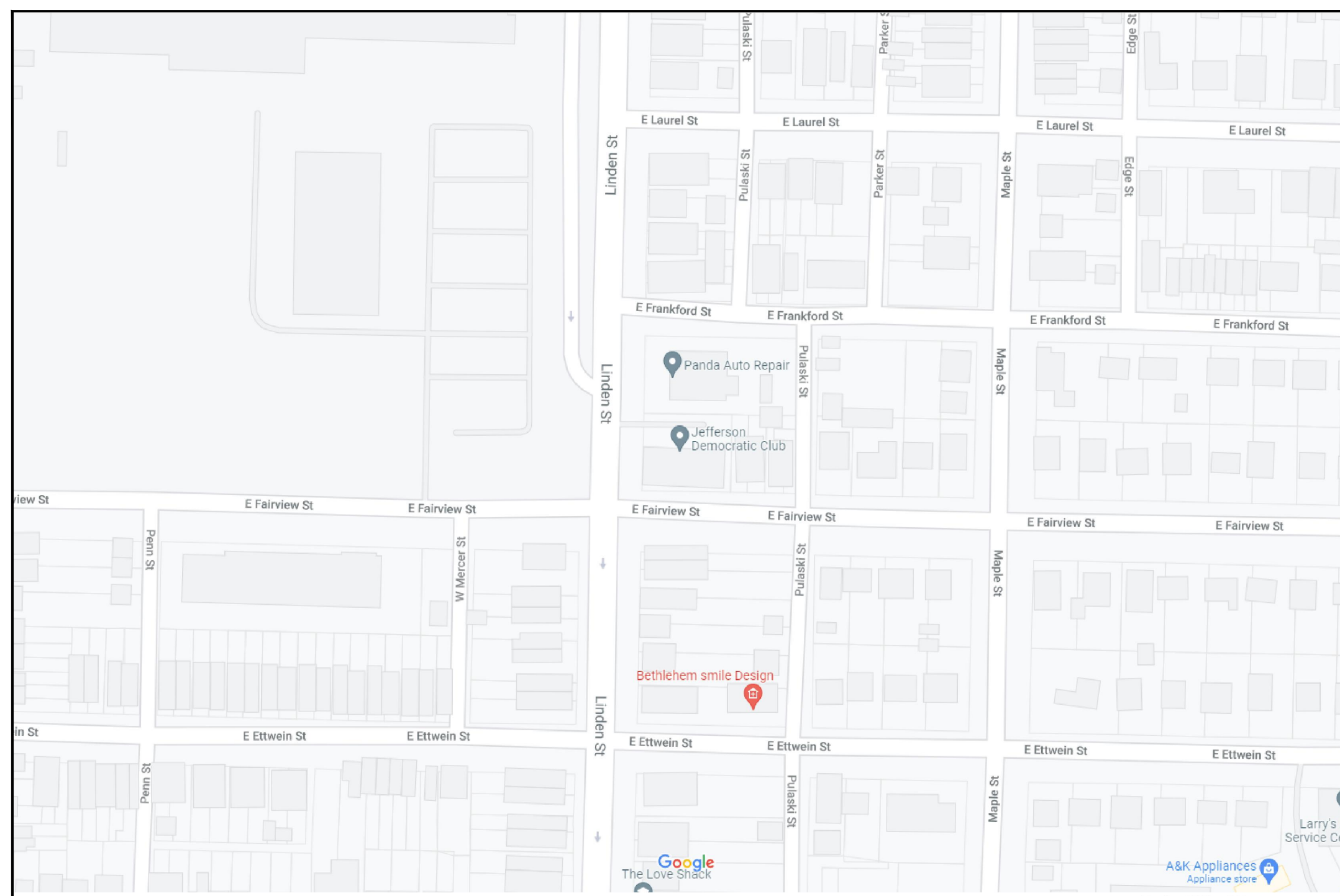
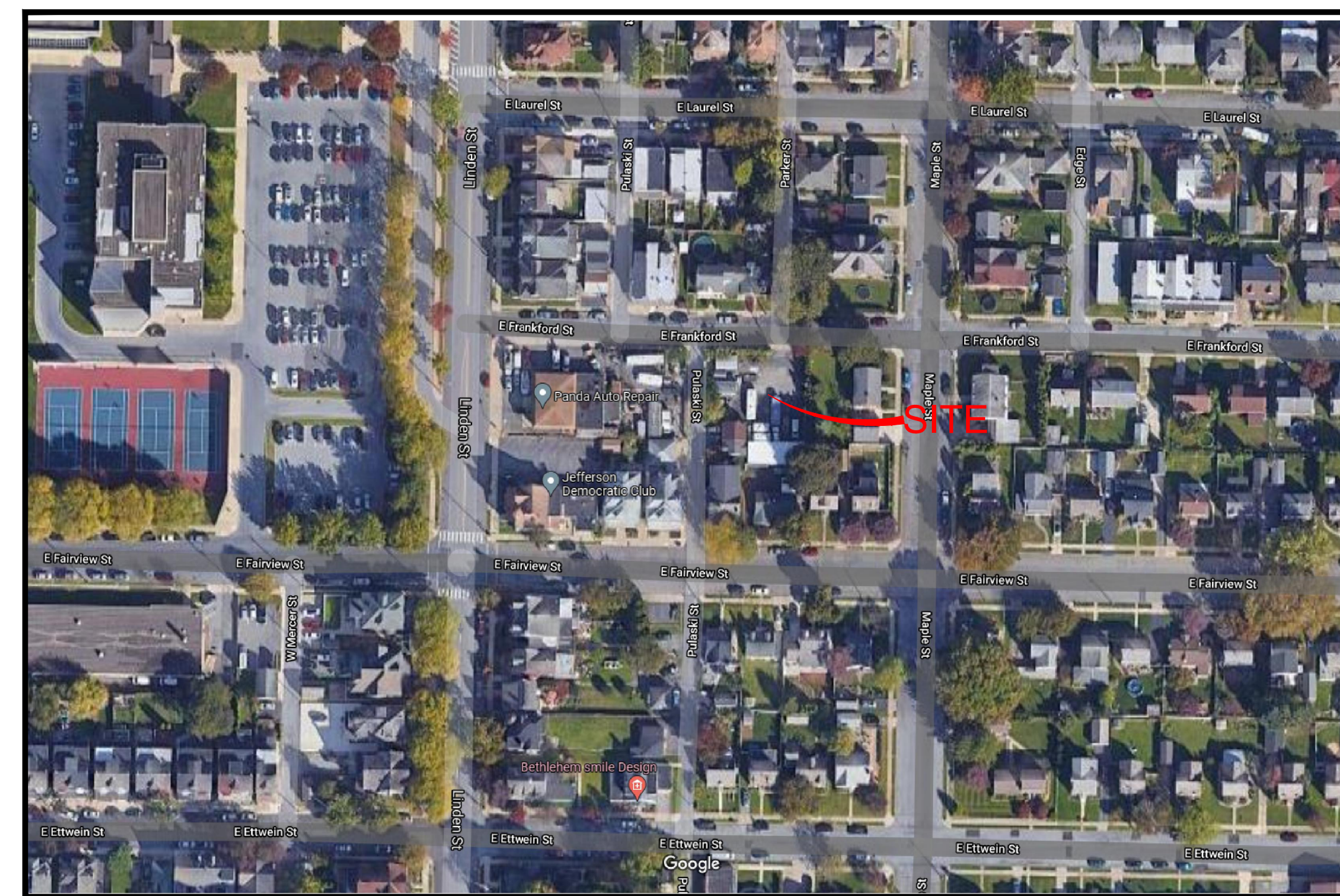


FRANKFORD STREET APARTMENTS

EAST FRANKFORD AND PULASKI STREETS
CITY OF BETHLEHEM
NORTHAMPTON COUNTY, PA



AREA MAP



AERIAL MAP

DRAWING INDEX

SHEET NO.	TITLE
CV 1 OF 6.....	COVER SHEET
EC 2 OF 6.....	EXISTING CONDITIONS & DEMOLITION PLAN
RP 3 OF 6.....	RECORD PLAN
GU 4 OF 6.....	GRADING AND UTILITY PLAN
UD 5 OF 6.....	UTILITY DETAILS
CD 6 OF 6.....	CONSTRUCTION DETAILS
ES1 1 OF 2.....	EROSION & SEDIMENTATION CONTROL PLAN
ES2 2 OF 2.....	EROSION & SEDIMENTATION CONTROL NOTES AND DETAILS
LANDSCAPE PLAN - BY OTHERS	

OWNER
ROBERT SABO
482 ELMHURST AVENUE
BETHLEHEM, PA 18017-3873

EQUITABLE OWNER /
APPLICANT / DEVELOPER
DOMINIC VILLANI, JR.
555 ASHWOOD DRIVE
NAZARETH, PA 18064

FRANKFORD STREET APARTMENTS

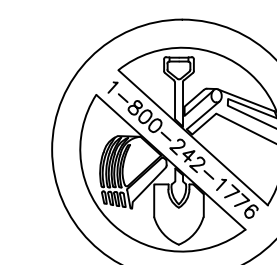
SHEET No: CV

1 OF 6

SEPTEMBER 2, 2022

REVISED: OCTOBER 10, 2022

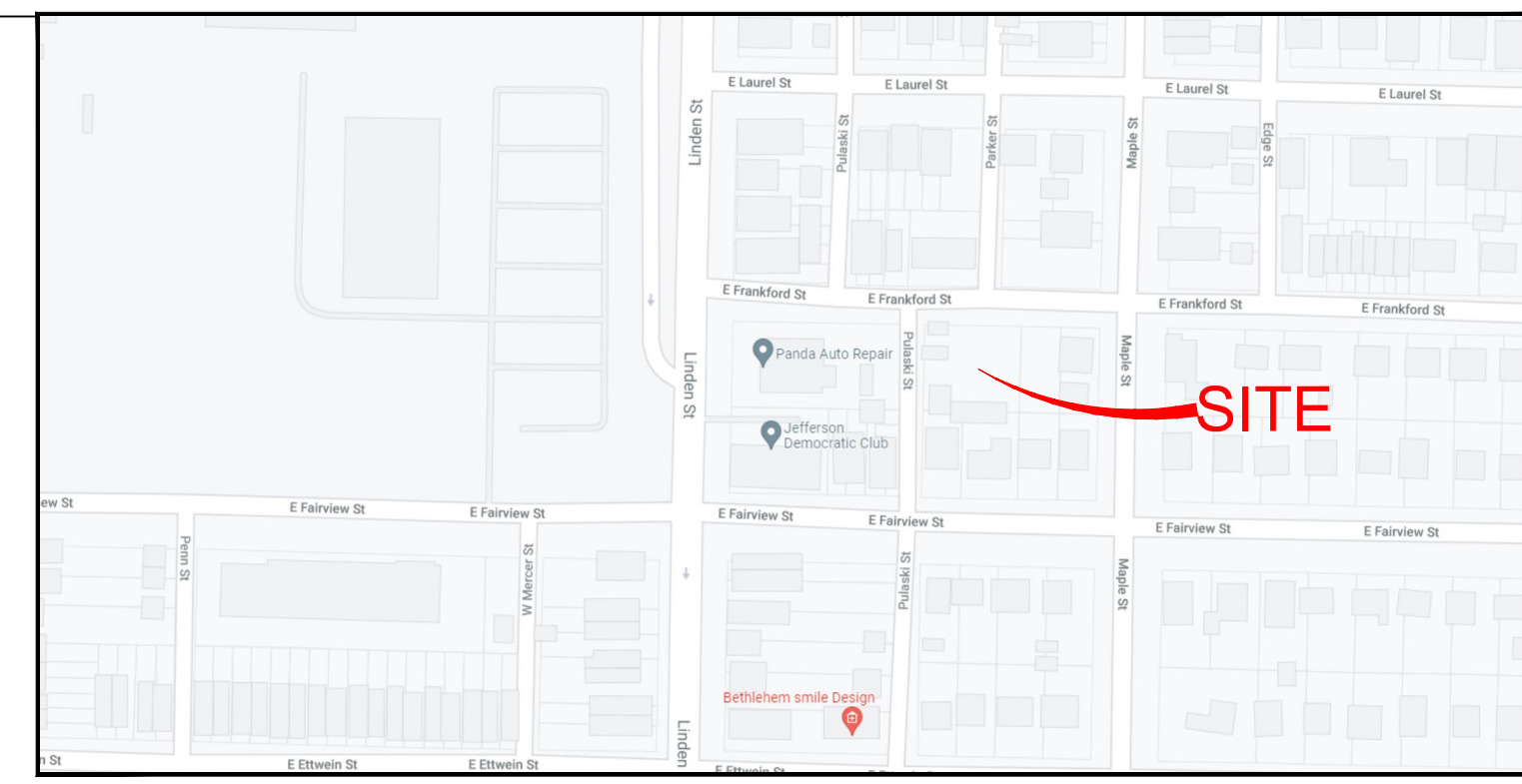
PROJECT No. 21084



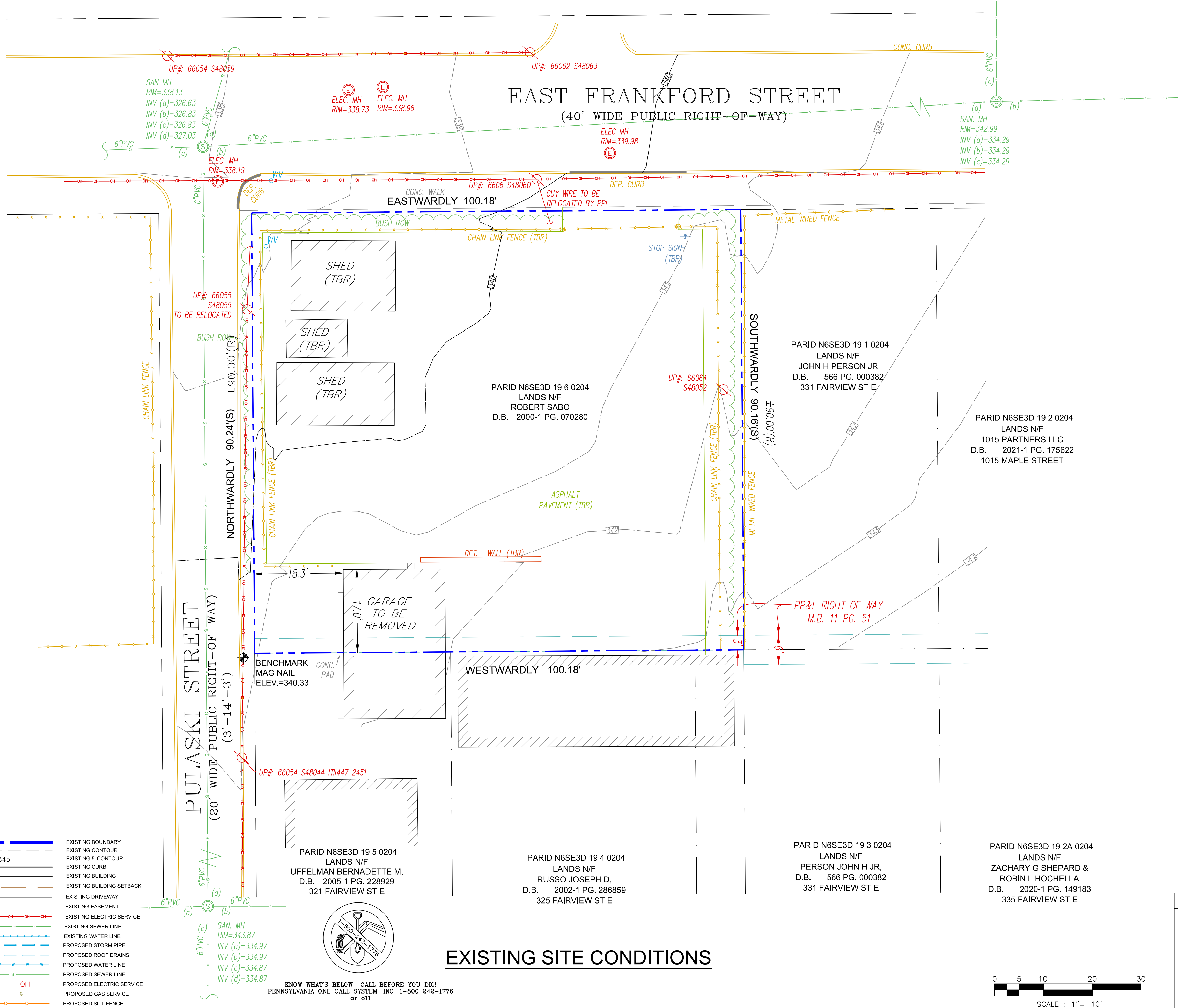
KNOW WHAT'S BELOW CALL BEFORE YOU DIG!
PENNSYLVANIA ACT 287 OF 1974 (AS AMENDED)
REQUIRES 3 WORKING DAYS NOTICE FOR EXCAVATION
PHASE AND 10 WORKING DAYS IN DESIGN STAGE -
STOP! CALL!
PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800 242-1776 or 811 PA ONE-CALL



4340 CREEK ROAD
ALLENTOWN, PA 18104
(610) 297-2868
mrcengineer@hotmail.com



AREA MAP



EXISTING SITE CONDITIONS

LEGEND:

	EXISTING BOUNDARY
	EXISTING CONTOUR 344
	EXISTING CONTOUR 345
	EXISTING CURB
	EXISTING BUILDING
	EXISTING BUILDING SETBACK
	EXISTING DRIVEWAY
	EXISTING EASEMENT
	EXISTING ELECTRIC SERVICE
	EXISTING SEWER LINE
	EXISTING WATER LINE
	PROPOSED STORM PIPE
	PROPOSED ROOF DRAINS
	PROPOSED WATER LINE
	PROPOSED SEWER LINE
	PROPOSED ELECTRIC SERVICE
	PROPOSED GAS SERVICE
	PROPOSED SILT FENCE
	PROPOSED CONTOUR
	PROPOSED LIMIT OF DISTURBANCE

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PENNSYLVANIA ACT 287 OF 1974 (AS AMENDED) REQUIRES 3 WORKING DAYS NOTICE FOR EXCAVATION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP! CALL!

STATEMENT OF INTENT

THE APPLICANT INTENDS TO CONSTRUCT A FOUR-UNIT TOWNHOUSE BUILDING WITH AN ASSOCIATED PARKING AREA, UTILITY SERVICE CONNECTIONS, SIDEWALK, LANDSCAPE, AND RELATED IMPROVEMENTS AND SITE GRADING, ALL AS DEPICTED HEREIN.

APPLICANT

1015 PARTNERS
 555 ASHWOOD
 NAZARETH, PA 18064
 239-272-3173

SITE DATA

RECORD OWNER: ROBERT SABO
 PROPERTY ADDRESS: EAST FRANKFORD STREET
 TAX MAP REFERENCE: N6SE3D 19 6 0204
 DEED REFERENCE: D.B. 2000-1, PG. 070280
 EX LOT AREA (BY SURVEY): 9,036.24 S.F. (0.2074 AC.)
 CITY WARD/BLOCK: UNKNOWN
 ZONING CLASSIFICATION: HIGH-DENSITY RESIDENTIAL (RT)
 CITY OF BETHLEHEM SANITARY SEWER: CITY OF BETHLEHEM
 EXISTING/PROPOSED LOTS: 1/1

DEMOLITION NOTES:

- ALL DEBRIS FROM THE DEMOLISHED STRUCTURES THAT IS NOT REUSED AS FILL IS TO BE DISPOSED OF ACCORDING TO ALL APPLICABLE STANDARDS. DEMOLISHED MATERIALS REUSED AS FILL MATERIAL SHALL BE IN PER THE DIRECTION OF THE ENGINEER.
- CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES FIELD MARKED PRIOR TO DEMOLITION OR CONSTRUCTION.
- ALL DEMOLITION IS TO BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE MUNICIPAL, COUNTY & STATE AND/OR OTHER GOVERNING BODIES STANDARDS.
- DURING DEMOLITION, ANY HAZARDOUS MATERIAL, SUCH AS ASBESTOS, SHALL BE REMOVED AND REMEDIATED IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION (PADEP) STANDARDS AND ALL OTHER APPLICABLE STANDARDS.
- THE REMOVAL AND/OR ABANDONMENT OF ANY SUBSURFACE STRUCTURES, INCLUDING STORAGE TANKS, MANHOLES AND PIPES, SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.

SOIL TYPE

THE FOLLOWING SOIL TYPE IS SHOWN ON THE PROJECT SITE ON WEB SOIL SURVEY.

U6b, URBAN LAND-DUFFIELD COMPLEX, 0 TO 6 PERCENT SLOPES (ENTIRE SITE)

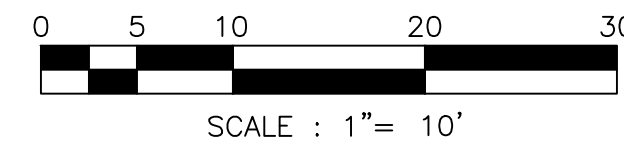
- HSG B
- NOT PRIME FARMLAND
- NON-HYDRIC SOILS
- WELL-DRAINED SOILS

RESOLUTIONS TO SOIL TYPE LIMITATIONS

- CONSTRUCTION ACTIVITIES WILL BE SEQUENCED IN SUCH A WAY AS TO PREVENT THE DEVELOPMENT OF LOW SPOTS AND STANDING WATER.
- THE CONTRACTOR SHALL EXCAVATE UNSUITABLE SOIL TO A SUFFICIENT DEPTH AND REPLACE SAME WITH SUITABLE MATERIAL, AS DIRECTED BY PROJECT ENGINEER.
- THE CONTRACTOR SHALL EXCAVATE ROCK BY MEANS OF PNEUMATIC HAMMERING OR RIPPING TO A SUFFICIENT DEPTH (MINIMUM TWO (2) FEET BELOW THE BOTTOM ELEVATION OF INFILTRATION FACILITIES) AND REPLACE SAME WITH SUITABLE MATERIAL, AS DIRECTED BY PROJECT ENGINEER.
- THE CONTRACTOR SHALL DEWATER OR OTHERWISE MAINTAIN ALL EXCAVATIONS AND TRENCHES FREE OF WATER FOR THE DURATION OF THE PROJECT.
- THE CONTRACTOR SHALL REPAIR SINKHOLES IMMEDIATELY UPON DISCOVERY IN ACCORDANCE WITH THE SINKHOLE REPAIR DETAIL ON THE PLAN OR AS DIRECTED BY THE PROJECT ENGINEER.

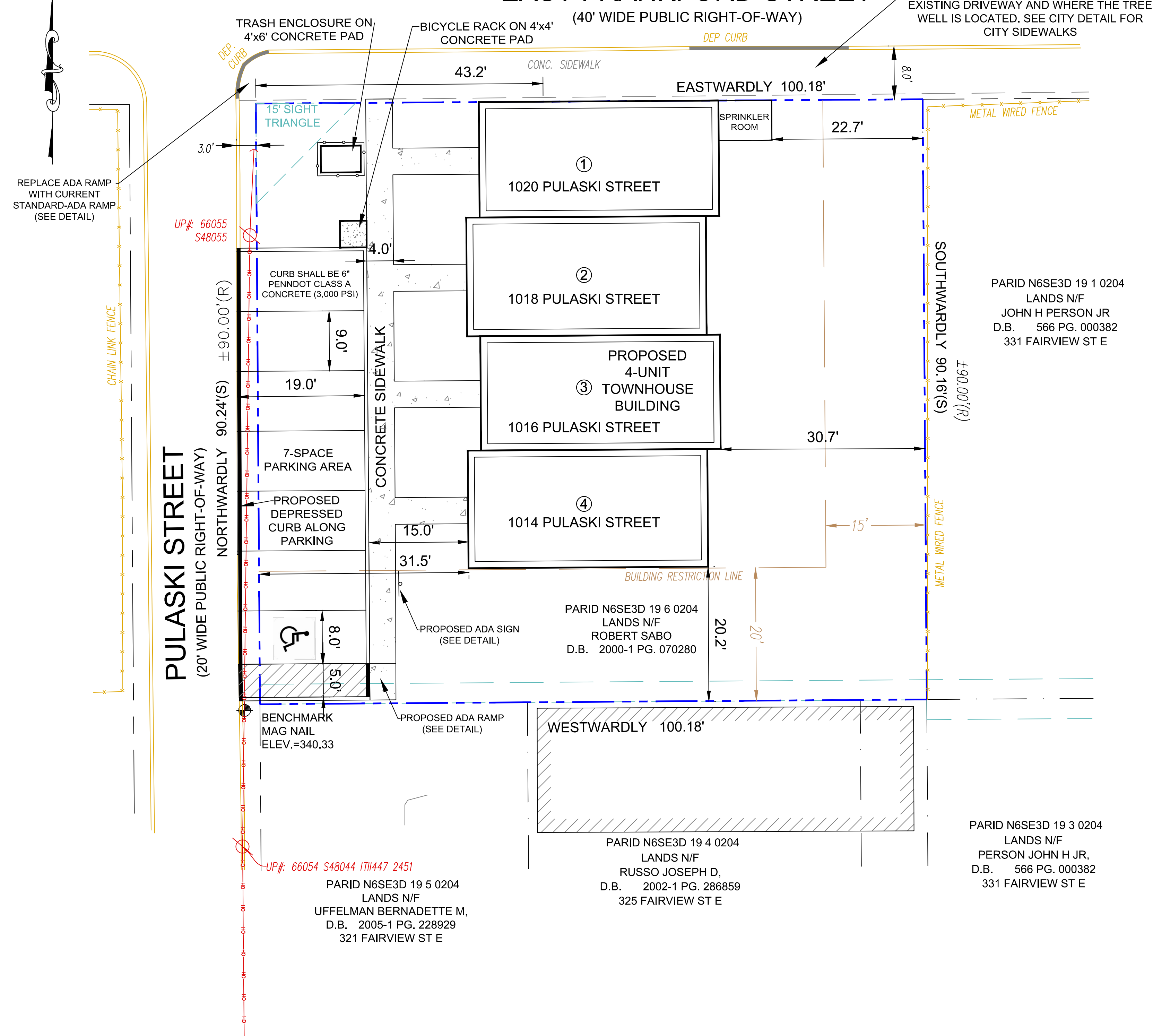
FLOOD NOTE

BY GRAPHICAL REPRESENTATION ONLY THIS PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X AS SHOWN ON A FEMA FIRMETTE MAP AND FLOOD INSURANCE RATE MAP 42095C0263E, COMMUNITY PANEL No. 420718 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. FIELD SURVEYING WAS NOT PERFORMED TO DETERMINE THIS ZONE.



		CIVIL & CONSULTING ENGINEERS 4340 CREEK ROAD ALLENTOWN, PA 18104 (610) 297-2868 rmcengineer@hotmail.com
	Title: FRANKFORD STREET APARTMENTS EAST FRANKFORD STREET, CITY OF BETHLEHEM, PA 18015	
	EXISTING CONDITIONS - DEMOLITION PLAN	
	Date: SEPTEMBER 2, 2022 Sheet No. EC (2 OF 6)	Plan Scale: 1"=10' Project No. 21084

EAST FRANKFORD STREET



LEGEND:

[Symbol]	EXISTING BOUNDARY
[Symbol]	EXISTING CONTOUR
[Symbol]	EXISTING 5' CONTOUR
[Symbol]	EXISTING CURB
[Symbol]	EXISTING BUILDING
[Symbol]	EXISTING BUILDING SETBACK
[Symbol]	EXISTING DRIVEWAY
[Symbol]	EXISTING EASEMENT
[Symbol]	EXISTING ELECTRIC SERVICE
[Symbol]	EXISTING SEWER LINE
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 or 811

PENNSYLVANIA ACT 287 OF 1974 (AS AMENDED) REQUIRES
 3 WORKING DAYS NOTICE FOR EXCAVATION PHASE AND
 10 WORKING DAYS IN DESIGN STAGE - STOP! CALL!

GENERAL NOTES:

- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON WAS TAKEN FROM A SURVEY PERFORMED BY VALLEY LAND SERVICES, LLC ON DECEMBER 21, 2021. BOLO ENGINEERING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON.
- BENCHMARK = MAG NAIL, ELEVATION 340.33.
- ANY INFORMATION APPEARING ON THESE DRAWINGS AS TO THE UNDERGROUND UTILITY LINES HAS BEEN DEVELOPED FROM ABOVE-GROUND EXAMINATIONS OF THE SITE. THE CONTRACTOR, WITHIN THREE DAYS OF THE START OF CONSTRUCTION, SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES IN ACCORDANCE WITH PA ACT NO. 287 (1-800-242-1776).
- ANY FILL BEING UTILIZED FOR CONSTRUCTION ON THIS SITE SHALL BE OBTAINED FROM A SITE THAT HAS AN APPROVED E&SPC PLAN.
- ANY PROPOSED ELECTRIC, GAS, TELEPHONE AND CATV SERVICE LINES SHALL BE LOCATED UNDERGROUND.
- ALL SOILS EXCAVATED FROM THE PROPOSED CONSTRUCTION WILL BE DISPERSED ON-SITE OR TAKEN TO AN APPROVED SITE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND PENNSYLVANIA DEPARTMENT OF TRANSPORTATION STANDARDS AND REGULATIONS AS APPLICABLE.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ANY AND ALL UNDERGROUND UTILITIES IN ACCORDANCE WITH PA ACT 121 PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER IN THE EVENT THAT A CONFLICT IS DISCOVERED.
- PROPOSED ELEVATION CONTOUR LINES DEPICTED ON THIS PLAN REPRESENT FINAL GRADES AT THE COMPLETION OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AT ALL TIMES DURING CONSTRUCTION TO PREVENT THE PONDING OF WATER ON THE SITE.
- CONTRACTOR SHALL DEWATER AND OTHERWISE MAINTAIN UTILITY TRENCHES AND OTHER EXCAVATIONS FREE OF WATER (GROUND WATER AND SURFACE WATER) AT ALL TIMES USING A PUMPED WATER FILTER BAG OR OTHER APPROVED METHODS (REFER TO PUMPED WATER FILTER BAG DETAIL ON E&S POLLUTION CONTROL DETAILS PLAN). ADDITIONALLY, CONTRACTOR SHALL PROPERLY GRADE ADJACENT AREAS AND TAKE ANY OTHER REASONABLE PRECAUTIONS NECESSARY TO PREVENT WATER FROM ENTERING EXCAVATIONS.
- IF CONTRACTOR ENCOUNTERS SOFT OR SATURATED SOILS DEEMED UNSUITABLE BY THE PROJECT ENGINEER DURING CONSTRUCTION, CONTRACTOR SHALL EXCAVATE, REMOVE, AND REPLACE ANY SUCH UNSUITABLE MATERIAL WITH COMPACTED CLEAN FILL OR AGGREGATE MATERIAL AS DIRECTED BY THE PROJECT ENGINEER.
- WHERE PLACEMENT OF FILL BENEATH SETTLEMENT SENSITIVE STRUCTURES (E.G. BUILDING PADS, PARKING LOTS, UTILITY AND STORM SEWERS LINES, AND RELATED STRUCTURES) IS NECESSARY TO ACHIEVE DESIRED SUBGRADE, CONTRACTOR SHALL PLACE AND COMPACT APPROPRIATE FILL MATERIAL IN MAXIMUM 6-INCH LIFTS TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR DENSITY OF THE MATERIAL (98% FOR BUILDING PADS) OR AS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER.
- LOCATIONS OF WATER AND SANITARY SEWER LATERALS AS DEPICTED HEREIN ARE APPROXIMATE AND COULD BE SUBJECT TO FIELD ADJUSTMENT.
- PRIOR TO ANY WORK WITHIN PUBLIC RIGHTS-OF-WAY, PERMITS MUST BE OBTAINED FROM THE CITY OF BETHLEHEM ENGINEERING OFFICE AND/OR PENNDOT, AS APPLICABLE.
- ANY AND ALL SITE IMPROVEMENTS PROPOSED HEREIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF BETHLEHEM AND/OR PENNDOT CONSTRUCTION STANDARDS IN EFFECT AT THE TIME OF SUBDIVISION AND/OR PENNDOT HIGHWAY OCCUPANCY PERMIT APPROVAL, AS APPLICABLE.
- BUILDING DESIGN, MATERIALS, AND CONSTRUCTION FOR THE PROPOSED BUILDINGS SHALL MEET OR EXCEED INTERNATIONAL BUILDING CODE STANDARDS, LATEST EDITION.
- PROPERTY OWNER(S) THEIR HEIRS, SUCCESSORS, AND ASSIGNS SHALL BE PERPETUALLY RESPONSIBLE TO MAINTAIN EXISTING AND PROPOSED EASEMENTS LOCATED ON THEIR RESPECTIVE PROPERTIES IN A GRASSED OR OTHERWISE IMPROVED CONDITION IN ACCORDANCE WITH THE GRADES AND DESIGNS INDICATED ON THE APPROVED LAND DEVELOPMENT PLANS FOR THE PROJECT. DRAINAGE EASEMENTS PROVIDE FOR THE FLOW OF STORMWATER ACROSS LOTS AND MAY NOT BE ALTERED WITHOUT WRITTEN PERMISSION OF THE CITY ENGINEER. NO OBSTRUCTIONS SUCH AS PLANTING BERMS OR FENCES, OTHER THAN THOSE DEPICTED HEREIN, MAY BE INSTALLED IN DRAINAGE EASEMENTS WITHOUT MAKING SUFFICIENT PROVISIONS FOR THE PASSAGE OF STORMWATER. ANY SUCH PROPOSED PROVISIONS SHALL BE APPROVED IN WRITING BY THE CITY ENGINEER. IT IS INTENDED THAT THE MAINTENANCE RESPONSIBILITIES IMPOSED HEREUNDER SHALL BE A COVENANT RUNNING WITH THE LAND AND ENFORCEABLE AGAINST ALL FUTURE OWNERS.
- ACCURATE AS-BUILT PLANS SHALL BE KEPT CURRENT DURING THE CONSTRUCTION PROCESS. AT THE COMPLETION OF THE PROJECT, RECORD DRAWINGS SHALL BE PREPARED FROM AS-BUILT PLANS AND SUBMITTED TO THE CITY ENGINEER'S OFFICE. ALL FINAL DRAWINGS SHALL SHOW NORTH AMERICAN DATUM (NAD) 1983 STATE PLANE COORDINATES IN FEET (PA SOUTH, FIPS ZONE 3703) AND THE DIGITAL FILE SHALL BE IN STATE PLANE FEET COORDINATES AS APPLICABLE. HARD COPIES OF RECORD DRAWINGS SHALL BE IN THE FORM OF MYLAR COPIES. THE ENGINEER OF RECORD SHALL CERTIFY (i.e. P.E. STAMPED AND SIGNED) THAT THE RECORD DRAWINGS COMPLY SUBSTANTIALLY WITH THE APPROVED PLANS AND THAT THEY CONFORM TO INDUSTRY STANDARDS. ALL DIGITAL FILES SHALL RESIDE ON A PC COMPATIBLE CD-ROM CONTAINING THE DIGITAL REPRESENTATION OF THE FINAL PLAN AS PRESENTED ON TWENTY-FOUR BY THIRTY-SIX INCH SHEETS. DIGITAL PLANS SHALL BE AUTOCAD COMPATIBLE. ALL DRAWING LAYERS INCLUDED IN THE DIGITAL PLANS SHALL BE THE STANDARDIZED LAYERS PREPARED AND UTILIZED BY THE CITY OF BETHLEHEM TO ENSURE COMPATIBILITY WITH THE CITY'S EXISTING CAD STANDARDS AS DESCRIBED IN APPENDIX A OF THE CITY'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. THE CITY'S EXISTING CAD STANDARDS MUST BE REVIEWED AND REVISED TO BE COMPATIBLE WITH THE CITY'S CURRENT GIS SYSTEM AND STANDARDS.

SOIL TYPE

THE FOLLOWING SOIL TYPE IS SHOWN ON THE PROJECT SITE ON WEB SOIL SURVEY.
 Uo6, URBAN LAND-DUFFIELD COMPLEX, 0 TO 6 PERCENT SLOPES (ENTIRE SITE)

- HSG B
- NOT PRIME FARMLAND
- NON-HYDRIC SOILS
- WELL-DRAINED SOILS

RESOLUTIONS TO SOIL TYPE LIMITATIONS

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- THE CONTRACTOR SHALL REPAIR SINKHOLES IMMEDIATELY UPON DISCOVERY IN ACCORDANCE WITH THE SINKHOLE REPAIR DETAIL ON THE PLAN OR AS DIRECTED BY THE PROJECT ENGINEER.

PARKING REQUIREMENTS

ZONING ORDINANCE SECTION 1319.01(a)(1)(i)
 MULTI-FAMILY DWELLING/ APARTMENTS WITH TWO OR FEWER BEDROOMS
 1.75 SPACES/UNIT x 4 UNITS = 7 SPACES REQUIRED
 7 SPACES PROVIDED INCLUDING ONE SPACE IN THE EXISTING GARAGE AND ONE SPACE OUTSIDE OF THE EXISTING GARAGE
 BICYCLE PARKING = 5% OF PARKING REQUIREMENTS WITH A MINIMUM 2 SPACES REQUIRED. 2 SPACES ARE PROPOSED.

ZONING DATA:

- SITE IS WITHIN THE RT - HIGH DENSITY RESIDENTIAL ZONING DISTRICT
- SINGLE-FAMILY ATTACHED DWELLING UNITS ARE PERMITTED BY RIGHT
- THE SITE IS SERVED BY PUBLIC SEWER AND PUBLIC WATER
- THE LOT AREA IS 9,036.24 SF (0.21 ACRES) PER THE SURVEY

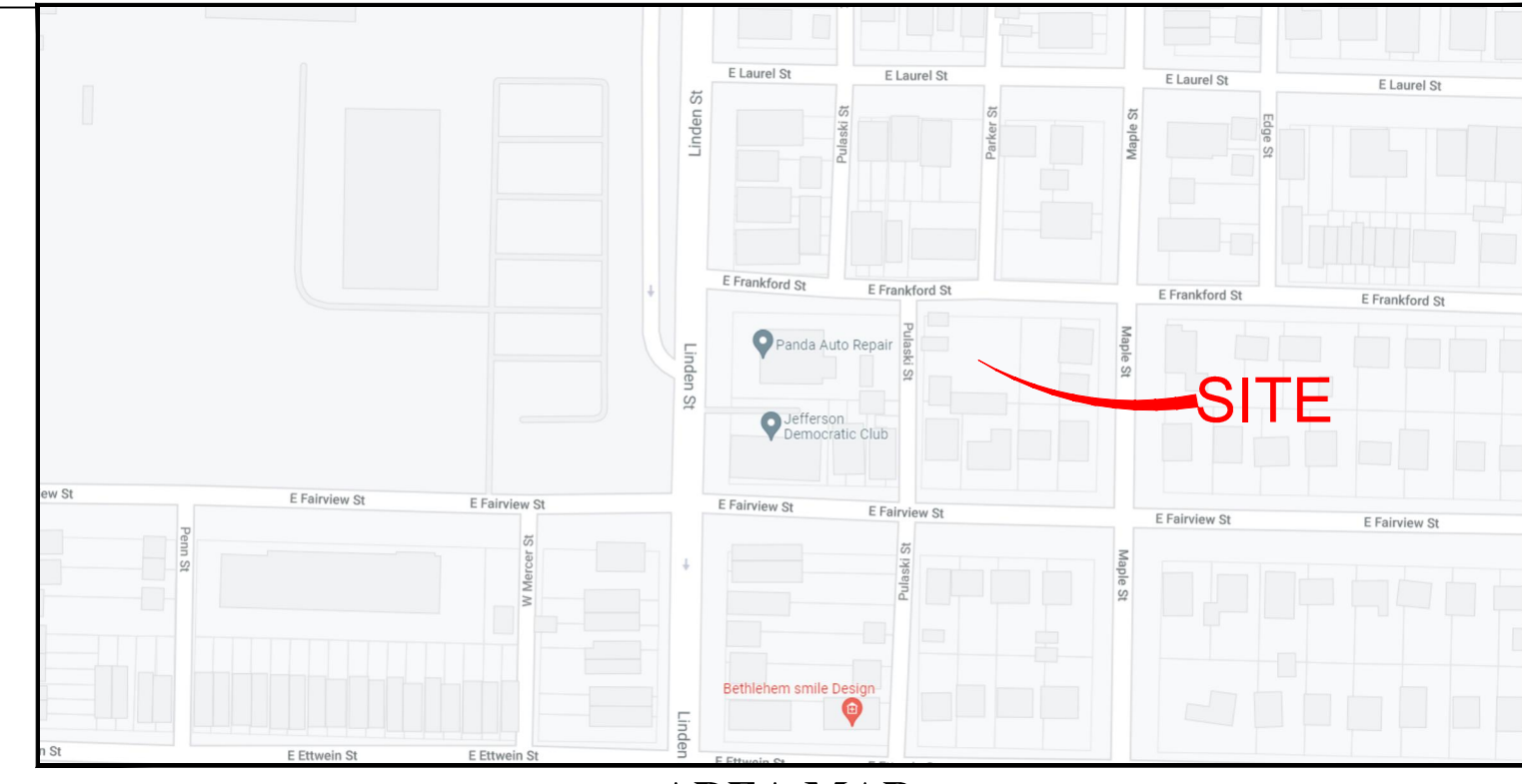
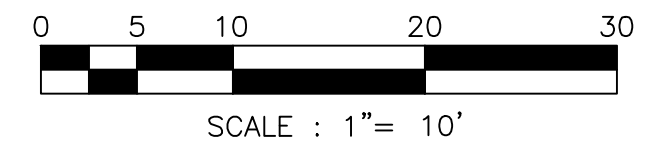
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA:	9,000 SF	9,036 SF	9,036 SF
MINIMUM LOT DENSITY:	2,200 SF/DU	N/A	2,259 SF/DU
MINIMUM LOT WIDTH:	50 FT	100.18 FT	100.18 FT
MAX. BUILDING COVERAGE:	30%	N/A	28%
MAXIMUM BUILDING HEIGHT:	35 FT 3.5 STY	N/A	< 35 FT 3.5 STY
MINIMUM BUILDING SETBACKS:			
FRONT YARD:	N/A	N/A	0 FT
SIDE YARD:	15 FT	N/A	22.7 FT
REAR YARD:	20 FT	N/A	20.2 FT

IMPERVIOUS COVERAGES:

EXISTING LOT AREA:	9,036.24 SF
EXISTING IMPERVIOUS COVER:	
ASPHALT/CONCRETE:	7,178 SF (79%)
PROPOSED IMPERVIOUS COVER:	
DWELLING UNITS:	2,588 SF
ASPHALT PARKING:	1,123 SF
CONCRETE SIDEWALK:	522 SF
BICYCLE RACK PAD:	16 SF
TRASH PAD:	24 SF
TOTAL PROPOSED IMPERVIOUS:	4,283 SF (47%)

BUILDING DESIGN

- THE BUILDING SHALL HAVE 30% VINYL SIDING ALONG FRANKFORD STREET.
- THE FRONT FACADE SHALL BE MASONRY AND VINYL SIDING.
- THE HVAC UNITS WILL BE LOCATED INSIDE OF THE BUILDINGS.



AREA MAP

PLANNING COMMISSION REVIEW

REVIEWED AND ACCEPTED FOR RECORDING BY THE CITY OF BETHLEHEM PLANNING COMMISSION THIS _____ DAY OF _____, 20__.

CHAIRMAN _____ SECRETARY _____

LVPC REVIEW

REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION

L.V.P.C. STAFF PERSON _____ DATE _____
 RESPONSIBLE FOR REVIEW

OWNERS ACKNOWLEDGEMENT

I (WE), THE UNDERSIGNED, BEING THE OWNER(S) IN PEACEFUL POSSESSION OF THE LAND HEREIN PLATTED, DO HEREBY ADOPT THIS PLAN OF PROPERTY SITUATED IN THE CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA AND DESIRE THAT THIS PLAN BE RECORDED ACCORDING TO LAW.

SIGNATURE _____ DATE _____

COMMONWEALTH OF PENNSYLVANIA
 COUNTY OF NORTHAMPTON

SWORN AND SUBSCRIBED TO ME THIS _____ DAY OF _____, 20__

IN WITNESS THEREOF, I HERETO SET MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC _____

RECORDED THIS _____ DAY OF _____, 20__

IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR THE COUNTY OF NORTHAMPTON, PENNSYLVANIA, IN PLAN _____

BOOK NO. _____, PAGE _____

RECORDER OF DEEDS _____

SITE DATA

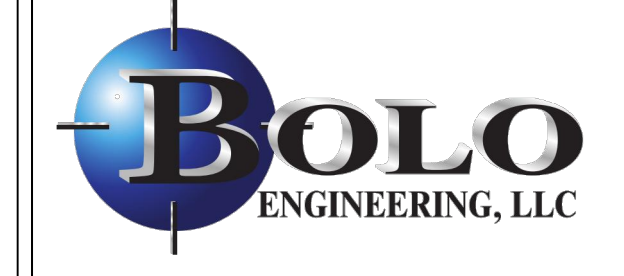
RECORD OWNER: ROBERT SABO
 PROPERTY ADDRESS: EAST FRANKFORD STREET
 TAX MAP REFERENCE: N6SE3D 19 6 0204
 DEED REFERENCE: D.B. 2000-1, PG. 070280
 EX LOT AREA (BY SURVEY): 9,036.24 S.F. (0.2074 AC.)
 CITY WARD/BLOCK: WARD 9, BLOCK 19A
 ZONING CLASSIFICATION: HIGH-DENSITY RESIDENTIAL (RT)
 CITY OF BETHLEHEM SANITARY SEWER: CITY OF BETHLEHEM
 EXISTING/PROPOSED LOTS: 1/1

STATEMENT OF INTENT

THE APPLICANT INTENDS TO CONSTRUCT A FOUR-UNIT TOWNHOUSE BUILDING WITH AN ASSOCIATED PARKING AREA, UTILITY SERVICE CONNECTIONS, SIDEWALK, LANDSCAPE, AND RELATED IMPROVEMENTS AND SITE GRADING, ALL AS DEPICTED HEREIN.

APPLICANT

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 239-272-3173

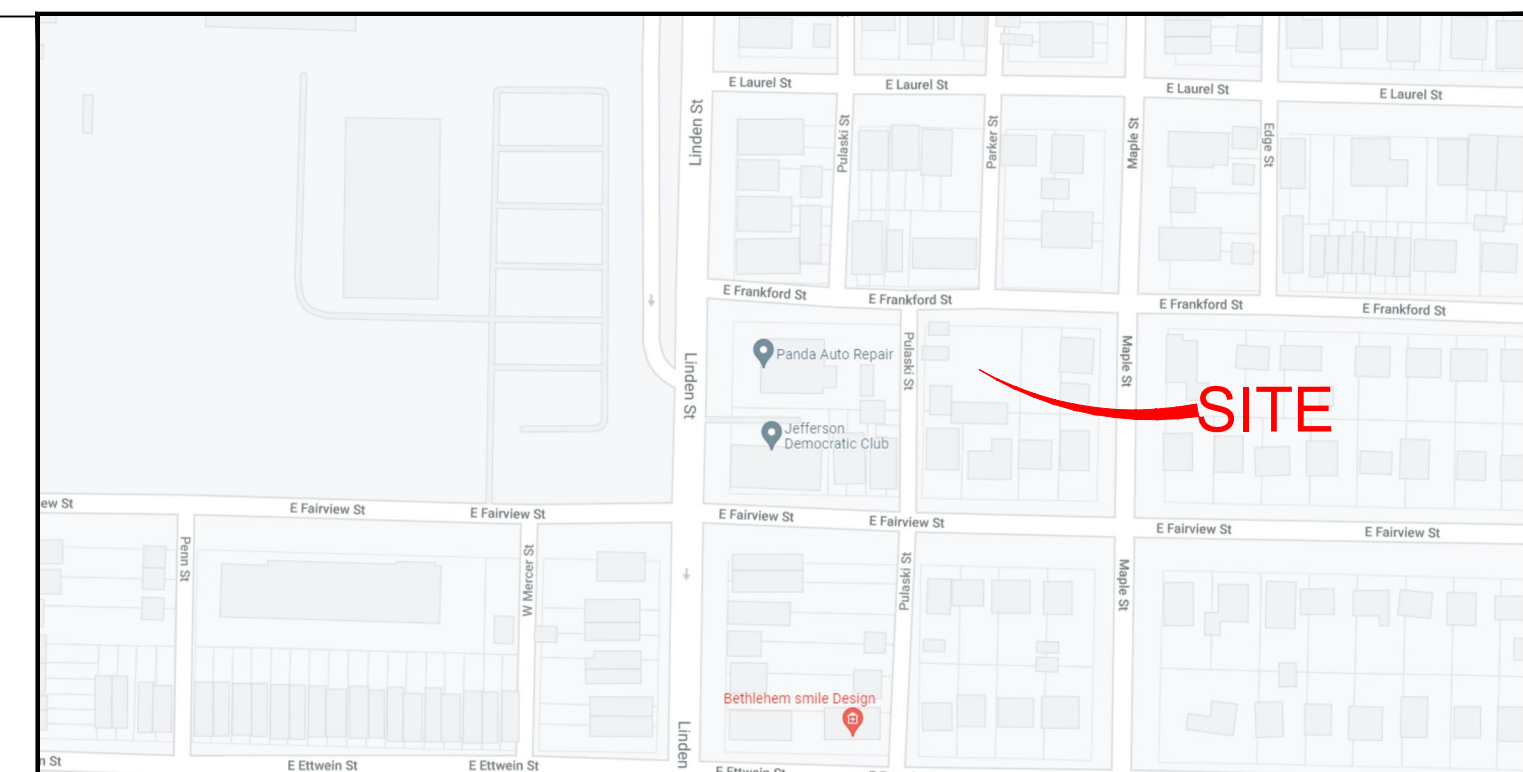


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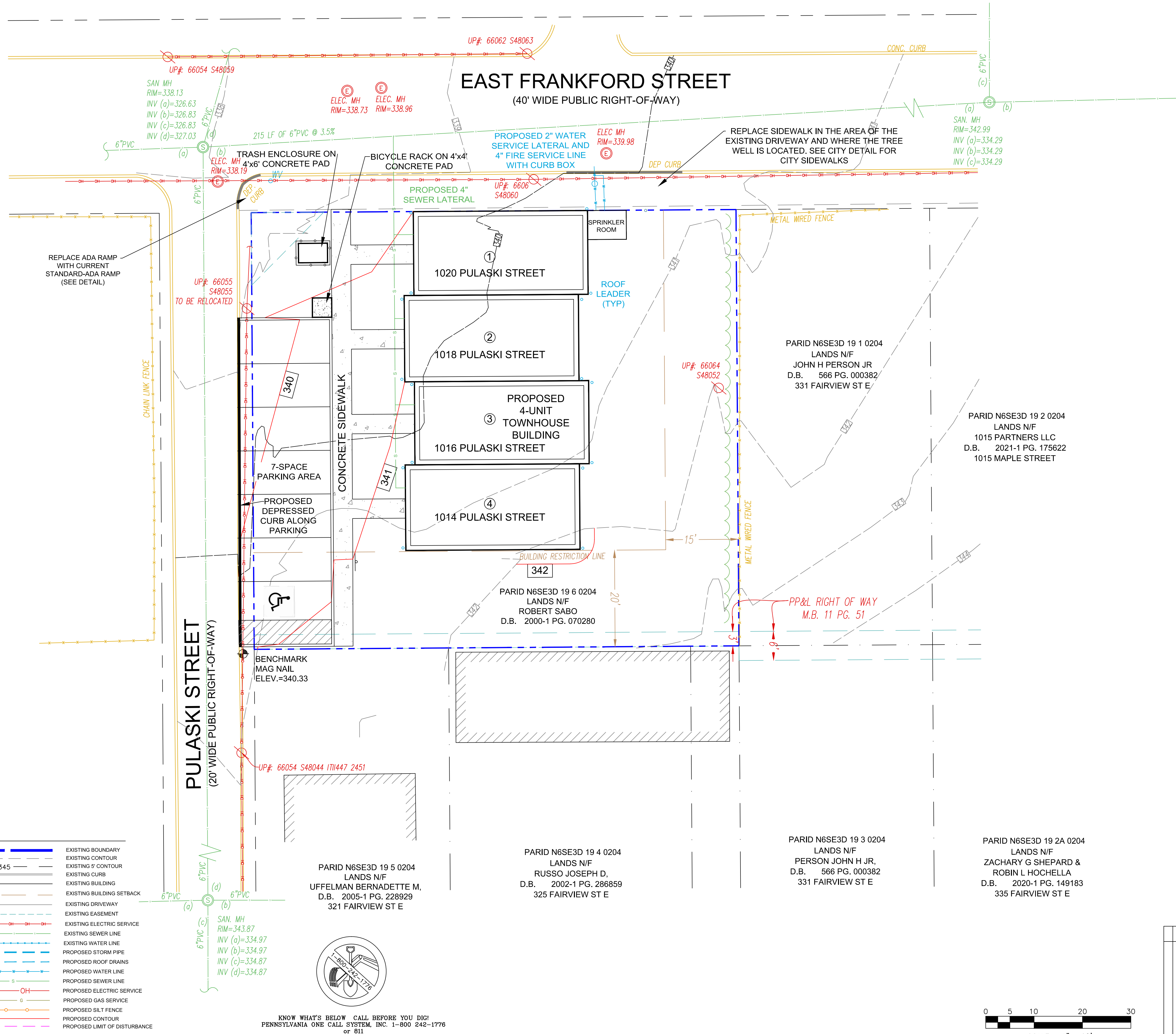
Title: FRANKFORD STREET APARTMENTS
 EAST FRANKFORD STREET, CITY OF BETHLEHEM, PA 18015

RECORD PLAN	Date: SEPTEMBER 2, 2022
Plan Scale: 1"=10'	Project No. 21084
	Sheet No. RP (3 OF 6)

Rev.	Date	Comment



AREA MAP



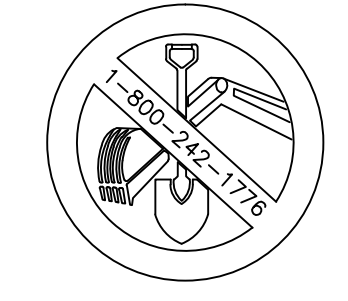
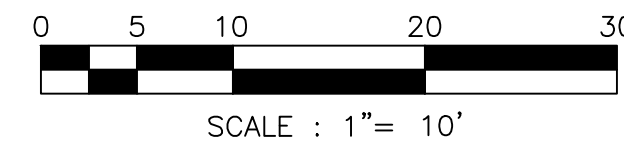
LEGEND:

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	EXISTING CONTOUR
	EXISTING 5' CONTOUR
	EXISTING CURB
	EXISTING BUILDING
	EXISTING BUILDING SETBACK
	EXISTING DRIVEWAY
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	PROPOSED LIMIT OF DISTURBANCE

KNOW WHAT'S BELOW CALL BEFORE YOU DIG!
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 - ANY FILL BEING UTILIZED FOR CONSTRUCTION ON THIS SITE SHALL BE OBTAINED FROM A SITE THAT HAS AN APPROVED E85PC PLAN.
 - ANY PROPOSED ELECTRIC, GAS, TELEPHONE AND CATV SERVICE LINES SHALL BE LOCATED UNDERGROUND.
 - ALL SOILS EXCAVATED FROM THE PROPOSED CONSTRUCTION WILL BE DISPERSED ON-SITE OR TAKEN TO AN APPROVED SITE.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND PENNSYLVANIA DEPARTMENT OF TRANSPORTATION STANDARDS AND REGULATIONS AS APPLICABLE.
 - CONTRACTOR SHALL VERIFY LOCATIONS OF ANY AND ALL UNDERGROUND UTILITIES IN ACCORDANCE WITH PA ACT 121 PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER IN THE EVENT THAT A CONFLICT IS DISCOVERED.
 - PROPOSED ELEVATION CONTOUR LINES DEPICTED ON THIS PLAN REPRESENT FINAL GRADES AT THE COMPLETION OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AT ALL TIMES DURING CONSTRUCTION TO PREVENT THE PONDING OF WATER ON THE SITE.
 - CONTRACTOR SHALL DEWATER AND OTHERWISE MAINTAIN UTILITY TRENCHES AND OTHER EXCAVATIONS FREE OF WATER (GROUND WATER AND SURFACE WATER) AT ALL TIMES USING A PUMPED WATER FILTER BAG OR OTHER APPROVED METHODS (REFER TO PUMPED WATER FILTER BAG DETAIL ON E&S POLLUTION CONTROL DETAILS PLAN). ADDITIONALLY, CONTRACTOR SHALL PROPERLY GRADE ADJACENT AREAS AND TAKE ANY OTHER REASONABLE PRECAUTIONS NECESSARY TO PREVENT WATER FROM ENTERING EXCAVATIONS.
 - IF CONTRACTOR ENCOUNTERS SOFT OR SATURATED SOILS DEEMED UNSUITABLE BY THE PROJECT ENGINEER DURING CONSTRUCTION, CONTRACTOR SHALL EXCAVATE, REMOVE, AND REPLACE ANY SUCH UNSUITABLE MATERIAL WITH COMPACTED CLEAN FILL OR AGGREGATE MATERIAL AS DIRECTED BY THE PROJECT ENGINEER.
 - WHERE PLACEMENT OF FILL BENEATH SETTLEMENT SENSITIVE STRUCTURES (E.G. BUILDING PADS, PARKING LOTS, UTILITY AND STORM SEWERS LINES, AND RELATED STRUCTURES) IS NECESSARY TO ACHIEVE DESIRED SUBGRADE, CONTRACTOR SHALL PLACE AND COMPACT APPROPRIATE FILL MATERIAL IN MAXIMUM 8-INCH LIFTS TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR DENSITY OF THE MATERIAL (95% FOR BUILDING PADS) OR AS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER.
 - LOCATIONS OF WATER AND SANITARY SEWER LATERALS AS DEPICTED HEREIN ARE APPROXIMATE AND COULD BE SUBJECT TO FIELD ADJUSTMENT.
 - PRIOR TO ANY WORK WITHIN PUBLIC RIGHTS-OF-WAY, PERMITS MUST BE OBTAINED FROM THE CITY OF BETHLEHEM ENGINEERING OFFICE AND/OR PENNDOT, AS APPLICABLE.
 - ANY AND ALL SITE IMPROVEMENTS PROPOSED HEREIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF BETHLEHEM AND/OR PENNDOT CONSTRUCTION STANDARDS IN EFFECT AT THE TIME OF SUBDIVISION AND/OR PENNDOT HIGHWAY OCCUPANCY PERMIT APPROVAL, AS APPLICABLE.
 - BUILDING DESIGN, MATERIALS, AND CONSTRUCTION FOR THE PROPOSED BUILDINGS SHALL MEET OR EXCEED INTERNATIONAL BUILDING CODE STANDARDS, LATEST EDITION.
 - PROPERTY OWNERS) THEIR HEIRS, SUCCESSORS, AND ASSIGNS SHALL BE PERPETUALLY RESPONSIBLE TO MAINTAIN EXISTING AND PROPOSED EASEMENTS LOCATED ON THEIR RESPECTIVE PROPERTIES IN A GRASSED OR OTHERWISE IMPROVED CONDITION IN ACCORDANCE WITH THE GRADES AND DESIGNS INDICATED ON THE APPROVED LAND DEVELOPMENT PLANS FOR THE PROJECT. DRAINAGE EASEMENTS PROVIDE FOR THE FLOW OF STORMWATER ACROSS LOTS AND MAY NOT BE ALTERED WITHOUT WRITTEN PERMISSION OF THE CITY ENGINEER. NO OBSTRUCTIONS SUCH AS PLANTING BERMS OR FENCES, OTHER THAN THOSE DEPICTED HEREIN, MAY BE INSTALLED IN DRAINAGE EASEMENTS WITHOUT MAKING SUFFICIENT PROVISIONS FOR THE PASSAGE OF STORMWATER. ANY SUCH PROPOSED PROVISIONS SHALL BE APPROVED IN WRITING BY THE CITY ENGINEER. IT IS INTENDED THAT THE MAINTENANCE RESPONSIBILITIES IMPOSED HEREUNDER SHALL BE A COVENANT RUNNING WITH THE LAND AND ENFORCEABLE AGAINST ALL FUTURE OWNERS.
 - BY SUBMISSION OF THESE PLANS, THE ENGINEER OF RECORD CERTIFIES THAT THESE PLANS ARE IN COMPLETE CONFORMANCE WITH THE CITY OF BETHLEHEM STORM WATER MANAGEMENT ORDINANCE.
 - ACCURATE AS-BUILT PLANS SHALL BE KEPT CURRENT DURING THE CONSTRUCTION PROCESS. AT THE COMPLETION OF THE PROJECT, RECORD DRAWINGS SHALL BE PREPARED FROM AS-BUILT PLANS AND SUBMITTED TO THE CITY ENGINEER'S OFFICE. ALL FINAL DRAWINGS SHALL SHOW NORTH AMERICAN DATUM (NAD) 1983 STATE PLANE COORDINATES IN FEET (PA SOUTH, FIPS ZONE 3702) AND THE DIGITAL FILE SHALL BE IN STATE PLANE FEET COORDINATES AS APPLICABLE. HARD COPIES OF RECORD DRAWINGS SHALL BE IN THE FORM OF MYLAR COPIES. THE ENGINEER OF RECORD SHALL CERTIFY (i.e. P.E. STAMPED AND SIGNED) THAT THE RECORD DRAWINGS COMPLY SUBSTANTIALLY WITH THE APPROVED PLANS AND THAT THEY CONFORM TO INDUSTRY STANDARDS. ALL DIGITAL FILES SHALL RESIDE ON A PC COMPATIBLE CD-ROM CONTAINING THE DIGITAL REPRESENTATION OF THE FINAL PLAN AS PRESENTED ON TWENTY-FOUR (24) THIRTY-SIX INCH SHEETS. DIGITAL PLANS SHALL BE AUTOCAD COMPATIBLE. ALL DRAWING LAYERS INCLUDED IN THE DIGITAL PLANS SHALL BE THE STANDARDIZED LAYERS PREPARED AND UTILIZED BY THE CITY OF BETHLEHEM TO ENSURE COMPATIBILITY WITH THE CITY'S EXISTING CAD STANDARDS AND AS DESCRIBED IN APPENDIX A OF THE CITY'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. THE CITY'S EXISTING CAD STANDARDS MUST BE REVIEWED AND REVISED TO BE COMPATIBLE WITH THE CITY'S CURRENT GIS SYSTEM AND STANDARDS.



PARID N6SE3D 19 5 0204
LANDS N/F
UFFELMAN BERNADETTE M,
D.B. 2005-1 PG. 228929
321 FAIRVIEW ST E

PARID N6SE3D 19 4 0204
LANDS N/F
RUSSO JOSEPH D,
D.B. 2002-1 PG. 286859
325 FAIRVIEW ST E

PARID N6SE3D 19 3 0204
LANDS N/F
PERSON JOHN H JR,
D.B. 566 PG. 000382
331 FAIRVIEW ST E

PARID N6SE3D 19 2A 0204
LANDS N/F
ZACHARY G SHEPARD &
ROBIN L HOCCHELLA
D.B. 2020-1 PG. 149183
335 FAIRVIEW ST E

Rev.	Date	Comment

Roderick M. Chirumbolo
PE-075093

CIVIL & CONSULTING ENGINEERS

BoLO ENGINEERING, LLC

4340 CREEK ROAD
ALLENTOWN, PA 18104
(610) 297-2868
mrcenginer@hotmail.com

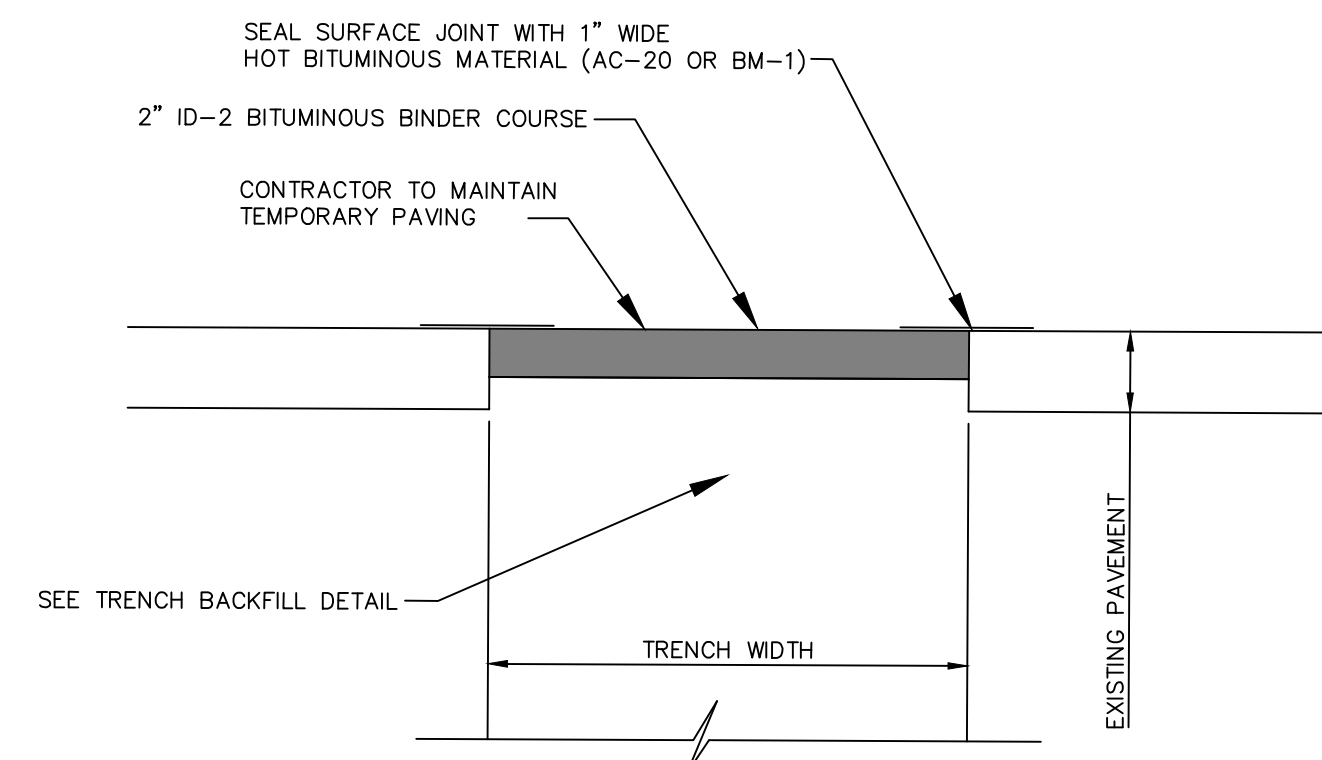
Title: **FRANKFORD STREET APARTMENTS**
EAST FRANKFORD STREET, CITY OF BETHLEHEM, PA 18015

GRADING AND UTILITY PLAN

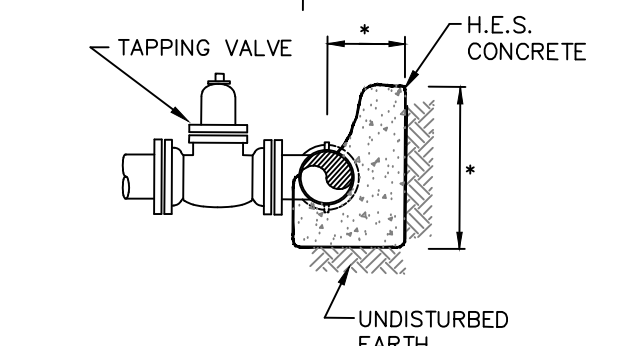
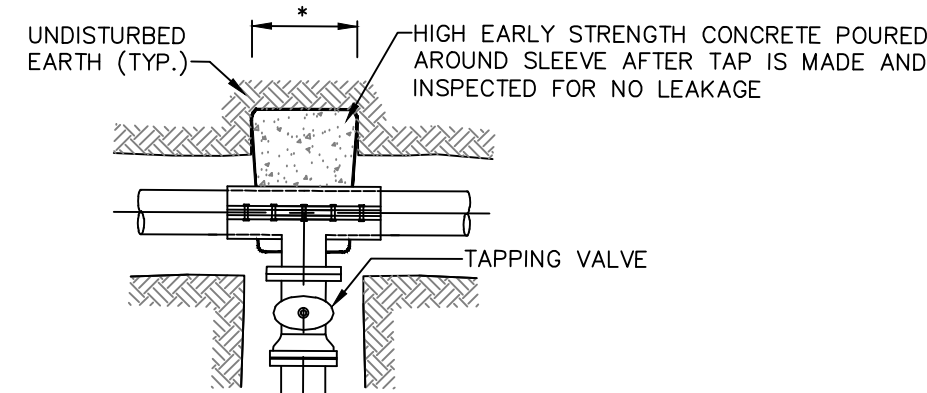
Date: **SEPTEMBER 2, 2022**

Sheet No. **GU (4 OF 6)**

Plan Scale: 1"=10' Project No.21084

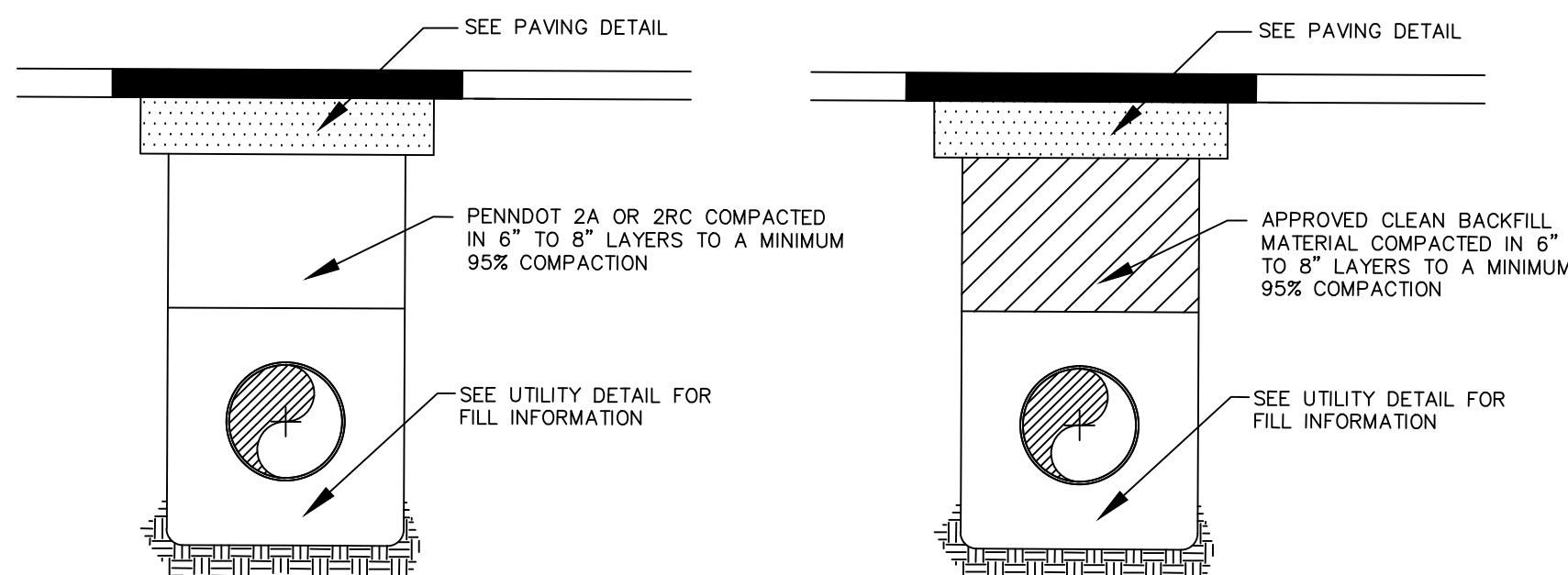


TEMPORARY TRENCH RESTORATION
NO SCALE



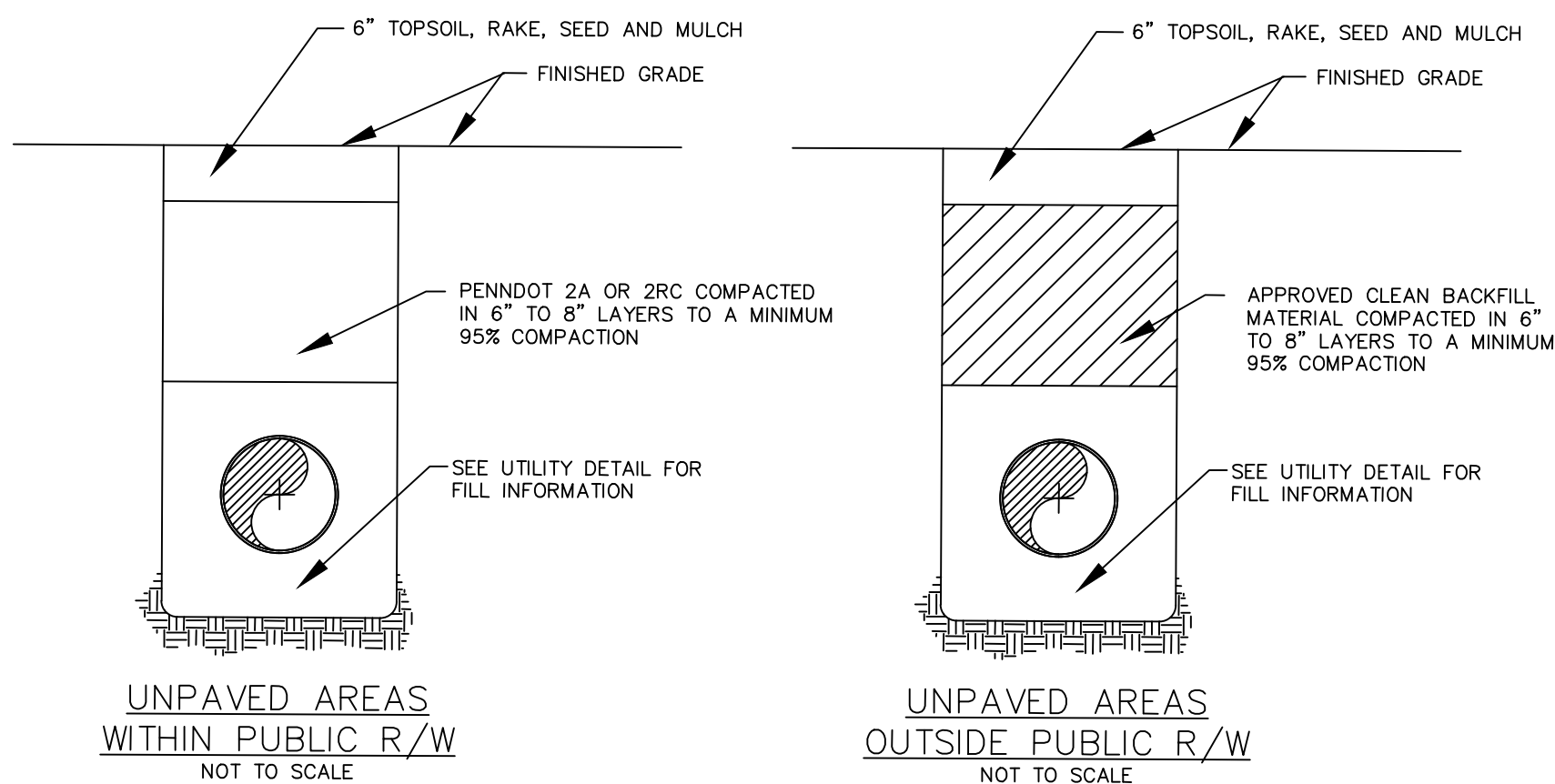
* SIZE IN FIELD, MIN. OF 4 SF. BEARING AREA

TAPPING SLEEVE & VALVE
NTS



**EXISTING ROADS
RIGHT OF WAY**
NOT TO SCALE

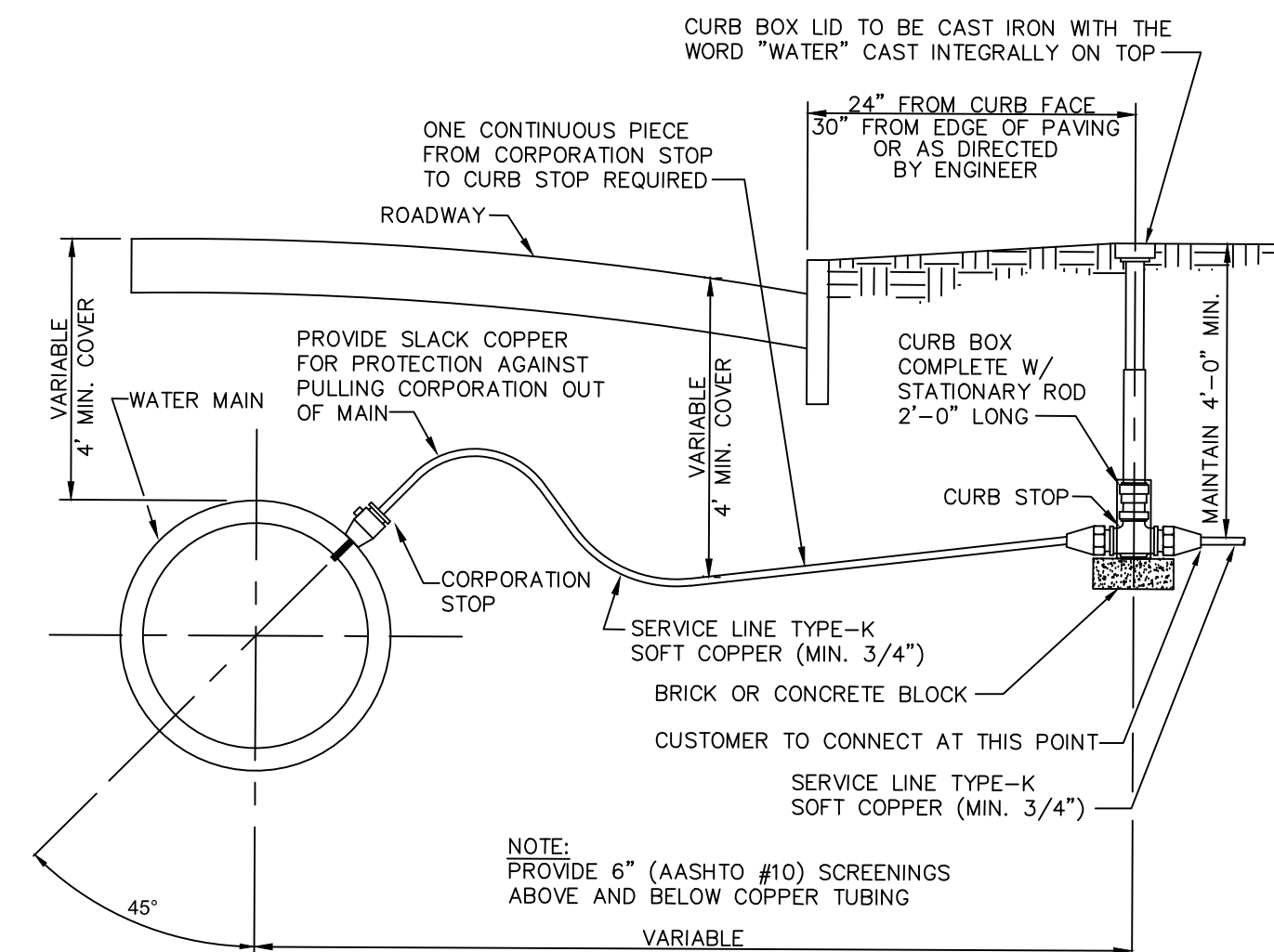
**RIGHT OF WAY
NEW SUBDIVISIONS OR LAND DEVELOPMENTS**
NOT TO SCALE



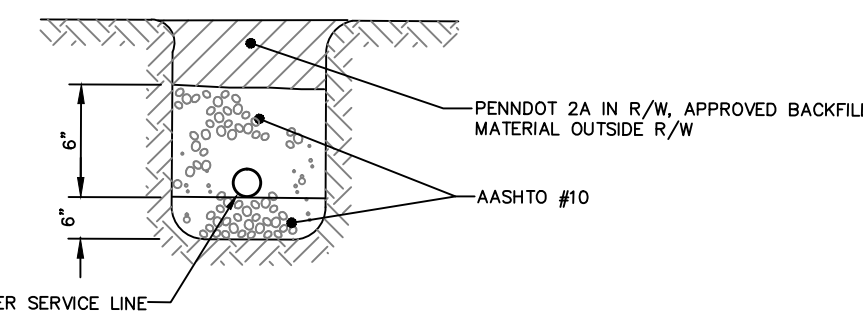
**UNPAVED AREAS
WITHIN PUBLIC R/W**
NOT TO SCALE

**UNPAVED AREAS
OUTSIDE PUBLIC R/W**
NOT TO SCALE

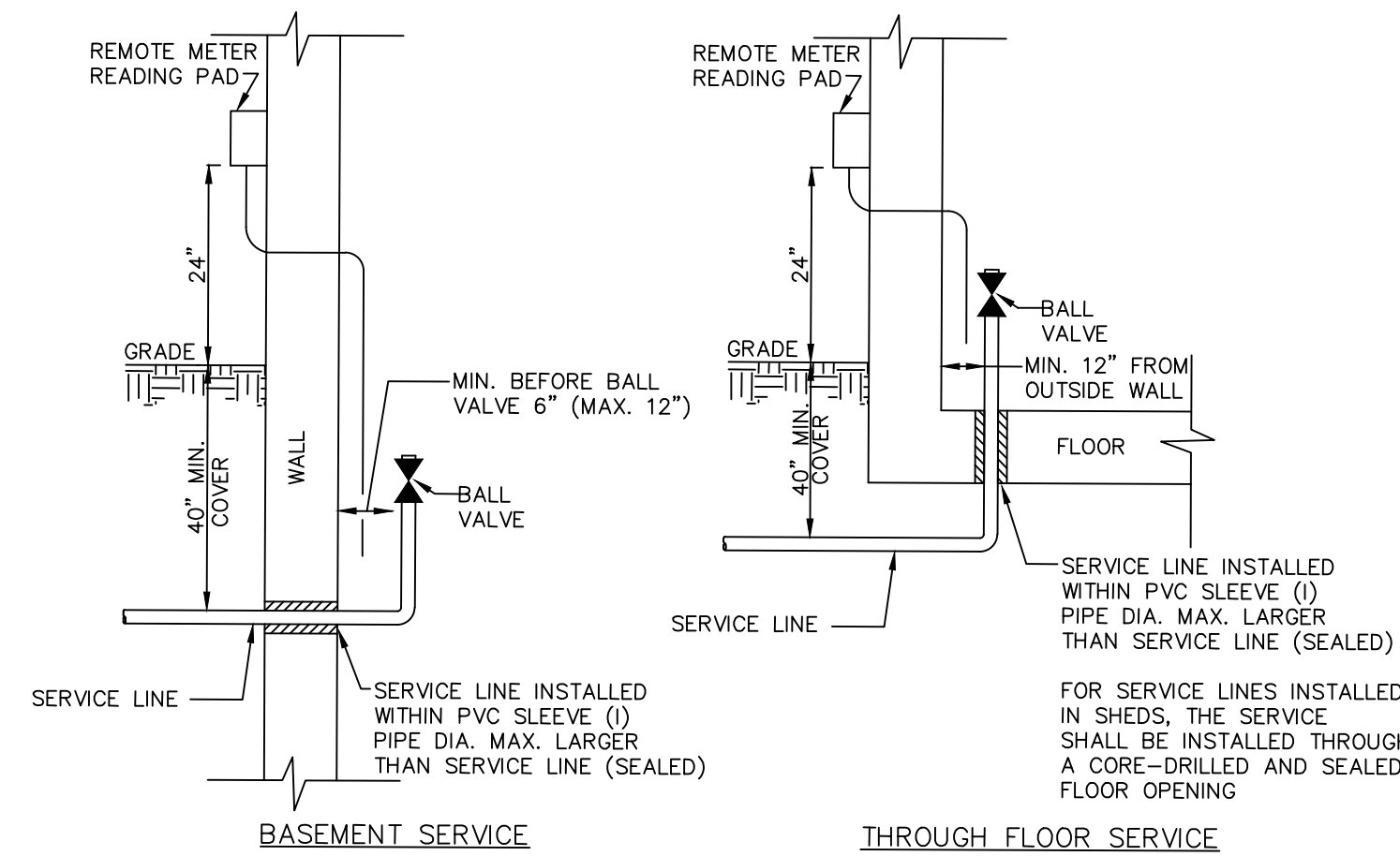
- NOTES:**
- TRENCH COMPACTION TO BE TESTED, AT THE DEVELOPERS EXPENSE, IN ACCORDANCE WITH PENNDOT PUB 408, AS REQUIRED BY THE AUTHORITY'S ENGINEER.
 - CLEAN FILL MUST BE APPROVED BY THE AUTHORITY'S ENGINEER PRIOR TO PLACEMENT IN THE TRENCH.
 - AREAS AROUND MANHOLES AND OTHER APPURTENANCES SHALL BE HAND COMPACTED AS DIRECTED BY THE AUTHORITY'S ENGINEER.
 - SPECIAL CONDITIONS OF HIGHWAY OCCUPANCY PERMIT MAY SUPERCEDE THIS DETAIL.



- NOTES:**
- WET TAPPING UNDER NORMAL LINE PRESSURE IS REQUIRED.
 - CORPORATION STOPS: MULLER B-25008, OR McDONALD 4701B-22, OR EQUAL.
 - CURB STOPS: MULLER B-25209, OR McDONALD 6100-22, OR EQUAL.
 - CURB BOX: MUELLER H-10306, OR McDONALD 5604, OR FORD EA2-45-50, OR EQUAL.
 - LID WITH CENTER, REMOVABLE, PENTAGONAL PLUG; MUELLER 89375, OR McDONALD 5614L.
 - CORPORATION STOP AND CURB STOP TO HAVE COMPRESSION FITTINGS. FLARE FITTINGS NOT PERMITTED.



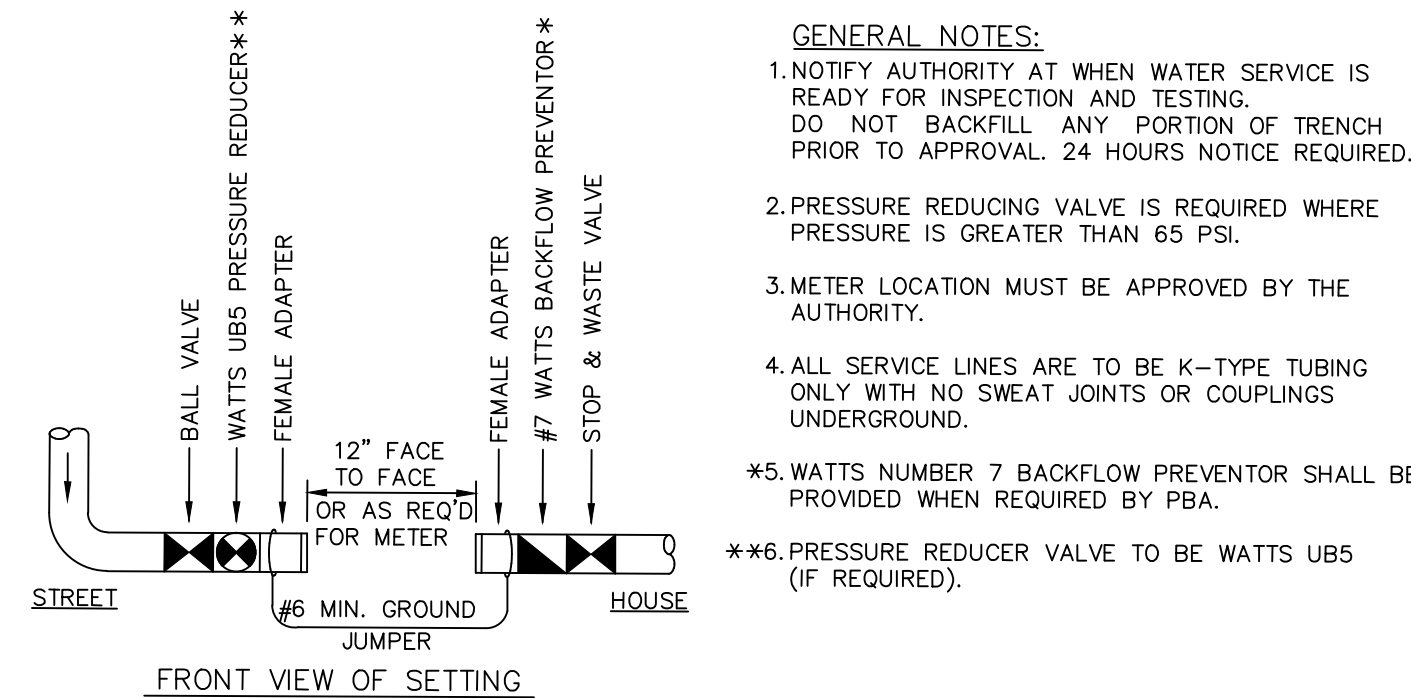
**TYPICAL RESIDENTIAL SERVICE LINE
CONNECTION DETAIL**
NTS



BASEMENT SERVICE

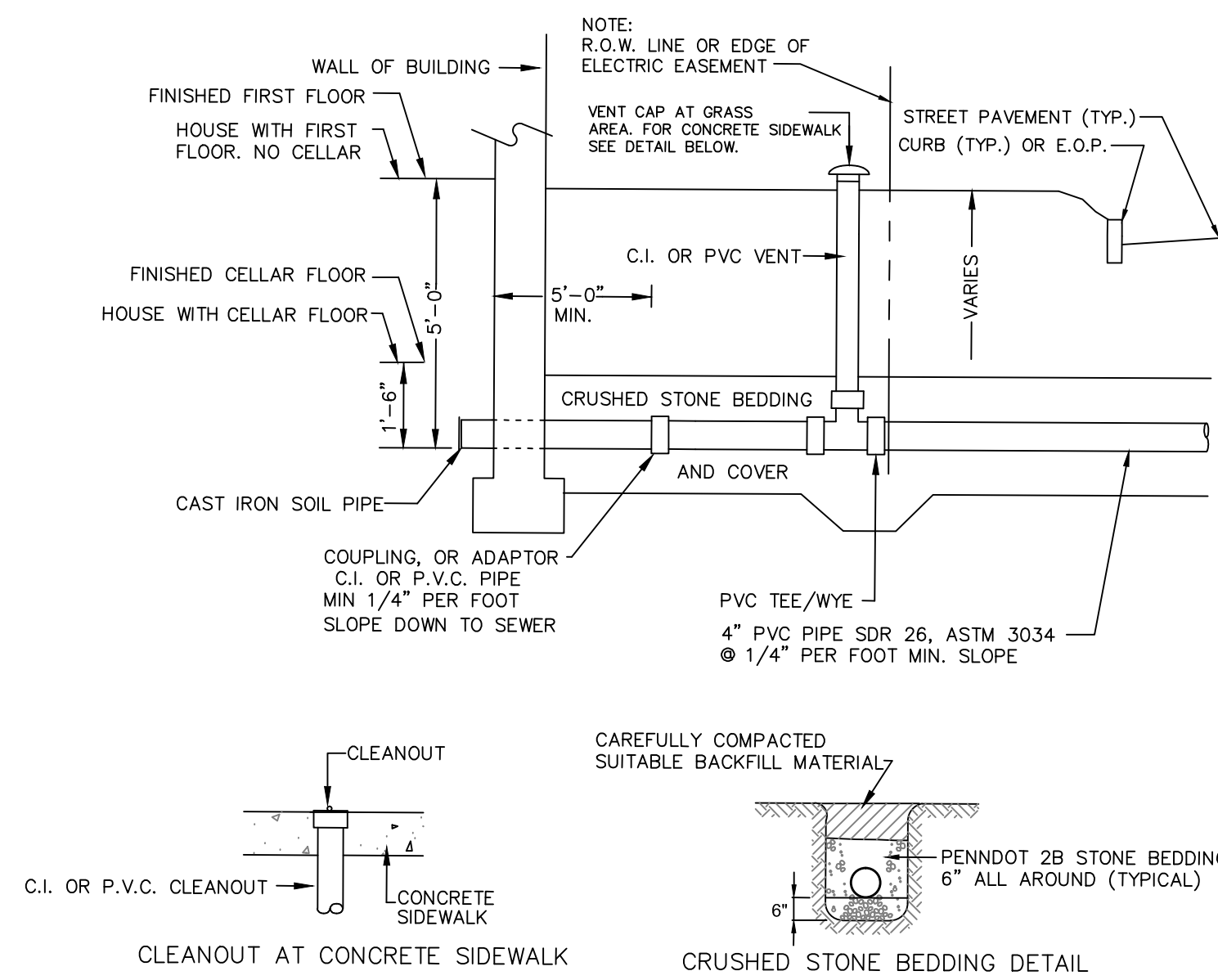
THROUGH FLOOR SERVICE

- GENERAL NOTES:**
- NOTIFY AUTHORITY AT WHEN WATER SERVICE IS READY FOR INSPECTION AND TESTING. DO NOT BACKFILL ANY PORTION OF TRENCH PRIOR TO APPROVAL. 24 HOURS NOTICE REQUIRED.
 - PRESSURE REDUCING VALVE IS REQUIRED WHERE PRESSURE IS GREATER THAN 65 PSI.
 - METER LOCATION MUST BE APPROVED BY THE AUTHORITY.
 - ALL SERVICE LINES ARE TO BE K-TYPE TUBING ONLY WITH NO SWEAT JOINTS OR COUPLINGS UNDERGROUND.
 - WATTS NUMBER 7 BACKFLOW PREVENTOR SHALL BE PROVIDED WHEN REQUIRED BY PBA.
 - PRESSURE REDUCER VALVE TO BE WATTS UB5 (IF REQUIRED).

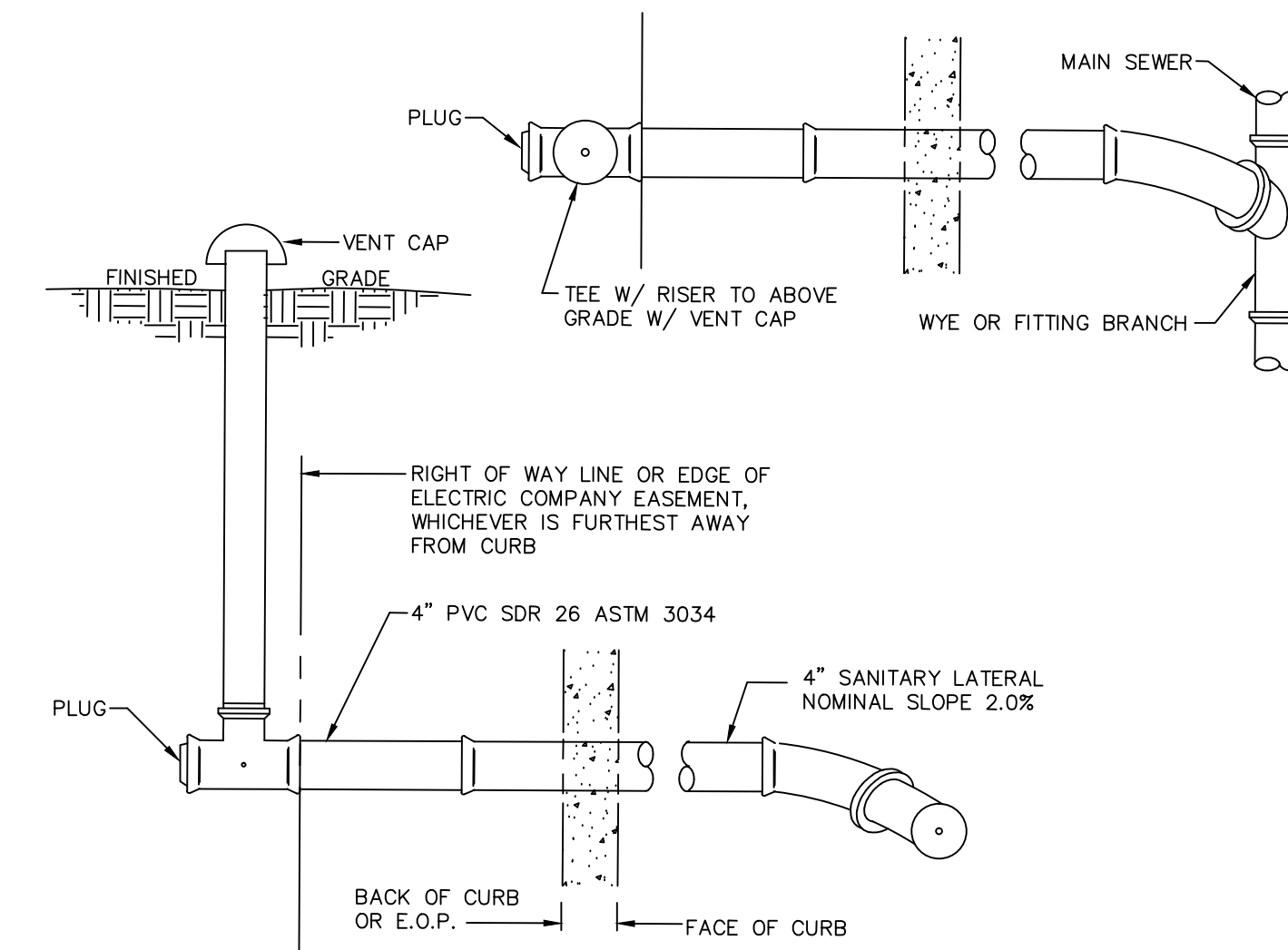


RESIDENTIAL METER SETTING REQUIREMENTS
NTS

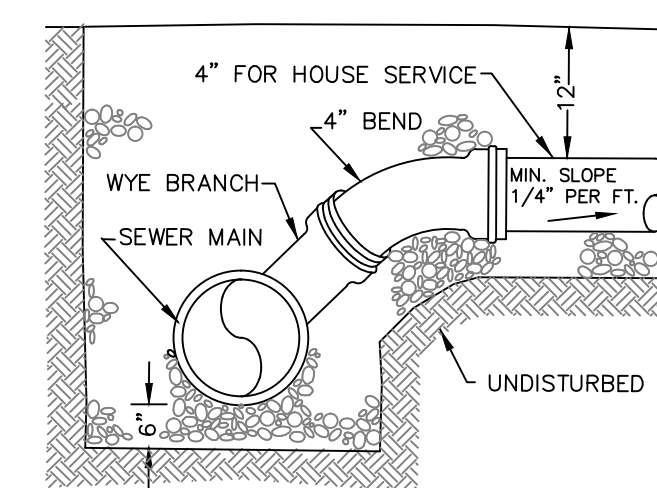
- NOTES:**
- ALL WATER SERVICES MUST HAVE DOUBLE STRAP BRASS SADDLES.
 - DIP IS REQUIRED FROM THE HYDRANT VALVE TO THE FIRE HYDRANT AND UNDER STORM SEWERS WHERE THERE IS LESS THAN 18" OF CLEARANCE.



**SEWER LATERAL NEW HOUSE
CONNECTION DETAIL**
NTS



SANITARY LATERAL SHALLOW SEWER DETAIL
NTS



TYPICAL CONNECTION TO SEWER MAIN
NTS

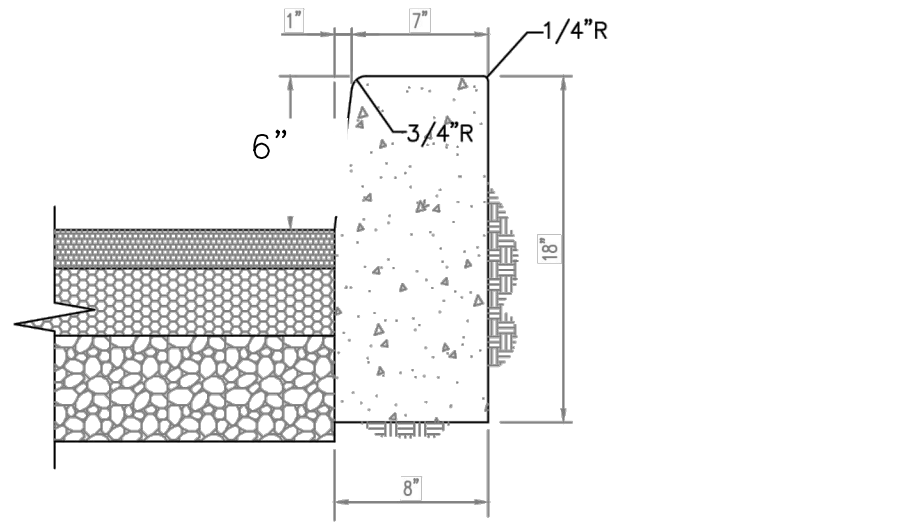
SANITARY SEWER SYSTEM NOTES

- SANITARY SEWERAGE SYSTEM SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH CITY OF BETHLEHEM AND PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION STANDARDS AND REGULATION AS APPLICABLE.
- PIPING SHALL BE 8-INCH DIAMETER SDR-35 PVC PIPE FOR GRAVITY MAINS AND 4-INCH SDR-35 PVC PIPE FOR INDIVIDUAL SERVICE LINES.
- ANY SANITARY SEWER GRAVITY MAIN WITH EQUAL TO OR GREATER THAN 15 FEET OF COVER SHALL BE 8-INCH DIAMETER SDR-26 PVC PIPE FOR THE ENTIRE LENGTH OF THE RUN BETWEEN ADJACENT STRUCTURES. IN CASE OF CONFLICT, THIS REQUIREMENT SHALL SUPERCEDE ALL OTHER NOTATIONS ON THIS PLAN.
- PIPING, STRUCTURES, AND APPURTENANCES SHALL BE DESIGNED TO WITHSTAND HS-25 HIGHWAY LOADING AND SHALL MEET OR EXCEED APPLICABLE PENNDOT AND ASTM STANDARDS.
- PROPOSED SANITARY SEWER MAINS, MANHOLES, AND APPURTENANCES WILL BE DEDICATED TO THE CITY OF BETHLEHEM.
- PROPOSED SANITARY SEWER SERVICE LATERALS (UPSTREAM OF THE WYE FITTING) WILL BE PRIVATELY OWNED AND MAINTAINED BY THE RESPECTIVE PROPERTY OWNER.

WATER SYSTEM NOTES

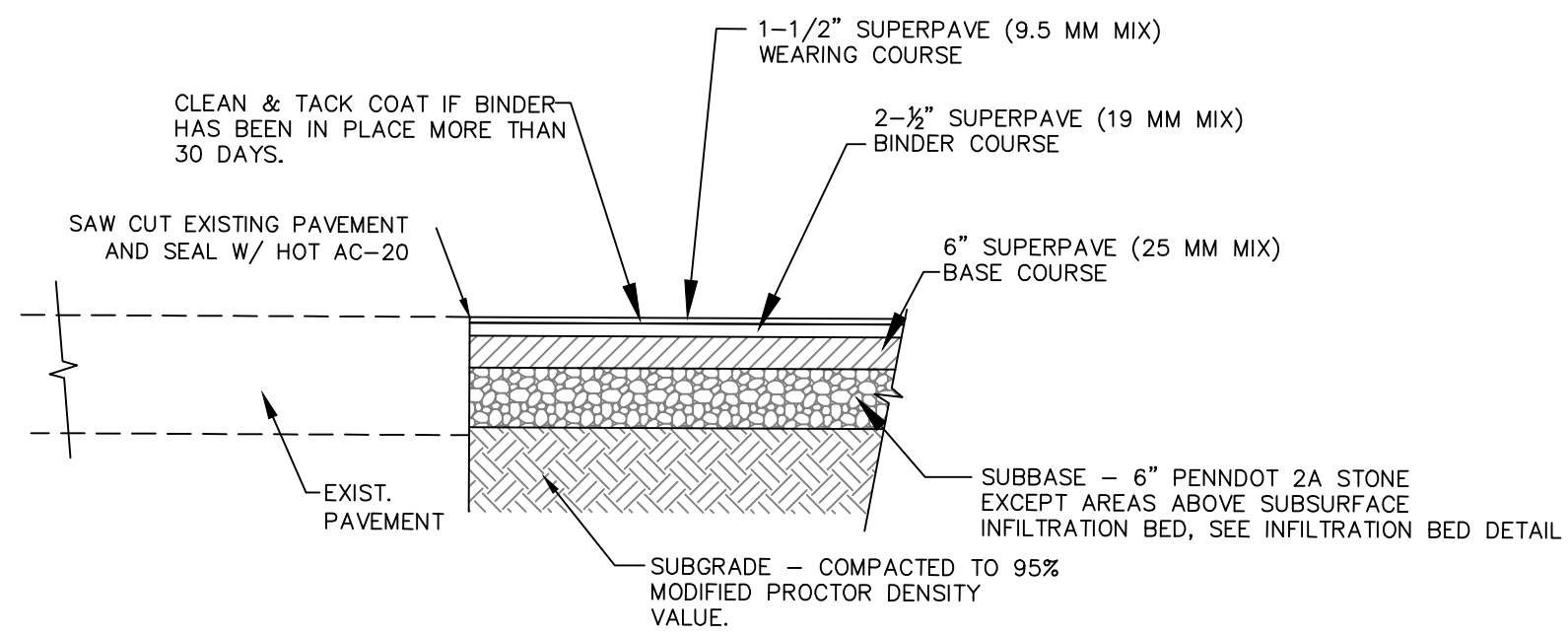
- WATER DISTRIBUTION SYSTEM SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH CITY OF BETHLEHEM, PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, AND AMERICAN WATER WORKS ASSOCIATION STANDARDS AND REGULATION AS APPLICABLE.
- PIPING SHALL BE CLASS 52 DUCTILE IRON PIPE OF THE SIZES INDICATED HEREIN FOR MAINS AND 3/4-INCH TYPE 'K' FLEXIBLE COPPER TUBING FOR INDIVIDUAL SERVICE LINES.
- PROVIDE A MINIMUM 10-FOOT HORIZONTAL SEPARATION OR 18-INCH CLEAR VERTICAL SEPARATION BETWEEN WATERLINES AND SANITARY OR STORM SEWERS WHERE PRACTICABLE.
- PROVIDE CONCRETE THRUST BLOCKS BEHIND ALL BENDS, TEES, FIRE HYDRANTS AND PLUGS.
- INSTALL WATER LINES AT LEAST FOUR FEET BELOW FINAL GRADE.
- WATER MAINS AND APPURTENANCES WILL BE DEDICATED TO THE CITY OF BETHLEHEM.
- INDIVIDUAL WATER SERVICE LATERALS (DOWNSTREAM OF CURB STOPS) WILL BE PRIVATELY OWNED AND MAINTAINED BY THE RESPECTIVE PROPERTY OWNER.
- ALL EXISTING SERVICE LINES ARE TO BE DISCONNECTED FROM THE WATER MAIN.

		CIVIL & CONSULTING ENGINEERS	
		4340 CREEK ROAD ALLENTOWN, PA 18104 rmcengineer@hotmail.com	
Title: FRANKFORD STREET APARTMENTS EAST FRANKFORD STREET, CITY OF BETHLEHEM, PA 18015		Date: SEPTEMBER 2, 2022	
UTILITY DETAILS		Sheet No. UD (5 OF 6)	
Project No. 21084		NTS	

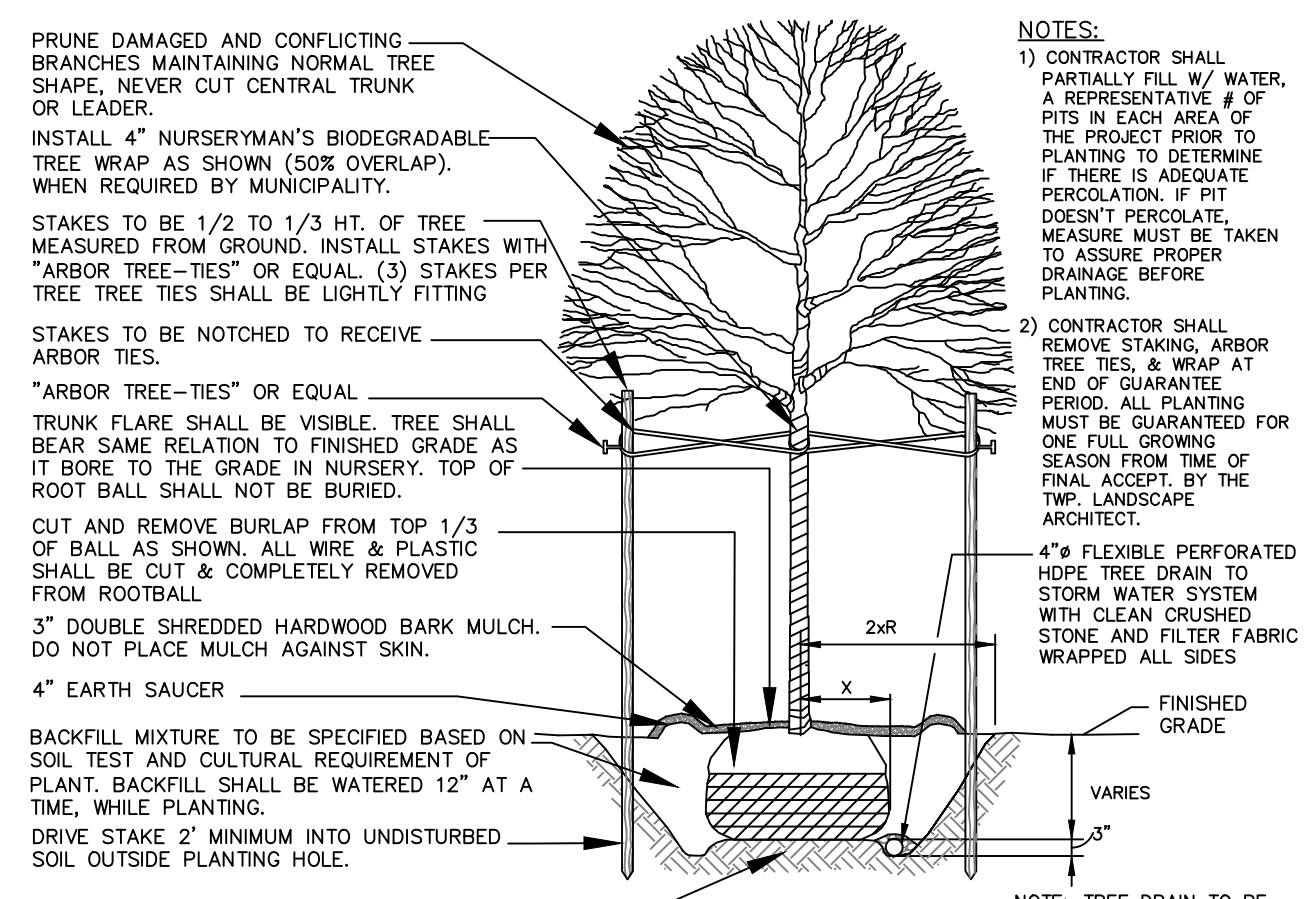


NOTE: PLAIN CEMENT CONCRETE CURB SHALL BE 18 INCHES IN DEPTH PLACED AND FINISHED IN ACCORDANCE WITH REQUIREMENTS SET FORTH IN THE LATEST EDITION OF PENNDOT SPECIFICATIONS, FORM 408. MATERIAL SHALL CONSIST OF CLASS "A" CEMENT CONCRETE WITH 6% AIR ENTRAINMENT AND WHITE CURING COMPOUND SEALANT WITH A MINIMUM DESIGN COMPRESSIVE STRENGTH OF 3,000 AFTER 28 DAYS. MAXIMUM CONTRACTION SPACING SHALL BE 20 FEET, MINIMUM CONTRACTION SPACING SHALL BE 4 FEET. THREE QUARTER INCH EXPANSION MATERIAL JOINTS SHALL BE PLACED AT MINIMUM INTERVALS OF 30 FEET. FLEXIBLE FORMS SHALL BE REQUIRED FOR ALL CURB RADII LESS THAN 150 FEET.

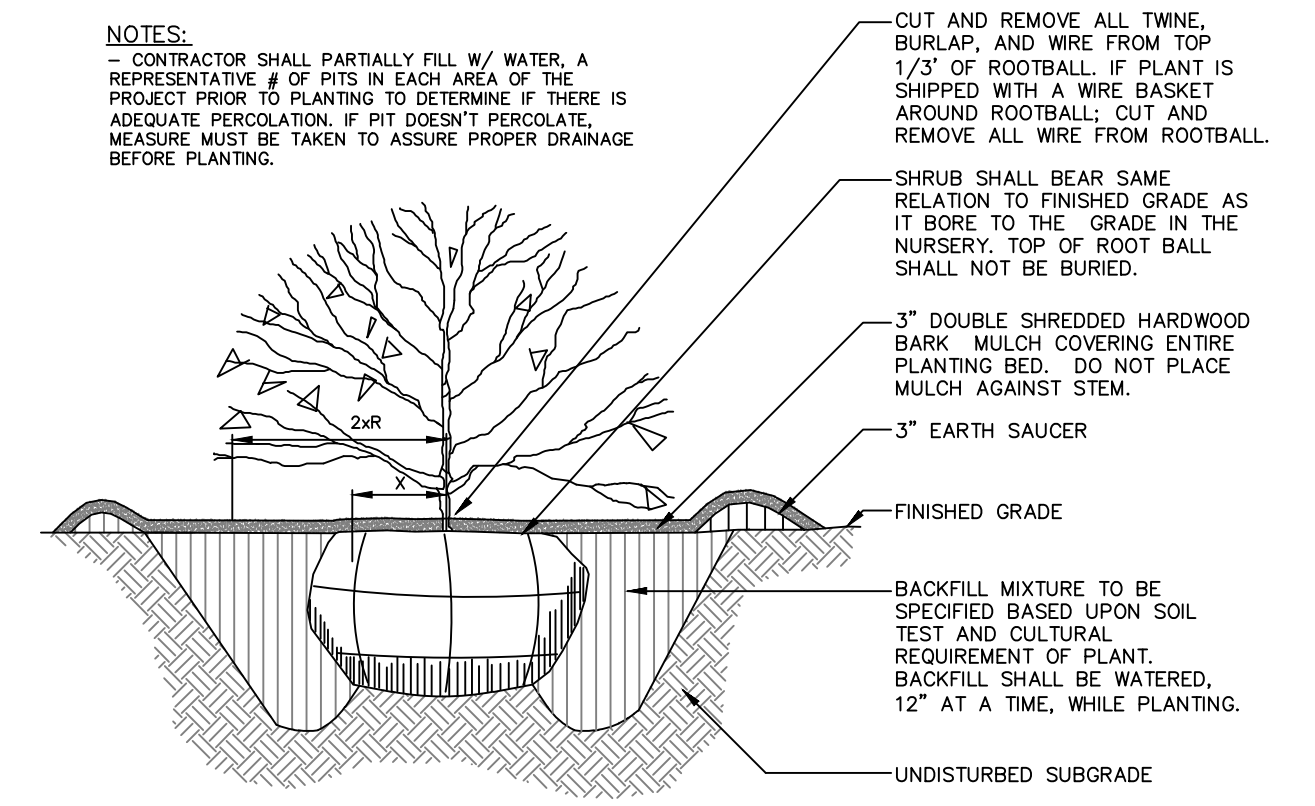
CONCRETE CURB DETAIL
NOT TO SCALE



ROADWAY PAVEMENT DETAIL
NTS



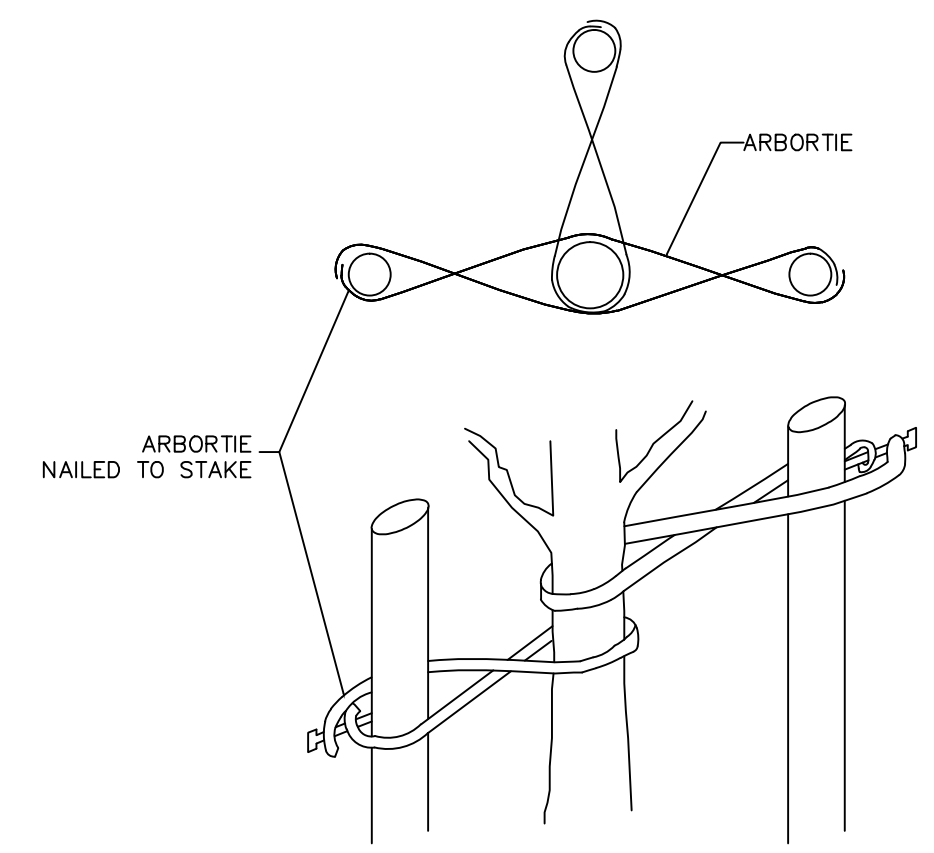
DECIDUOUS TREE PLANTING DETAIL
N.T.S.



SHRUB PLANTING DETAIL
N.T.S.

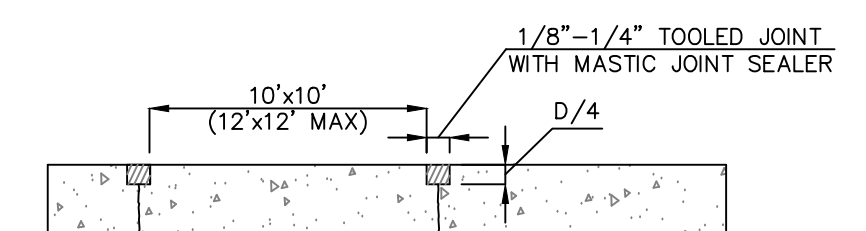
LANDSCAPING NOTES

- CONTRACTOR SHALL VERIFY THE PRESENCE, LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO BEGINNING LANDSCAPE CONSTRUCTION. CALL PA ONE CALL (800) 242-1776.
- CONTRACTOR SHALL LAYOUT AND REVIEW ALL PLANT MATERIAL AND PLANT LOCATIONS WITH LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION.
- CONTRACTOR SHALL LOCATE PLANTINGS TO AVOID PLACEMENT WITHIN SWALE CENTERLINES.
- MULCH FOR ALL PLANTINGS SHALL BE DOUBLE SHREDDED HARDWOOD BARK MULCH, DARK BROWN IN COLOR, AGED AT LEAST ONE YEAR AND CLEAN AND FREE OF WEEDS.
- ALL PLANT GROUPINGS AND HEDGES SHALL BE COMPLETELY ENCOMPASSED WITHIN ONE LARGE MULCH BED AT EACH PLANT GROUPING LOCATION.
- CONTRACTOR SHALL APPLY A PRE-EMERGENT WEED PREVENTATIVE SUCH AS TREFLAN TO TOPSOIL PRIOR TO MULCHING ACTIVITIES.
- CONTRACTOR SHALL MAINTAIN ALL NEW PLANTINGS FOR A PERIOD OF THIRTY DAYS. THIS SHALL INCLUDE WATERING, FERTILIZING, MULCHING, CULTIVATING, ETC. FOR A WEED FREE HEALTHY LANDSCAPE.
- CONTRACTOR SHALL PERMANENTLY RESTORE ALL NON-PAVED AREAS ON THE SUBJECT PROPERTY TO A GRASSED CONDITION.
- CONTRACTOR SHALL TEST EXISTING TOPSOIL TO DETERMINE PROPER LINE AND FERTILIZER APPLICATION RATES. PERMANENT LAWN ESTABLISHMENT SHALL INCLUDE FINE GRADING OF TOPSOIL, SEEDING, FERTILIZER, MULCH AND ADEQUATE 60-DAY MAINTENANCE IN ORDER TO ACHIEVE A "GOOD STAND" OF TURF. A "GOOD STAND" OF TURF SHALL BE DEFINED AS A WEED FREE LAWN WITH 95% COVERAGE UPON CLOSE EXAMINATION OF ANY GIVEN FOUR SQUARE FOOT AREA.
- CONTRACTOR SHALL GUARANTEE ALL REQUIRED PLANTINGS FOR A PERIOD OF TWENTY-FOUR MONTHS FROM THE DATE OF FINAL ACCEPTANCE. PLANTINGS SHALL BE ALIVE AND HEALTHY AS DETERMINED BY THE ARCHITECT, OWNER, OR HIS AGENT AT THE END OF THE GUARANTEE PERIOD. FINAL ACCEPTANCE SHALL BEGIN UPON SUCCESSFUL COMPLETION OF THE REQUIRED MAINTENANCE PERIOD.
- NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBANCE IS ALLOWED IN THE TREE PROTECTION ZONE UNLESS INDICATED ON THE PLAN.
- TREE PROTECTION BARRICADES MUST BE INSTALLED PRIOR TO ANY DESTRUCTION AND/OR CONSTRUCTION ACTIVITY.
- THE ROOT PROTECTION ZONE SHALL BE DEFINED AS THE AREA ENCOMPASSED BY A CIRCLE WITH A RADIUS EXTENDING 1.25 FT. FROM THE TRUNK OF THE TREE FOR EVERY INCH DBH (DIAMETER AT BREAST HEIGHT) OF THE TREE.
- VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO PENALTY PER CITY ORDINANCE.
- ALL TREES ON PUBLIC PROPERTY ARE PROTECTED BY ORDINANCE. NO PRUNING, ROOT PRUNING OF ROOTS OVER ONE INCH IN DIAMETER, AND/OR TREE REMOVAL IS TO BE PERFORMED WITHOUT A PERMIT AND WORK MUST BE PERFORMED BY A CITY LICENSED TREE CONTRACTOR.
- ALL PLANT MATERIALS ARE TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- STREET AND PARKING LOT TREES SHALL BE A MINIMUM OF 14 FT. IN HEIGHT AND HAVE A SINGLE STRAIGHT TRUNK WITH THE FIRST LATERAL BRANCH AT 7 FT. ABOVE THE ROOT BALL. TREES WITH AN UPRIGHT BRANCHING HABIT, SUCH AS ZELKOVA, MAY HAVE THE FIRST LATERAL BRANCH AT 6 FT. ABOVE THE ROOT BALL.
- ALL LANDSCAPING SHALL CONFORM TO THE CURRENT EDITION OF THE ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE OF THE CITY OF BETHLEHEM.
- A ROOT CONTROL SYSTEM IS REQUIRED WHEN INSTALLING STREET TREES. THE ROOT BARRIER SHALL BE OF THE BIO-BARRIER TYPE AND A MINIMUM OF EIGHTEEN (18) INCHES WIDE. ANY SUBSTITUTION SHALL BE APPROVED BY THE CITY FORESTER. THE ROOT-CONTROL SYSTEM IS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TREE OPENINGS IN THE SIDEWALK SHALL HAVE THE BIO-BARRIER INSTALLED ALONG THE FACE OF THE TREE OPENING WHICH IS PARALLEL TO THE STREET AND CLOSEST TO THE PROPERTY LINE, OVERLAPPING THE NEAREST TWO CORNERS BY APPROXIMATELY FOUR (4) INCHES. WHERE TREES ARE TO BE PLANTED IN A PARKWAY OR PLANTING STRIP BETWEEN CURB AND SIDEWALK, THE BARRIER SHALL BE INSTALLED ALONG THE SIDEWALK EDGE CLOSEST TO THE CURB AND CENTERED ON THE ROOT SOURCE. THE LENGTH OF THE BARRIER SHALL BE A MINIMUM LENGTH EQUAL TO THE SPREAD OF THE TREE CANOPY AT MATURITY PLUS TEN (10) FEET.



FOLD ENDS OF ARBORTIE BACK. SECURE TO STAKE WITH 1" GALVANIZED ROOFING NAIL OR USE A KNOT.

STAKING DETAIL
N.T.S.



- NOTES:
- EXPANSION JOINTS TO BE LOCATED AT ALL STRUCTURES; AND WHERE PATIO ABUTS THE EXISTING CONCRETE.
 - EXPANSION MATERIALS TO BE 1/2" PREMOULDED, ASPHALT IMPREGNATED, JOINT FILLER.
 - TOOLED JOINTS TO BE SPACED EQUAL TO THE PATIO WIDTH 10'x10' (12'x12' MAX).
 - ALL MATERIALS AND METHODS TO BE IN CONFORMANCE WITH THE STANDARD SPECIFICATIONS.

CONCRETE PAD DETAIL
NTS

CITY OF BETHLEHEM, PA BUREAU OF ENGINEERING

CONSTRUCTION STANDARD NO. 1
for CONCRETE CURB, GUTTER and SIDEWALK
FEBRUARY 7, 2001
REV. JUNE 4, 2013

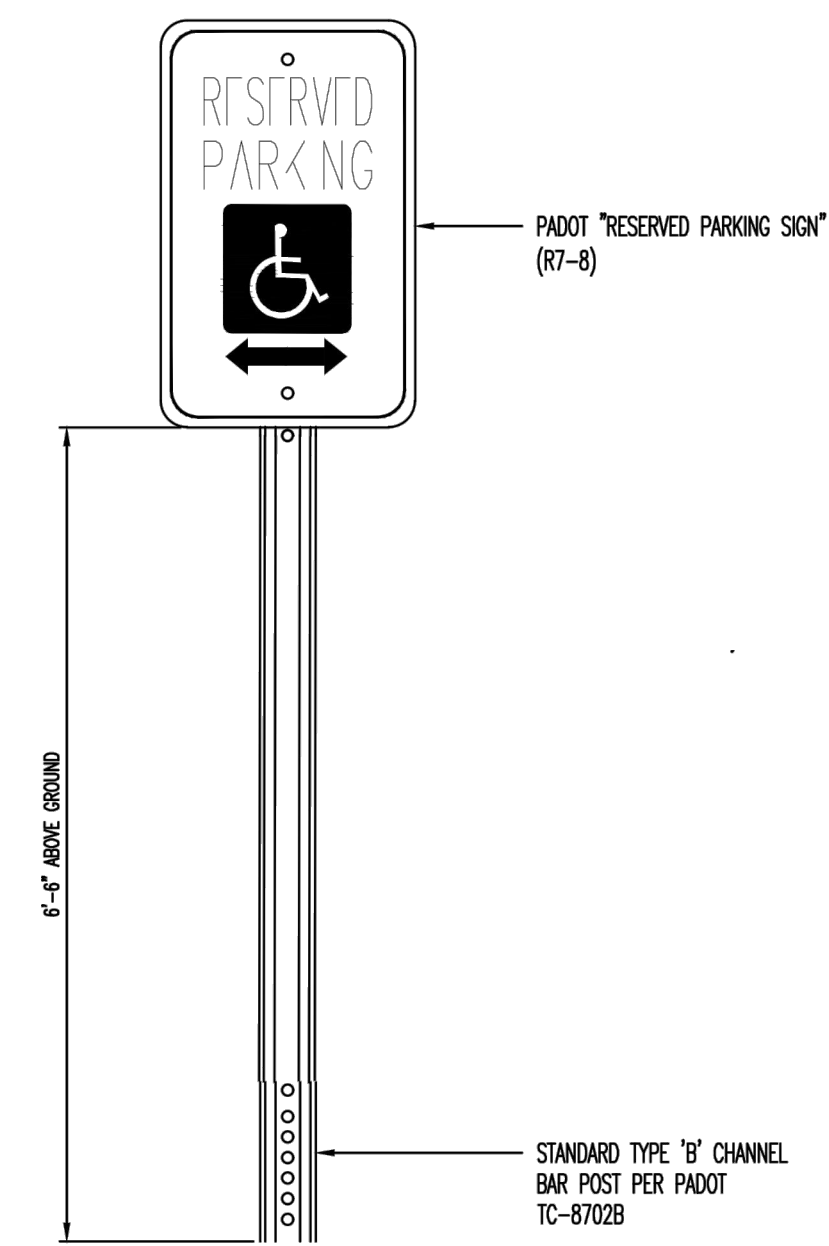
GENERAL REQUIREMENTS:
One Course (Monolithic) Construction for all Curb, Gutter and Sidewalk.
Concrete Mix: To be Class A Concrete 3500# 6 Bag Mix - 5.6 Gal. Water per bag throughout; use power batch mixer. No slag.
Curb: 21" Depth with approved finish on top and exposed face.
Gutter: 8" Depth - Slope of Gutter 1/2" rise per foot away from curb.
Sidewalk: Thickness - Residential Driveways - 6". At Business and Industrial Driveways - 8".
Finish - Use a float and broom finish to produce skid resistant surface.
On Grades of 5% or more, produce a rougher finish.
Slope - Walk and Parkway Areas 1/4" per foot (2%) toward curb.
Expansion and Contraction Joints: See City Construction Standard No. 1A.
Handicapped Ramps: Required on all Ramps in accordance with current ADA requirements.
Driveways: See City Standard Driveway Entrance and Apron Sketch.

Excavation in Cartway: When excavating in the cartway of a City street, a clean, full depth cut - by jack hammering or sawcutting - shall be made in the street between the affected and the unaffected work areas. Further, final restoration in the affected area of the street shall consist of creating a new clean cut by sawcutting 12" beyond the edge of any affected work areas, backfilling with PennDOT 2A Modified stone, and properly compacting this stone to the elevation of the top of the subbase (i.e. bottom of the base course of the macadam), but no higher than 3-inches below the finish grade - except as required to provide reasonable temporary access at driveways.

ORDINANCE REQUIREMENTS:
Warrant of Survey - Procured from the City Engineer's Office; provides for establishing Line & Grades; Stakes to be protected by applicant and used within 30 days.
Excavation Permit - Procured from the City Engineer's Office; for sidewalk and driveway construction.

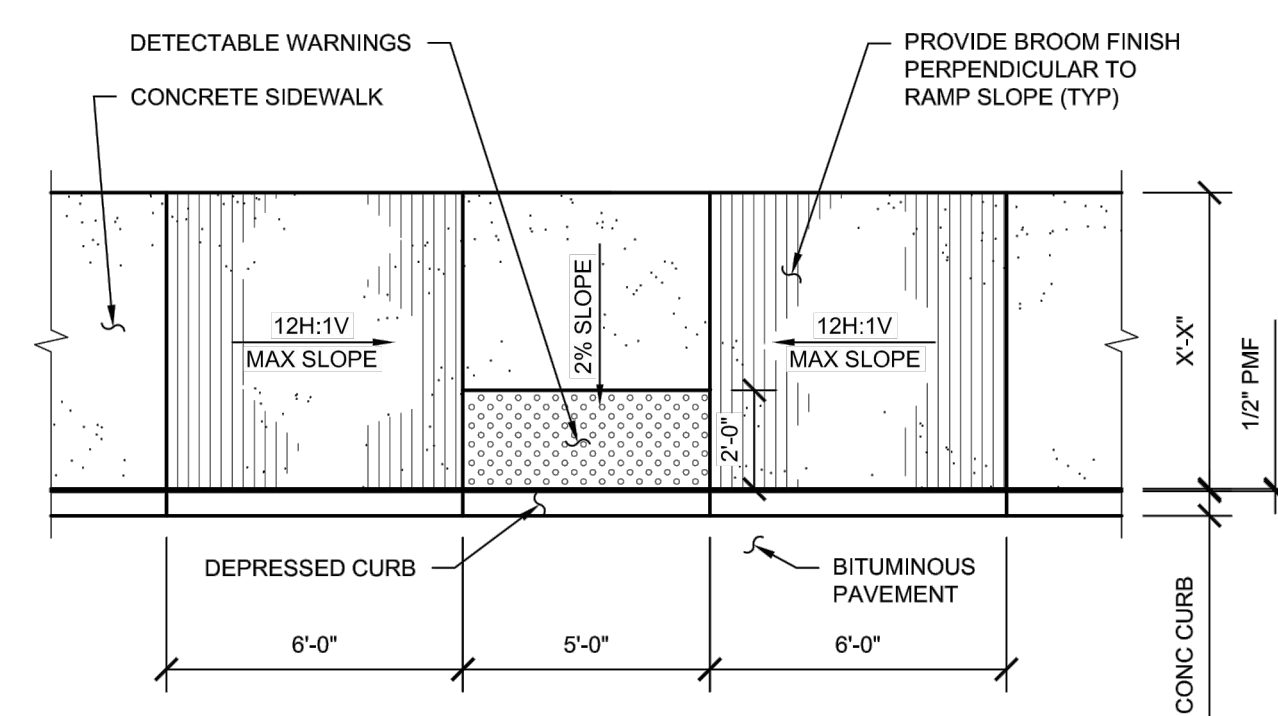
DETAIL REQUIREMENTS:
For further details and other requirements see the following documents on file in the Office of the City Engineer: "Standard Specifications for the Construction of Concrete Curb, Gutter and Sidewalk" Codified Ordinances of the City of Bethlehem, Articles 903 and 909.

NOTES:
* Whenever a curb, gutter and/or sidewalk is located in a Historic District, special requirements may apply.
* Changes to dimensional requirements may be considered in cases where obstructions or encroachments exist. Any exceptions must be approved by the City Engineer. Current ADA requirements must be met in all cases.



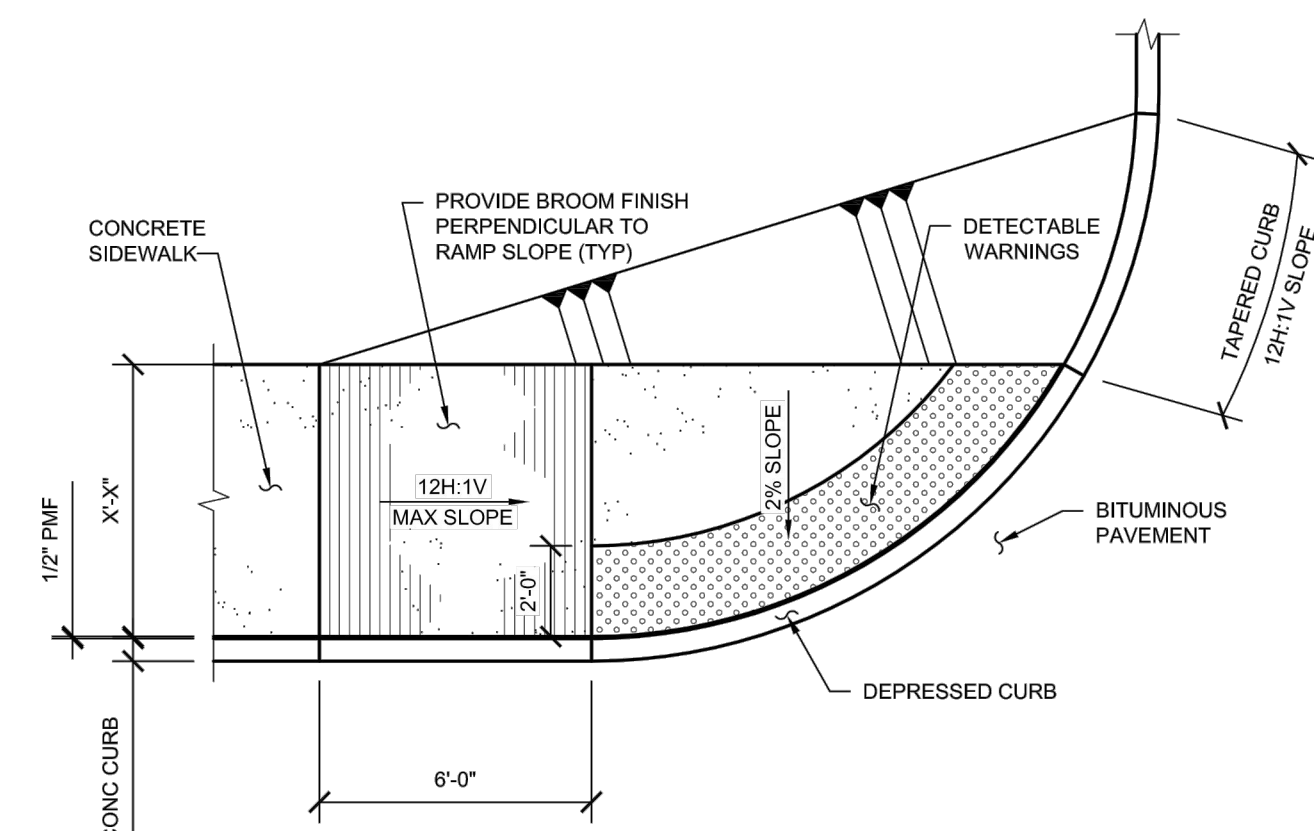
- NOTE:
- SIGNS TO BE INSTALLED IN ACCORDANCE WITH APPLICABLE NOTES AND SPECIFICATIONS PROVIDED WITHIN PADOT TC-8702B.
 - SIGNS TO BE INSTALLED WITHIN CONCRETE BOLLARD IF WITHIN 2 FT FROM FACE OF CURB.

ADA ACCESSIBLE PARKING SIGN
NOT TO SCALE



ADA CURB RAMP
NOT TO SCALE

- NOTES
- DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A NOMINAL DIAMETER OF 0.9 INCH, A NOMINAL HEIGHT OF 0.2 INCH AND A CENTER TO CENTER SPACING OF 2.35 INCHES AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.

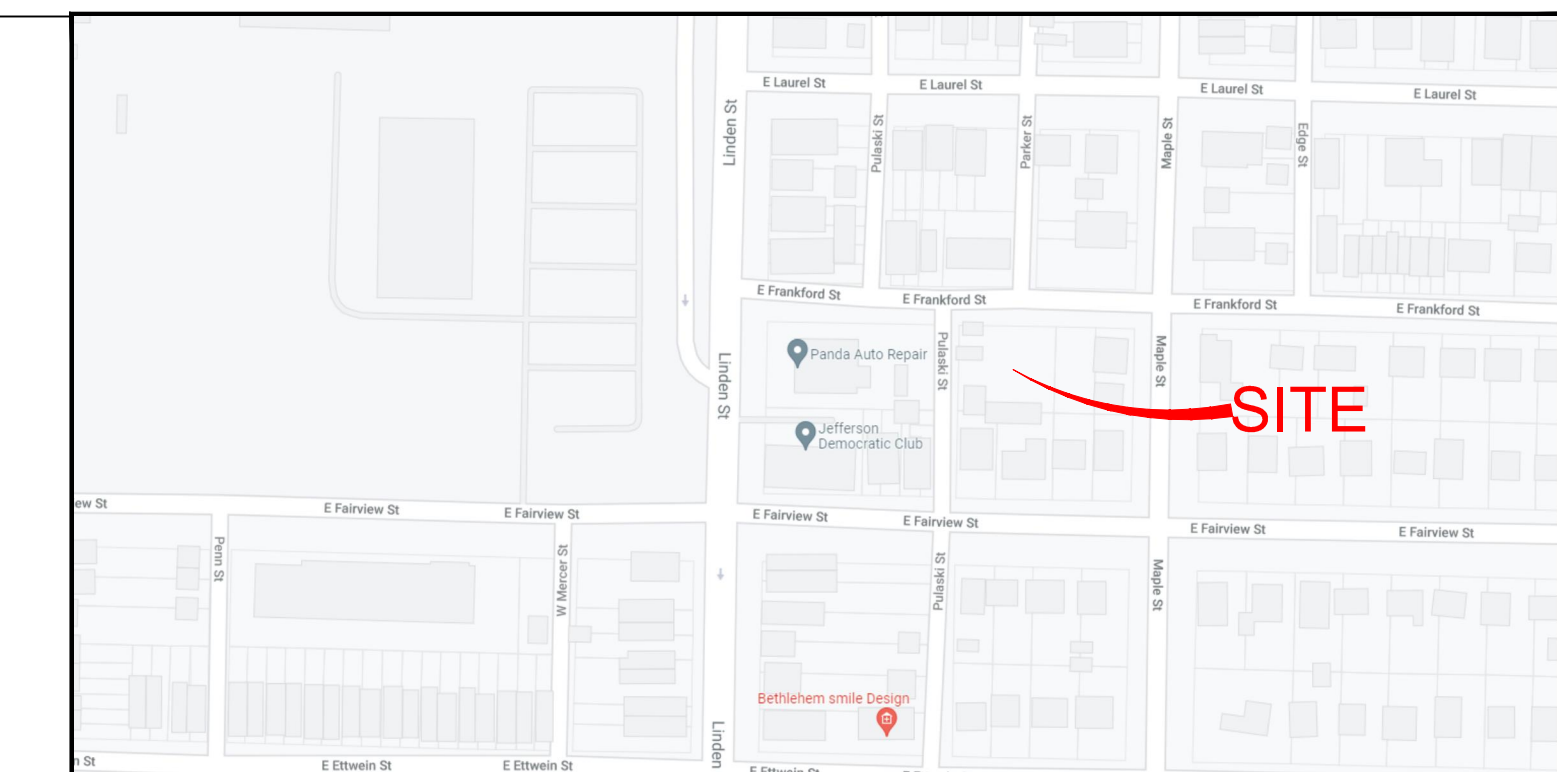


ADA CURB RAMP (TYPE 1A)
NOT TO SCALE

- NOTES
- DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A NOMINAL DIAMETER OF 0.9 INCH, A NOMINAL HEIGHT OF 0.2 INCH AND A CENTER TO CENTER SPACING OF 2.35 INCHES AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.
 - SEE CONCRETE SIDEWALK DETAIL.
 - SEE CONCRETE CURB DETAIL.

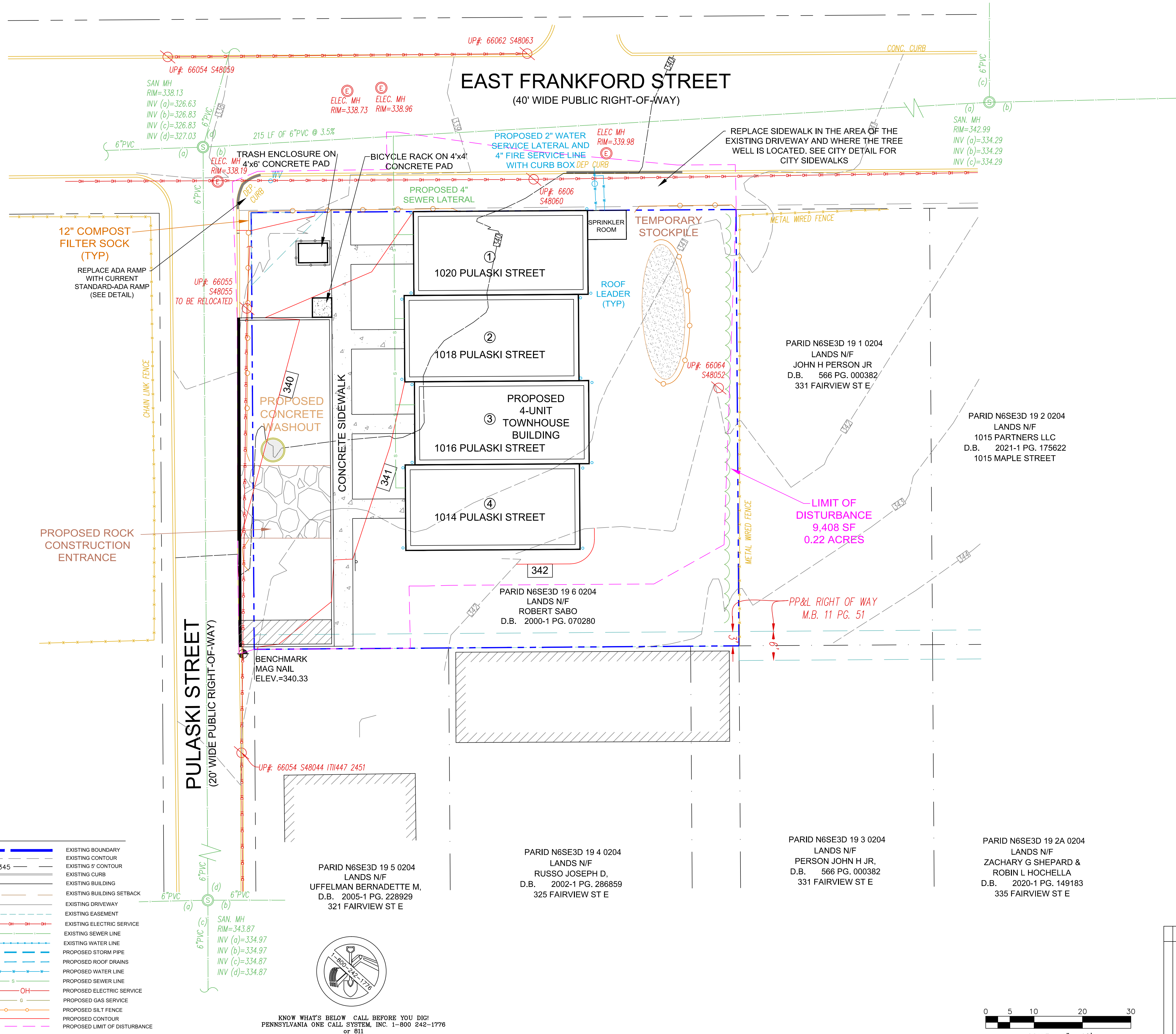
	CIVIL & CONSULTING ENGINEERS BOLO ENGINEERING, LLC 4340 CREEK ROAD ALLENTOWN, PA 18104 (610) 297-2868 mcengineer@hotmail.com
	Title: FRANKFORD STREET APARTMENTS EAST FRANKFORD STREET, CITY OF BETHLEHEM, PA 18015
	CONSTRUCTION DETAILS Date: SEPTEMBER 2, 2022 Sheet No. CD (6 OF 6)

Roderick M. Chirumbolo
PE-075093



AREA MAP

EAST FRANKFORD STREET (40' WIDE PUBLIC RIGHT-OF-WAY)



LAND USES

FOR THE PAST 5 YEARS THE PROPERTY HAS BEEN USED AS A VEHICLE STORAGE LOT THAT IS MOSTLY PAVED. FOR THE PAST 50-YEARS THE LOT HAS BEEN USED AS A COMMERCIAL PARKING LOT FOR VARIOUS VEHICLE TYPES.

SEQUENCE OF CONSTRUCTION

1. ALL EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED AND FUNCTIONAL BEFORE DISTURBANCE OF SITE COMMENCES.
2. INSTALL ROCK CONSTRUCTION ENTRANCE, STONES, MUD, DIRT AND/OR CONSTRUCTION DEBRIS MUST BE REMOVED FROM ALL ROADWAYS AND DRIVEWAYS IMMEDIATELY UPON OBSERVATION BY THE CONTRACTOR. UNDER NO CIRCUMSTANCES WILL STONES, MUD, DEBRIS, ETC BE ALLOWED TO REMAIN ON ROAD SURFACES FOR ANY PERIOD OF TIME. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE ANY ACTIONS NECESSARY TO REMOVE ANY AND ALL OF THESE ITEMS FROM ROAD SURFACES IMMEDIATELY UPON NOTICE, OR UPON BEING DIRECTED TO DO SO, REGARDLESS OF WHETHER OR NOT CONTRACTOR BELIEVES IT IS HIS RESPONSIBILITY. FAILURE TO COMPLY WITH THIS REQUIREMENT IS A VIOLATION AND COULD RESULT IN WORK STOPPAGE, PENALTIES, VIOLATION NOTICES OR OTHER REMEDIES.
3. INSTALL COMPOST FILTER SOCKS AS SHOWN ON THE PLAN.
4. STRIP AND STOCKPILE TOPSOIL, IMMEDIATELY STABILIZE STOCKPILE AND PROVIDE SILT FENCE.
5. CONSTRUCT BUILDING AND ROUGH GRADE PARKING AREA. IMMEDIATELY STABILIZE DISTURBED SURFACES.
6. PAVE PARKING AREA.
7. FINISH GRADING DISTURBED AREAS AND PERMANENTLY SEED AND STABILIZE ALL EXPOSED LAWN AREAS.
8. AFTER FINAL SITE STABILIZATION IS ACHIEVED, TEMPORARY EROSION AND SEDIMENT CONTROLS MUST BE REMOVED, THE STANDARD FOR A STABILIZED, EROSION RESISTANT PERENIAL VEGETATIVE COVER WILL BE A UNIFORM COVERAGE OR DENSITY OF 70% ACROSS THE DISTURBED AREA. AREAS DISTURBED DURING REMOVAL OF THE CONTROL.
9. ALL DISTURBED AREAS MUST BE SEED, SODED, AND/OR PLANTED OR OTHERWISE PROTECTED FROM EROSION WITHIN SIXTY (60) DAYS OF GROUND BREAKING AND SHALL BE WATERED, TENDERED, AND MAINTAINED UNTIL GROWTH IS WELL ESTABLISHED.

GENERAL NOTES:

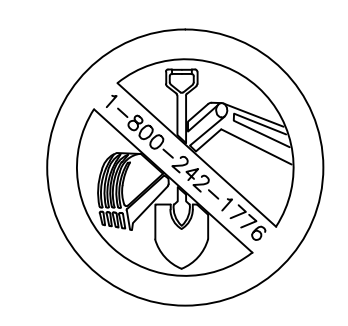
1. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON WAS TAKEN FROM A SURVEY PERFORMED BY VALLEY LAND SERVICES, LLC ON DECEMBER 21, 2021. BOLO ENGINEERING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON.
2. BENCHMARK = MAG NAIL, ELEVATION 340.33.
3. ANY INFORMATION APPEARING ON THESE DRAWINGS AS TO THE UNDERGROUND UTILITY LINES HAS BEEN DEVELOPED FROM ABOVE-GROUND EXAMINATIONS OF THE SITE. THE CONTRACTOR, WITHIN THREE DAYS OF THE START OF CONSTRUCTION, SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES IN ACCORDANCE WITH PA ACT NO. 287 (1-800-242-1776).
4. ANY FILL BEING UTILIZED FOR CONSTRUCTION ON THIS SITE SHALL BE OBTAINED FROM A SITE THAT HAS AN APPROVED E8SPC PLAN.
5. ANY PROPOSED ELECTRIC, GAS, TELEPHONE AND CATV SERVICE LINES SHALL BE LOCATED UNDERGROUND.
6. ALL SOILS EXCAVATED FROM THE PROPOSED CONSTRUCTION WILL BE DISPERSED ON-SITE OR TAKEN TO AN APPROVED SITE.
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND PENNSYLVANIA DEPARTMENT OF TRANSPORTATION STANDARDS AND REGULATIONS AS APPLICABLE.
8. CONTRACTOR SHALL VERIFY LOCATIONS OF ANY AND ALL UNDERGROUND UTILITIES IN ACCORDANCE WITH PA ACT 121 PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER IN THE EVENT THAT A CONFLICT IS DISCOVERED.
9. PROPOSED ELEVATION CONTOUR LINES DEPICTED ON THIS PLAN REPRESENT FINAL GRADES AT THE COMPLETION OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AT ALL TIMES DURING CONSTRUCTION TO PREVENT THE PONDING OF WATER ON THE SITE.
10. CONTRACTOR SHALL DEWATER AND OTHERWISE MAINTAIN UTILITY TRENCHES AND OTHER EXCAVATIONS FREE OF WATER (GROUND WATER AND SURFACE WATER) AT ALL TIMES USING A PUMPED WATER FILTER BAG OR OTHER APPROVED METHODS (REFER TO PUMPED WATER FILTER BAG DETAIL ON E&S POLLUTION CONTROL DETAILS PLAN). ADDITIONALLY, CONTRACTOR SHALL PROPERLY GRADE ADJACENT AREAS AND TAKE ANY OTHER REASONABLE PRECAUTIONS NECESSARY TO PREVENT WATER FROM ENTERING EXCAVATIONS.
11. IF CONTRACTOR ENCOUNTERS SOFT OR SATURATED SOILS DEEMED UNSUITABLE BY THE PROJECT ENGINEER DURING CONSTRUCTION, CONTRACTOR SHALL EXCAVATE, REMOVE, AND REPLACE ANY SUCH UNSUITABLE MATERIAL WITH COMPACTED CLEAN FILL OR AGGREGATE MATERIAL, AS DIRECTED BY THE PROJECT ENGINEER.
12. WHERE PLACEMENT OF FILL BENEATH SETTLEMENT SENSITIVE STRUCTURES (E.G. BUILDING PADS, PARKING LOTS, UTILITY AND STORM SEWERS LINES, AND RELATED STRUCTURES) IS NECESSARY TO ACHIEVE DESIRED SUBGRADE, CONTRACTOR SHALL PLACE AND COMPACT APPROPRIATE FILL MATERIAL IN MAXIMUM 8-INCH LIFTS TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR DENSITY OF THE MATERIAL (95% OF BUILDING PADS) OR AS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER.
13. LOCATIONS OF WATER AND SANITARY SEWER LATERALS AS DEPICTED HEREIN ARE APPROXIMATE AND COULD BE SUBJECT TO FIELD ADJUSTMENT.
14. PRIOR TO ANY WORK WITHIN PUBLIC RIGHTS-OF-WAY, PERMITS MUST BE OBTAINED FROM THE CITY OF BETHLEHEM ENGINEERING OFFICE AND/OR PENNDOT, AS APPLICABLE.
15. ANY AND ALL SITE IMPROVEMENTS PROPOSED HEREIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF BETHLEHEM AND/OR PENNDOT CONSTRUCTION STANDARDS IN EFFECT AT THE TIME OF SUBDIVISION AND/OR PENNDOT HIGHWAY OCCUPANCY PERMIT APPROVAL, AS APPLICABLE.
16. BUILDING DESIGN, MATERIALS, AND CONSTRUCTION FOR THE PROPOSED BUILDINGS SHALL MEET OR EXCEED INTERNATIONAL BUILDING CODE STANDARDS, LATEST EDITION.
17. PROPERTY OWNERS) THEIR HEIRS, SUCCESSORS, AND ASSIGNS SHALL BE PERPETUALLY RESPONSIBLE TO MAINTAIN EXISTING AND PROPOSED EASEMENTS LOCATED ON THEIR RESPECTIVE PROPERTIES IN A GRASSED OR OTHERWISE IMPROVED CONDITION IN ACCORDANCE WITH THE GRADES AND DESIGNS INDICATED ON THE APPROVED LAND DEVELOPMENT PLANS FOR THE PROJECT. DRAINAGE EASEMENTS PROVIDE FOR THE FLOW OF STORMWATER ACROSS LOTS AND MAY NOT BE ALTERED WITHOUT WRITTEN PERMISSION OF THE CITY ENGINEER. NO OBSTRUCTIONS SUCH AS PLANTING BERMS OR FENCES, OTHER THAN THOSE DEPICTED HEREIN, MAY BE INSTALLED IN DRAINAGE EASEMENTS WITHOUT MAKING SUFFICIENT PROVISIONS FOR THE PASSAGE OF STORMWATER. ANY SUCH PROPOSED PROVISIONS SHALL BE APPROVED IN WRITING BY THE CITY ENGINEER. IT IS INTENDED THAT THE MAINTENANCE RESPONSIBILITIES IMPOSED HEREUNDER SHALL BE A COVENANT RUNNING WITH THE LAND AND ENFORCEABLE AGAINST ALL FUTURE OWNERS.
18. BY SUBMISSION OF THESE PLANS, THE ENGINEER OF RECORD CERTIFIES THAT THESE PLANS ARE IN COMPLETE CONFORMANCE WITH THE CITY OF BETHLEHEM STORM WATER MANAGEMENT ORDINANCE.
19. ACCURATE AS-BUILT PLANS SHALL BE KEPT CURRENT DURING THE CONSTRUCTION PROCESS. AT THE COMPLETION OF THE PROJECT, RECORD DRAWINGS SHALL BE PREPARED FROM AS-BUILT PLANS AND SUBMITTED TO THE CITY ENGINEER'S OFFICE. ALL FINAL DRAWINGS SHALL SHOW NORTH AMERICAN DATUM (NAD) 1983 STATE PLANE COORDINATES IN FEET (PA SOUTH, FIPS ZONE 3702) AND THE DIGITAL FILE SHALL BE IN STATE PLANE FEET COORDINATES AS APPLICABLE. HARD COPIES OF RECORD DRAWINGS SHALL BE IN THE FORM OF MYLAR COPIES. THE ENGINEER OF RECORD SHALL CERTIFY (i.e. P.E. STAMPED AND SIGNED) THAT THE RECORD DRAWINGS COMPLY SUBSTANTIALLY WITH THE APPROVED PLANS AND THAT THEY CONFORM TO INDUSTRY STANDARDS. ALL DIGITAL FILES SHALL RESIDE ON A PC COMPATIBLE CD-ROM CONTAINING THE DIGITAL REPRESENTATION OF THE FINAL PLAN AS PRESENTED ON TWENTY-FOUR (24) THIRTY-SIX INCH SHEETS. DIGITAL PLANS SHALL BE AUTOCAD COMPATIBLE. ALL DRAWING LAYERS INCLUDED IN THE DIGITAL PLANS SHALL BE THE STANDARDIZED LAYERS PREPARED AND UTILIZED BY THE CITY OF BETHLEHEM TO ENSURE COMPATIBILITY WITH THE CITY'S EXISTING CAD STANDARDS AND AS DESCRIBED IN APPENDIX A OF THE CITY'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. THE CITY'S EXISTING CAD STANDARDS MUST BE REVIEWED AND REVISED TO BE COMPATIBLE WITH THE CITY'S CURRENT GIS SYSTEM AND STANDARDS.

LEGEND:

	EXISTING BOUNDARY
	EXISTING CONTOUR
	EXISTING 5' CONTOUR
	EXISTING CURB
	EXISTING BUILDING
	EXISTING BUILDING SETBACK
	EXISTING DRIVEWAY
	EXISTING EASEMENT
	EXISTING ELECTRIC SERVICE
	EXISTING SEWER LINE
	EXISTING WATER LINE
	PROPOSED STORM PIPE
	PROPOSED ROOF DRAINS
	PROPOSED WATER LINE
	PROPOSED SEWER LINE
	PROPOSED ELECTRIC SERVICE
	PROPOSED GAS SERVICE
	PROPOSED SILT FENCE
	PROPOSED CONTOUR
	PROPOSED LIMIT OF DISTURBANCE

KNOW WHAT'S BELOW CALL BEFORE YOU DIG!
PENNSYLVANIA ONE CALL SYSTEM, INC. 1-800-242-1776
OR 811

PENNSYLVANIA ACT 287 OF 1974 (AS AMENDED) REQUIRES
3 WORKING DAYS NOTICE FOR EXCAVATION PHASE AND
10 WORKING DAYS IN DESIGN STAGE - STOP! CALL!



PARID N6SE3D 19 5 0204
LANDS N/F
UFFELMAN BERNADETTE M,
D.B. 2005-1 PG. 228929
321 FAIRVIEW ST E

PARID N6SE3D 19 4 0204
LANDS N/F
RUSSO JOSEPH D,
D.B. 2002-1 PG. 286859
325 FAIRVIEW ST E

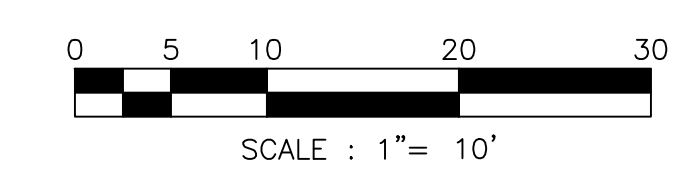
PARID N6SE3D 19 3 0204
LANDS N/F
PERSON JOHN H JR,
D.B. 566 PG. 000382
331 FAIRVIEW ST E

PARID N6SE3D 19 2A 0204
LANDS N/F
ZACHARY G SHEPARD &
ROBIN L HOCHELLA
D.B. 2020-1 PG. 149183
335 FAIRVIEW ST E

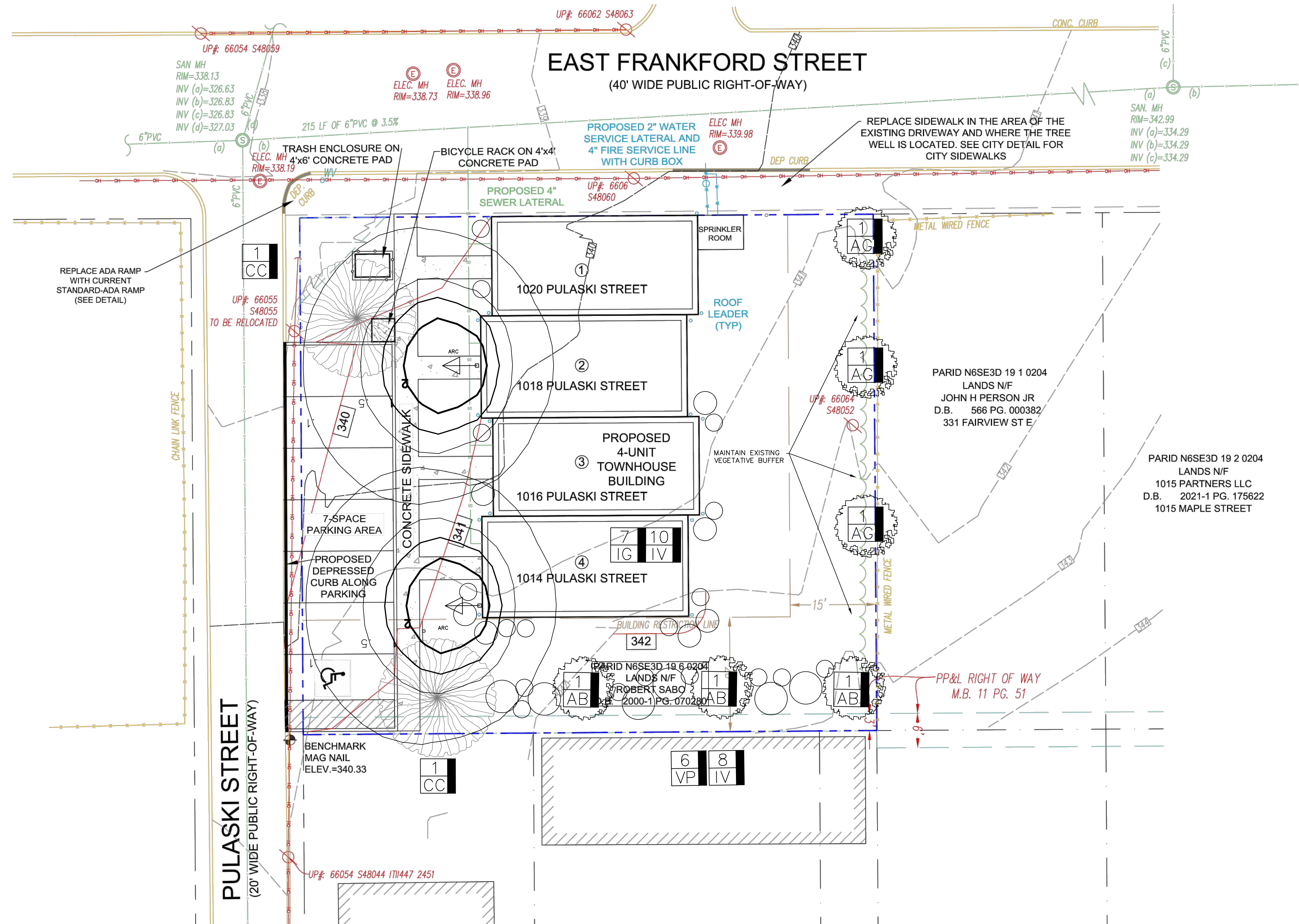
PARID N6SE3D 19 1 0204
LANDS N/F
JOHN H PERSON JR
D.B. 566 PG. 000382
331 FAIRVIEW ST E

PARID N6SE3D 19 2 0204
LANDS N/F
1015 PARTNERS LLC
D.B. 2021-1 PG. 175622
1015 MAPLE STREET

PARID N6SE3D 19 6 0204
LANDS N/F
ROBERT SABO
D.B. 2000-1 PG. 070280



<table border="1"> <tr> <th>Rev.</th> <th>Date</th> <th>Comment</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	Rev.	Date	Comment						<p>CIVIL & CONSULTING ENGINEERS</p> <p>4340 CREEK ROAD ALLENTOWN, PA 18104 (610) 297-2868 mrcengineer@hotmail.com</p>
	Rev.	Date	Comment						
	<p>Title: FRANKFORD STREET APARTMENTS EAST FRANKFORD STREET, CITY OF BETHLEHEM, PA 18015</p>								
<p>EROSION AND SEDIMENTATION CONTROL PLAN</p>									
<p>Plan Scale: 1"=10' Project No. 21084</p>									
<p>RODERICK M. CHIRUMBULO PE-075093</p>		<p>Date: SEPTEMBER 2, 2022</p>	<p>Sheet No. ES1 (1 OF 2)</p>						



REQUIRED LANDSCAPING:
 STREET TREES:
 PULASKI STREET = 90 LF FRONTAGE (1 TREE REQ'D PER 30 LF); 3 TREES REQ'D
 EAST FRANKFORD STREET = 100 LF FRONTAGE (1 TREE REQ'D PER 30 LF); 4 TREES REQ'D
 PROVIDED TREES=7

1. LANDSCAPE AREAS EQUAL TO 10 PERCENT OF THE OFFSTREET PARKING AREA SHALL BE PROVIDED.
 APPROX. PARKING AREA=1,206 SF
 REQ'D LANDSCAPE AREA=120 SF
 2. LANDSCAPE AREAS EQUAL TO 10 PERCENT OF THE MULTIFAMILY BUILDING AREA SHALL BE PROVIDED.
 APPROX. BUILDING AREA=2,520 SF
 REQ'D LANDSCAPE AREA=252 SF
 3. ONE (1) TREE PER 15 PARKING SPACES; 1 TREES REQUIRED; 1 TREE PROVIDED
 TOTAL REQ'D LANDSCAPE AREA=372 SF
 PROVIDED LANDSCAPE AREA=>400 SF

PLANT LIST: STREET & PARKING LOT TREES

KEY	BOTANIC / COMMON NAME	SIZE	ROOT CONDITION	QUANTITY
AB	ACER BUERGERIAUM / TRIDENT MAPLE	2"-2.5" CAL.	B&B	3
AG	ACER GRISELUM / PAPERBARK MAPLE	2"-2.5" CAL.	B&B	3
CC	CERIS CANADENSIS / EASTERN REDBUD	2"-2.5" CAL.	B&B	2

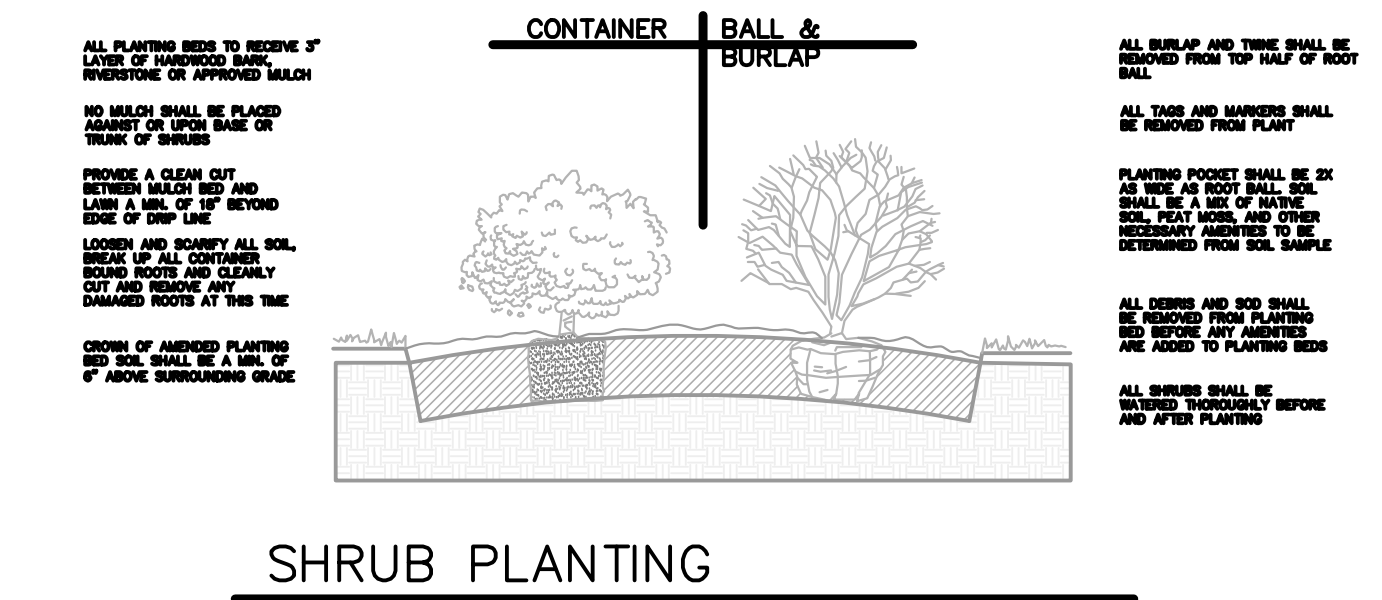
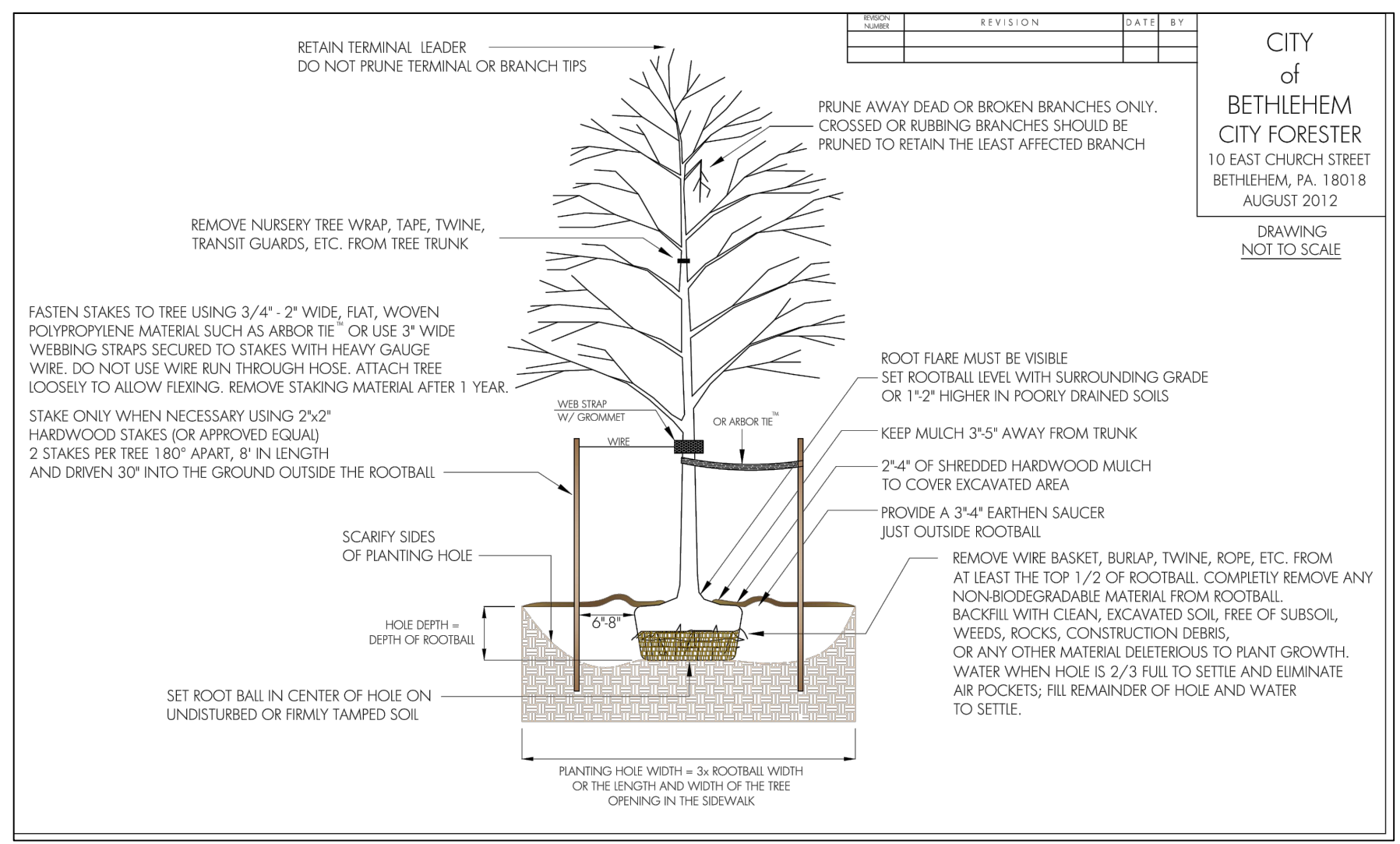
PLANT LIST: BUFFER PLANTS

KEY	BOTANIC / COMMON NAME	SIZE	ROOT CONDITION	QUANTITY
VP	VBURNUM X PRAGENSE / PRAGENSE VIBURNUM	7 LB	B&B	8
IV	ITEA VIRGINICA / LITTLE HENRY	5 LB	CONT.	8

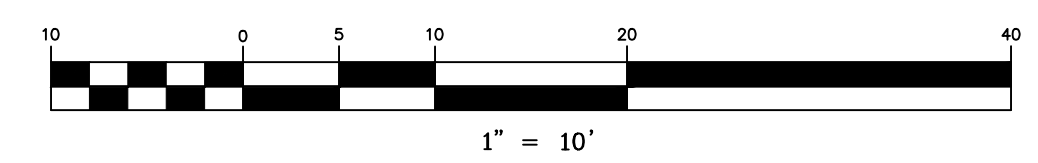
PLANT LIST: FOUNDATION PLANTS

KEY	BOTANIC / COMMON NAME	SIZE	ROOT CONDITION	QUANTITY
IG	ILEX GLABRA / SHAMROCK	5 LB	CONT.	7
IV	ITEA VIRGINICA / LITTLE HENRY	5 LB	CONT.	10

ALL TREES AND SHRUBS SHALL BE MATCHES, IN FORM, IN THEIR VARIETY.



SHRUB PLANTING
 NOTES
 1. REFER TO SITE PLAN FOR LANDSCAPED AREAS.



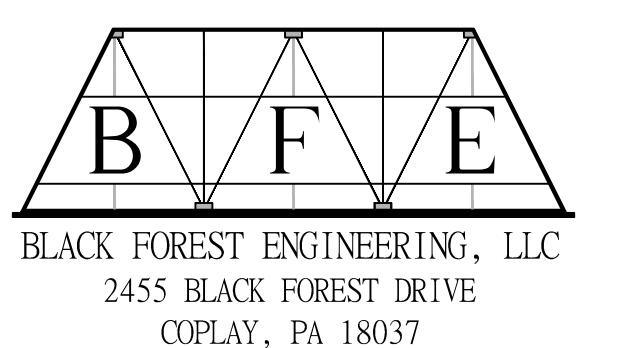
SITE LIGHTING PLAN

LIGHTING SCHEDULE

KEY	COMPANY	PRODUCT NAME	QTY	HT
ARC	LITHONIA	ARC 1 LED P1 30K	2	10

PROPOSED BUILDING LIGHTS MODEL: ARC 1
 LED P1 30K (OR EQUAL) 10FT HT

PLAN PREPARER
 BLACK FOREST ENGINEERING, LLC
 2455 BLACK FOREST DRIVE
 COPLAY, PA 18037
 (570)-239-4499



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JOSEPH E. RENTKO, P.E. #0085609
 2455 BLACK FOREST DRIVE
 COPLAY, PA 18037
 570-239-4499

REV.	DESCRIPTION	BY	DATE

FRANKFORD STREET APARTMENTS
 PROJECT OWNER: DOMINIC VILLANI
 555 ASHWOOD ROAD
 NAZARETH, PA 18064

PROJECT LOCATION:
 CITY OF BETHLEHEM
 NORTHAMPTON COUNTY
 PENNSYLVANIA

PLAN TITLE:
 LIGHTING AND LANDSCAPE

SCALE:	DATE:	DRAWN:	CHECKED:
1"=10'	10/14/22	JER	JER
PROJECT NO.	DRAWING NO.	REVISION:	
2266	1 of 1	00	