

**Location Map 1" = 1000'**

**SITE DATA**

1) OWNER/PROPERTY INFORMATION:  
 SOUTH NEW STREET AND EAST GRAHAM PLACE, BETHLEHEM, PA 18015  
 LOT AREA = 6,666.06 S.F.  
 NECO HOLDINGS, LLC  
 PARCEL ID: P6SE1A-20-13 D.B.V. 2015-1, PG. 241598  
 319-23 S. NEW ST.  
 PAPPAL BETHLEHEM, LLC  
 PARCEL ID: P6SE1A-20-14 D.B.V. 2018-1, PG. 21128  
 325 S. NEW ST.  
 THE PATRICK J. SKELLY & IRENE SKELLY REVOCABLE TRUST AGREEMENT  
 PARCEL ID: P6SE1A-20-15 D.B.V. 2012-1, PG. 22860  
 327 S. NEW ST.

2) THE EXISTING LOTS UTILIZE PUBLIC WATER AND PUBLIC SEWER, AND THE NEW BUILDING WILL ALSO UTILIZE PUBLIC WATER AND PUBLIC SEWER.

3) EXISTING IMPERVIOUS COVER ON COMBINED LOT = 6,495 SF  
 PROPOSED IMPERVIOUS COVER ON COMBINED LOT = 6,495 SF

**ZONING DATA**

CITY OF BETHLEHEM, NORTHAMPTON COUNTY INFORMATION  
 ZONING DISTRICT: CB - CENTRAL BUSINESS DISTRICT - MIXED USE

1) LOT REQUIREMENTS: **REQUIRED**

MINIMUM LOT AREA: 1,800 S.F.  
 MINIMUM LOT WIDTH: 18 L.F.  
 MAXIMUM LOT COVERAGE: 100%

2) MINIMUM YARD REQUIREMENTS: **REQUIRED**

FRONT YARD: 0'  
 SIDE YARD: 0'  
 REAR YARD: 0'

WE, THE OWNERS OF THE PROPERTY SHOWN HEREON, DULY SWORN ACCORDING TO LAW, AND ACTING IN OUR CAPACITY AS OWNERS DEPOSE AND SAY THAT WE ARE THE TRUE AND LAWFUL OWNERS OF PROPERTY KNOWN AS PARCEL ID: P6SE1A-20-15, P6SE1A-20-14, P6SE1A-20-13 IN BETHLEHEM, PA, THAT THE ABOVE DESCRIBED PROPERTY IS IN PEACEFUL POSSESSION OF SAID CORPORATION AND THAT THERE ARE NO SUITS OR LIENS PENDING AFFECTING THE TITLE THEREOF.

OWNER \_\_\_\_\_ DATE \_\_\_\_\_

Sworn and Subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_ A.D. 20 \_\_\_\_\_

Notary Public  
 My Commission Expires: \_\_\_\_\_

County NORTHAMPTON Zoning CB - CENTRAL BUSINESS  
 Ward 3 City Block 4  
 Scale 1" = 10'  
 Original Subdivision \_\_\_\_\_

Plan Title SOUTH NEW STREET APARTMENTS

Applicant \_\_\_\_\_ Phone \_\_\_\_\_  
 Date of Plan October 29, 2020 Revision \_\_\_\_\_  
 Revision \_\_\_\_\_ Revision \_\_\_\_\_  
 Revision \_\_\_\_\_ Revision \_\_\_\_\_

REVIEWED \_\_\_\_\_ BY THE LEHIGH VALLEY PLANNING COMMISSION.

PLANNER \_\_\_\_\_

APPROVED \_\_\_\_\_ BY THE CITY OF BETHLEHEM PLANNING COMMISSION

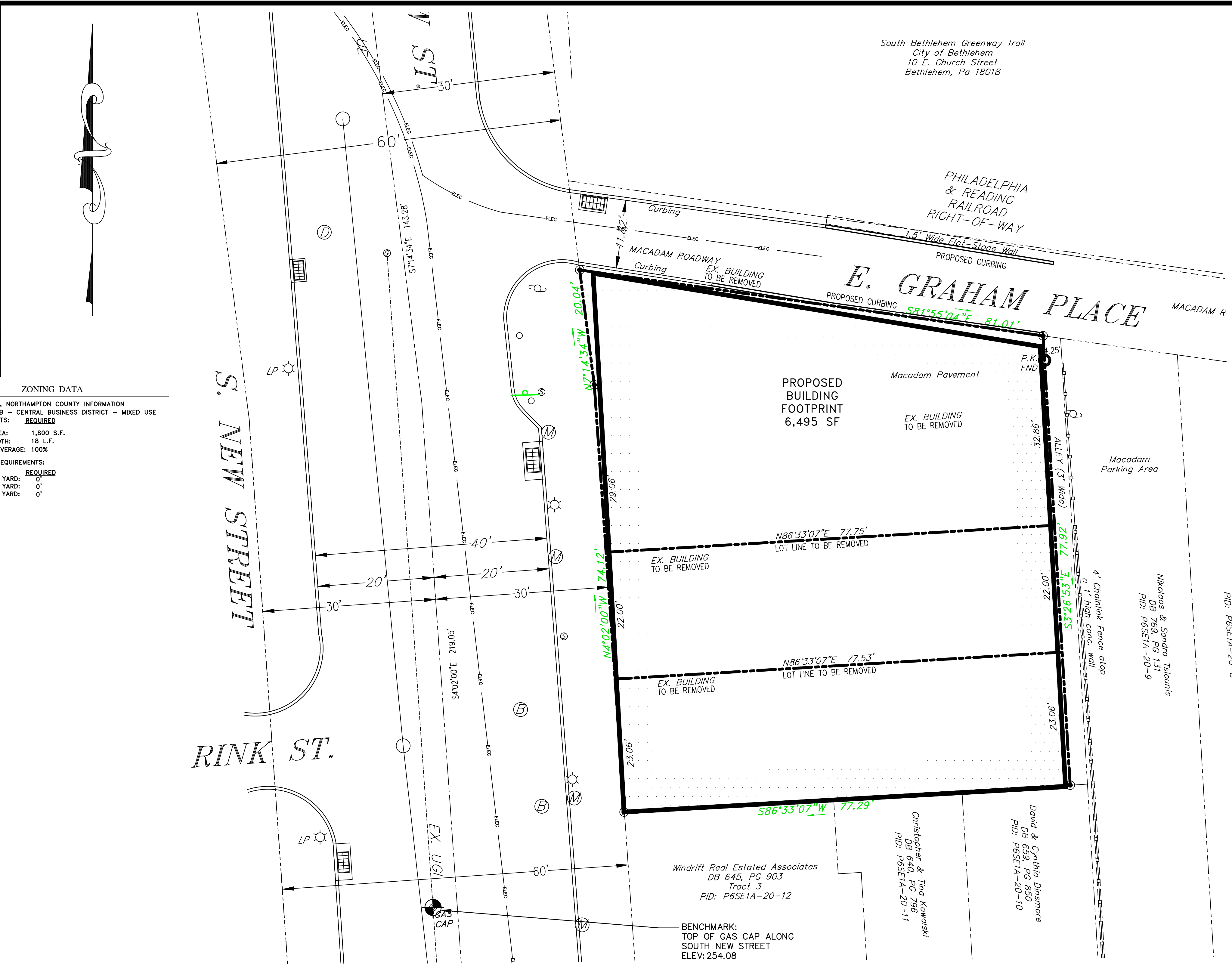
CHAIRMAN \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 CITY PLANNING COMMISSION CITY PLANNING COMMISSION  
 BETHLEHEM, PENNSYLVANIA BETHLEHEM, PENNSYLVANIA

PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF NORTHAMPTON COUNTY, PA, IN MAP BOOK VOLUME \_\_\_\_\_  
 PAGE \_\_\_\_\_ ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2016

RECORDER OF DEEDS \_\_\_\_\_

**UTILITIES LIST**

UTILITY	CONTACT PERSON	ADDRESS	PHONE NO.
City of Bethlehem, Utilities	Water Control	10 East Church Street Bethlehem PA 18018	(610) 865-7077
PPL Electric Utilities	Liz Mease	827 Hausman Road Allentown PA 18104	(484) 634-3268
R C N	Bob Roe	2124 Avenue C Bethlehem PA 18017	(610) 443-2956
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ZAYO Bandwidth	Joe Nuzzo	400 Centennial Parkway Suite 200 Louisville CO 80027	(610) 628-9365



**STATEMENT OF INTENT**

IT IS THE INTENT OF THE LANDOWNERS TO REMOVE ALL OF THE EXISTING STRUCTURES ON THE PROPERTIES IDENTIFIED AS 319-323, 325, AND 327 S. NEW STREET AND CONSTRUCT A MULTI-STORY BUILDING FOR FORTY-SEVEN (47) APARTMENTS. THIS PLAN ALSO PROPOSES THE CONSOLIDATION OF THE THREE ADJACENT LOTS THAT THE STRUCTURE IS TO BE BUILT ON. THE GROUND FLOOR OF BUILDING WILL BE DESIGNATED FOR RETAIL, RESTAURANT, OR PERSONAL SERVICE USES.

**PENNSYLVANIA OPEN RECORDS LAW**

ALL PLANS AND DOCUMENTS FILED WITH A MUNICIPALITY, AND WHICH BECOME PUBLIC RECORD, MAY BE REPRODUCED FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT BE ALTERED WITHOUT THE WRITTEN CONSENT OF LEHIGH ENGINEERING ASSOCIATES, INC.

**GRAPHIC SCALE**

1 inch = 10 ft

**MAP LEGEND**

○ I. PIN / PIPE FND.	--- EXISTING PROPERTY LINE	--- EXISTING FENCE LINE
○ CON MON TO BE SET	--- EXISTING RIGHT-OF-WAY	--- TWP. CLEAR SIGHT TRI.
○ DEC./CON. TREE	--- PROPOSED LOT LINE	--- PADOT SIGHT DIST.
○ SANITARY MANHOLE	--- FUTURE RIGHT-OF-WAY	--- SANITARY LATERAL
○ WATER VALVE	--- EXISTING EASEMENT LINE	--- SANITARY SEWER MAIN
○ FIRE HYDRANT	--- ROADWAY CENTERLINE	--- EXISTING WATER LATERAL
○ WATER SHUTOFF	--- BUILDING SETBACK LINE	--- EXISTING WATER MAIN
	--- EDGE OF ROADWAY	--- EXISTING SHRUB ROW
	--- ADJACENT PROP. LINE	

**ENGINEER / SURVEYOR CERTIFICATION**

I HEREBY CERTIFY THAT THIS PLAN CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND, WHERE APPLICABLE, THE LOTS, BUILDINGS, PARKING AREAS, WALKWAYS, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN HEREON.

DATE \_\_\_\_\_

LARRY S. TUROSCY, P.E. 16705-E R.S. 14112-E  
 499 RIVERVIEW DRIVE, P.O. BOX 68  
 WALNUTPORT, PA 18088  
 (610) 767-8545

**PLAN SHEET INDEX**

Record Plan	1 OF 6
Consolidation Plan	2 OF 6
Existing Features Plan	3 OF 6
Grading & Utility Plan	4 OF 6
Landscape Plan	5 OF 6
Detail Plan	6 OF 6

**GENERAL NOTES**

- The maintenance of the storm water facilities shall be the owner's responsibility. The owner's deed, and the deeds to any subsequent owner, shall note that the owner shall accept the maintenance responsibilities. The City of Bethlehem shall be permitted to inspect the storm water facilities on at least an annual schedule to ensure that any necessary corrective work is performed in a timely manner. All public inlets should have inlet markers. The design of the inlets shall be approved by the City Engineer. The drainage easement provides for the flow of stormwater across lots, and may not be altered without the written permission of the City Engineer. No obstructions such as planting berms or fences may be installed in the drainage easement areas without sufficient provision for the passage of stormwater, any such proposed provision shall be approved by the City Engineer.
- All driveways shall be a minimum of 2' off of the property line.
- Accurate as-built plans shall be kept up to date during the construction process. At the completion of the project record drawings shall be developed from the as-built plans and submitted to the City Engineer's Office. All final drawings shall show North American Datum (NAD) 1983 State Plane Coordinates in feet (Pennsylvania South, FIPS Zone 3702) and the digital file shall be in State Plane Coordinates as applicable. The hard copy of the record drawing shall be in the form of a Mylar copy. The engineer of record shall certify (i.e. P.E. stamped and signed) that the record drawings comply substantially with the approved plan and that they conform to industry standards. All digital files shall reside on PC compatible CD Rom containing the digital representation of the final plan as presented on the twenty-four (24) inch by thirty-six (36) inch sheets. The digital map shall be AutoCAD compatible. All layers included in the digital maps shall be the standardized layers prepared and utilized by the City of Bethlehem to ensure compatibility with the City's existing CADD standards and as described in Appendix A of the City's Subdivision and Land Development Ordinance.
- NPDES NOTE - By submission of these plans the engineer of record certifies that these plans are in complete conformance with the City of Bethlehem Storm Water Management Ordinance.
- REVISION NOTE - In order to maintain continuity between plan revisions, any changes to a previous plan submission shall be flagged with a triangle. Any changes not flagged may be considered not approved. Flagged changes shall be referenced to the appropriate date in the revision block.
- ENGINEERING PERMITS NOTE - Prior to any work within the Right-of-way, permits must be obtained from the City Engineering Office.
- By submission of these plans the engineer on record certifies these plans are in complete conformance with the City of Bethlehem Storm Water Management Ordinance.
- The drainage easement provides for the flow of stormwater across lots, and may not be altered without written permission of the City Engineer. No obstruction such as planting berms or fences may be installed in the drainage easement areas without sufficient provision for the passage of stormwater and any such proposed provision shall be approved in writing by the City Engineer.

**PROJECT NOTES**

- TEXT IN A SLANTED FONT REPRESENTS EXISTING FEATURES.
- TITLE LINE INFORMATION TAKEN FROM EXISTING DEEDS, PLANS OF RECORD, AND ACTUAL FIELD MEASUREMENTS PERFORMED IN 2020 BY LEHIGH ENGINEERING ASSOCIATES, INC.
- ALL CONTOURS AND ELEVATIONS SHOWN ARE TAKEN FROM A FIELD SURVEY PERFORMED IN 2020 BY LEHIGH ENGINEERING ASSOCIATES, INC.
- ALL IRON PINS MUST BE SET FOR PROPERTY MONUMENTATION.
- THE FINAL STREETSCAPE DESIGN OF NEW STREET SHALL BE COORDINATED WITH THE CITY OF BETHLEHEM.
- THE DEVELOPER SHALL WORK WITH THE PLANNING AND PARKS BUREAU TO PREPARE A DESIGN AND IMPLEMENT A LANDSCAPING PLAN FOR THE ABUTTING GREENWAY.
- THE GREENWAY LANDSCAPE DESIGN AND THE PRIVATE PROPERTY LANDSCAPING SHALL BE COORDINATED BETWEEN THE CITY AND DEVELOPER.
- A SITE MEETING WITH THE CONTRACTOR IS REQUIRED PRIOR TO ANY CONSTRUCTION WITH THE TRAFFIC, PARKS, PLANNING, AND ENGINEERING BUREAUS TO DISCUSS HOW CONSTRUCTION WILL TAKE PLACE.
- A KNOX BOX MUST BE INSTALLED WITH THE PROPOSED BUILDING FOR THE CITY OF BETHLEHEM FIRE DEPARTMENT.
- TEMPORARY EASEMENTS MAY BE REQUIRED DURING CONSTRUCTION FOR ANY WORK TAKING PLACE ON CITY OWNED PARCELS.
- PARKING FOR THIS BUILDING WILL BE LEASED FROM THE PARKING GARAGE DIRECTLY ACROSS NEW STREET.
- THE DEPARTMENT OF PUBLIC WORKS AND CITY COUNCIL APPROVAL IS REQUIRED FOR THE ENCROACHMENT OVER GRAHAM PLACE.
- RECYCLING WILL BE COLLECTED VIA THE BI-SORTER TRASH CHUTE TO THE RECEPTACLES IN THE TRASH ROOM AT GROUND LEVEL AND PHYSICALLY MOVED FOR CITY COLLECTION.
- ALL PROPOSED UTILITIES MUST BE COORDINATED WITH THE SOUTH NEW STREET STREETScape PROJECT. IF UTILITIES CAN'T BE INSTALLED PRIOR TO THE CITY PROJECT, THE DEVELOPER WILL BE RESPONSIBLE FOR EXTENSIVE ROADWAY RESTORATION ON SOUTH NEW STREET, INCLUDING FULL WIDTH MILL AND OVERLAY.
- THE FIRST FLOOR RETAIL SPACE WILL UTILIZE AN ADDRESS OF 319 S. NEW ST., BETHLEHEM, PA, 18015. THE APARTMENTS WILL UTILIZE AN ADDRESS OF 325 S. NEW ST., APT #, BETHLEHEM, PA 18015.

**LEHIGH ENGINEERING ASSOCIATES, INC.**

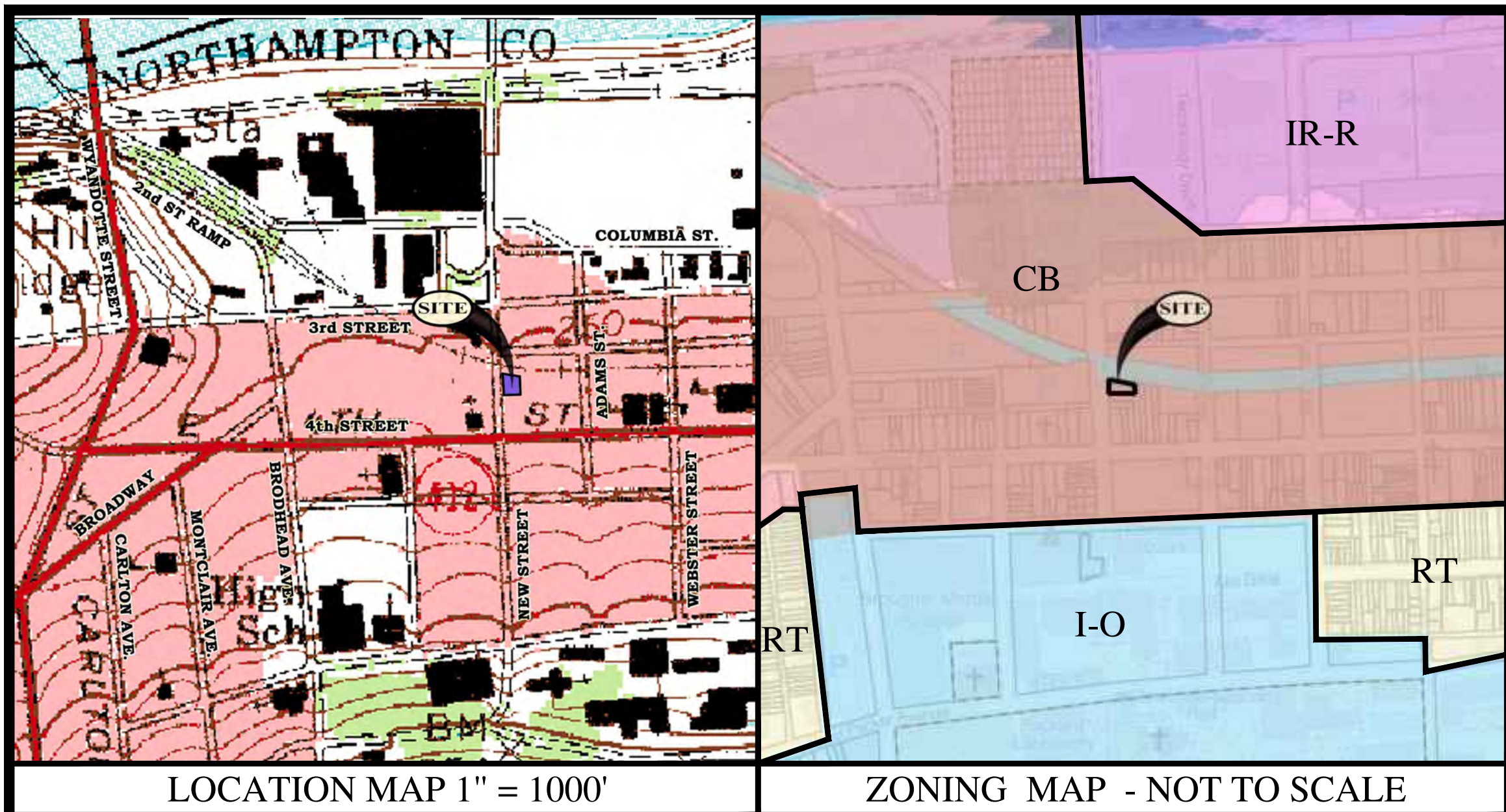
499 RIVERVIEW DRIVE, P.O. BOX 68  
 WALNUTPORT, PA 18088  
 610.767.8545 FAX 610.767.5799

**LOCATED IN:**  
 CITY OF BETHLEHEM  
 COUNTY OF NORTHAMPTON  
 COMMONWEALTH OF PENNSYLVANIA

**PRELIMINARY/FINAL LAND DEVELOPMENT RECORD PLAN FOR:**  
**South New Street Apartments**

DATE: 12/16/20  
 SCALE: 1" = 10'  
 DRAWN BY: BG  
 JOB: 6533

**1 of 6**



**SITE DATA**

1) OWNER/PROPERTY INFORMATION:  
 SOUTH NEW STREET AND EAST GRAHAM PLACE, BETHLEHEM, PA 18015  
 EXISTING LOT 1 = 3,194.94 S.F. (0.0733 ACRES)  
 EXISTING LOT 2 = 1,708.06 S.F. (0.0392 ACRES)  
 EXISTING LOT 3 = 1,785.06 S.F. (0.0410 ACRES)  
 CONSOLIDATED LOT AREA = 6,688.06 S.F. (0.1535 ACRES)

2) THE EXISTING LOTS UTILIZE PUBLIC WATER AND PUBLIC SEWER, AND THE NEW BUILDING WILL ALSO UTILIZE PUBLIC WATER AND PUBLIC SEWER.

3) EXISTING IMPERVIOUS COVER ON CONSOLIDATED LOT = 6,495 SF  
 PROPOSED IMPERVIOUS COVER ON CONSOLIDATED LOT = 6,495 SF

4) NUMBER OF LOTS = 3 LOTS TO 1 LOT  
 EXISTING LOT 1 = 3,194.94 SF (0.0733 ACRES)  
 EXISTING LOT 2 = 1,708.06 SF (0.0392 ACRES)  
 EXISTING LOT 3 = 1,785.06 SF (0.0410 ACRES)  
 CONSOLIDATED LOT = 6,688.06 SF (0.1535 ACRES)

5) SOILS ON SITE:  
 URBAN LAND, 0 TO 8% SLOPES

6) ACCORDING TO THE U.S. FISH AND WILDLIFE NATIONAL WETLANDS INVENTORY THERE ARE NO WETLAND AREAS WITHIN THE PROJECT AREA OR SURROUNDING AREAS.

7) ACCORDING TO THE FEMA NATIONAL FLOOD SURVEY, MAP NUMBERED 42095C0307E, DATED JULY 16, 2021, PANNEL NUMBERED 307 OUT OF 355, THE SITE IS IN AN AREA OF ZERO FLOOD HAZARD FOR THE 100 AND 500 YEAR STORM.

**ZONING DATA**

CITY OF BETHLEHEM, NORTHAMPTON COUNTY INFORMATION  
 ZONING DISTRICT: CB - CENTRAL BUSINESS DISTRICT - MIXED USE

1) LOT REQUIREMENTS: REQUIRED

MINIMUM LOT AREA: 1,800 S.F.  
 MINIMUM LOT WIDTH: 18 L.F.  
 MAXIMUM LOT COVERAGE: 100%

2) MINIMUM YARD REQUIREMENTS:

FRONT YARD: 0'  
 SIDE YARD: 0'  
 REAR YARD: 0'

WE, THE OWNERS OF THE PROPERTY SHOWN HEREON, DULY SWORN ACCORDING TO LAW, AND ACTING IN OUR CAPACITY AS OWNERS DEPOSE AND SAY THAT WE ARE THE TRUE AND LAWFUL OWNERS OF PROPERTY KNOWN AS PARCEL ID: P6SE1A-20-15, P6SE1A-20-14, P6SE1A-20-13 IN BETHLEHEM, PA, THAT THE ABOVE DESCRIBED PROPERTY IS IN PEACEFUL POSSESSION OF SAID CORPORATION AND THAT THERE ARE NO SUITS OR LIENS PENDING AFFECTING THE TITLE THEREOF.

OWNER \_\_\_\_\_ DATE \_\_\_\_\_

Sworn and Subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_ A.D. 20\_\_\_\_

Notary Public  
 My Commission Expires: \_\_\_\_\_

County NORTHAMPTON Zoning CB - CENTRAL BUSINESS  
 Ward 3 City Block 4  
 Scale: 1" = 10'  
 Original Subdivision \_\_\_\_\_

Plan Title SOUTH NEW STREET APARTMENTS

Applicant \_\_\_\_\_ Phone \_\_\_\_\_

Date of Plan October 29, 2020 Revision \_\_\_\_\_  
 Revision \_\_\_\_\_ Revision \_\_\_\_\_  
 Revision \_\_\_\_\_ Revision \_\_\_\_\_

REVIEWED \_\_\_\_\_ BY THE LEHIGH VALLEY PLANNING COMMISSION.  
 PLANNER \_\_\_\_\_

APPROVED \_\_\_\_\_ BY THE CITY OF BETHLEHEM PLANNING COMMISSION

CHAIRMAN \_\_\_\_\_ SECRETARY \_\_\_\_\_  
 CITY PLANNING COMMISSION BETHLEHEM, PENNSYLVANIA CITY PLANNING COMMISSION BETHLEHEM, PENNSYLVANIA

PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF NORTHAMPTON COUNTY, PA, IN MAP BOOK VOLUME \_\_\_\_\_  
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RECORDER OF DEEDS \_\_\_\_\_

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**BEFORE YOU DIG - DRILL - BLAST**  
 Call 1-800-242-1776 (TOLL FREE)

**PENNSYLVANIA ONE CALL SYSTEM, INC.**

In compliance with Act 38, it shall be the Contractors responsibility to contact individual companies to have utility locations marked in the field and to otherwise locate underground objects as may be necessary prior to the start of construction. Pennsylvania Law requires 3 working days notice for the construction phase and 10 working days in design stage. A ONE CALL ON 5/27/21 WAS ASSIGNED THE NUMBER 20211473213.

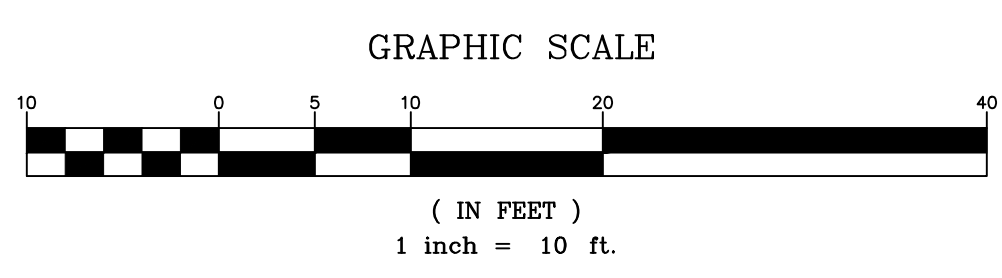
**UTILITIES LIST**

UTILITY	CONTACT PERSON	ADDRESS	PHONE NO.
City of Bethlehem, Utilities	Water Control	10 East Church Street Bethlehem PA 18018	(610) 865-7077
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**SURVEY NOTES**

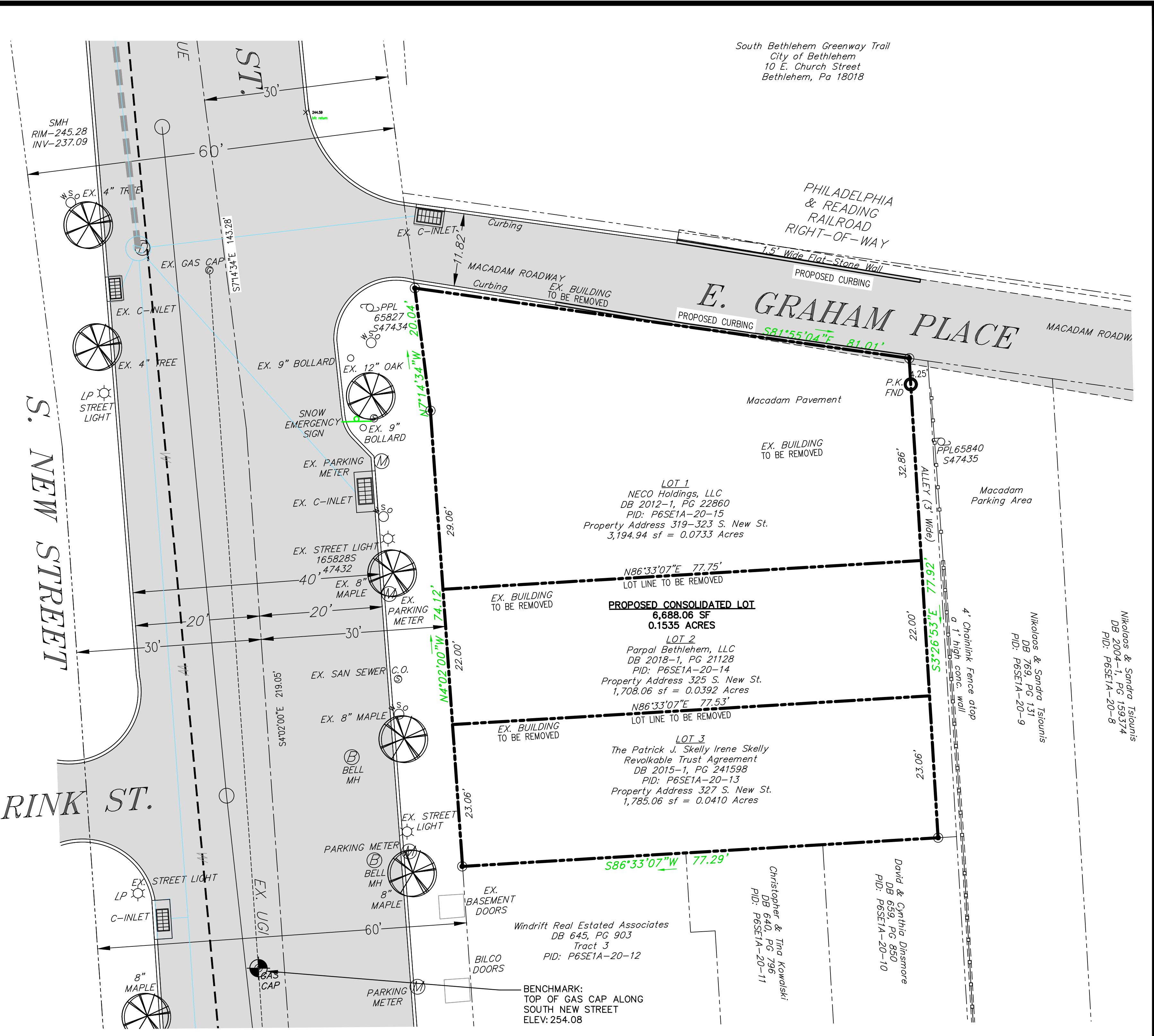
1. Boundary survey infield was performed using GPS Datum. Vertical datum (North American Vertical Datum of 1988--NAVD 88) and the Horizontal datum (The United States National Space Reference System NAD 83).

2. The right-of-way line of S. New Street was determined from the calculated centerline by the curb points in the field.



**MAP LEGEND**

○ I. PIN / PIPE FND.	--- EXISTING PROPERTY LINE	--- EXISTING FENCE LINE
○ I. PIN TO BE SET	--- EXISTING RIGHT-OF-WAY	--- TWP. CLEAR SIGHT TRI.
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○ FIRE HYDRANT	--- BUILDING SETBACK LINE	--- EXISTING WATER MAIN
○ WATER SHUTOFF POINT	--- EDGE OF ROADWAY	--- EXISTING SHRUB ROW
○ PPL POLE	--- ADJACENT PROP. LINE	--- UNDERGROUND ELECTRICAL



I, BRIAN E. GASDA, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL ENGINEER WHO IS LICENSED AND REGISTERED TO PRACTICE ENGINEERING IN THE COMMONWEALTH OF PENNSYLVANIA, PURSUANT TO THE PENNSYLVANIA PROFESSIONAL ENGINEERS REGISTRATION LAW OF MAY 23, 1945, P.L. 913, AS AMENDED, AND THAT THE ENGINEERING ASPECTS OF THE PLAN ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

DATE \_\_\_\_\_ BRIAN E. GASDA, P.E.  
 499 RIVERVIEW DRIVE, P.O. BOX 68  
 WALNUTPORT, PA 18088  
 610-767-8545

I HEREBY CERTIFY THAT THIS PLAN REPRESENTS A TRUE AND ACCURATE FIELD SURVEY MADE BY ME IN ACCORDANCE WITH THE PENNSYLVANIA MANUAL OF PRACTICE ADOPTED FEBRUARY 23, 2016. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFITS OF A TITLE REPORT AND MAY BE SUBJECT TO UNKNOWN EASEMENTS, RIGHTS-OF-WAY, AND OTHER ENCUMBRANCES EITHER RECORDED OR UNRECORDED.

DATE \_\_\_\_\_ MICHAEL D. DENKE, PLS SU-039395-E  
 499 RIVERVIEW DRIVE, P.O. BOX 68  
 WALNUTPORT, PA 18088  
 610-767-8545

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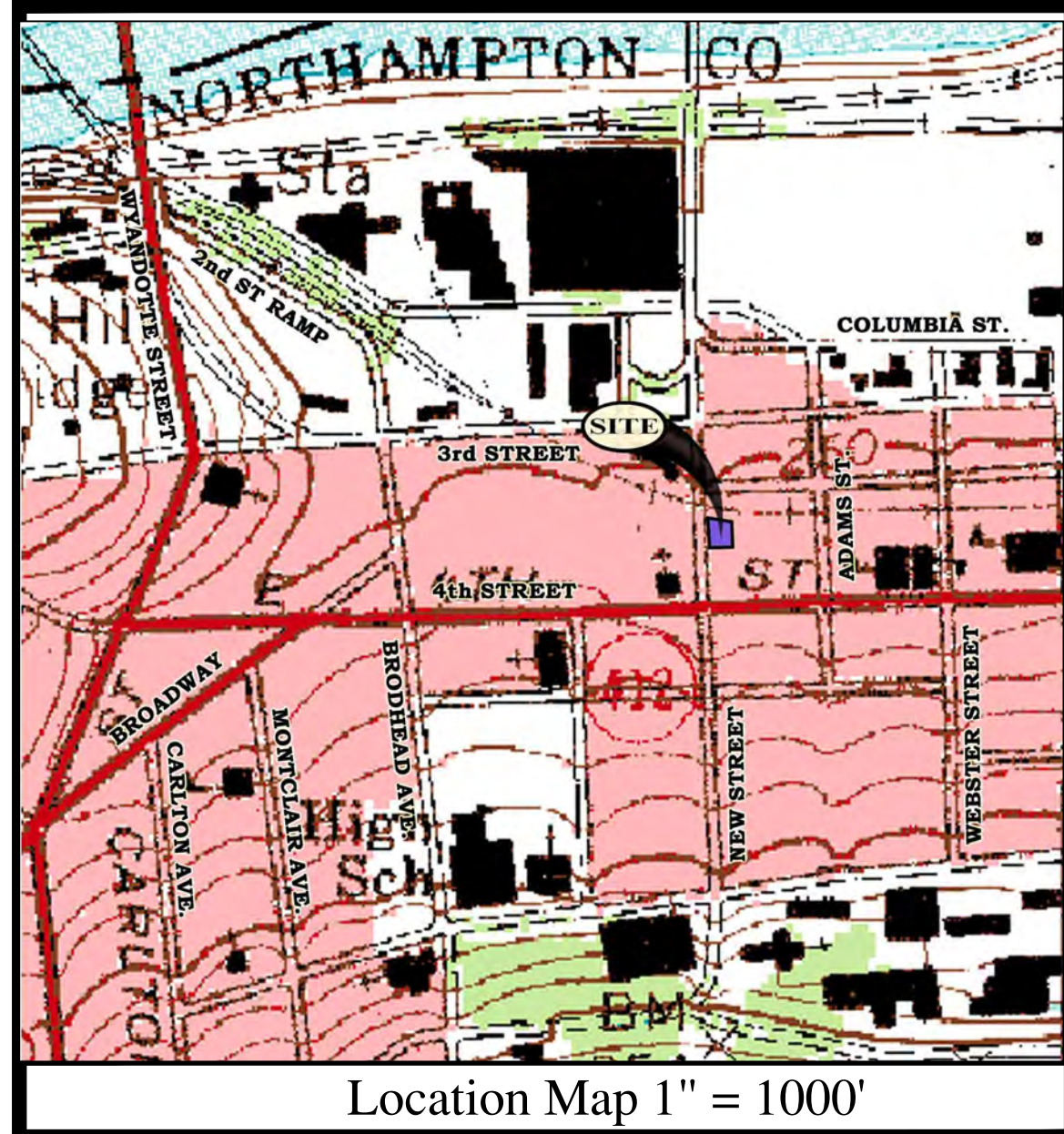
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**LOCATED IN:**  
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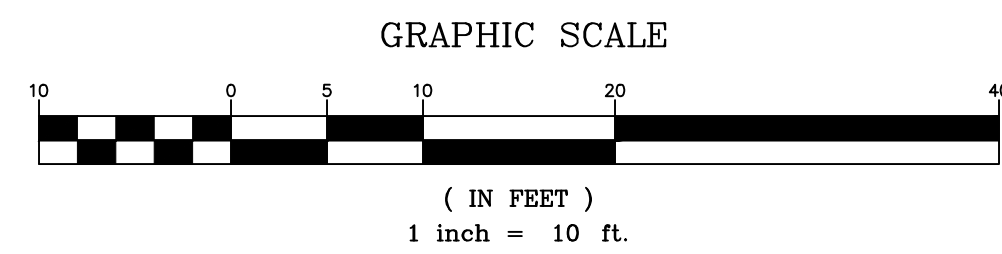
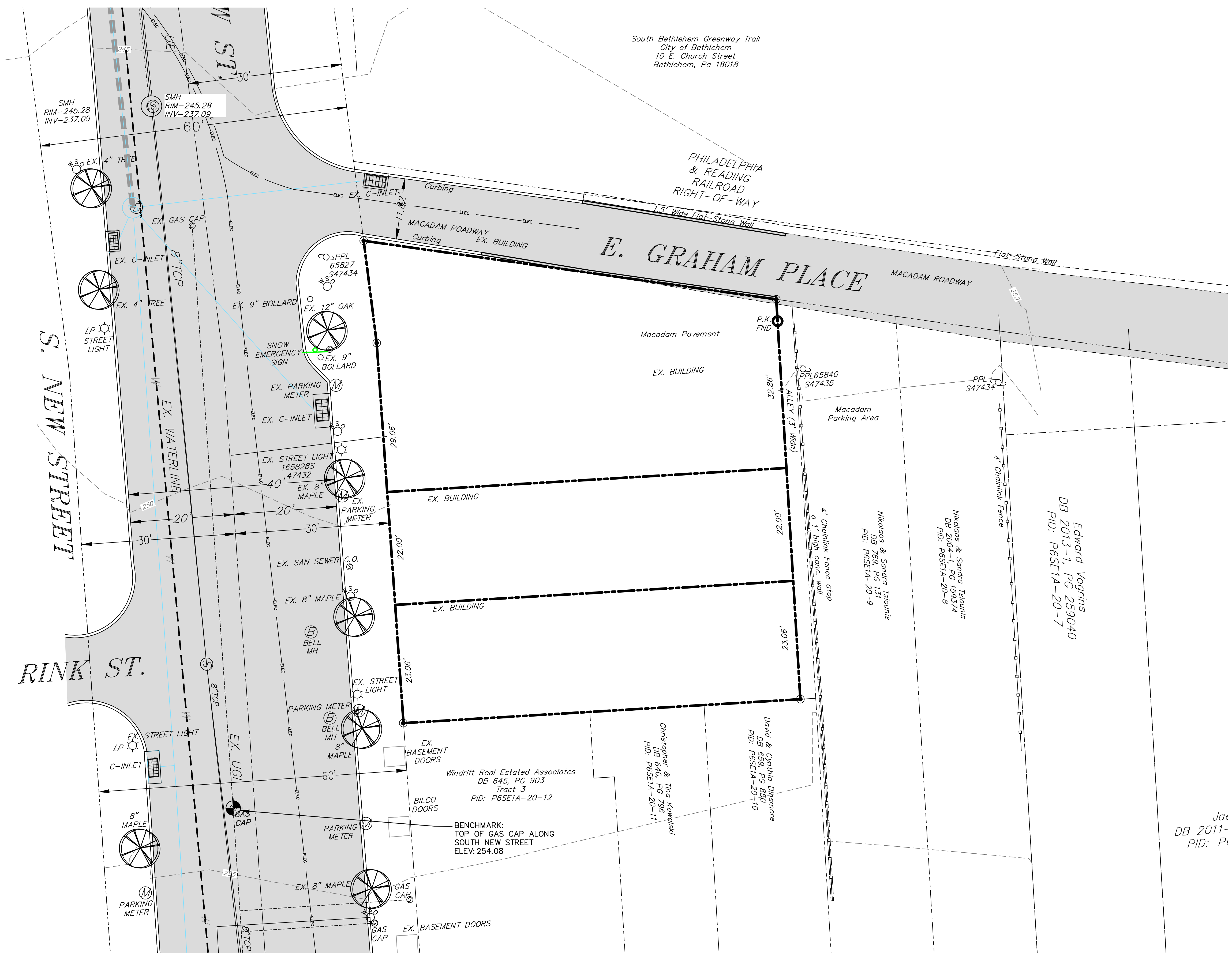
**PRELIMINARY/FINAL LOT CONSOLIDATION RECORD PLAN FOR:**  
**South New Street Apartments**

DATE: 12/16/20  
 SCALE: 1" = 10'  
 DRAWN BY: BG  
 JOB: 6533

SHEET  
**2 of 6**



Location Map 1" = 1000'



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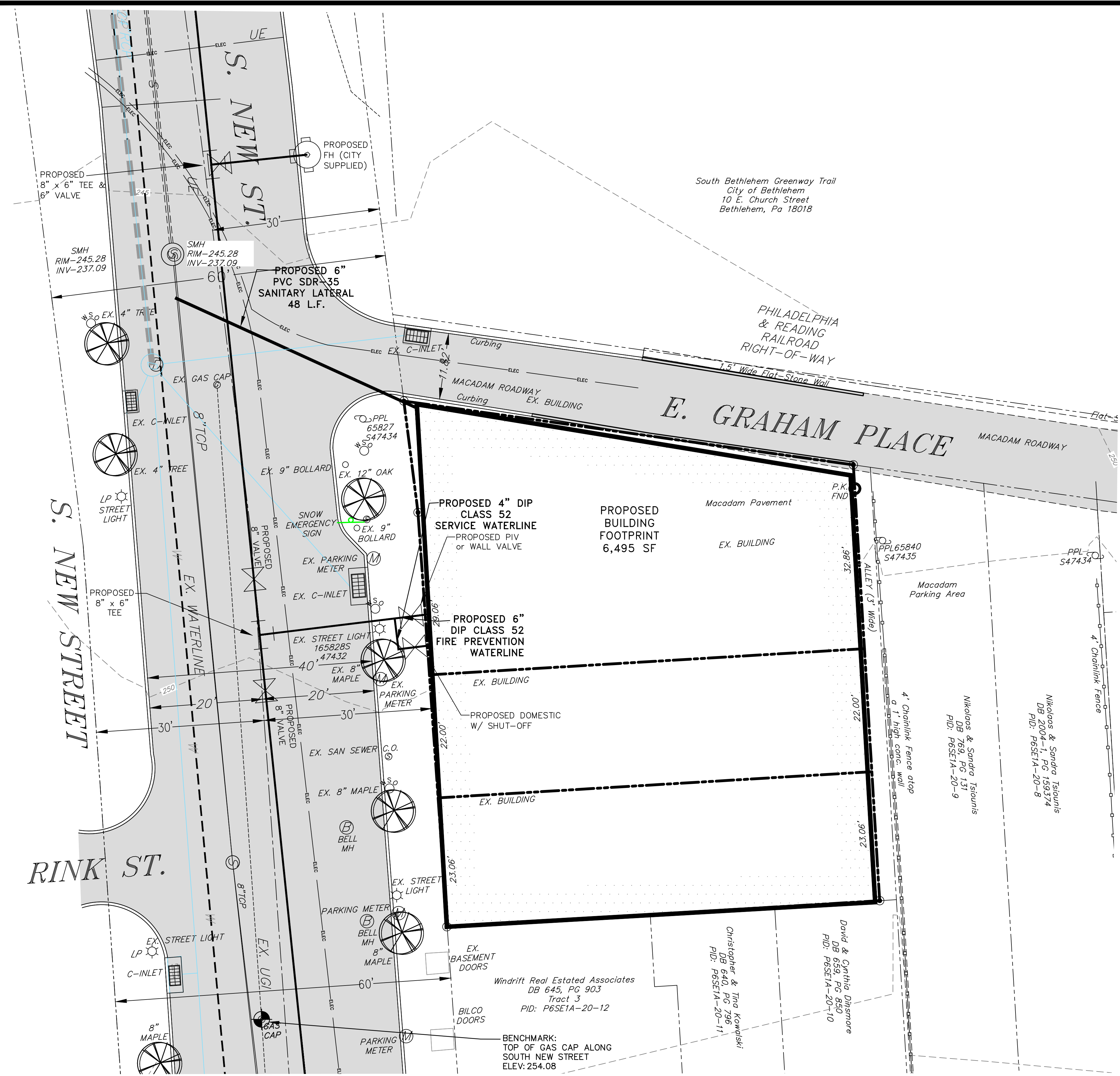
LEIGH ENGINEERING ASSOCIATES, INC.  
 459 RIVERVIEW DRIVE, P.O. BOX 68  
 WALNUTPORT, PA 18088  
 610 767 8545 FAX 610 767 5799

LOCATED IN: CITY OF BETHLEHEM COUNTY OF NORTHAMPTON COMMONWEALTH OF PENNSYLVANIA

PRELIMINARY/FINAL EXISTING FEATURES PLAN FOR:  
**South New Street Apartments**

DATE: 12/16/20  
 SCALE: 1" = 10'  
 DRAWN BY: BG  
 JOB: 6533

SHEET  
**3 of 6**



- UTILITY NOTES**
- EXISTING SANITARY LATERALS FOR THE BUILDINGS THAT ARE TO BE REMOVED SHALL BE CUT AND CAPPED.
  - EXISTING WATER SERVICE LINES SHALL BE DISCONNECTED AT THE 6" WATER MAIN.
  - STREET LIGHTS SHALL MAINTAIN A MINIMUM SEPARATION OF 10' FROM STREET TREES.
  - OTHER UTILITIES EXIST IN THE AREA OF THE PROPOSED WATER LINES AND ADDITIONAL CAUTION SHOULD BE TAKEN DURING EXCAVATION AND INSTALLATION.

- FIRE PROTECTION NOTES**
- A KNOX BOX SHALL BE INSTALLED FOR CITY OF BETHLEHEM FIRE DEPARTMENT ACCESS.
  - THE FIRE DEPARTMENT CONNECTION SHALL BE LOCATED ALONG 3RD ST. AS SHOWN ON THE PLANS. THE CONNECTION SHALL HAVE CITY OF BETHLEHEM THREADS.
  - THE PROPOSED BUILDING SHALL BE FULLY SPRINKLERED.
  - IF APPLICABLE, THIS PROPOSED DEVELOPMENT SHALL MEET THE ORDINANCE REQUIREMENTS OF SECTION 1701.02 - ADDITIONS AND MODIFICATIONS AS FOLLOWS:
    - IBC 903.4.2 ALARMS. APPROVED AUDIBLE DEVICES SHALL BE CONNECTED TO EVERY AUTOMATIC SPRINKLER SYSTEM. SUCH SPRINKLER WATER FLOW ALARM DEVICES SHALL BE ACTIVATED BY WATER FLOW EQUIVALENT TO THE FLOW OF A SINGLE SPRINKLER OF THE SMALLEST ORIFICE SIZE INSTALLED IN THE SYSTEM. ALARM DEVICES SHALL BE PROVIDED ON THE EXTERIOR OF THE BUILDING IN AN APPROVED LOCATION. WHERE A FIRE ALARM SYSTEM IS INSTALLED, ACTUATION OF THE AUTOMATIC SPRINKLER SYSTEM SHALL ACTIVATE THE BUILDING FIRE ALARM SYSTEM. IN AUTOMATIC SPRINKLER SYSTEMS WHERE MULTIPLE SPRINKLER RISERS ARE REQUIRED, AND THE RISERS ARE LOCATED IN SEPARATE AREAS WITHIN THE BUILDING, AN OUTSIDE VISIBLE ALARM NOTIFICATION APPLIANCE SHALL BE REQUIRED FOR EACH RISER. SUCH APPLIANCE SHALL BE A WHITE STROBE (MINIMUM 95 CANDELA STROBE RATING) PLACED IN AN APPROVED LOCATION ON THE EXTERIOR WALL, AS CLOSE AS PRACTICABLE, TO EACH SPRINKLER RISER. THE STROBE WILL ACTIVATE WHEN THE WATER FLOW ALARM FOR ITS RESPECTIVE RISER IS ACTIVATED. (ORD. 2014-21 - PASSED 8/5/14).

REVISION	DATE	BY	DESCRIPTION
1	12/16/20	BA	ISSUED FOR PERMIT
2	12/16/20	BA	ISSUED FOR PERMIT
3	12/16/20	BA	ISSUED FOR PERMIT
4	12/16/20	BA	ISSUED FOR PERMIT
5	12/16/20	BA	ISSUED FOR PERMIT

**LEIGH ENGINEERING ASSOCIATES, INC.**  
 459 RIVERVIEW DRIVE, P.O. BOX 68  
 WALTHAMPTON, PA 18088  
 TEL: 610-767-8545 FAX: 610-767-5799

LOCATED IN:  
**CITY OF BETHLEHEM**  
**COUNTY OF NORTHAMPTON**  
**COMMONWEALTH OF PENNSYLVANIA**

PRELIMINARY/FINAL UTILITY PLAN FOR:  
**South New Street**  
**Apartments**

DATE: 12/16/20  
 SCALE: 1" = 10'  
 DRAWN BY: BA  
 JOB: 6533

SHEET  
**4 of 6**

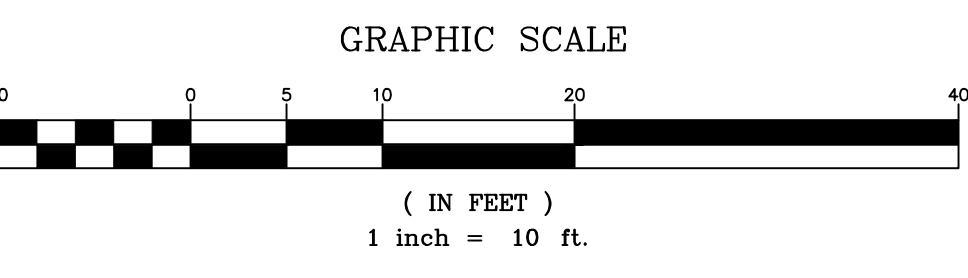
**UTILITIES LIST**

UTILITY	CONTACT PERSON	ADDRESS	PHONE NO.
LEHIGH COUNTY CITY OF BETHLEHEM			
City of Bethlehem, Utilities	Water Control	10 East Church Street Bethlehem, PA 18018	(610) 865-7077
PPL Electric Utilities	Liz Mease	827 Hausman Road Allentown PA 18104	(484) 634-3268
R C N	Bob Roe	2124 Avenue C Bethlehem PA 18017	(610) 443-2956
Service Electric Cablevision, Inc.	Fran Swirble	2260 Avenue A, LVP # 1 Bethlehem, PA 18017	(610) 868-0902
U G I Corporation	Taylor Bet	2121 City Line Road Bethlehem PA 18001	(610) 866-0951
Verizon Communications	Mike Ciampico	1800 E. Race Street Catasauque PA 18032	(610) 264-2039
ZAYO Bandwidth	Joe Nuzzo	400 Centennial Parkway Suite 200 Louisville CO 80027	(610) 628-9365

**MAP LEGEND**

○ I. PIN / PIPE FND.	— EXISTING PROPERTY LINE	— EXISTING FENCE LINE
○ I. PIN TO BE SET	— EXISTING RIGHT-OF-WAY	— TWP. CLEAR SIGHT TRI.
○ CON MON TO BE SET	- - - PROPOSED LOT LINE	— PADOT SIGHT DIST.
○ DEC./CON. TREE	- - - FUTURE RIGHT-OF-WAY	— SANITARY LATERAL
○ SANITARY MANHOLE	- - - EXISTING EASEMENT LINE	— SANITARY SEWER MAIN
○ WATER VALVE	- - - ROADWAY CENTERLINE	— EXISTING WATER LATERAL
○ FIRE HYDRANT	- - - BUILDING SETBACK LINE	— EXISTING WATER MAIN
○ WATER SHUTOFF	- - - EDGE OF ROADWAY	— EXISTING SHRUB ROW
	- - - ADJACENT PROP. LINE	

● Benchmark USGS Allentown East Quardangle NAVD 88



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**BEFORE YOU DIG - DRILL - BLAST**  
 Call 1-800-242-1776 (TOLL FREE)

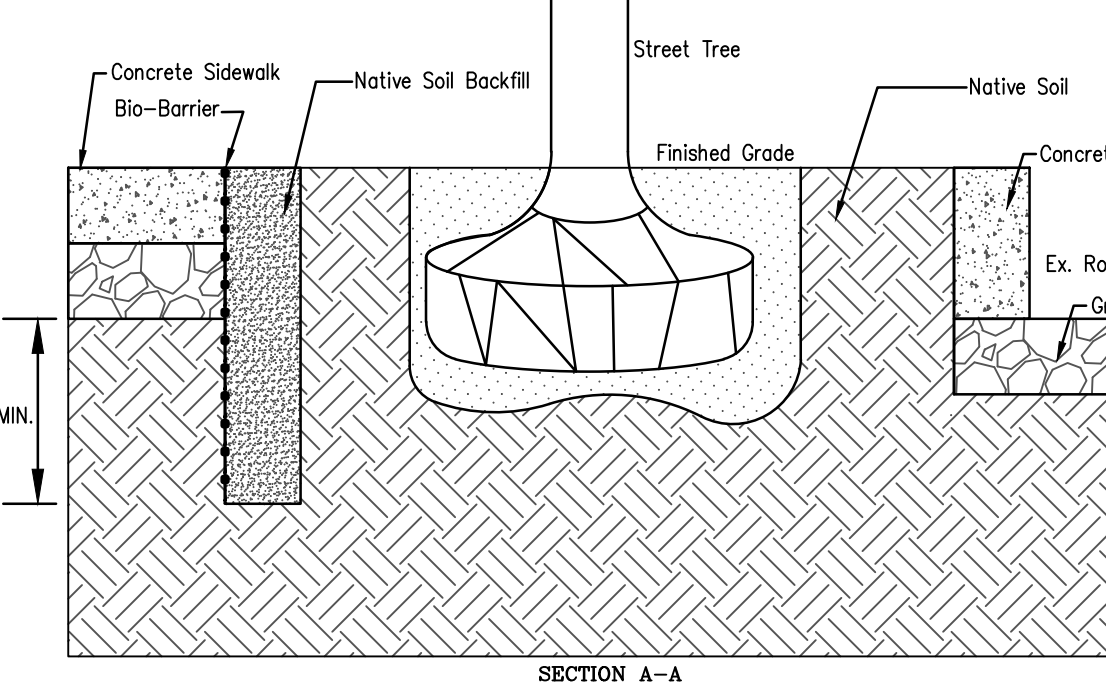
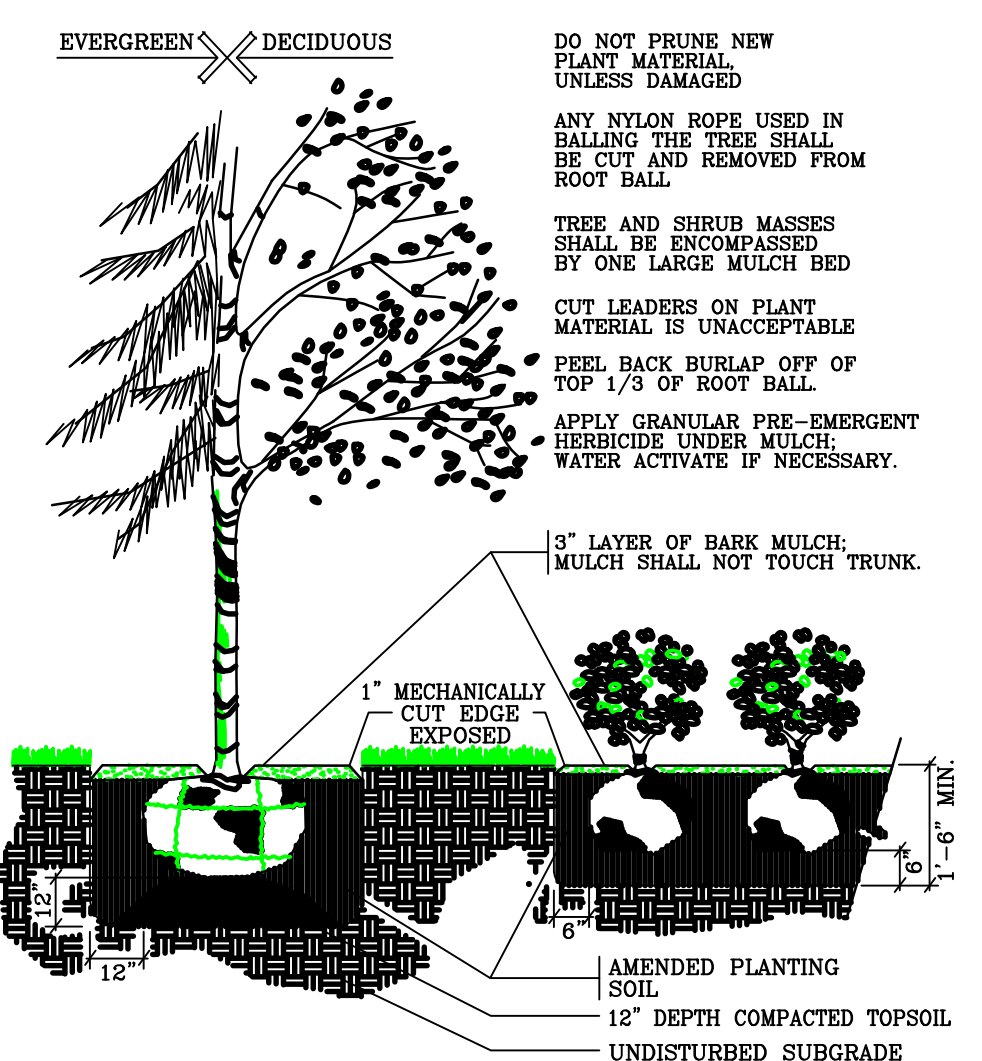
**PENNSYLVANIA ONE CALL SYSTEM, INC.**  
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- PROJECT LANDSCAPING NOTES**
1. THE GREENWAY LANDSCAPE DESIGN SHALL BE COORDINATED BETWEEN THE DEVELOPER AND THE CITY OF BETHLEHEM.
  2. STREET TREES SHALL MAINTAIN A MINIMUM SEPARATION OF 10' FROM UTILITIES.
  3. STREET TREES SHALL BE PROVIDED A MINIMUM WELL SIZE OF 4' X 6'.
  4. THE DEVELOPER SHALL WORK WITH THE PLANNING AND PARKS BUREAUS TO PREPARE A DESIGN AND IMPLEMENT A LANDSCAPING PLAN FOR THE ADJUTING GREENWAY.
  5. THE GREENWAY LANDSCAPE DESIGN, NEW STREET CORRIDOR DESIGN, AND THE PRIVATE PROPERTY LANDSCAPING SHALL BE COORDINATED.

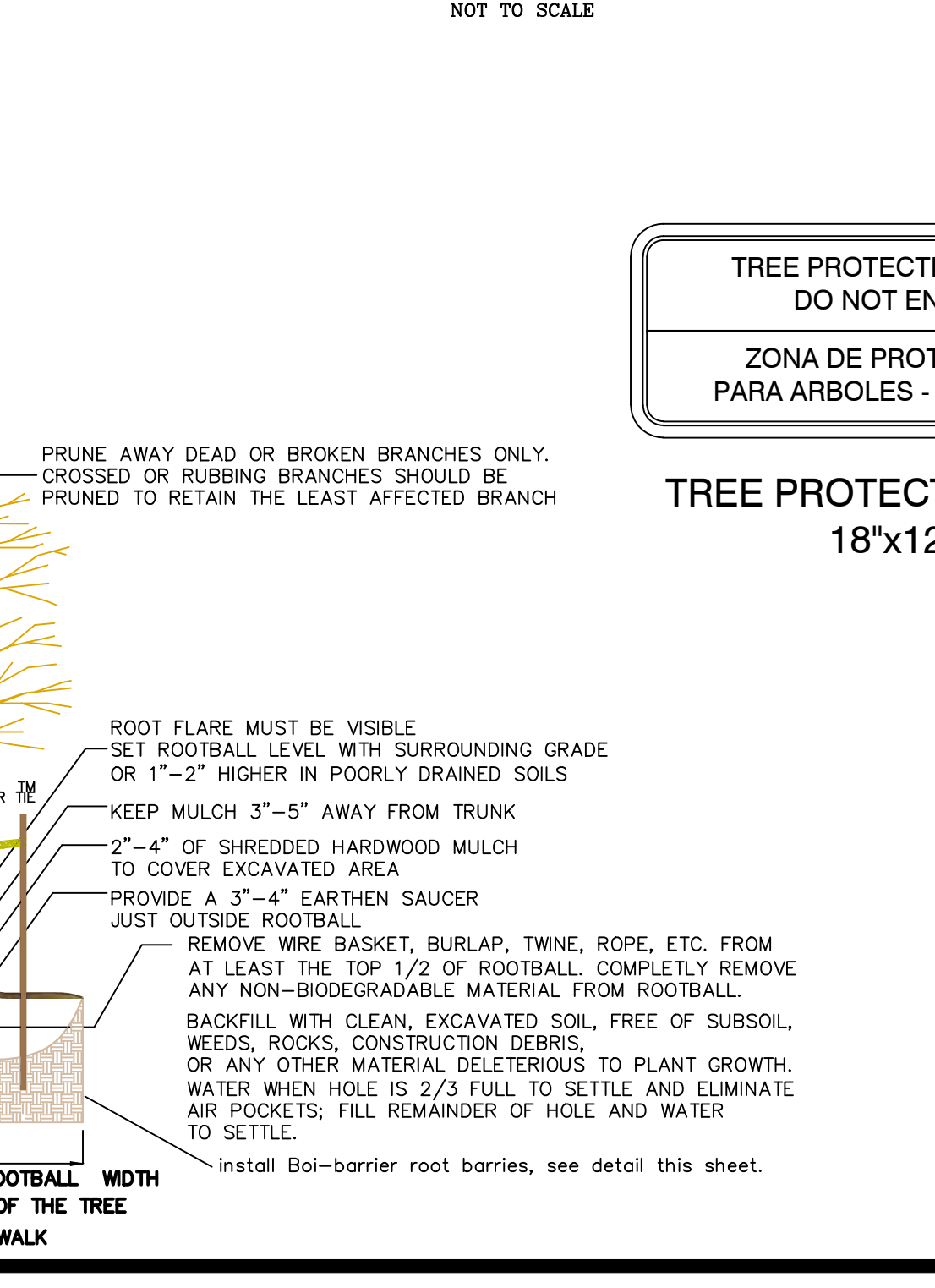
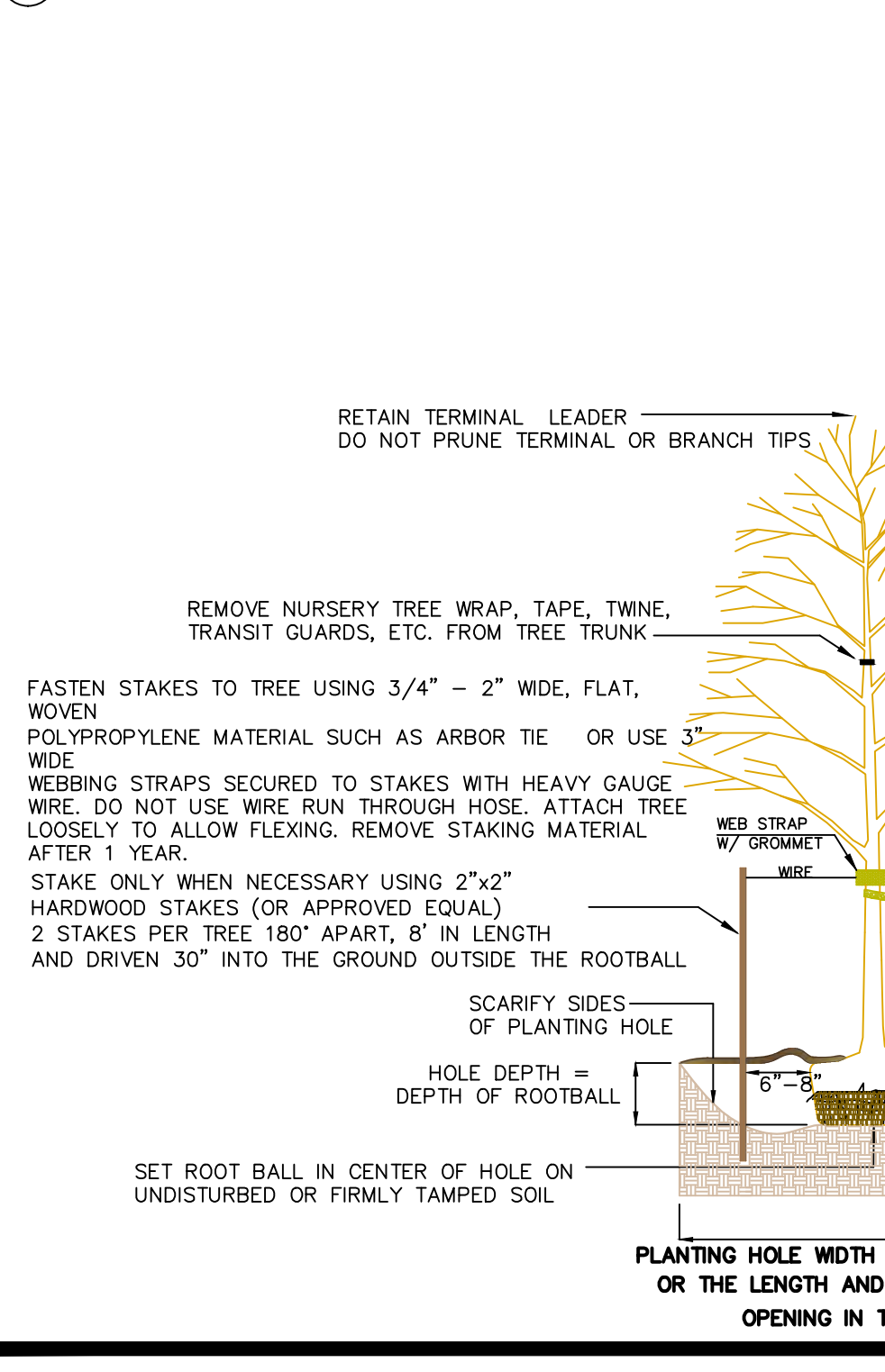
- CITY OF BETHLEHEM GENERAL LANDSCAPING NOTES**
1. No soil disturbance or compaction, construction materials, traffic, burial pits, trenching or other land disturbance is allowed in the tree protection zone unless indicated on the plan.
  2. Tree protection barricades must be installed prior to any destruction and/or construction activity.
  3. The root protection zone shall be the area encompassed by a circle with a radius extending 1.25 ft. from the trunk of the tree for every inch DBH (diameter at breast height) of the tree.
  4. Violations of tree protection requirements are subject to penalty per City ordinance.
  5. All trees on public property are protected by ordinance: no pruning, root pruning of roots over one inch in diameter, and/or tree removal is to be performed without a permit and work must be performed by a City licensed tree contractor.
  6. All plant materials are to conform to the American Standard for Nursery Stock, Latest Edition, American Nursery and Landscape Association.
  7. Street and parking lot trees should be a minimum of 14' in height and have a single straight trunk with the first lateral branch at 7' above the root ball. Trees with an upright branching habit, such as zelkova, may have the first lateral branch at 6' above the root ball.
  8. All landscaping shall conform to the current edition of the Arboricultural Specifications and Standards of Practice of the City of Bethlehem.
  9. A root control system is required when installing street trees. The root barrier shall be of the bio-barrier type and a minimum of eighteen (18) inches wide. Any substitution shall be approved by the City Forester. The root-control system is to be installed per manufacturer's recommendations. Tree openings in the sidewalk shall have the bio-barrier installed along the face of the tree opening which is parallel to the street and closest to the property line, overlapping the nearest two corners by approximately four (4) inches. Where trees are to be planted in a parkway or planting strip, between curb and sidewalk, the barrier shall be installed along the sidewalk edge closest to the curb and centered on the root source. The length of the barrier shall be a minimum length equal to the spread of the tree canopy at maturity plus ten (10') feet.

- GENERAL PLANTING NOTES**
1. The contractor must verify location and depth of all underground utilities and facilities prior to beginning construction. Call Pennsylvania One Call 1-800-242-1776.
  2. The contractor shall layout and review all plant material and plant locations with architect or owner prior to installation.
  3. All areas disturbed during planting activity shall be reestablished as permanent lawn with the specified seed mix:
    - 60% Nassau Kentucky Bluegrass
    - 20% Jamestown II Cheatings Fescue
    - 20% Palmer II Perennial Ryegrass
    - X equals proportion by weight
    - Seed at a rate of five pounds per 1,000 square feet
  4. All tree and shrub groupings shall be completely encompassed within one large mulch bed at each plant grouping location. The mulch bed shall typically extend minimally 2' - 0" past the drip zone of trees or shrubs.
  5. Substitutions: When plants of a specified type or size are not available within a reasonable distance, substitutions may be made upon request by the contractor, if approved by the owner or his representative. The contractor shall notify the owner in writing of any plant materials that he feels will not be available, prior to submitting a bid on this project. If a bid is received without such qualification, it will be assumed no such substitutions will be proposed.
  6. Plants with broken root balls or excessive damage to the crown shall be replaced prior to installation.
  7. Mulch for trees, shrubs, and groundcover shall be double shredded, hardwood bark mulch; dark brown in color; aged at least one year, and clean and free of weeds.
  8. The contractor shall apply a pre-emergent weed killer, Freen (or approved equal), to topsoil prior to mulching activities. Water activate if necessary.
  9. Trees in leaf when planted shall be treated with anti-desiccant such as will-proof.
  10. Preparation of Planting Soil: Before mixing, clean topsoil of roots, vegetation, stones, clay lumps, and other extraneous materials harmful to plant growth. Planting soil for trees, shrubs, and ground cover shall be a mixture by volume of the following:
    - 50% Topsoil
    - 50% Organic Matter
  11. The contractor is responsible for any adjustments to soil pH, fertility, and/or drainage conditions necessary to ensure proper growing conditions for proposed plantings.
  12. Field conditions may dictate minor adjustments to the location of plant material. Before major adjustments of plant locations occur, the contractor shall notify the owner or the architect.
  13. The contractor is responsible for watering, weeding, fertilizing, and maintaining all newly planted plantings for a period of thirty days after planting. A water source is available on site.
  14. All plant material shall be of largest size and bloom potential available to be obtained by the contractor.
  15. The contractor is responsible for installation of plant material at the appropriate time of year.
  16. All new plant material shall be warranted for a period of 18 months from date of final acceptance.
  17. All plantings shall be located to avoid placement within swale centerlines.
  18. All plantings shall be in accordance with the American Standard for Nursery Stock, latest edition.



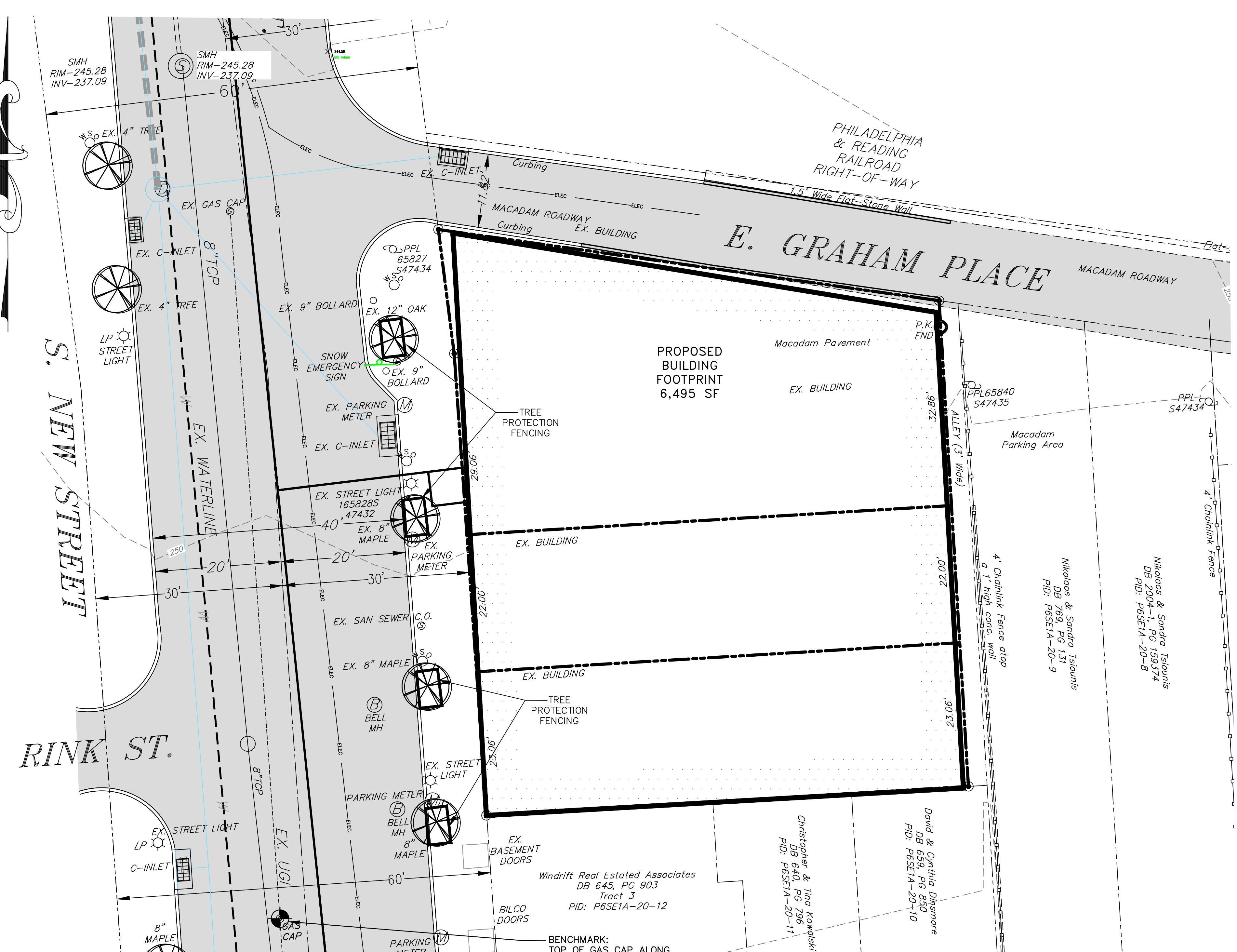
**TREE AND SHRUB PLANTING**

**BIO-BARRIER INSTALLATION DETAIL**



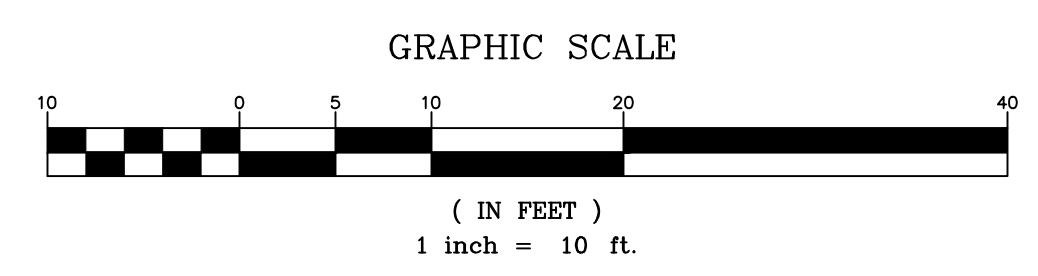
**TREE PROTECTION SIGN**  
18"x12"

**TREE PROTECTION DETAIL**  
NOT TO SCALE



Crown drip line or other limit of Tree Protection area. See tree preservation plan for fence alignment.

- Notes:
- 1- No pruning shall be performed except by approved arborist.
  - 2- No equipment shall operate inside the protective fencing including during fence installation and removal.



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**MAP LEGEND**

○ I. PIN / PIPE FND.	----- EXISTING PROPERTY LINE	----- EXISTING FENCE LINE
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	----- ADJACENT PROP. LINE	

● Benchmark USGS Allentown East Quardangle NAVD 88

- PROJECT LIGHTING NOTES**
1. THE BREEZEWAY AT GRAHAM STREET WILL UTILIZE OVERHEAD LIGHTING FROM THE OVERHANG PORTION OF THE BUILDING. SEE ARCHITECTURAL PLANS FOR DETAILS.
  2. THE DEVELOPER SHALL REPLACE ANY STREET LIGHTING THAT IS REMOVED IN CONJUNCTION WITH THE CONSTRUCTION OF THE BUILDING. STREET LIGHT REPLACEMENT SHALL BE COORDINATED WITH THE CITY TO BE SURE IT IS PROPERLY INTEGRATED WITH THE CITY'S STREETSCAPE PLANS FOR NEW STREET.

**BEFORE YOU DRILL - BLAST CALL**  
1-800-242-1776 (TOLL FREE)

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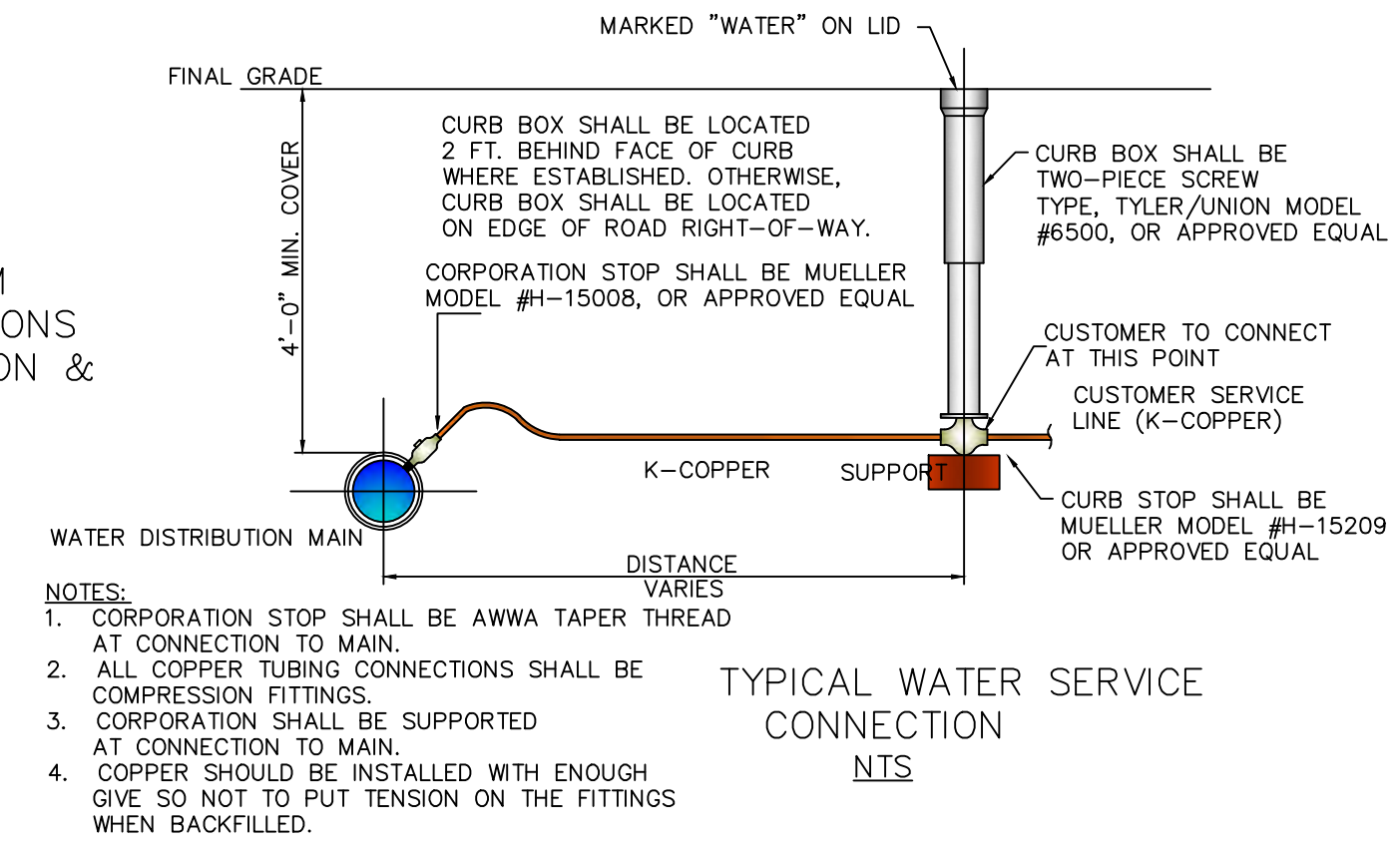
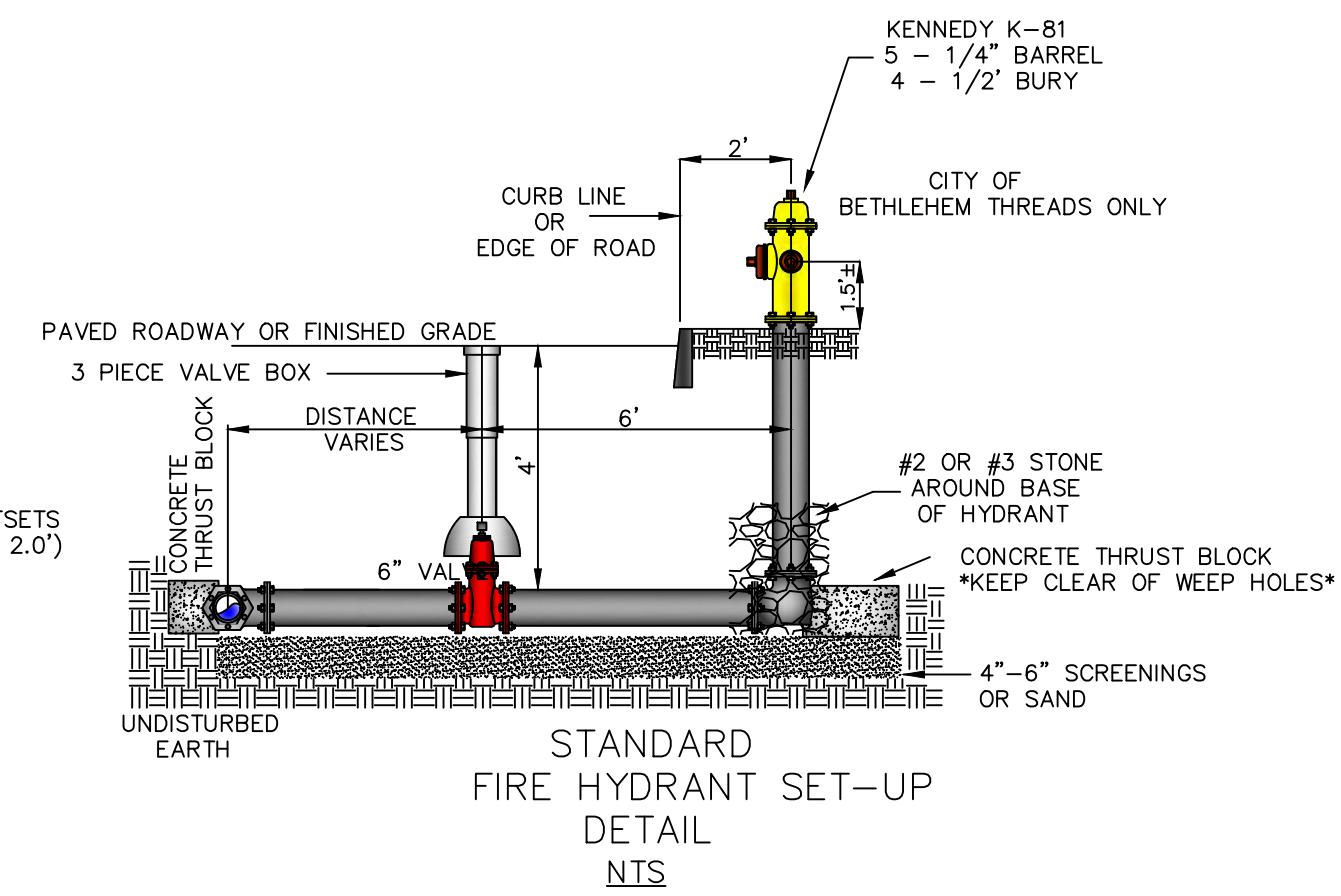
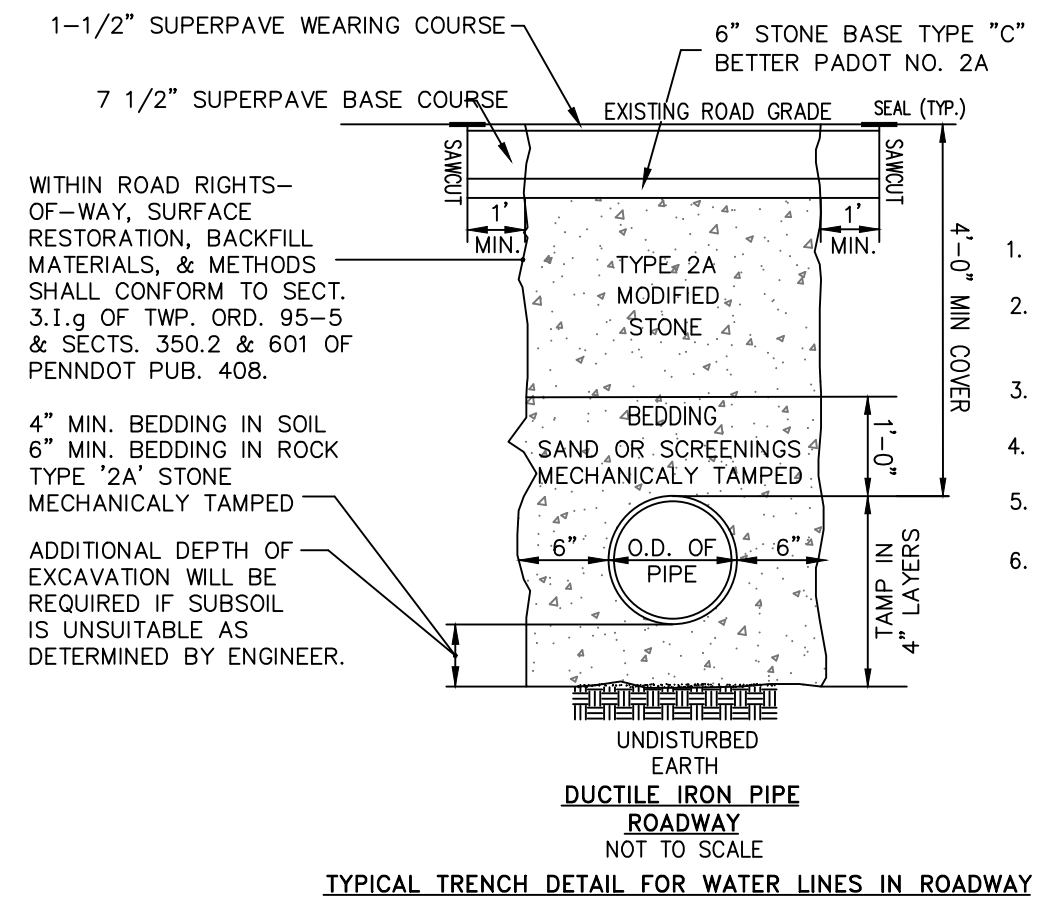
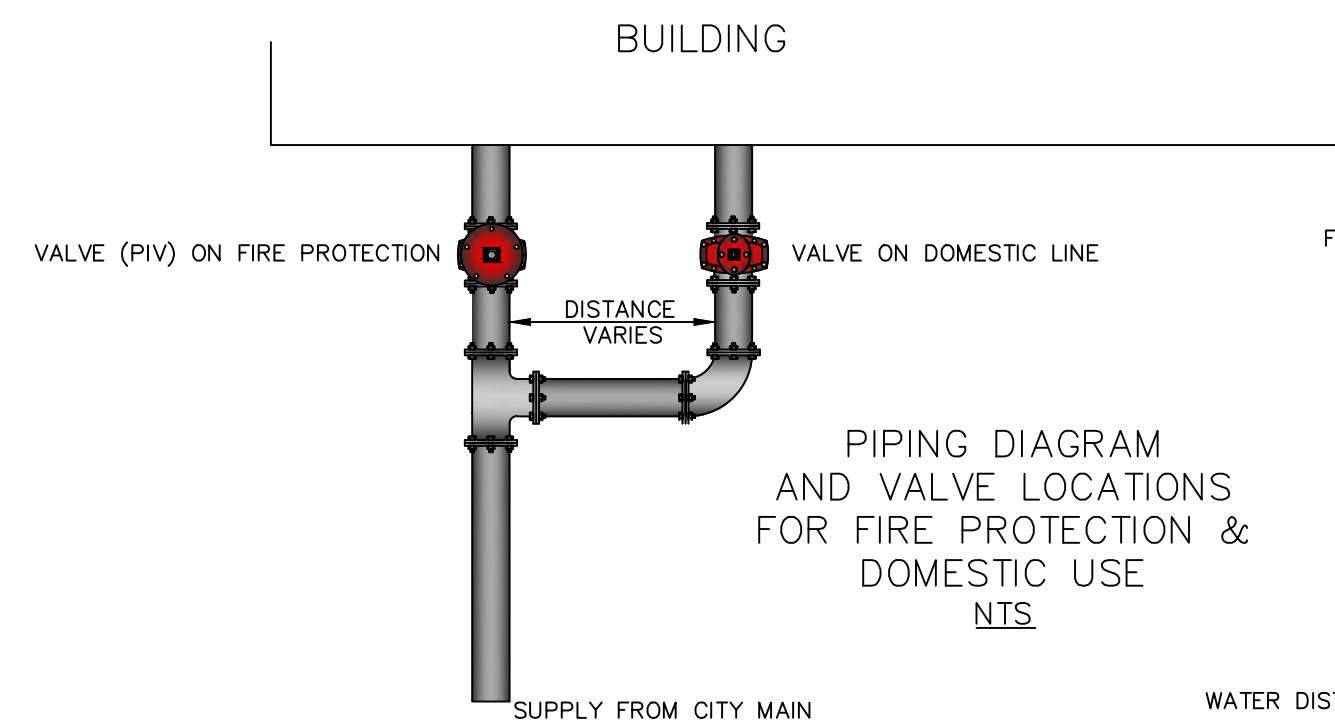
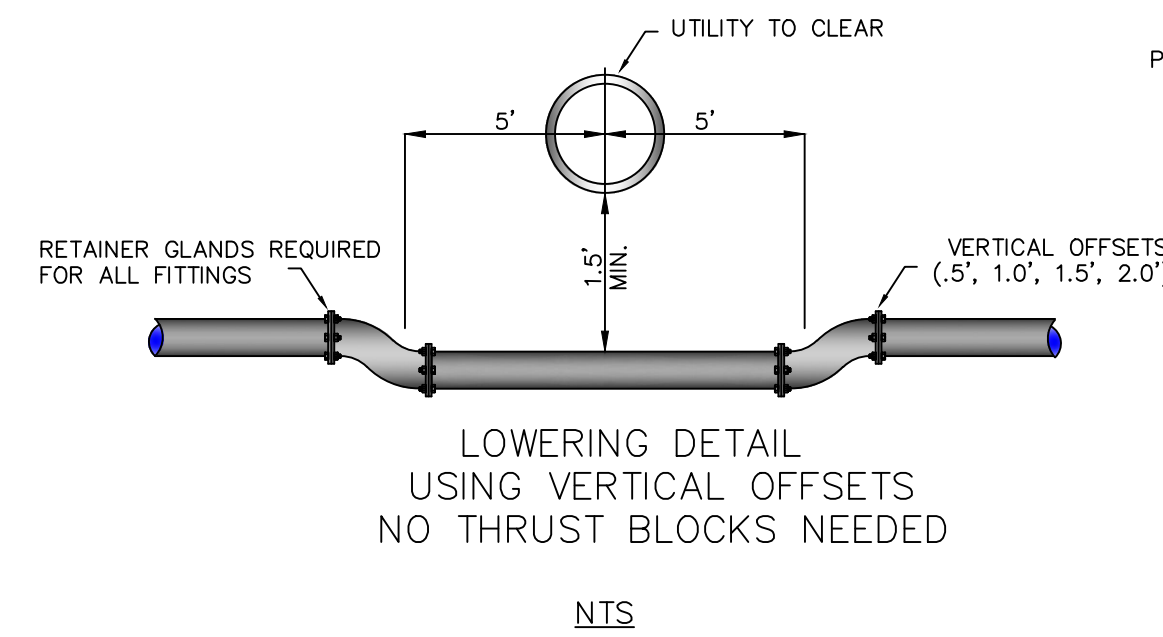
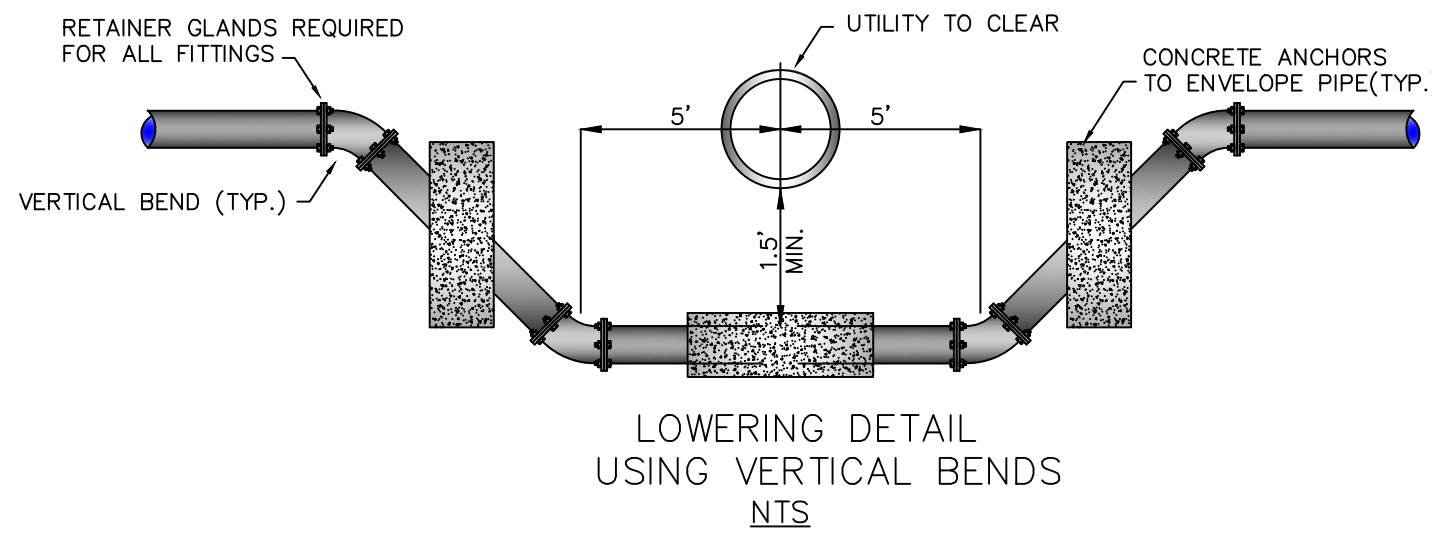
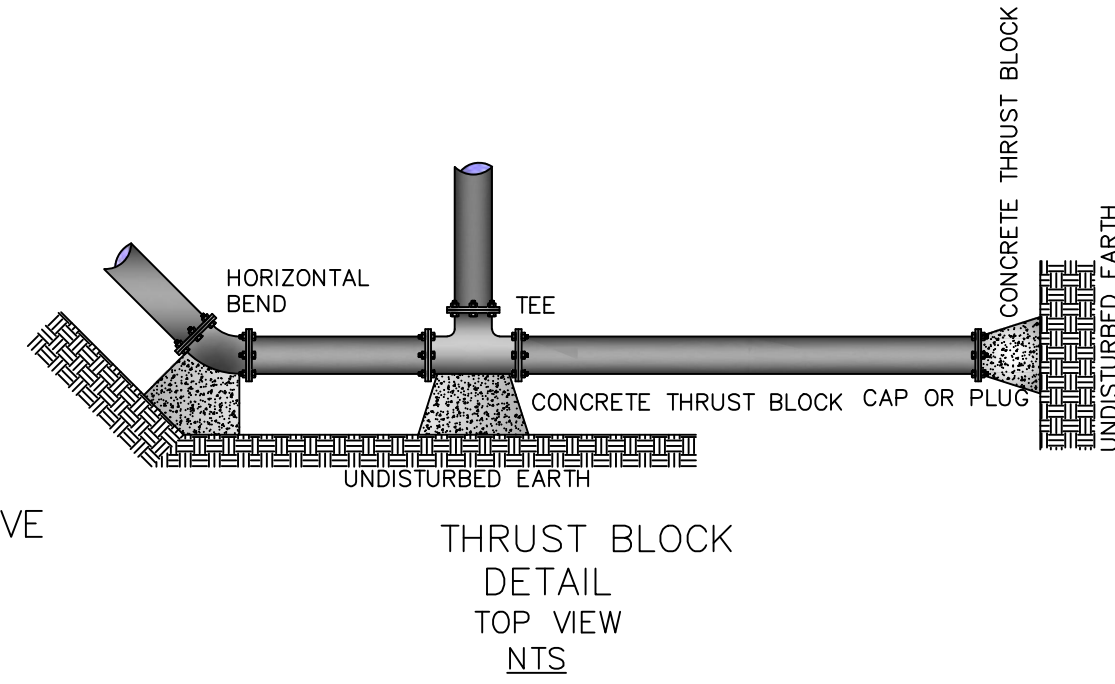
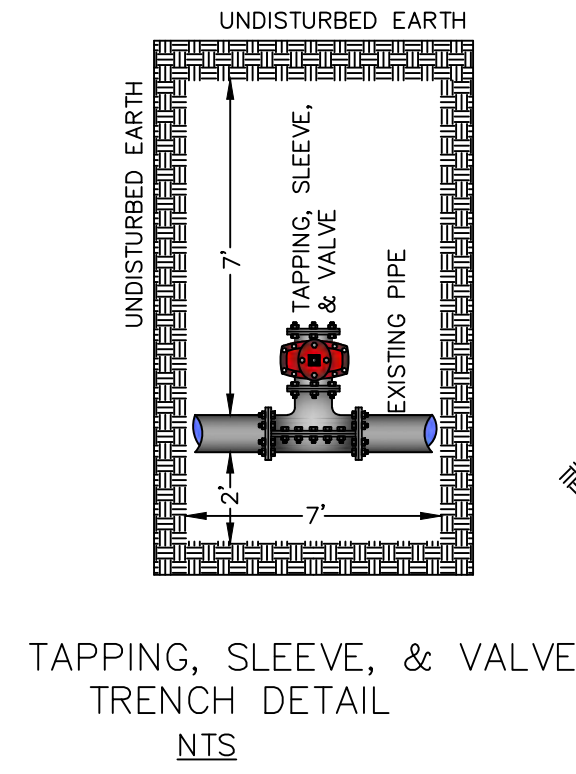
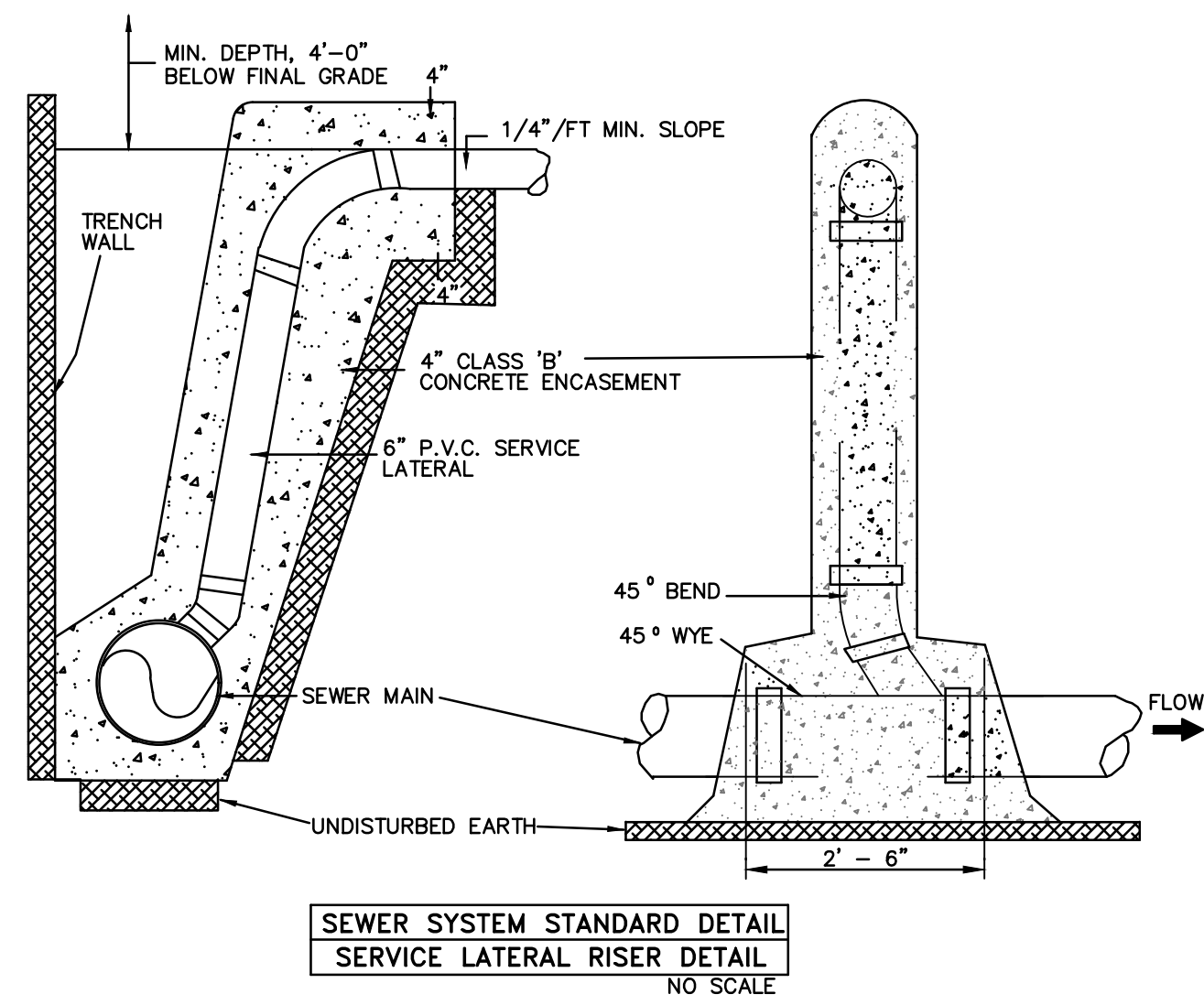
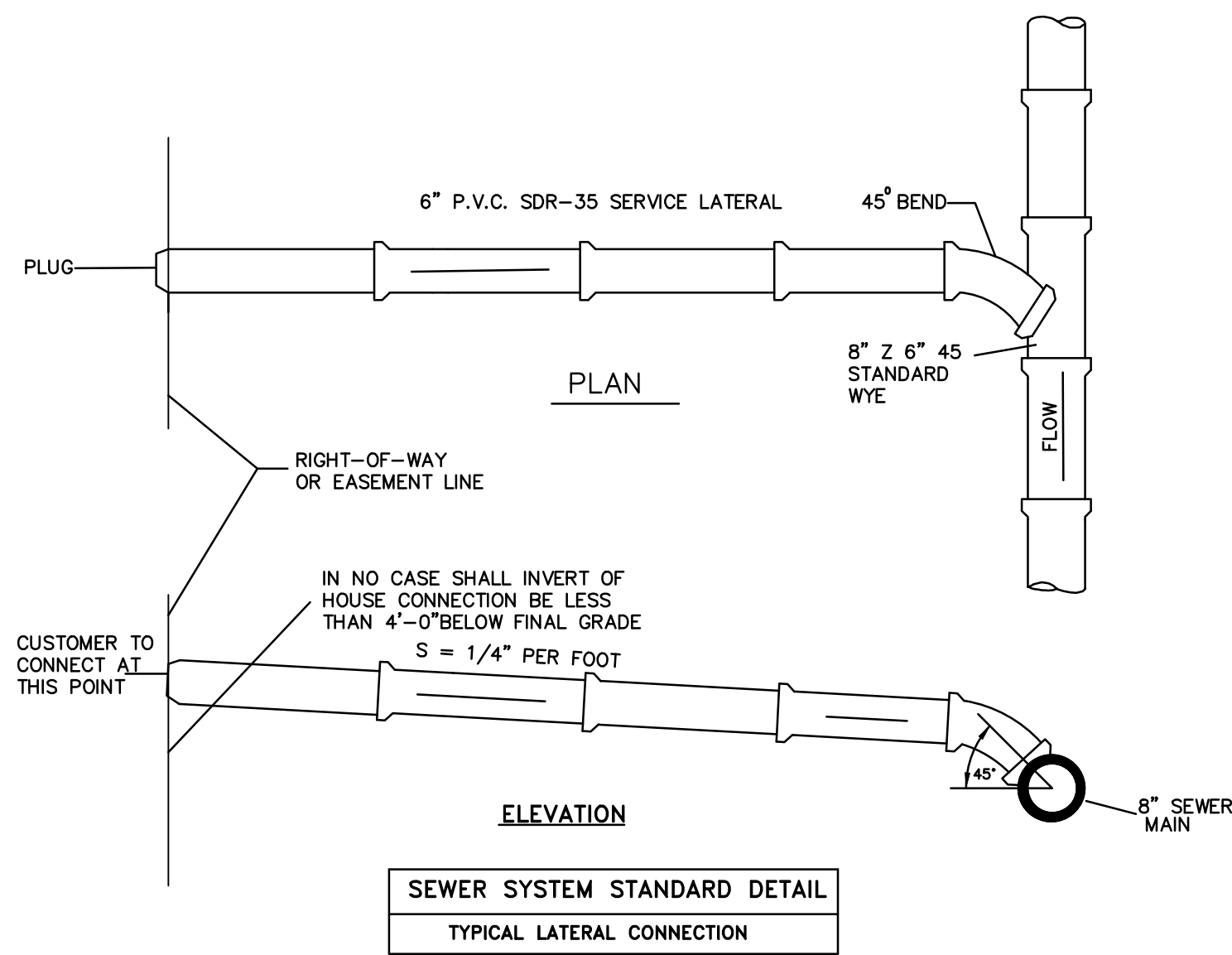
**LEHIGH ENGINEERING ASSOCIATES, INC.**  
459 RIVERVIEW DRIVE, P.O. BOX 68  
WALNUTPORT, PA 18088  
TEL: 610-767-8545 FAX: 610-767-5799

**LOCATED IN:**  
CITY OF BETHLEHEM  
COUNTY OF NORTHAMPTON  
COMMONWEALTH OF PENNSYLVANIA

**PRELIMINARY/FINAL LAND DEVELOPMENT LANDSCAPE PLAN FOR:**  
**South New Street Apartments**

DATE: 12/16/20  
SCALE: 1" = 10'  
DRAWN BY: BG  
JOB: 0633

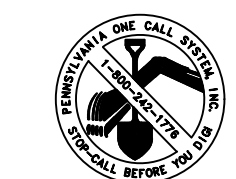
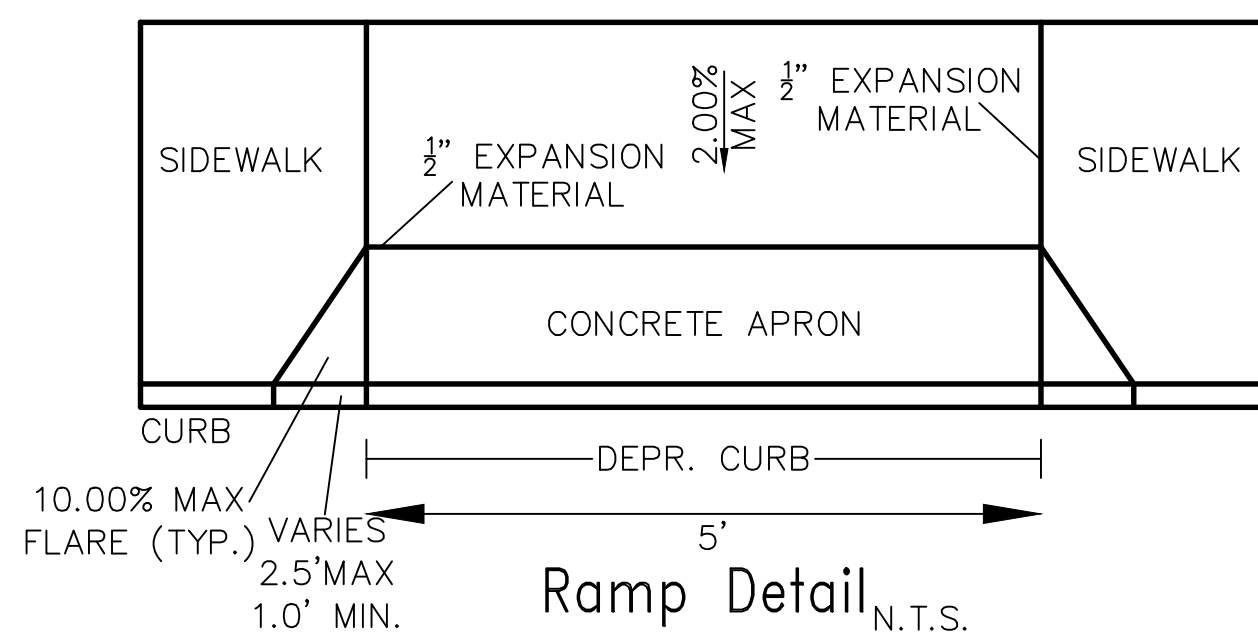
**5 of 6**



**WATER DETAILS**

**WATERLINE NOTES**

1. WATERLINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF BETHLEHEM STANDARDS AND PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS AS APPLICABLE.
2. WATERLINES SHALL BE CLASS 52 DUCTILE IRON PIPE OF THE SIZES INDICATED ON THE PLANS.
3. WATER SERVICES SHALL BE 8-INCH DUCTILE IRON PIPE WITH PLUGGED ENDS, UNLESS OTHERWISE NOTED.
4. PROVIDE 10-FOOT OF HORIZONTAL SEPARATION BETWEEN WATERLINES AND SANITARY SEWERS OR STORM SEWERS. WHERE A WATERLINE CROSSES A SANITARY OF STORM SEWER, PROVIDE A VERTICAL SEPARATION OF 18-INCHES BETWEEN THE PIPES AND CENTER A FULL LENGTH OF WATERLINE ACROSS THE SEWER LINE TO MAXIMIZE THE DISTANCE OF THE JOINTS FROM THE SEWER LINE.
5. ALL ELEVATIONS ARE BASED ON U.S.G.S. MEAN SEA LEVEL DATUM.
6. FIRE PROTECTION WATER SERVICE LATERALS SHALL BE 6\"/>
- 7. EXISTING UTILITIES ARE IN THE SAME GENERAL AREA AND ADDITIONAL CAUTION IS REQUIRED.



BEFORE YOU DIG - DRILL - BLAST  
Call 1-800-242-1776 (TOLL FREE)

PENNSYLVANIA ONE CALL SYSTEM, INC.

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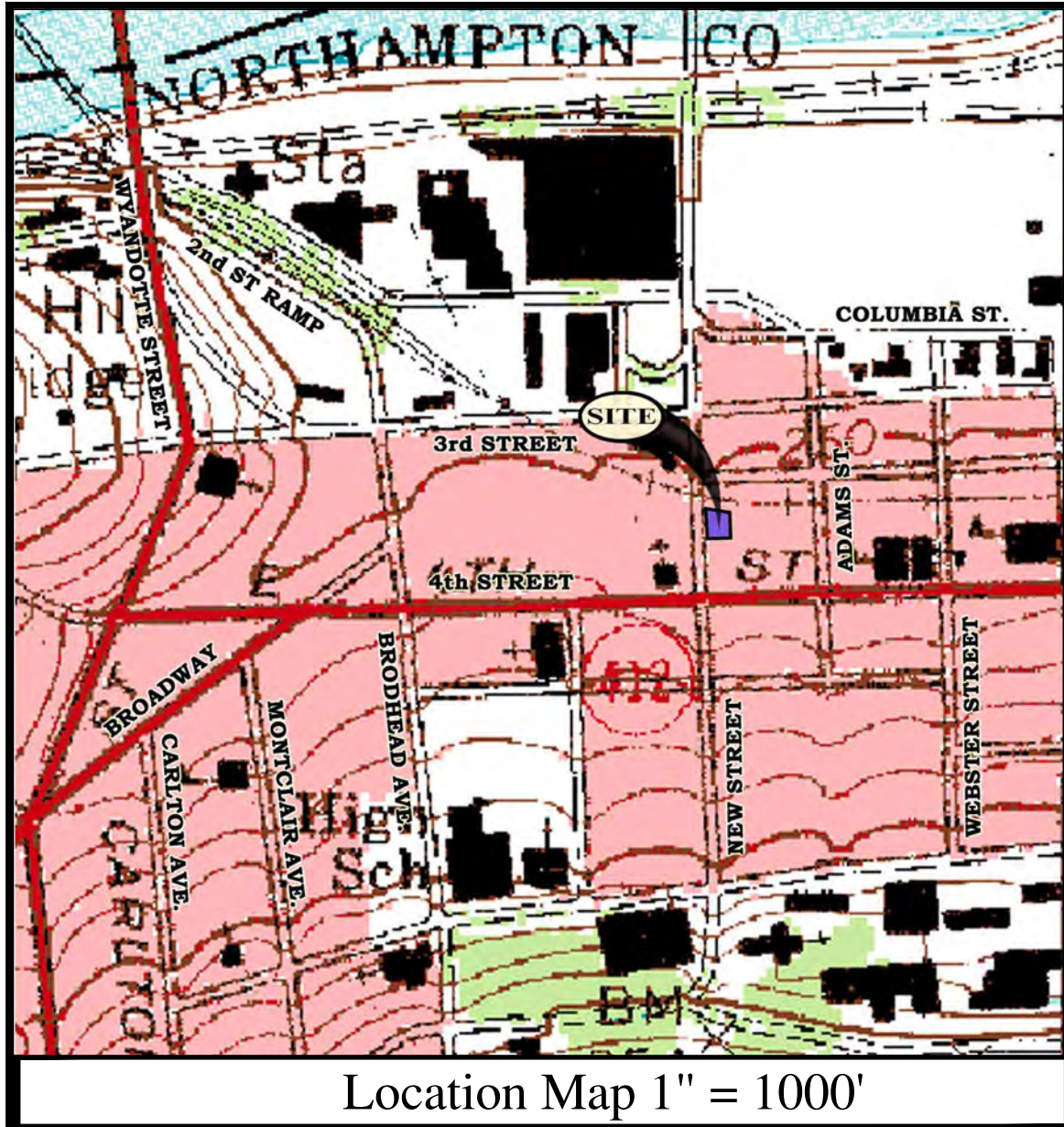
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**LOCATED IN:**  
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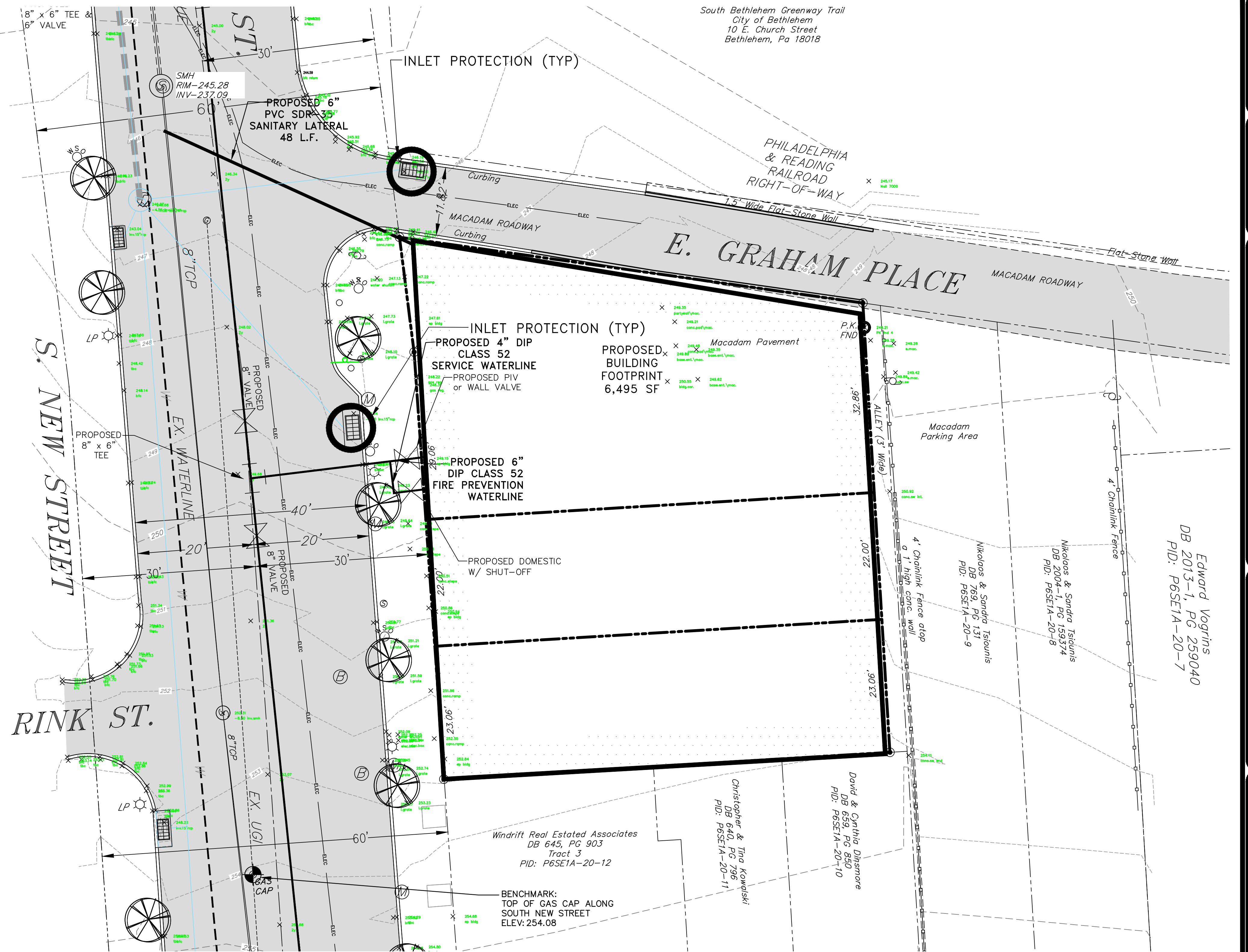
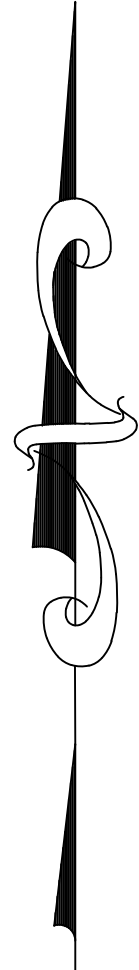
**PRELIMINARY/FINAL DETAIL PLAN FOR:**  
**South New Street Apartments**

DATE: 12/16/20  
SCALE: 1" = 10'  
DRAWN BY: BG  
JOB: 6533

6 of 6



Location Map 1" = 1000'



LEHIGH COUNTY SOILS INFORMATION FACT SHEET

Soil Symbol	Texture	Suitability	Hydraulic Soils	Depth of Water Table	Frost Heaving	Soil Conditions for Construction
Name	Slope %	Hydr./Hydr. Component		Yes/No (inches)	(Low/High)	Waterways Building Site Roadfill Topsoil
Urban Land ULAB	Moderate Erosion 0 to 8	No/N/A				ON-SITE INVESTIGATION REQUIRED

SOILS LIMITATIONS AND RESOLUTIONS

URBAN LAND SOILS REQUIRE ON-SITE INSPECTION TO DETERMINE LIMITATION. DUE TO THE NATURE OF THIS PROJECT NO SOIL LIMITATIONS ARE PREDICTED.

E&S NOI CHECKLIST NOTES

- NO NATURALLY OCCURRING GEOLOGIC FORMATIONS OR SOIL CONDITIONS HAVE BEEN IDENTIFIED THAT MAY CAUSE POLLUTION DURING CONSTRUCTION.
- THIS EROSION & SEDIMENT CONTROL PLAN WAS PLANNED AND DESIGNED TO BE CONSISTENT WITH THE PCSM PLAN. THE CONTRACTOR / OPERATOR IS/ARE RESPONSIBLE TO ENSURE EROSION & SEDIMENT CONTROL ACTIVITIES ARE IMPLEMENTED IN CONJUNCTION WITH THE PCSM PLAN.
- THERE ARE NO EXISTING OR PROPOSED RIPARIAN FOREST BUFFERS RELATED TO THIS PROJECT.
- THE EXISTING DRAINAGE PATTERNS WILL BE PROTECTED DURING AND AFTER CONSTRUCTION AND THE SITE EXISTING VEGETATION WILL BE MAINTAINED TO THE MAXIMUM EXTENT POSSIBLE.
- MINIMIZE SOIL COMPACTION BY LIMITING CONSTRUCTION TRAFFIC TO ONLY THE AREAS THAT NEED TO BE GRADED. ALL AREAS TO REMAIN UNCOMPACTED ARE TO BE FENCED OFF PRIOR TO ON-LOT DISTURBANCE.
- THE CONSTRUCTION SEQUENCE HAS BEEN PROVIDED TO MINIMIZE THE EXTENT AND DURATION OF EARTH DISTURBANCE.
- THE E&S PLAN UTILIZES OTHER MEASURES AND/OR CONTROLS THAT PREVENT AND/OR MINIMIZE THE GENERATION OF INCREASED STORMWATER RUNOFF.

RECYCLING/DISPOSAL OF PROJECT WASTES NOTE

DURING CONSTRUCTION, BUILDING AND DEMOLITION WASTE SUCH AS ASPHALT, BRICKS, CONCRETE, PLASTERBOARD, TIMBER, SOIL, AND OTHER CONSTRUCTION SITE WASTES MUST BE PROPERLY MANAGED AND DISPOSED TO REDUCE THE RISK OF POLLUTION FROM SUCH MATERIALS. PREVENTION AND CLEANUP MEASURES CAN REDUCE THE POTENTIAL FOR STORMWATER RUNOFF TO MOBILIZE CONSTRUCTION SITE WASTES AND CONTAMINATE SURFACE OR GROUND WATER.

PROPER MANAGEMENT AND DISPOSAL OF WASTES SHOULD BE PRACTICED AT CONSTRUCTION SITE, PROPERLY LOCATE REFUSE PILES, COVER MATERIALS THAT MIGHT BE DISPLACED BY RAINFALL OR STORMWATER RUNOFF.

THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET. SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.

E & S LEGEND

LIMIT OF DISTURBANCE (LOD)

ROCK CONSTRUCTION ENTRANCE

8" COMPOST FILTER SOCK

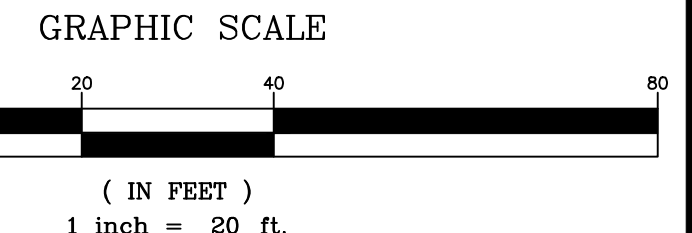
STORM INLET PROTECTION

CONCRETE WASHOUT FACILITY (CWO)

MAP LEGEND

- I. PIN / PIPE FND.
- CON. WORK TO BE SET
- DEC./CON. TREE
- SANITARY MANHOLE
- WATER VALVE
- FIRE HYDRANT
- WATER SHUTOFF
- EXISTING PROPERTY LINE
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- ADJACENT PROP. LINE
- EXISTING FENCE LINE
- TWP. CLEAR SIGHT TRI.
- FOOT SIGHT DIST.
- SANITARY LATERAL
- SANITARY SEWER MAIN
- EXISTING WATER LATERAL
- EXISTING SHRUB ROW

Benchmark USGS Allentown East Quadrangle NAVD 88



BEFORE YOU DIG - DRILL - BLAST Call 1-800-242-1776 (TOLL FREE)

PENNSYLVANIA ONE CALL SYSTEM, INC.

In compliance with Act 38, it shall be the Contractors responsibility to contact individual companies to have utility locations marked in the field and to otherwise locate underground objects as may be necessary prior to the start of construction. Pennsylvania Law requires 3 working days notice for the construction phase and 10 working days in design stage -- call

LEHIGH ENGINEERING ASSOCIATES, INC. 459 RIVERVIEW DRIVE, P.O. BOX 68 WALNUTPORT, PA 18088 TEL: 717-854-5454 FAX: 610-767-5799

LOCATED IN: CITY OF BETHLEHEM COUNTY OF NORTHAMPTON COMMONWEALTH OF PENNSYLVANIA

EROSION & SEDIMENTATION CONTROL PLAN FOR: South New Street Apartments

DATE: 2/21/22 SCALE: 1" = 10' DRAWN BY: BG JOB: 6533 SHEET: 1 of 2

