



# CITY OF BETHLEHEM

BUREAU OF PLANNING AND ZONING

10 East Church Street, Bethlehem, Pennsylvania 18018-6025

Phone: 610-865-7088

Fax: 610-865-7330

TDD: 610-865-7086

September 1, 2022

Jordan Clark  
The Ballina Group, LLC  
1439 Monroe Avenue, Suite 1  
Dunmore, PA 18512

RE: (21-003 LD&S) - 21020002–SOUTH NEW STREET APTS – 319-27 S. NEW STREET  
– Land Development & Subdivision Plan - Ward 3, Zoned CB, plan dated October 29,  
2020 and revised August 22, 2022.

Dear Mr. Clark:

The above-referenced plan has been reviewed by the appropriate City offices. We offer the following comments:

## **PUBLIC WORKS**

### **Engineering:**

Plans are approved contingent to the following being addressed.

1. In accordance with Ordinance No. 4342, at the time of execution of the developer's agreement, a sanitary sewer tapping fee of \$89,153 will need to be paid.
2. Sidewalk and ADA ramp replacement must be coordinated with the South New Street Streetscape project. The developer will be required to install paver sidewalk along the entire frontage and the 2 ADA ramps at the intersection of S New St and E Graham Pl. Details of the proposed ADA ramps are included in the City's project and the developer shall use them for installation of the two ramps at S New St and E Graham Pl. The developer shall follow the details in the City's streetscape project. City will provide the pavers.
3. Updated Engineer's Opinion of Probable cost shall be submitted based on prior comments by Engineering.
4. Please see attached updated addressing plan mark ups.

### **Traffic:**

1. The trip generation calculation shall include all uses in the proposed building (multifamily housing, commercial, restaurant, etc.) It does not appear that the submitted trip calcs include all uses. Additionally, the applicant shall prepare a transportation study per SALDO Section 1347.14 if the trips are as follows: an abbreviated traffic study is required if trips are between 50 and 100 new vehicle trips in the peak direction (inbound or outbound) during the site's peak traffic hour. A full traffic study is required if 100 or more new vehicle trips in the peak direction (inbound or outbound) during the site's peak traffic hour are projected. Since it is projected that the vehicles associated with the development will utilize the parking garage, the study shall focus on not only vehicular traffic, but also pedestrian and bike access as well.
2. As discussed with the developer, utilities will need to be installed within the roadway in coordination with the ongoing construction in S. New Street, before the City completes the Streetscape Project and

paves the road. Additionally as discussed, a pre-construction meeting will be needed with the City's contractor to discuss the sidewalks, proposed lighting, landscaping, benches, ADA ramps, etc.

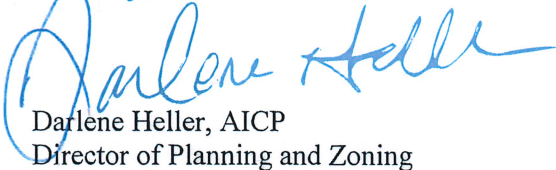
3. Indicated where loading will occur for the tenants and commercial uses.

**GENERAL**

1. A recreation fee of \$72,731 shall be paid prior to the execution of a developer's agreement.
2. The project is on a parcel currently designated as eligible for Local Economic Revitalization Tax Assistance (LERTA) benefits. Increased assessment resulting from new construction, renovation, and improvements may be eligible for a 10-year abatement on increased property taxes. Applications for LERTA must be submitted within 60 days of receiving the building permit. To discuss the program, please contact the Dept. of Community & Economic Development.
3. Location and limits of any future lay by area for construction shall be submitted to and approved by the City of Bethlehem.
4. Final review of materials, etc. is still required by the Historic Conservation Commission.

**This project is scheduled for review at the September 8, 2022 Planning Commission meeting. Submit an electronic copy of the colored elevations prior to the meeting date for use at the meeting.**

Sincerely,



Darlene Heller, AICP  
Director of Planning and Zoning

Cc: B. Yandem                      T. Wells  
      C. Peiffer                      B. Gasda, Lehigh Engineering Assoc., Inc.  
      A. Rohrbach

Enclosure





CONSULTANTS

SCALE SHEET



CONSULTANTS

TRUBEN  
ARCHITECTS  
189 PENNSYLVANIA AVENUE  
PHILADELPHIA, PA 19106  
WWW.TRUBENARCHITECTS.COM

CONSULTANTS

caulfield-hovnen  
ARCHITECTS  
400 MARKET STREET, SUITE 400  
PHILADELPHIA, PA 19106  
WWW.CAULFIELDHOVNEN.COM

SCALE SHEET

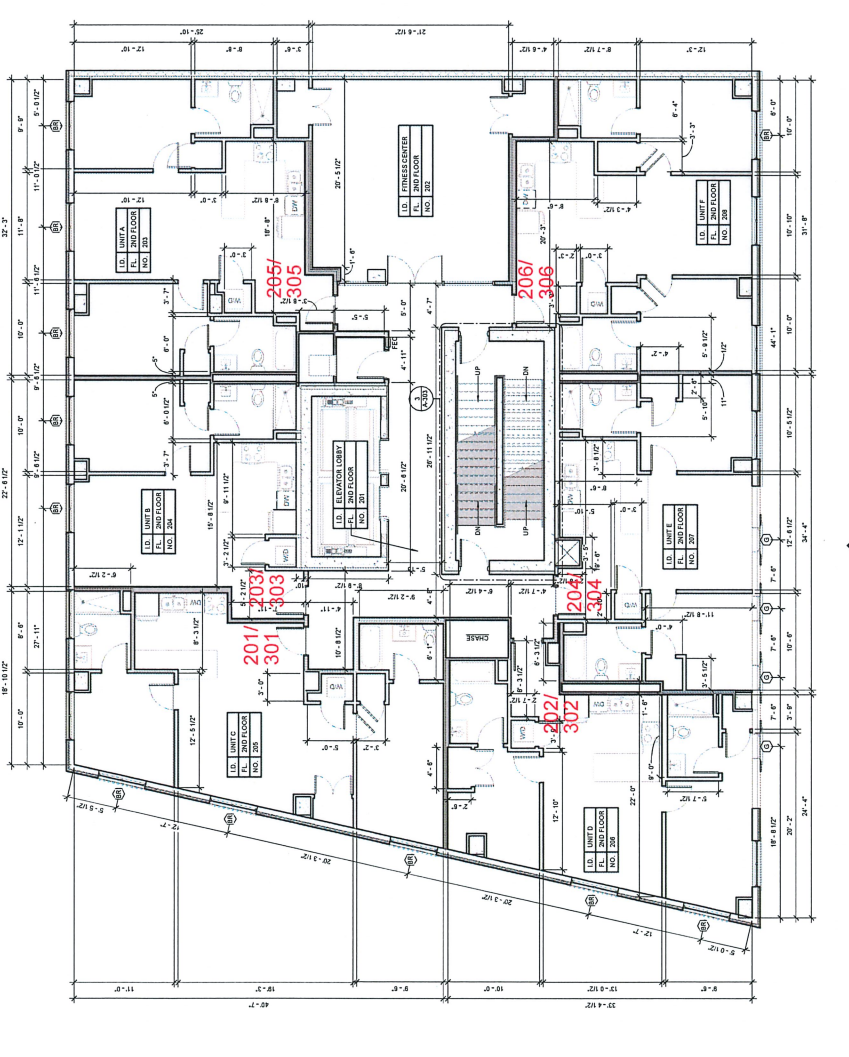
**GPI**  
CONSTRUCTION ADMINISTRATION  
1000 MARKET STREET, SUITE 200  
PHILADELPHIA, PA 19106  
WWW.GPIEAT.COM

CONSULTANTS

CONTRACT DOCUMENTS  
DESIGNED BY GPI  
DRAWN BY GPI  
CHECKED BY GPI  
DATE: 8/19/2022  
PROJECT: SOUTH NEW STREET MIXED-USE APARTMENT COMPLEX

NO.	DESCRIPTION	DATE

COMMON FLOOR PLAN - SECOND & THIRD FLOOR	
TITLE	DATE
2020-21	8/19/2022
PROJECT NUMBER	DATE
AS NOTED	
SCALE	REVISION NO.
AS NOTED	JCC
DRAWN BY	CHECKED BY



- GENERAL CONSTRUCTION NOTES:**
1. SEE WALL SECTIONS, DETAILS & PRODUCT SPECIFICATIONS FOR INSTALLATION OF MATERIALS.
  2. WALLS ARE DIMENSIONED TO FINISH FACE. DOORS & WINDOWS ARE DIMENSIONED TO CENTERLINE.
  3. STEEL COLUMN DIMENSIONS ARE TO FACE OF STEEL OR CENTERLINE OF STEEL AS SHOWN BY STEEL GRID LINE.
  4. PLUMBING FINISH DIMENSIONS ARE FROM CENTERLINE OF FINISH TO FINISH FACE OF PARTITION.
  5. PROVIDE WALL CLADDING FOR ALL WORKING, SERVICE, COURTYER, BATHROOM, ACCESSORIES, etc.
  6. TRACES TO COORDINATE LOCATION OF ALL SUBGRADE UTILITY PENETRATIONS & SERVICES PRIOR TO CONTRACTOR POURING FOOTING FOUNDATION WALLS OR TRENCHING EXISTING CONCRETE SLAB.
  7. REFER TO PIPING DRAWINGS FOR ALL PIPING LAYOUTS; SEE SCHEDULE FOR SCHEDULE.
  8. REFER TO MECHANICAL DRAWINGS FOR ALL PIPING LAYOUTS, CONTROL PIPING, DATA, TELEPHONE OUTLET & TELEPHONE EXTERIOR WALLETS & DETAILS.
  9. QUANTITIES & LOCATIONS.
  10. WALL PARTITION SECTIONS AND DIMENSIONS TO WALL. COORDINATE WITH MESHAWAL CONTRACTORS FOR EXACT WALL PARTITION SECTIONS AND DIMENSIONS TO WALL. COORDINATE WITH MESHAWAL CONTRACTORS FOR EXACT WALL PARTITION SECTIONS AND DIMENSIONS TO WALL. COORDINATE WITH MESHAWAL CONTRACTORS FOR EXACT WALL PARTITION SECTIONS AND DIMENSIONS TO WALL.
- WINDOW NOTE:**
1. ALL WINDOWS TO RECEIVE 3/4" WOOD SILL WITH 2 1/2" WOOD APRON, WINDOW JAMBES AND HEAD TO RECEIVE GPI ID. RETURNS.
  2. PROVIDE SCHEDULING IN WALL FOR TOILET ROOM (FOR TILE INSTALLATION, COORDINATE WITH PLUMBING PROVIDER SCHEDULING MANUFACTURER'S INSTALLATION SPECIFICATIONS).
  3. PROVIDE SCHEDULING IN WALL FOR HANDICAPPED ACCESSIBLE TOILET ROOM (FOR TILE INSTALLATION, COORDINATE WITH PLUMBING PROVIDER SCHEDULING MANUFACTURER'S INSTALLATION SPECIFICATIONS).
  4. PROVIDE SCHEDULING IN WALL FOR HANDICAPPED ACCESSIBLE TOILET ROOM (FOR TILE INSTALLATION, COORDINATE WITH PLUMBING PROVIDER SCHEDULING MANUFACTURER'S INSTALLATION SPECIFICATIONS).
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- CONSTRUCTION DETAILS:**
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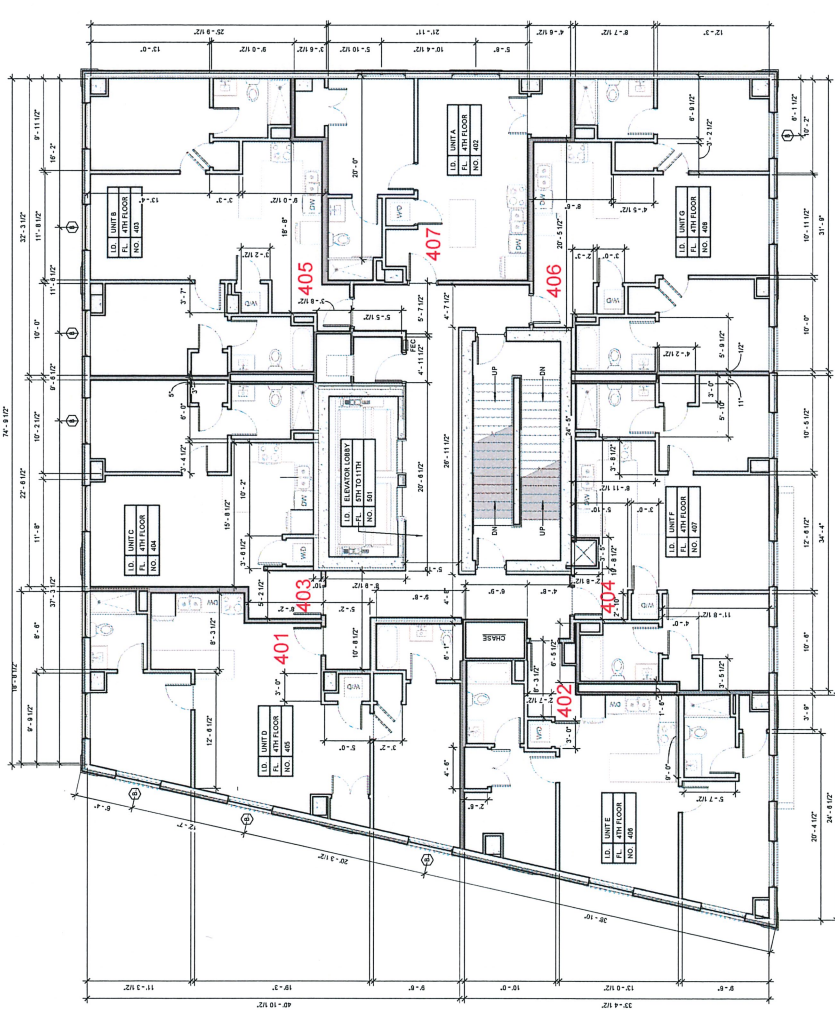
**1 SECOND FLOOR PLAN -  
A-102 SCALE 3/16" = 1'-0"**



NO.	REVISIONS	DESCRIPTION	DATE

**FOURTH FLOOR PLAN**

TITLE  
2020-21 8/19/2022  
PROJECT NUMBER DATE  
AS NOTED  
SCALE  
REVISION NO.  
DRAWN BY: JCC  
CHECKED BY:



- FLOOR PLAN NOTES:**
- SEE WALL SECTIONS, DETAILS & PRODUCT SPECIFICATIONS FOR INSTALLATION OF MATERIALS.
  - WALLS ARE DIMENSIONED TO FINISHED FACE. DOORS & WINDOWS TO CENTERLINE.
  - STEEL COLLUM DIMENSIONS ARE TO FACE OF STEEL OR CENTERLINE OF STEEL AS SHOWN BY STEEL GRID LINES.
  - PLUMBING PARTIE DIMENSIONS ARE FROM CENTERLINE OF PARTIE TO FINISHED FACE OF PARTITION.
  - PROVIDE IN WALLS 1" WOOD ACCORDING TO ALL APPLICABLE CODES, REGULATIONS, AND STANDARDS.
  - TRADES TO COORDINATE LOCATION OF ALL SUBGRADE UTILITY PENETRATIONS & SLEEVES PRIOR TO CONTINUATION POURING CONCRETE SLAB.
  - REFER TO PLUMBING DRAWINGS FOR ALL PIPING LOCATIONS, SIZES & SCHEDULE.
  - REFER TO ELECTRICAL DRAWINGS FOR ALL EMERGENCY LIGHTING, POWER, DATA, TELEPHONE OUTLET LOCATIONS & LOCATIONS.
  - REFER TO MECHANICAL DRAWINGS FOR ALL HVAC LOCATIONS AND DETAILS. NOTE THIS SYSTEM IS A PARTIAL QUANTITIES AND CONTRACTOR TO BE DETERMINED.
  - REFER TO ELECTRICAL DRAWINGS FOR ALL EMERGENCY LIGHTING, POWER, DATA, TELEPHONE OUTLET QUANTITIES AND LOCATIONS.

- CONSTRUCTION RELIEVES:**
- PROVIDE ELEVATOR Lobbies FOR TOILET ROOM (VOLUME INSTALLATION). COORDINATE WITH PLUMBING PROVIDE ELEVATOR Lobbies WITH APPROPRIATE SCHEDULE.
  - ALL INSULATION AND DAPING TO MEET THE REQUIREMENTS FOR FLAME SPREAD INDEX NOT MORE THAN 25 AND SMOKE DEVELOPMENT INDEX NOT MORE THAN 200. A VERTICAL PENETRATION ABOVE REQUIREMENTS FOR OTHER FLOOR TYPES SHALL BE PROVIDED. PROVIDE DAPPING TO MEET THE REQUIREMENTS FOR OTHER FLOOR TYPES.
  - PROVIDE BLOCKING WALL FOR MISC. ACCESSIBLE TOILET ROOM SINK VOLUME TOP.
  - INSTALLATION, COORDINATE ENDINGS WITH DETAILS ON A-207, A-208, AND S-168.
  - CONNECT TO WALKWAY TO COORDINATE LOCATIONS WITH DETAILS ON WALKWAY W/ MULLION & GLASS TOILET ROOM DOOR. PROVIDE DAPPING TO MEET THE REQUIREMENTS FOR OTHER FLOOR TYPES.
  - PROVIDE QUANTITY BRACKET TYPE 1 WALL LOCATION, CROSS REFERENCE LOCATIONS WITH ELECTRICAL DRAWINGS.

- WINDOW NOTE:**
- ALL WINDOWS TO RECEIVE 3/4" WOOD SILL WITH 2 1/2" WOOD JOIST, WINDOW JAMB AND HEAD TO RECEIVE OPT. ID. RETURNING RESOLUTIONS.
  - ALL INSULATION AND DAPING TO MEET THE REQUIREMENTS FOR FLAME SPREAD INDEX NOT MORE THAN 25 AND SMOKE DEVELOPMENT INDEX NOT MORE THAN 200. A VERTICAL PENETRATION ABOVE REQUIREMENTS FOR OTHER FLOOR TYPES SHALL BE PROVIDED. PROVIDE DAPPING TO MEET THE REQUIREMENTS FOR OTHER FLOOR TYPES.
  - ALL SOUND ATTENUATION RATE INSULATION TO BE UNJACKETED 3" OR THICKER OTHERWISE NOTED.
  - PROVIDE FIRE RATED INSULATION AND CABINET. CABINET TO BE LASER, GALVALUM SERIES UNDER # 2-CORNER, STEEL CABINET WITH APPROPRIATE BRACKET FOR SILL AND CABINET, DRAWING WITH AN ANNOTATION TO BE PROVIDED TO COORDINATE WITH DETAILS ON WALKWAY W/ MULLION & GLASS TOILET ROOM DOOR. PROVIDE QUANTITY BRACKET TYPE 1 WALL LOCATION, CROSS REFERENCE LOCATIONS WITH ELECTRICAL DRAWINGS.
  - MINIMUM ABOVE FINISH FLOOR EXTENSION SHALL EXCEED MORE THAN 4" OFF FACE OF WALL.

- GENERAL CONSTRUCTION NOTES:**
- SEE WALL SECTIONS, DETAILS & PRODUCT SPECIFICATIONS FOR INSTALLATION OF MATERIALS.
  - WALLS ARE DIMENSIONED TO FINISHED FACE. DOORS & WINDOWS ARE DIMENSIONED TO CENTERLINE.
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  - REFER TO PLUMBING DRAWINGS FOR ALL PIPING LOCATIONS, SIZES & SCHEDULE.
  - REFER TO ELECTRICAL DRAWINGS FOR ALL EMERGENCY LIGHTING, POWER, DATA, TELEPHONE OUTLET LOCATIONS & LOCATIONS.
  - REFER TO MECHANICAL DRAWINGS FOR ALL HVAC LOCATIONS AND DETAILS. NOTE THIS SYSTEM IS A PARTIAL QUANTITIES AND CONTRACTOR TO BE DETERMINED.
  - REFER TO ELECTRICAL DRAWINGS FOR ALL EMERGENCY LIGHTING, POWER, DATA, TELEPHONE OUTLET QUANTITIES AND LOCATIONS.

1 A-103 FOURTH FLOOR PLAN SCALE: 3/16" = 1'-0"



