPORATED SYMBOL INCLUDING THE SITE IDENTIFICATION NUMBER. (THIS IS A NUMBERED SYMBOL NOT A NOTE.)
 - 38) AT STREAM CROSSINGS, 50' BUFFER AREAS SHOULD BE MAINTAINED. ON BUFFERS, CLEARING, SOD DISTURBANCES, EXCAVATION, AND EQUIPMENT TRAFFIC SHOULD BE MINIMIZED. ACTIVITIES SUCH AS STACKING LOGS, BURNING CLEARED BRUSH, DISCHARGING RAINWATER FROM TRENCHES. WELDING PIPE SECTIONS. REFUELING AND MAINTAINING FOUIPMENT SHOULD BE ACCOMPLISHED OUTSIDE OF BUFFERS
 - 39) ALL WETLANDS MUST BE DELINEATED AND PROTECTED WITH ORANGE SAFETY FENCE PRIOR TO ANY EARTHMOVING ACTIVITY. 40)STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN
 - 41)CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS 42) ALL CHANNELS SHALL BE KEPT FREE OF OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO FILL, ROCKS, LEAVES, WOODY DEBRIS, ACCUMULATED
 - SEDIMENT, EXCESS VEGETATION, AND CONSTRUCTION MATERIAL/WASTES. 43)UNDERGROUND UTILITIES CUTTING THROUGH ANY ACTIVE CHANNEL SHALL BE IMMEDIATELY BACKFILLED AND THE CHANNEL RESTORED TO ITS ORIGINAL CROSS-SECTION AND PROTECTIVE LINING. ANY BASE FLOW WITHIN THE CHANNEL SHALL BE CONVEYED PAST THE WORK AREA IN THE MANNER DESCRIBED IN THIS PLAN UNTIL SUCH RESTORATION IS COMPLETE.
 - 44) CHANNELS HAVING RIPRAP. RENO MATTRESS. OR GABION LININGS MUST BE SUFFICIENTLY OVER-EXCAVATED SO THAT THE DESIGN DIMENSIONS WILL BE PROVIDED AFTER PLACEMENT OF THE PROTECTIVE LINING 45) SEDIMENT BASINS AND/OR TRAPS SHALL BE KEPT FREE OF ALL CONSTRUCTION WASTE, WASH WATER, AND OTHER DEBRIS HAVING POTENTIAL TO CLOG THE BASIN/TRAP OUTLET STRUCTURES AND/OR POLLUTE THE SURFACE WATERS.
 - 46)SEDIMENT BASINS SHALL BE PROTECTED FROM UNAUTHORIZED ACTS BY THIRD PARTIES 47) BAFFLES MUST BE INSTALLED TO ALLOW BASIN MAINTENANCE AND CLEAN OUT 48) ANY DAMAGE THAT OCCURS IN WHOLE OR IN PART AS A RESULT OF BASIN OR TRAP DISCHARGE SHALL BE IMMEDIATELY REPAIRED BY THE PERMITTEE IN A PERMANENT MANNER SATISFACTORY TO THE MUNICIPALITY, LOCAL CONSERVATION DISTRICT, AND THE OWNER OF THE DAMAGED
 - 49) UPON REQUEST, THE APPLICANT OR HIS CONTRACTOR SHALL PROVIDE AN AS-BUILT (RECORD DRAWING) FOR ANY SEDIMENT BASIN OR TRAP TO THE MUNICIPAL INSPECTOR, LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
 - 50) EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER, WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS. 51) FILL MATERIAL FOR EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN MAXIMUM 8 LAYERED LIFTS AT 95 % DENSITY.

CHAPTER 93 STREAM CLASSIFICATION

THE RECEIVING WATERS FOR THIS PROJECT IS THE LEHIGH RIVER WHICH HAS A PADEP CHAPTER 93 DESIGNATED USE OF WARM-WATER



RODERICK M. CHIRUMBOL

PE-075093

FISHES/MIGRATORY FISHES (WWF/MF).



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EROSION AND SEDIMENTATION CONTROL NOTES AND DETAILS

AS NOTED

Project No.21084

ES2 (2 OF 2)

SEPTEMBER 2, 2022

