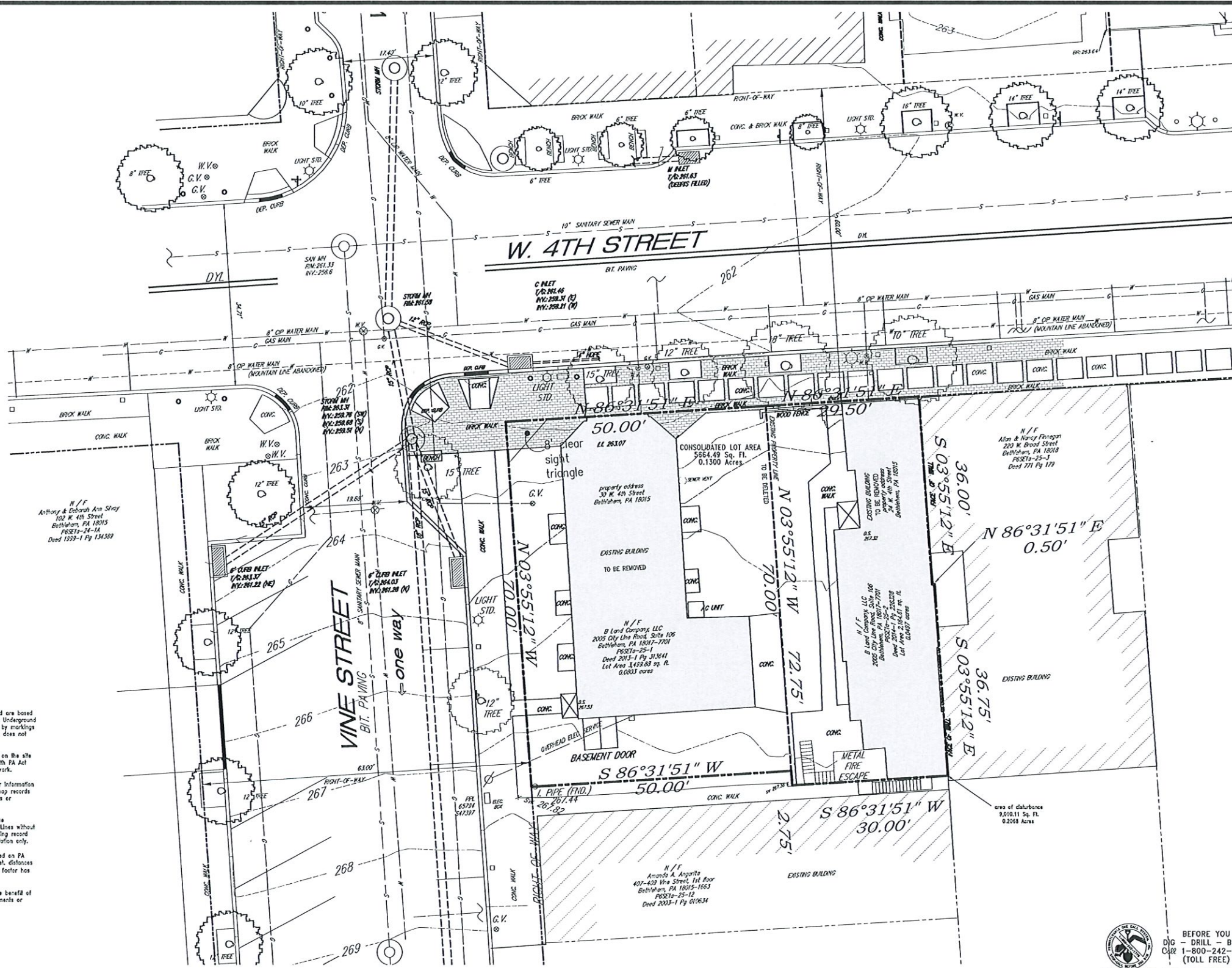


**LOCATION MAP**  
SCALE 1" = 1,000'  
ALLENTOWN EAST, PA. QUADRANGLE



**SURVEY NOTES**

- Utility locations depicted hereon are approximate and are based on field location of obvious above-ground evidence. Underground lines whose presence is not implied on the surface by markings or structures may not have been shown. This plan does not guarantee that additional utilities do not exist.
- The existence and location of underground utilities on the site shall be verified by the contractor in accordance with PA Act 187 and 121 prior to commencing any excavation work.
- Property owner name, deed and tax parcel identifier information as shown is based upon Northampton County tax map records as of December '20 and is subject to the accuracies or inaccuracies thereof.
- Lines as shown with bearings and distances or curve information indicate lines measured by this survey. Lines without any geometric annotation may have been plotted using record information and are intended for general site orientation only.
- Bearings and coordinates as shown hereon are based on PA South Zone State Plane Coordinate System in US feet, distances as shown are ground measurements (no grid scale factor has been applied).
- This survey and plan has been prepared without the benefit of a title search and is therefore subject to any easements or other pertinent facts which such might disclose.

**EXISTING PROPERTY GRADES**



**SOILS DATA:**

Uc2b - Urban land, 0-3% slopes  
(Data for area of development only)  
(Data taken from USDA Web Soil Survey)

**FLOOD PLAN NOTE:**  
Information from the National Flood Insurance Program was obtained for the site. Northampton County Flood Insurance Rate Map number 420950307 E, effective date July 15, 2014.

No flood plain exists within the proposed development area.

**WETLAND NOTE**

BY APPROVAL OF THIS PLAN, THE CITY OF BETHLEHEM HAS NEITHER CONFIRMED NOR DENIED THE EXISTENCE AND/OR EXTENT OF ANY WETLAND AREAS WHETHER OR NOT DELINEATED ON THE SAID PLAN, AND ANY ENCROACHMENT THEREON FOR ANY REASON WHATSOEVER SHALL BE THE SOLE RESPONSIBILITY OF THE SUBMITTER AND/OR DEVELOPER, HIS HEIRS AND ASSIGNS, AND SHALL BE SUBJECT TO THE JURISDICTION OF THE ARMY CORPS OF ENGINEERS AND/OR THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE SAID ENCROACHMENT SHALL CONFORM TO THE RULES AND REGULATIONS OF THE JURISDICTIONAL AGENCIES.

Keystone Consulting Engineers has determined through field verification that State or Federally regulated wetlands do not exist within the boundaries shown on the plan for the project site. This inventory for wetland conditions was conducted according to Federal and State guidelines as described in the Regional Supplement to Corps of Engineers Wetland Delineation Manual: Northeast and Northcentral Region, Version 2.0 as agreed to process for identifying and delineating wetlands in Pennsylvania.

No wetlands exist within the development area.

**TOPOGRAPHIC AND EXISTING FEATURE INFORMATION AND SURVEY BOUNDARY**

THE TOPOGRAPHIC & EXISTING FEATURES INFORMATION SHOWN HEREIN WAS COMPILED FROM A FIELD SURVEY COMPLETED BY LEHIGH ENGINEERING ASSOC., INC. ON JUNE 2016. AND FIELD VERIFICATION COMPLETED BY KEYSTONE CONSULTING ENGINEERS ON APRIL 2019.

**ADJOINING PROPERTY INFORMATION**  
THE METES AND BOUNDS SHOWN WERE OBTAINED FROM THE DEEDS OF RECORD. ADJACENT OWNER INFORMATION WAS COMPILED FROM NORTHAMPTON COUNTY ASSESSMENT RECORDS.

**WETLAND INFORMATION**  
NO WETLANDS ARE EVIDENT ON THIS SITE

**SHEET INDEX**

PLAN TITLE	SHEET NUMBER
LOT CONSOLIDATION PLAN (RECORD)	1 OF 1
SITE ANALYSIS/EXISTING RESOURCES PLAN	1 OF 7
LAND DEVELOPMENT PLAN (RECORD)	2 OF 7
GRADING / UTILITY PLAN	3 OF 7
LANDSCAPE & LIGHTING PLAN	4 OF 7
DETAIL SHEET	5 OF 7
DEMO. & EROSION CONTROL PLAN	6 OF 7
EROSION CONTROL DETAIL SHEET	7 OF 7

**ENGINEER CERTIFICATION**

I HEREBY CERTIFY THAT THIS PLAN CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND, WHERE APPLICABLE, THE LOTS, BUILDINGS, PARKING AREAS, WALKWAYS, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN HEREON.

ERIC S. SNYDER, P.E. 05671  
833 INTERCHANGE ROAD, SUITE 101 P.O. BOX 839  
BETHLEHEM, PA 18025  
610-651-5233



**MAP LEGEND**

- FERRO HOLE
- SOIL PROBE
- CONCRETE MONUMENT
- IRON PIN
- RP RAP
- STREET SIGN
- STOP SIGN
- POST
- STREET ADDRESS
- SHEET NUMBER FOR PLAN CONTINUATION
- WETLAND MARKER
- SOILS TYPE
- UTILITY POLE
- LIGHT
- VALVE/WSC-VAL
- PROP. FIRE HYDRANT
- MANHOLE
- CATCH BASIN
- HEADWALL
- EC. SPOT ELEVATION
- EC. CONTOUR
- PROP. CONTOUR
- EC. WATERMAIN
- PROP. WATERMAIN
- PROP. SAN. MAIN
- EC. SAN. MAIN
- EC. FORCE MAIN
- PROP. STORM PIPE
- EC. STORM PIPE
- FREELINE
- HEDGE ROW
- GENERAL
- FIR TRACK
- STONE WALL
- RETAIN. WALL
- FENCE
- EXISTING RIGHT OF WAY
- SOILS BOUNDARY
- ULTIMATE RIGHT OF WAY
- PROPERTY LINE
- CENTERLINE
- EASEMENT LINE
- ADJACENT PROPERTY LINE
- WATER LATERAL WITH METER FIT



BEFORE YOU DIG - DRILL - BLAST 1-800-242-1776 (TOLL FREE)

PENNSYLVANIA ONE CALL SYSTEM, INC.  
In compliance with Act 38, it shall be the Contractor's responsibility to contact individual companies to have utility locations marked in the field and to otherwise locate underground objects as may be necessary prior to the start of construction. Pennsylvania Law requires 3 working days notice for the construction phase and 10 working days in design stage - call serial no. 20190881196



**KEYSTONE CONSULTING ENGINEERS, INC.**  
Engineering firm of choice since 1972  
863 Interchange Road, Suite 101 P.O. Box 639 Kresgeville, PA 18333 610-863-5233  
East Office: Bethlehem, West Office: Wescosville, North Office: Kresgeville  
www.KeystoneConsultingEngineers.com

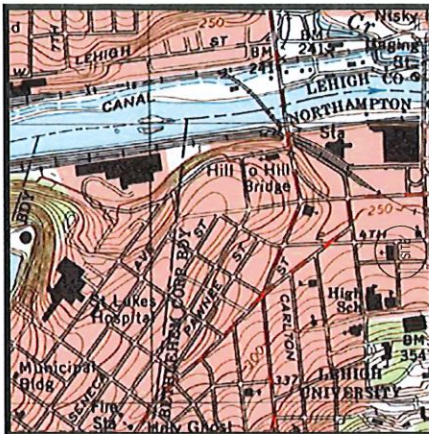
**SITE ANALYSIS / EXISTING RESOURCES PLAN FOR:**

**B LAND COMPANY, LLC**  
24-30 W. 4th STREET  
CITY OF BETHLEHEM  
NORTHAMPTON COUNTY  
PENNSYLVANIA

DESIGNED BY: DDH  
DRAWN BY: DDH  
CHECKED BY: ESS  
DATE: 06/11/21  
SCALE: 1"=10'  
JOB NUMBER: CN-16-079  
SHEET: 1 OF 7

REVISIONS:  
DATE: 07/19/22  
BY: 1





**LOCATION MAP**  
SCALE 1" = 1,000'  
ALLENTOWN EAST, PA. QUADRANGLE

**STATEMENT OF INTENT**  
The intent of the owner to consolidate the two adjoining parcels into one new building lot. The existing structures are planned to be removed and a new Land Development application will be submitted for the construction of a new structure on the consolidated lot.

I, DENNIS E. BENNER OF B LAND COMPANY, LLC BEING DULY SWORN ACCORDING TO LAW, AND ACTING IN MY CAPACITY AS OWNER DEPOSE AND SAY THAT THE ABOVE NAMED CORPORATION IS THE TRUE AND LAWFUL OWNER OF PROPERTY KNOWN AS 30 W. 4TH STREET & 24 W. 4TH STREET THAT THE ABOVE DESCRIBED PROPERTY IS IN PEACEFUL POSSESSION OF SAID CORPORATION AND THAT THERE ARE NO SUITS OR LIENS

B LAND COMPANY, LLC  
DENNIS E. BENNER, MANAGING PARTNER

Sworn and Subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_ A.D. 20 \_\_\_\_\_

Notary Public  
My Commission Expires: \_\_\_\_\_

County NORTHAMPTON Zoning CB - COMMERCIAL BUSINESS  
Ward 2 City Block B  
Scale 1" = 10'  
Original Subdivision N/A

Plan Title LOT CONSOLIDATION PLAN FOR: B LAND COMPANY, LLC  
Applicant B LAND COMPANY, LLC Phone 610-867-3900  
Date of Plan 06/28/19 Revision \_\_\_\_\_  
Revision \_\_\_\_\_ Revision \_\_\_\_\_

REVIEWED \_\_\_\_\_ BY THE LEHIGH VALLEY PLANNING COMMISSION.

APPROVED \_\_\_\_\_ BY THE CITY OF BETHLEHEM PLANNING COMMISSION.

DIRECTOR / SECRETARY CHAIRMAN  
CITY PLANNING COMMISSION CITY PLANNING COMMISSION  
BETHLEHEM, PENNSYLVANIA BETHLEHEM, PENNSYLVANIA

PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF NORTHAMPTON COUNTY, PA, IN MAP BOOK VOLUME \_\_\_\_\_ PAGE \_\_\_\_\_ ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20 \_\_\_\_\_

RECORDER OF DEEDS

- SITE DATA**
- RECORD OWNER:  
B LAND COMPANY, LLC  
2005 CITY LINE ROAD, SUITE 106  
BETHLEHEM, PA 18017-7701  
DENNIS BENNER, ESQ.  
610-867-3900
  - NORTHAMPTON COUNTY TAX ASSESSMENT RECORDS:  
30 W. 4TH STREET  
MAP PSE16, BLOCK 25, LOT 1  
DEED BOOK VOLUME 2013-1, PAGE 313541  
LOT AREA = 3,500.05 SQ. FT.  
24 W. 4TH STREET  
MAP PSE16, BLOCK 25, LOT 2  
DEED BOOK VOLUME 2014-1, PAGE 226328  
LOT AREA = 2,108.79 SQ. FT.
  - TOTAL NUMBER OF LOTS BEING CONSOLIDATED = 2
  - PROPERTY IS ZONED AS: CB - CENTRAL BUSINESS DISTRICT  
REQUIRED  
MINIMUM LOT SIZE 1,800 SQ. FT. PROVIDED 5,608.88 SQ. FT.  
MINIMUM LOT WIDTH 15' AT BUILDING SETBACK LINE 79.50'  
MINIMUM FRONT YARD SETBACK 0' 0.0'  
MINIMUM SIDE YARD SETBACK 0' 0.0'  
MINIMUM REAR YARD SETBACK 0' 0.0'  
MAXIMUM BUILDING HEIGHT 150' 65'  
MAXIMUM LOT COVERAGE 100% 100%  
MAXIMUM IMPERVIOUS COVERAGE 100% 100%
  - THE PROPOSED BUILDING WILL BE SERVED BY PUBLIC WATER AND SEWER.

**SURVEY NOTES**

- Utility locations depicted herein are approximate and are based on field locations of obvious above-ground evidence. Underground lines whose presence is not implied on the surface by markings or structures may not have been shown. This plan does not guarantee that additional utilities do not exist.
- The existence and location of underground utilities on the site shall be verified by the contractor in accordance with PA Act 187 and 181 prior to commencing any excavation work.
- Property owner name, deed and tax parcel identifier information as shown is based upon Northampton County tax map records as of December 30 and is subject to the accuracies of those records.
- Lines as shown with bearings and distances or curve information indicate lines measured by this survey. Lines without any geometric construction may have been plotted using record information and are intended for general site orientation only.
- Bearings and coordinates as shown herein are based on PA South Zone State Plane Coordinate System in its feet, distances as shown are ground measurements (no grid scale factor has been applied).
- This survey and plan has been prepared without the benefit of a title search and is therefore subject to any easements or other pertinent facts which such might disclose.

**GENERAL NOTES**

- The maintenance of the storm water facilities shall be the owner's responsibility. The owner's deed, and the deeds to any subsequent owner, shall note that the owner shall accept the maintenance responsibilities. The City of Bethlehem shall be permitted to inspect the storm water facilities on at least an annual schedule to ensure that any necessary corrective work is performed in a timely manner. All public inlets should have inlet markers. The design of the inlets shall be approved by the City Engineer. The drainage easement provides for the flow of stormwater across lots, and may not be altered without the written permission of the City Engineer. No obstructions such as planting berms or fences may be installed in the drainage easement across without sufficient provision for the passage of stormwater, any such proposed provision shall be approved by the City Engineer.
- REVISION NOTE - In order to maintain continuity between plan revisions, any changes to a previous plan submission shall be flagged with a triangle. Any changes not flagged may be considered not approved. Flagged changes shall be referenced to the appropriate date in the revision block.
- ENGINEERING PERMITS NOTE - Prior to any work within the right-of-way, permits must be obtained from the City Engineering Office.
- By submission of these plans the engineer on record certifies these plans are in complete accordance with the City of Bethlehem Storm Water Management Ordinance.
- The drainage easement provides for the flow of stormwater across lots, and may not be altered without written permission of the City Engineer. No obstructions such as planting berms or fences may be installed in the drainage easement across without sufficient provision for the passage of stormwater and any such proposed provision shall be approved in writing by the City Engineer.

**TOPOGRAPHIC AND EXISTING FEATURE INFORMATION AND SURVEY BOUNDARY**

THE TOPOGRAPHIC & EXISTING FEATURES INFORMATION SHOWN HEREIN WAS COMPILED FROM A FIELD SURVEY COMPLETED BY LEHIGH ENGINEERING ASSOC., INC. ON JUNE 2016, AND FIELD VERIFICATION COMPLETED BY KEYSTONE CONSULTING ENGINEERS ON APRIL 2019.

**ADJOINING PROPERTY INFORMATION**  
THE METES AND BOUNDS SHOWN WERE OBTAINED FROM THE DEEDS OF RECORD, ADJACENT OWNER INFORMATION WAS COMPILED FROM NORTHAMPTON COUNTY ASSESSMENT RECORDS.

**WETLAND INFORMATION**  
NO WETLANDS ARE EVIDENT ON THIS SITE

**SHEET INDEX**

PLAN TITLE	SHEET NUMBER
LOT CONSOLIDATION PLAN (RECORD)	1 OF 1
SITE ANALYSIS/EXISTING RESOURCES PLAN	1 OF 7
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EROSION CONTROL DETAIL SHEET	7 OF 7

**ENGINEER CERTIFICATION**

I HEREBY CERTIFY THAT THIS PLAN CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND, WHERE APPLICABLE, THE LOTS, BUILDINGS, PARKING AREAS, WALKWAYS, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN HEREON.

ERIC S. SNYDER, P.E. 066871  
655 INTERCHANGE ROAD, SUITE 101 P.O. BOX 639  
KRESGEVILLE, PA 180333  
610-511-5233

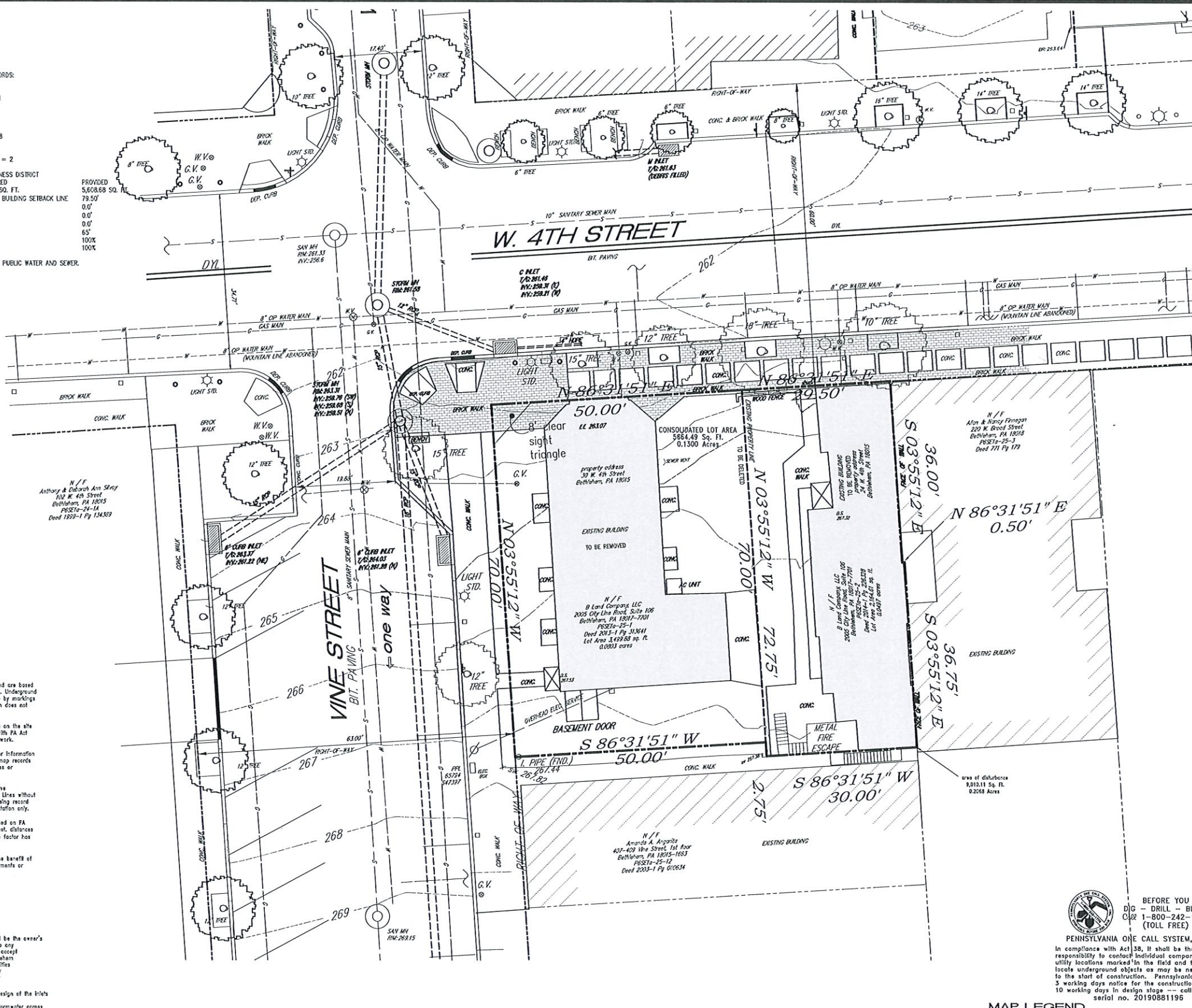


**MAP LEGEND**

PERC HOLE	WETLAND MARKER	EX. SPOT ELEVATION	GLUEBALL
SOIL PROBE	CONCRETE MONUMENT	EX. CONTOUR	PIE TRACK
IRON PIN	UTILITY POLE	PROP. CONTOUR	STONE WALL
RIP RAP	LIGHT	EX. WATERMAIN	RETAIN WALL
STREET SIGN	VALVE/WISC-VAL	EX. WATERMAN	FENCE
STOP SIGN	PROP. FIRE HYDRANT	EX. FORCE MAIN	EXISTING RIGHT OF WAY
POST	EX. FIRE HYDRANT	PROP. STORM PIPE	SOILS BOUNDARY
STREET ADDRESS	MAN-OLE	EX. STORM PIPE	ULTIMATE RIGHT OF WAY
1 SHEET NUMBER FOR PLAN CONTINUATION	CATCH BASIN	HEADWALL	PROPERTY LINE
	HEADWALL	TRAILLINE	CENTERLINE
		HEADWALL	EASEMENT LINE
			ADJACENT PROPERTY LINE
			WATER LATERAL WITH METER FIT

NOTE: Starbed text represents existing features.  
Benchmark top of nut on existing fire hydrant of Schwaner and Eaton Assoc. at 528.23

SCALE: 1" = 10'



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Engineering firm of choice since 1972  
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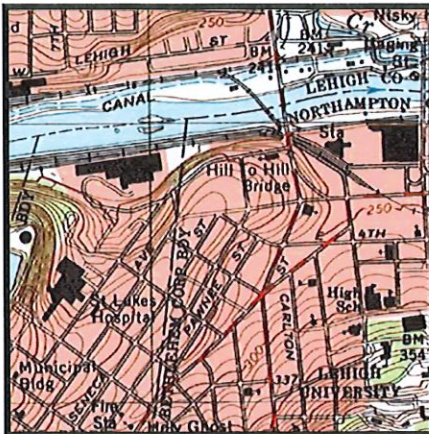
**LOT CONSOLIDATION PLAN FOR:**  
B LAND COMPANY, LLC  
24-30 W. 4th STREET  
CITY OF BETHLEHEM  
NORTHAMPTON COUNTY  
PENNSYLVANIA

DESIGNED BY: DDH  
DRAWN BY: DDH  
CHECKED BY: ESS  
DATE: 06/17/21  
SCALE: 1" = 10'  
JOB NUMBER: CN-16-079  
SHEET: 1 OF 1

BEFORE YOU  
DRILL - BLAST  
CALL 1-800-242-1776  
(TOLL FREE)

PENNSYLVANIA ONE CALL SYSTEM, INC.  
In compliance with Act 38, it shall be the Contractor's responsibility to contact individual companies to have utility locations marked in the field and to otherwise locate underground objects as may be necessary prior to the start of construction. Pennsylvania Law requires 3 working days notice for the construction phase and 10 working days in design stage - call serial no. 20190881196





**LOCATION MAP**  
SCALE 1" = 1,000'  
ALLENTOWN EAST, PA. QUADRANGLE

**STATEMENT OF INTENT**

The intent of the owner/developer to construct a multi-story building that will have a 1st floor retail use and 5 stories above (6 total) containing 25 apartment units. The building will utilize public water and sewer.

I, DENNIS E. BENNER OF B LAND COMPANY, LLC BEING DULY SWORN ACCORDING TO LAW, AND ACTING IN MY CAPACITY AS OWNER DEPOSE AND SAY THAT THE ABOVE NAMED CORPORATION IS THE TRUE AND LAWFUL OWNER OF PROPERTY KNOWN AS 30 W. 4TH STREET & 24 W. 4TH STREET THAT THE ABOVE DESCRIBED PROPERTY IS IN PEACEFUL POSSESSION OF SAID CORPORATION AND THAT THERE ARE NO SUITS OR LIENS

B LAND COMPANY, LLC  
DENNIS E. BENNER, MANAGING PARTNER

Sworn and Subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_ A.D. 20 \_\_\_\_\_

Notary Public  
My Commission Expires: \_\_\_\_\_

County NORTHAMPTON Zoning CB - COMMERCIAL BUSINESS  
Ward 2 City Block B  
Scale 1" = 10'  
Original Subdivision N/A

Plan Title LAND DEVELOPMENT PLAN FOR: B LAND COMPANY, LLC  
Applicant B LAND COMPANY, LLC Phone 610-867-3900

Date of Plan 04/25/19 Revision \_\_\_\_\_  
Revision \_\_\_\_\_  
Revision \_\_\_\_\_

REVIEWED \_\_\_\_\_ BY THE LEHIGH VALLEY PLANNING COMMISSION.

APPROVED \_\_\_\_\_ BY THE CITY OF BETHLEHEM PLANNING COMMISSION.

DIRECTOR / SECRETARY CHAIRMAN  
CITY PLANNING COMMISSION CITY PLANNING COMMISSION  
BETHLEHEM, PENNSYLVANIA BETHLEHEM, PENNSYLVANIA

PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF NORTHAMPTON COUNTY, PA, IN MAP BOOK VOLUME \_\_\_\_\_ PAGE \_\_\_\_\_ ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20 \_\_\_\_\_

RECORDER OF DEEDS

- SITE DATA**
- RECORD OWNER:  
B LAND COMPANY, LLC  
2005 CITY LINE ROAD, SUITE 105  
BETHLEHEM, PA 18017-7701  
DENNIS BENNER, ESO.  
610-867-3900  
email address: dbenner@bld.com
  - NORTHAMPTON COUNTY TAX ASSESSMENT RECORDS:  
30 W. 4TH STREET  
MAP P65610, BLOCK 25, LOT 1  
DEED BOOK VOLUME 2013-1, PAGE 313541  
LOT AREA = 3,500.05 SQ. FT.
  - 24 W. 4TH STREET  
MAP P65610, BLOCK 25, LOT 2  
DEED BOOK VOLUME 2014-1, PAGE 226328  
LOT AREA = 2,108.79 SQ. FT.

- TOTAL LOT AREA COMBINED = 5,608.84 (0.1287 ACRES)
3. TOTAL NUMBER OF LOTS BEING DEVELOPED = 1
4. PROPERTY IS ZONED AS: CB - CENTRAL BUSINESS DISTRICT
- | REQUIRED                    | PROVIDED         |
|-----------------------------|------------------|
| MINIMUM LOT SIZE            | 5,608.84 SQ. FT. |
| MINIMUM LOT WIDTH           | 79.50'           |
| MINIMUM FRONT YARD SETBACK  | 0.00'            |
| MINIMUM SIDE YARD SETBACK   | 0.00'            |
| MINIMUM REAR YARD SETBACK   | 0.00'            |
| MAXIMUM BUILDING HEIGHT     | 65'              |
| MAXIMUM LOT COVERAGE        | 100%             |
| MAXIMUM IMPERVIOUS COVERAGE | 100%             |

**5. THE PROPOSED BUILDING WILL BE SERVED BY PUBLIC WATER AND SEWER. SURVEY NOTES**

- Utility locations depicted herein are approximate and are based on field location of obvious above-ground evidence. Underground lines whose presence is not implied on the surface by markings or structures may not have been shown. This plan does not guarantee that additional utilities do not exist.
- The existence and locations of underground utilities on the site shall be verified by the contractor in accordance with PA Act 187 and 121 prior to commencing any excavation work.
- Property owner name, deed and tax parcel identifier information as shown is based upon Northampton County tax maps records as of December 30, 2018 and is subject to the occurrence or inaccuracy thereof.
- Lines as shown with bearings and distances or curve information indicate lines measured by this survey. Lines without any geometric condition may have been plotted using record information and are intended for general orientation only.
- Bearings and coordinates as shown herein are based on PA South Zone State Plane Coordinate System in US feet. Distances as shown are ground measurements (no grid scale factor has been applied).
- This survey and plan has been prepared without the benefit of a title search and is therefore subject to any encumbrances or other pertinent facts which such might disclose.

**SANITARY SEWER CALCS**

- The first floor is planned to be commercial space of 2,800 sq. ft. The sewage flows for the commercial space are anticipated to be 400 gpd.
- Floors 2-6 will contain 25 apartment dwellings (15 1 bedroom and 10 2 bedroom). City of Bethlehem sewage flows for 1 bedroom apartments is 150 gpd and 187.5 for 2 bedroom apartments. 15 \* 150 = 2250 and 10 \* 187.5 = 1875. Total apartment flow is 4125 gpd.
- Total projected sewage flows = 4,525 gpd
- The developer will get credit for the existing sewage flows for 24-30 W. 4th Street. This flow should be verified by the City Engineer.
- The developer will pay the required tapping fee.
- Existing sanitary sewer connections shall be capped. This must occur prior to demolition. Capping permits are required from the Engineering Bureau.

**GENERAL NOTES**

- The maintenance of the storm water facilities shall be the owner's responsibility. The owner shall design and the contractor shall construct and maintain the facilities. The City of Bethlehem shall be permitted to inspect the storm water facilities on at least an annual schedule to assure that any necessary corrective work is performed in a timely manner. All public lots should have lot markers. The design of the lots shall be approved by the City Engineer. The drainage easement provides for the flow of stormwater across lots, and may not be altered without the written permission of the City Engineer. No obstructions such as planting berms or fences may be installed in the drainage easement areas without sufficient provision for the passage of stormwater, any such proposed provision shall be approved by the City Engineer.
- REVISION NOTE - In order to maintain conformity between plan revisions, any changes to a previous plan submission shall be flagged with a triangle. Any changes not flagged may be considered as approved. Flagged changes shall be referenced to the appropriate date in the revision block.
- ENGINEERING PERMITS NOTE - Prior to any work within the Right-of-Way, permits must be obtained from the City Engineering Office.
- By submission of these plans the engineer on record certifies these plans are in complete conformance with the City of Bethlehem Storm Water Management Ordinance.
- The drainage easement provides for the flow of stormwater across lots, and may not be altered without written permission of the City Engineer. No obstruction such as planting berms or fences may be installed in the drainage easement areas without sufficient provision for the passage of stormwater and any such proposed provision shall be approved in writing by the City Engineer.
- Accurate as-built plans shall be kept up to date during the construction process. At the completion of the project record drawings shall be developed from the as-built plans and submitted to the City Engineer's Office. All final drawings shall show North American Datum (NAD) 1983 State Plane Coordinates in feet (Pennsylvania South, FIPS Zone 3702) and the digital file shall be in State Plane Coordinates as applicable. The hard copy of the record drawing shall be in the form of a Mylar copy. The engineer on record shall certify (i.e., P.E., stamped and signed) that the record drawings comply substantially with the approved plan and that they conform to industry standards. All digital files shall reside on a PC compatible CD Rom containing the digital representation of the final plan as presented on the ready-four (24) inch by thirty-six (36) inch sheets. The digital map shall be AutoCAD compatible. All layers included in the digital maps shall be the standardized layers prepared and utilized by the City of Bethlehem to ensure compatibility with the City's existing CAD standards and as described in Appendix A of the City's Subdivision and Land Development Ordinance.
- All proposed landscape ramps shall have detectable warning devices per ADA and City requirements.
- NEEDS NOTE: By submission of these plans the engineer on record certifies that these plans are in complete conformance with the City of Bethlehem Storm Water Management Ordinance.

**PROJECT NOTES**

- All contours and elevations shown are taken from a field survey performed in March 2019 by Keystone Consulting Engineers, Inc.
- A site meeting with the contractor is required prior to any construction with the traffic, parking, planning, and engineering bureaus to discuss how construction will take place.
- The dumpster/recycling/loading area shall be internal to the proposed building.
- The location of the knee boxes must be installed with the proposed City of Bethlehem Fire Department approval. Contact the City of Bethlehem Fire Department office at 610-865-7145 and request Fire Marshal Craig Beer (beer@bethlehem-pa.gov) or Chief Fire Inspector Michael Reich (reich@bethlehem-pa.gov) with any questions related to Fire Code Requirements.
- Temporary easements may be required during construction for any work taking place on city owned parcels.

**TOPOGRAPHIC AND EXISTING FEATURE INFORMATION AND SURVEY BOUNDARY**  
THE TOPOGRAPHIC & EXISTING FEATURES INFORMATION SHOWN HEREIN WAS COMPILED FROM A FIELD SURVEY COMPLETED BY LEHIGH ENGINEERING ASSOC., INC. ON JUNE 2018. AND FIELD VERIFICATION COMPLETED BY KEYSTONE CONSULTING ENGINEERS ON MAY 2019.

**ADJOINING PROPERTY INFORMATION**  
THE METES AND BOUNDS SHOWN WERE OBTAINED FROM THE DEEDS OF RECORD. ADJACENT OWNER INFORMATION WAS COMPILED FROM NORTHAMPTON COUNTY ASSESSMENT RECORDS.

**WETLAND INFORMATION**  
NO WETLANDS ARE EVIDENT ON THIS SITE

NOTE: There is a minor increase in the impervious coverage of this lot (see development in post-development)  
existing impervious coverage - 3,540 sq. ft.  
proposed impervious coverage - 5,543 sq. ft.  
Net increase of impervious coverage - 2,003 sq. ft.

**SHEET INDEX**

PLAN TITLE	SHEET NUMBER
LAND CONSOLIDATION PLAN (RECORD)	1 OF 7
SITE ANALYSIS/EXISTING RESOURCES PLAN	1 OF 7
LAND DEVELOPMENT PLAN (RECORD)	2 OF 7
GRADING / UTILITY PLAN	3 OF 7
LANDSCAPE & LIGHTING PLAN	4 OF 7
DETAIL SHEET	5 OF 7
CEMO & EROSION CONTROL PLAN	6 OF 7
EROSION CONTROL DETAIL SHEET	7 OF 7

**ENGINEER CERTIFICATION**

I HEREBY CERTIFY THAT THIS PLAN CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND, WHERE APPLICABLE, THE LOTS, BUILDINGS, PARKING AREAS, WALKWAYS, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN HEREON.

ERIC S. SNYDER, P.E. 056671  
863 INTERCHANGE ROAD, SUITE 101 P.O. BOX 639  
KRESSVILLE, PA 18333  
610-611-3133



**MAP LEGEND**

FERC HOLE	WETLAND MARKER	EX. SPOT ELEVATION	GENERAL
SOIL PROFILE	WETLAND MARKER	EX. CONTOUR	RR TRACK
CONCRETE MONUMENT	WETLAND MARKER	PROP. CONTOUR	STONE WALL
IRON PIN	WETLAND MARKER	EX. WATERMAIN	RETAIN WALL
RIP RAP	WETLAND MARKER	PROP. WATERMAIN	FENCE
STREET SIGN	WETLAND MARKER	EX. SAN. MAIN	EXISTING RIGHT OF WAY
STOP SIGN	WETLAND MARKER	PROP. SAN. MAIN	ULTIMATE RIGHT OF WAY
POST	WETLAND MARKER	EX. FIRE HYDRANT	PROPERTY LINE
STREET ADDRESS	WETLAND MARKER	PROP. FIRE HYDRANT	EASEMENT LINE
1 SHEET NUMBER FOR PLAN CONTINUATION	WETLAND MARKER	EX. STORM PIPE	ADJACENT PROPERTY LINE
	WETLAND MARKER	PROP. STORM PIPE	WATER LATERAL WITH METER PIT

NOTE: Starbed text represents existing features.

Benchmark top of existing sanitary sewer manhole at intersection of 4th & Vine Streets - 261.33

SCALE: 1" = 10'

**KEYSTONE CONSULTING ENGINEERS, INC.**  
Engineering firm of choice since 1972  
863 Interchange Road, Suite 101 P.O. Box 639 Kresgeville, PA 18333 610-663-5233  
East Office: Bethlehem, West Office: Wescosville, North Office: Kresgeville  
www.KeystoneConsultingEngineers.com

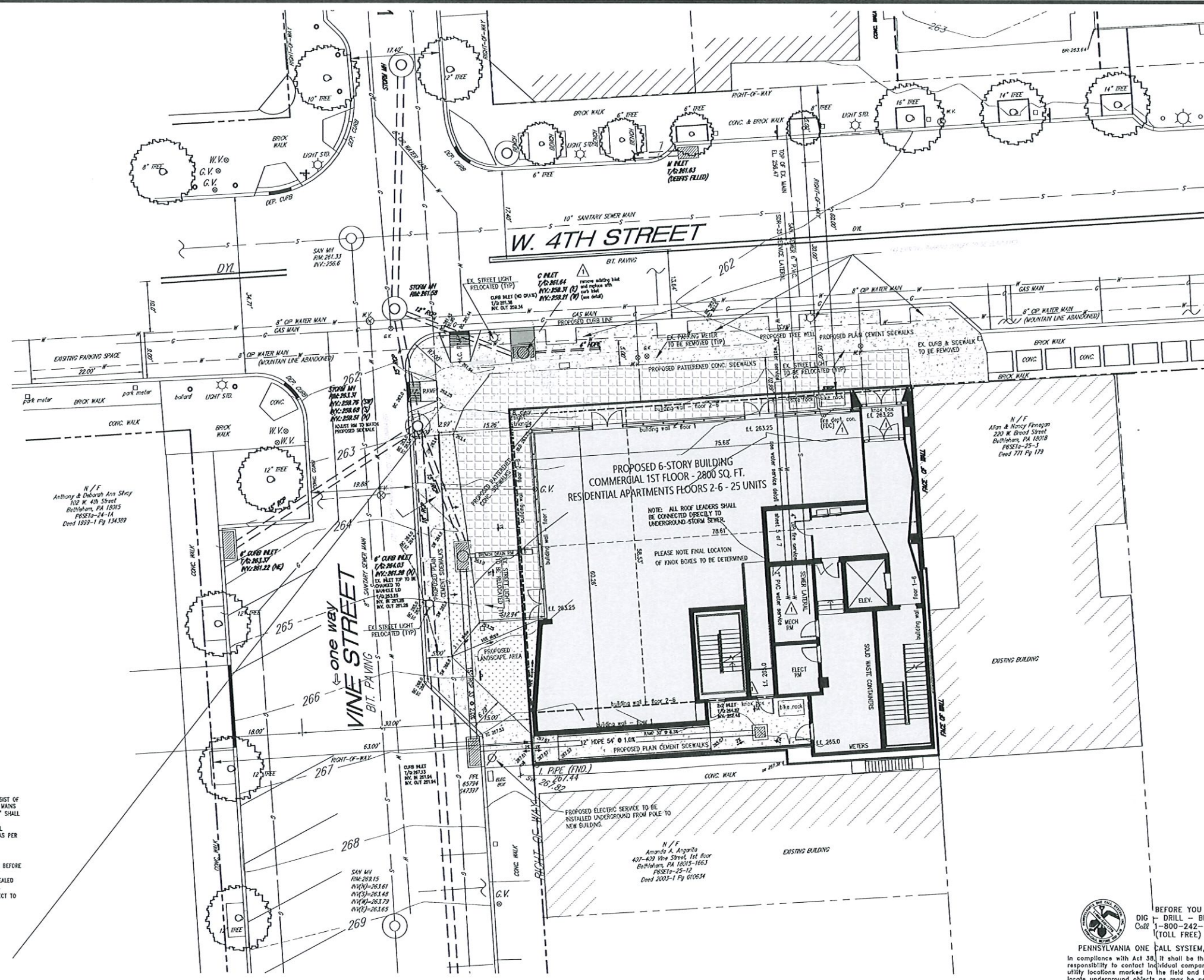


**FINAL LAND DEVELOPMENT PLAN FOR:**  
B LAND COMPANY, LLC  
24-30 W. 4th STREET  
CITY OF BETHLEHEM  
NORTHAMPTON COUNTY,  
PENNSYLVANIA

DESIGNED BY: DDH  
DRAWN BY: DDH  
DATE: 06/17/21  
SCALE: 1"=10'  
JOB NUMBER: CN-16-079  
SHEET: 2 OF 7

REVISIONS	DATE	BY
1	07/19/22	ESS





**UTILITY NOTES**

- All water lines shall have a minimum 4" of cover.
- All 8" & 12" water lines shall be ductile iron pipe Class 52 unless otherwise noted.
- Domestic water service laterals shall be 2" K copper.
- Fire protection water service laterals shall be 4" ductile iron pipe class 52.
- In accordance with ACT #39 the contractor shall notify all utility companies prior to commencing with any construction activity on the site.
- All apartment buildings will contain sprinklers.
- All sanitary sewer mains shall be 8" PVC SDR-35.
- All sanitary sewer service laterals shall be 6" PVC SDR-35.
- Remote fire department connections shall be installed for each building. These connections shall be located within 250 feet of a fire hydrant and shall be located adjacent to the building water lateral.

**NOTES:**

- ALL SANITARY PIPING SHALL CONSIST OF SDR 35 PVC PIPE. EXCEPT ALL MAINS WITH A DEPTH IN EXCESS OF 15' SHALL BE SDR 26 PVC PIPE.
- EXPOSED VERTICAL & HORIZONTAL SURFACES SHALL BE PREPARED AS PER FIG. 408, SECT. 401.3(F).
- FULL DEPTH SAW CUT BACK OF EXISTING PAVEMENT.
- BACK COAT EDGES AND SURFACE BEFORE PLACING WEARING COURSE.
- JOINTS IN SURFACE SHALL BE SEALED (12" WIDE 94-1 OR A-1 SEAL).
- ALL BACKFILL MATERIAL IS SUBJECT TO MUNICIPAL APPROVAL.

NOTE: Any change in the location of the Fire Department Connection must be approved by the City of Bethlehem Fire Department. Final location of the knee boxes should be coordinated with the City of Bethlehem Fire Department.

LEHIGH COUNTY CITY OF BETHLEHEM UTILITY	CONTACT PERSON	ADDRESS	PHONE NO.
City of Bethlehem, Utilities	Water Control	10 East Church Street Bethlehem PA 18018	(610) 865-7077
PPL Electric Utilities	Liz Mease	827 Housman Road Allentown PA 18104	(484) 634-3268
R C N	Bob Roe	2124 Avenue C Bethlehem PA 18017	(610) 443-2956
Service Electric Cables/ision, Inc.	Fran Swible	2260 Avenue A, LVP # 1 Bethlehem PA 18017	(610) 868-0902
U G I Corporation	Taylor Bet	2121 City Line Road Bethlehem PA 18001	(610) 866-0951
Verizon Communications	Mike Ciomaco	1800 E. Race Street Catasauqua PA 18032	(610) 264-2039
ZAYO Bandwidth	Joe Nuzzo	400 Centennial Parkway Suite 200 Louisville CO 80027	(610) 628-9365

**TOPOGRAPHIC AND EXISTING FEATURE INFORMATION AND SURVEY BOUNDARY**

THE TOPOGRAPHIC & EXISTING FEATURES INFORMATION SHOWN HEREIN WAS COMPILED FROM A FIELD SURVEY COMPLETED BY LEHIGH ENGINEERING ASSOC., INC. ON JUNE 2016. AND FIELD VERIFICATION COMPLETED BY KEYSTONE CONSULTING ENGINEERS ON APRIL 2018.

**ADJOINING PROPERTY INFORMATION**

THE METES AND BOUNDS SHOWN WERE OBTAINED FROM THE DEEDS OF RECORD. ADJACENT OWNER INFORMATION WAS COMPILED FROM NORTHAMPTON COUNTY ASSESSMENT RECORDS.

**WETLAND INFORMATION**

NO WETLANDS ARE EVIDENT ON THIS SITE

**SHEET INDEX**

PLAN TITLE	SHEET NUMBER
LOT CONSOLIDATION PLAN (RECORD)	1 OF 7
SITE ANALYSIS/EXISTING RESOURCES PLAN	2 OF 7
LAND DEVELOPMENT PLAN (RECORD)	3 OF 7
GRADING / UTILITY PLAN	4 OF 7
LANDSCAPE & LIGHTING PLAN	5 OF 7
DETAIL SHEET	6 OF 7
DEMO. & EROSION CONTROL PLAN	7 OF 7
EROSION CONTROL DETAIL SHEET	7 OF 7

**ENGINEER CERTIFICATION**

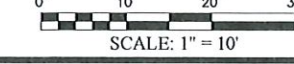
I HEREBY CERTIFY THAT THIS PLAN CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND, WHERE APPLICABLE, THE LOTS, BUILDINGS, PARKING AREAS, WALKWAYS, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN HEREON.

ERIC S. SNIDER, P.E. 056571  
883 INTERCHANGE ROAD, SUITE 101 P.O. BOX 639  
REESVILLE, PA 18335  
610-651-5233



**MAP LEGEND**

- FERC HOLE
- SOIL PROBE
- CONCRETE MONUMENT
- IRON PIN
- RIP RAP
- STREET SIGN
- STOP SIGN
- POST
- STREET ADDRESS
- WETLAND MARKER
- SOILS TYPE
- UTILITY POLE
- LIGHT
- VALVE/WSC-VAL
- PROP. FIRE HYDRANT
- EX. FIRE HYDRANT
- MANHOLE
- CATCH BASIN
- HEADWALL
- EX. SPOT ELEVATION
- EX. CONTOUR
- PROP. CONTOUR
- EX. WATERMAIN
- PROP. WATERMAIN
- PROP. SAN. MAIN
- EX. SAN. MAIN
- EX. GAS MAIN
- PROP. STORM PIPE
- EX. STORM PIPE
- TRAILLINE
- HEDGE ROW
- DRAINAGE
- FR. TRACK
- STONE WALL
- RETAIN. WALL
- FENCE
- EXISTING RIGHT OF WAY
- SOILS BOUNDARY
- ULTIMATE RIGHT OF WAY
- PROPERTY LINE
- CENTERLINE
- EASEMENT LINE
- ADJACENT PROPERTY LINE
- WATER LATERAL WITH METER FIT



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BEFORE YOU DRILL - BLAST OR DIG - 800-242-1776 (TOLL FREE)

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**GRADING / UTILITY PLAN FOR:**  
**B LAND COMPANY, LLC**  
24-30 W. 4th STREET  
CITY OF BETHLEHEM  
NORTHAMPTON COUNTY,  
PENNSYLVANIA

REVISIONS	DATE	BY
1	07/19/23	ESS

DESIGNED BY: DDH  
DRAWN BY: DDH  
CHECKED BY: ESS  
DATE: 06/11/21  
SCALE: 1"=10'  
JOB NUMBER: CN-16-079  
SHEET: 3 OF 7



**GENERAL PLANTING NOTES**

- The contractor must verify location and depth of all underground utilities and facilities prior to beginning construction. Call Pennsylvania One Call 1-800-242-1776.
- The contractor shall layout and review all plant material and plant locations with architect or owner prior to installation.
- All areas disturbed during planting activity shall be reestablished as permanent lawn with the specified seed mix:  
50% Nassau Kentucky Bluegrass  
20% Jamestown II Cheering Fescue  
20% Palmer II Perennial Ryegrass  
5% aqua proportion by weight  
Seed at a rate of five pounds per 1,000 square feet
- All trees and shrub groupings shall be completely encompassed within one large mulch bed of each plant group location. The mulch bed shall typically extend minimally 2' - 0" past the drip zone of trees or shrubs.
- Substitutions: When plants of a specified type or size are not available within a reasonable distance, substitutions may be made upon request by the contractor, if approved by the owner or his representative. The contractor shall notify the owner in writing of any plant materials that he feels will not be available, prior to submitting a bid on this project. If a bid is received without such qualification, it will be assumed no such substitutions will be proposed.
- Plants with broken root balls or excessive damage to the crown shall be replaced prior to installation.
- Mulch for trees, shrubs, and groundcover shall be double shredded, hardwood bark mulch; dark brown in color; aged at least one year, and clean and free of weeds.
- The contractor shall apply a pre-amended weed killer, Fescue (or approved equal), to topsoil prior to mulching activities. Water controls if necessary.
- Trees to be planted shall be treated with anti-desiccant such as will-proseal.
- Preparation of Planting Site: Before mixing, clean topsoil of rocks, vegetation, stumps, clay lumps, and other extraneous materials harmful to plant growth. Planting soil for trees, shrubs, and ground cover shall be a mixture by volume of the following:  
50% Topsoil  
50% Organic Matter
- The contractor is responsible for any adjustments to soil pH, fertility, and/or drainage conditions necessary to ensure proper growing conditions for proposed plantings.
- Field conditions may dictate minor adjustments to the location of plant material. Before major adjustments of plant locations occur, the contractor shall notify the owner or the architect.
- The contractor is responsible for watering, weeding, fertilizing, and maintaining all newly planted plantings for a period of thirty days after planting. A water source is available on site.
- All plant material shall be of largest size and bloom potential available to be obtained by the contractor.
- The contractor is responsible for installation of plant material at the appropriate time of year.
- All new plant material shall be warranted for a period of 18 months from date of final acceptance.
- All plantings shall be located to avoid placement within swale centerlines.

**CITY PLANTING NOTES**

- No soil disturbance or compaction, construction materials, traffic, burial pits, trenching or other land disturbance is allowed in the tree protection zone unless indicated on the plan.
- Tree protection barricades must be installed prior to any construction activity.
- The root protection zone shall be the area encompassed by a circle with a radius extending 1.25 ft. from the trunk of the tree for every inch (1") diameter at breast height of the tree.
- Violations of tree protection requirements are subject to penalty per City Ordinance.
- All trees on public property are protected by Ordinance; no pruning, root pruning of roots over one inch in diameter, and/or tree removal is to be performed without a permit and work must be performed by a City licensed tree contractor.
- All plant materials are to conform to the American Standard for Nursery Stock, latest edition, American Nursery and Landscape Association.
- Street and parking lot trees shall be a minimum of 14' in height and have a single straight trunk with the first lateral branch at 7' above the root ball. Trees with and upright habit, such as weinmannia, may have the first lateral branch at 8' above the root ball.
- All landscaping shall conform to the current edition of the Horticultural Specifications and Standards of Practice of the City of Bethlehem.
- A root control system is required when installing street trees. The root barrier shall be of the bio-barrier type and a minimum of (18") inches wide. Any substitution shall be approved by the City Forester. The root-control system is to be installed per manufacturer's recommendations. Tree openings in the sidewalk shall have the bio-barrier installed along the face of the tree opening which is parallel to the street and closest to the property line, overlapping the nearest two corners by approximately four (4") inches. Where trees are to be planted in a parking or planting strip between curb and sidewalk, the barrier shall be installed along the sidewalk edge closest to the curb and centered on the root source. The length of the barrier shall be a minimum length equal to the spread of the tree canopy at maturity plus ten (10') feet.

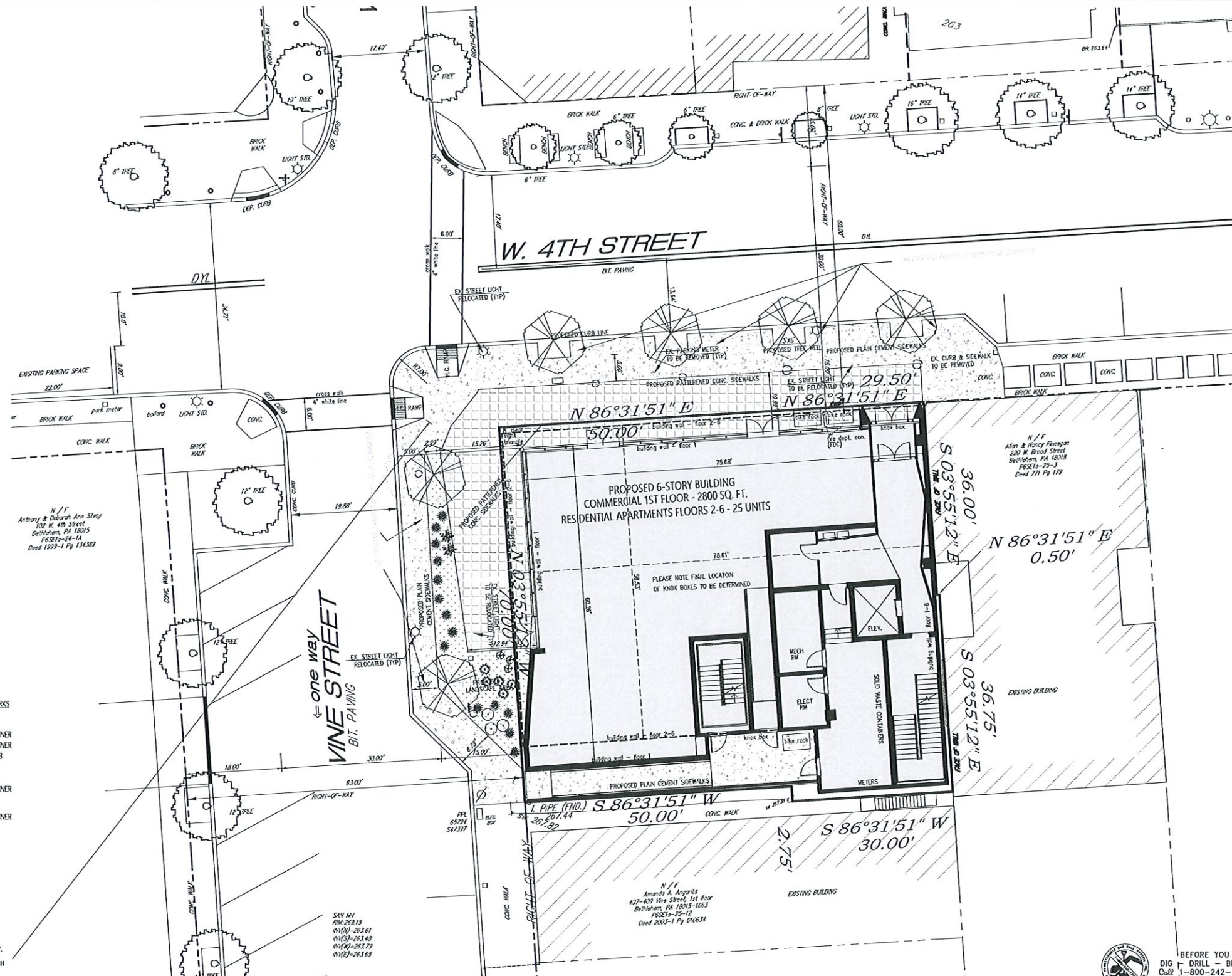
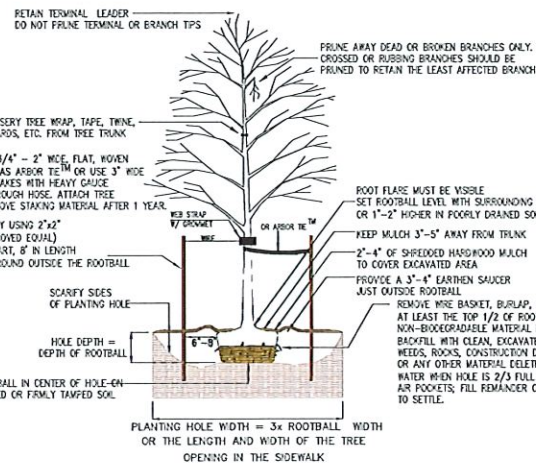
**PLANTING SCHEDULE - STREET TREES**

KEY	QTY	BOTANICAL/NAME	COMMON/NAME	SIZE COND.	REMARKS	HEIGHT SPREAD
	6	<i>Quercus 'Crimson Spire'</i>	Crimson Spire Oak	2.5" Cal. B & B	Deciduous	30'-35' 8'-12'

**LANDSCAPE SCHEDULE ACCENT PLANTING:**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
	5	ILEX CRENATA 'STEEDS'	STEEDS JAPANESE HOLLY	24-30"	CONTAINER
	3	RHOCHODENDRON X GIRARD 'GIRARD KATHY'	GIRARD KATHY AZALEA	18-24"	CONTAINER
	2	TAXUS X MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	24-30"	B+B
	14	JUNIPERUS HORIZONTALIS 'MONBER'	ICE BLUE JUNPER	12-15" SPFD	CONTAINER
	3	PENISSETUM ALOPECUROIDES 'HAMELI'	DWARF FOUNTAIN GRASS	2 GAL.	CONTAINER

NOTE: TYPE OF PROPOSED PLANTINGS MAY BE CHANGED/SUBSTITUTED PROVIDED APPROVAL OF THE CITY OF BETHLEHEM PUBLIC WORKS - URBAN FORESTRY.



**SHEET INDEX**

PLAN TITLE	SHEET NUMBER
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DEMO. & EROSION CONTROL PLAN	7 OF 7
EROSION CONTROL DETAIL SHEET	7 OF 7

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ERIC S. SNIDER, P.E. 056671  
865 INTERCHANGE ROAD, SUITE 101 P.O. BOX 639  
KRESEVILLE, PA 18033  
610-681-5133



**MAP LEGEND**

- FERC HOLE
- SOIL PROBE
- CONCRETE MONUMENT
- IRON PIN
- PIPE
- STREET SIGN
- STOP SIGN
- POST
- STREET ADDRESS
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- EX. CONTOUR
- EX. WATERMAIN
- PROP. WATERMAIN
- PROP. SAN. MAIN
- EX. SAN. MAIN
- EX. FORCE MAIN
- PROP. STORM PIPE
- EX. STORM PIPE
- CEMENTLINE
- EASEMENT LINE
- ADJACENT PROPERTY LINE
- WATER LATERAL WITH METER FIT
- GENERAL
- FR. TRUNK
- SIKON WALL
- RETAIN. WALL
- FENCE
- EXISTING RIGHT OF WAY
- SOILS BOUNDARY
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SCALE: 1" = 10'

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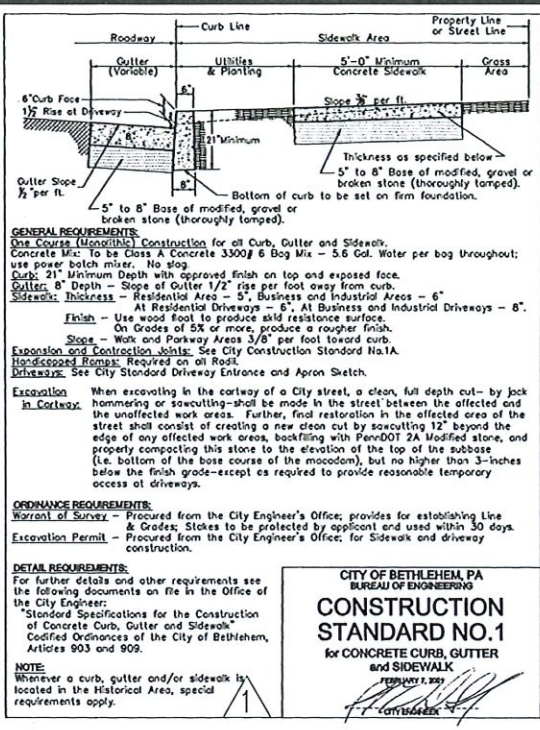
**LANDSCAPONIG & LIGHTING PLAN FOR:**  
B LAND COMPANY, LLC  
24-30 W. 4th Street  
CITY OF BETHLEHEM  
NORTHAMPTON COUNTY,  
PENNSYLVANIA

**REVISIONS**

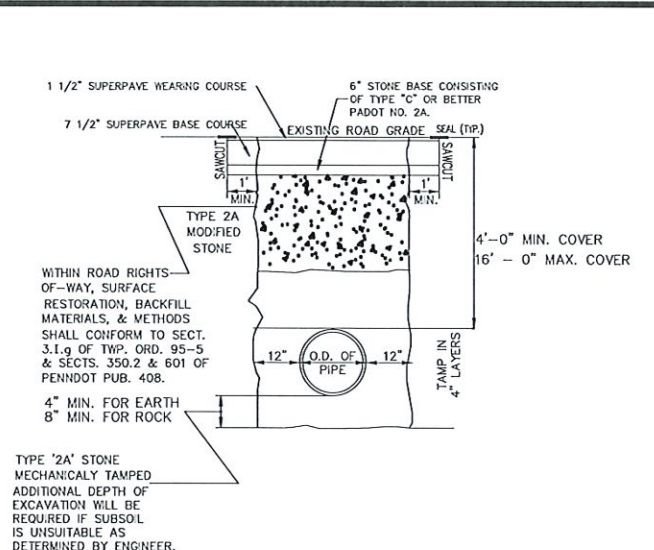
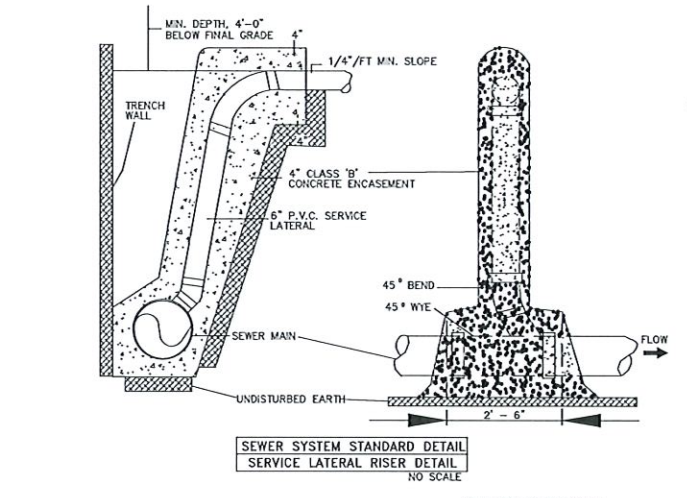
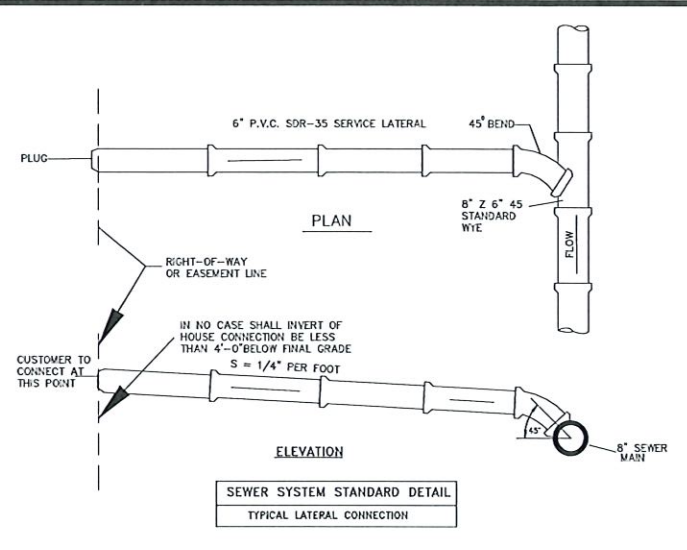
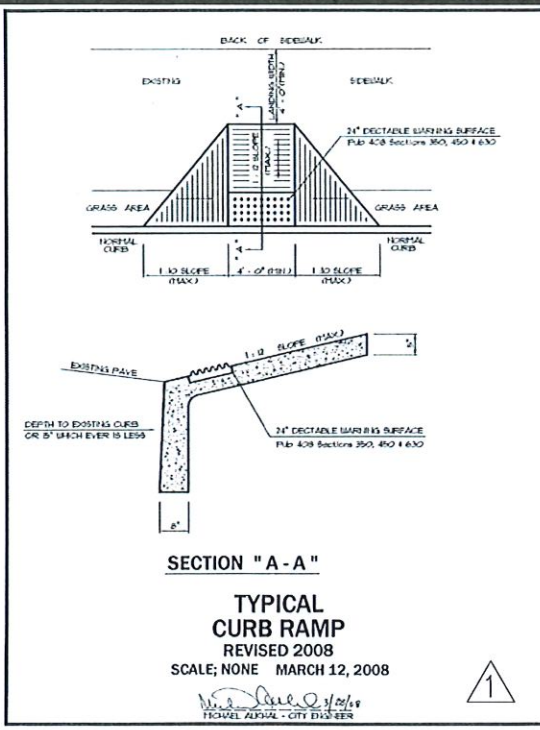
NO.	DATE	DESCRIPTION
1	07/19/23	

DESIGNED BY: DDH  
DRAWN BY: DDH  
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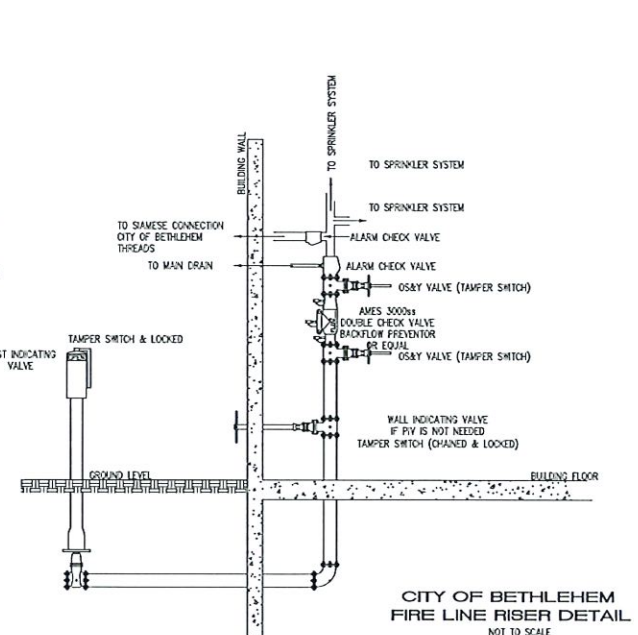
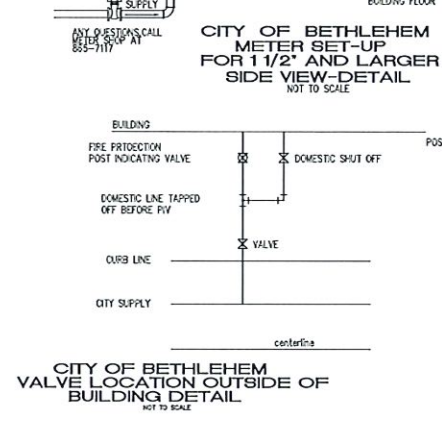
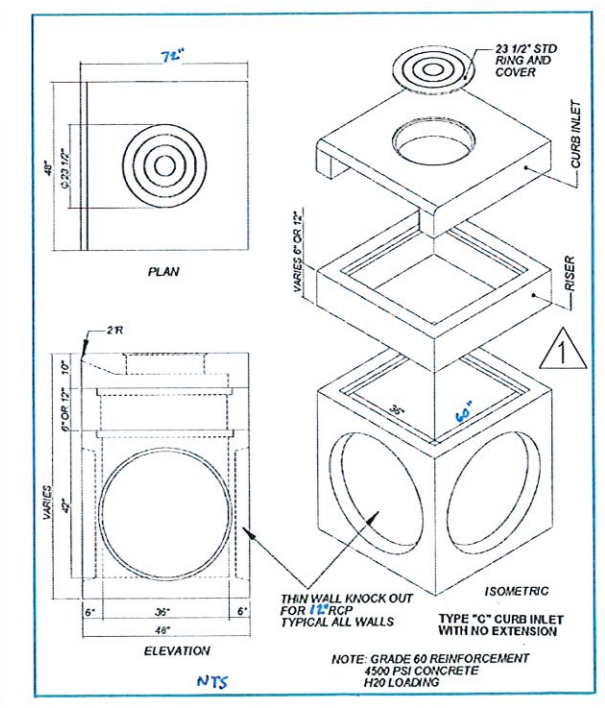




**CITY OF BETHLEHEM, PA**  
 BUREAU OF ENGINEERING  
**CONSTRUCTION STANDARD NO. 1**  
 for CONCRETE CURB, GUTTER and SIDEWALK  
 FEBRUARY 1, 2008  
 MICHAEL ALPHEA - CITY ENGINEER



**NOTES:** WITHIN ALL STREET RIGHTS-OF-WAY, BACKFILLING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF PENNDOT PUB. 408, SECTION 601. UNDER THE PAVED PORTION OF ANY STREET BACKFILLING SHALL BE DONE WITH TYPE 2A STONE FOR THE FULL DEPTH OF THE EXCAVATION AND MEETING THE REQUIREMENTS OF PENNDOT PUB. 408, SECTION 350.2, UNLESS OTHERWISE SPECIFIED FOR THE BEDDING PORTION OF THE TRENCH.



**BEFORE YOU DIG - DRILL - BLAST**  
 Call 1-800-242-1776 (TOLL FREE)  
 PENNSYLVANIA ONE CALL SYSTEM, INC.  
 In compliance with Act 38, it shall be the Contractors responsibility to contact individual companies to have utility locations marked in the field and to otherwise locate underground objects as may be necessary prior to the start of construction. Pennsylvania Law requires 3 working days notice for the construction phase and 10 working days in design stage - call

**SHEET INDEX**

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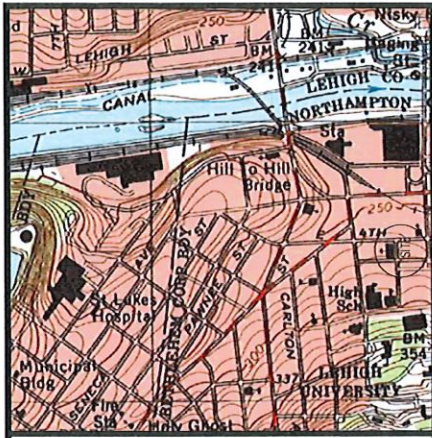
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**DETAIL SHEET FOR:**  
**B LAND COMPANY, LLC**  
 24-30 W. 4th STREET  
 CITY OF BETHLEHEM  
 NORTHAMPTON COUNTY,  
 PENNSYLVANIA

REVISIONS	BY	DATE
1	ESS	07/19/22

DESIGNED BY: DDH  
 DRAWN BY: DDH  
 CHECKED BY: ESS  
 DATE: 06/11/21  
 SCALE: 1"=10'  
 JOB NUMBER: CN-16-079  
 SHEET: 5 OF 7





**LOCATION MAP**  
SCALE 1" = 1,000'  
ALLENTOWN EAST, PA. QUADRANGLE

**SCHEDULE OF EARTH MOVING GENERAL NOTES:**

1. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
2. STABILIZATION IS DEFINED AS A 70% UNIFORM PERENNIAL VEGETATIVE COVER OVER THE ENTIRE DISTURBED AREA. ROADWAYS OR PARKING AREAS SHALL AT LEAST HAVE A CLEAN SUBBASE IN PLACE.
3. PRIOR TO ANY EXCAVATION THE AREA SHALL BE CLEARED AND GRUBBED AND ALL TOPSOIL SHALL BE STOCKPILED AS PER THE APPROVED EAS PLAN.
4. INSPECT AND MAINTAIN EXISTING SEDIMENT AND EROSION CONTROL BMPs ON A WEEKLY BASIS AS WELL AS AFTER EACH RAINFALL EVENT. PERFORM REPAIRS/REPLACE IMMEDIATELY.
5. ALL INLETS DOWNSTREAM OF EARTH DISTURBANCE THAT HAVE THE CAPACITY TO RECEIVE SEDIMENT LOADS SHALL HAVE INLET PROTECTION INSTALLED AS PER THE PLAN.
6. ANY DISTURBED AREAS CAUSED BY THE REMOVAL OF EROSION CONTROL FACILITIES AND ANY DISPLACED SEDIMENT SHALL BE IMMEDIATELY FERTILIZED, SEEDED AND MULCHED. RE-SPEAD TOPSOIL AND IMMEDIATELY FERTILIZED. SEED WITH A PERMANENT SEED MIXTURE AND MULCH.

**SCHEDULE OF EARTH MOVING:**

- A. AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED ON THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR BURIED UTILITIES LOCATIONS.
- B. CAP AND OR SHUT OFF ALL EXISTING UTILITIES (WATER, SEWER, ELECTRIC, GAS) PRIOR TO START OF DEMOLITION. OBTAIN ALL NECESSARY PERMITS TO SHUT OFF UTILITIES.
- C. INSTALL ROCK CONSTRUCTION ENTRANCES.
- D. INSTALL COMPOST FILTER SOCKS AND INLET PROTECTION.
- E. COMPLETE DEMOLITION WORK.
- F. INITIATE CONSTRUCTION. CONCRETE WASHOUT FACILITY SHALL BE INSTALLED PRIOR TO CONCRETE POURING.
- G. STABILIZE ALL DISTURBED AREA.
- H. WHEN ALL AREAS SUBJECT TO A BMP ARE CONSIDERED STABILIZED THE BMP SHALL BE REMOVED. ALL AREAS DISTURBED BY THE REMOVAL OF THE BMP SHALL BE IMMEDIATELY STABILIZED.

NOTE: THE LEHIGH RIVER IS THE WATERBODY RECEIVING RUNOFF FROM THIS SITE AND IS LOCATED TO THE NORTH. THE CHAPTER 93 CLASSIFICATION IS WARM WATER FISHERY, MIGRATORY FISHERIES (W/WF).

**APPLICANT/OWNER:**

B. LAND CO., LLC  
2005 CITY LINE ROAD, SUITE 106  
BETHLEHEM, PA 18017  
TELEPHONE: 610 867-3903

**BMP SEDIMENT REMOVAL NOTE**

DURING THE OPERATION AND MAINTENANCE OF EAS BMPs, FOR THE LIFE OF THE EAS BMPs, ALL SEDIMENT REMOVED SHALL BE DISPOSED OF IN A MANNER AS TO NOT CAUSE RE-SEDIMENTATION. IF REDISTRIBUTED THE SEDIMENT SHALL IMMEDIATELY BE STABILIZED WITH PERMANENT VEGETATION OR MULCH. THE SEDIMENT SHALL BE DEPOSITED OUTSIDE OF FLOODPLAINS, FLOODWAYS AND DRAINAGE WAYS.

**EXISTING PROPERTY GRADES**

- 0-1% SLOPES 0-1% (Hatched)
  - 1-2% SLOPES 1-2% (Dotted)
  - 2-3% SLOPES 2-3% (Horizontal lines)
- ALL EXISTING SLOPES/RATES OF THE SITE ARE BETWEEN 0-1%.

**SOILS DATA:**

Ud - Urban land, 0-3% slopes

(Data for area of development only)  
(Data taken from USDA Web Soil Survey)

**FLOOD PLAN NOTE:**  
Information from the National Flood Insurance Program was obtained for the site. Northampton County Flood Insurance Rate Map number 429905007 E, effective date July 15, 2014.

No flood plain exists within the proposed development area.

**WETLAND NOTE**

BY APPROVAL OF THIS PLAN, THE CITY OF BETHLEHEM HAS NEITHER CONFIRMED NOR DENIED THE EXISTENCE AND/OR EXTENT OF ANY WETLAND AREAS NEITHER OR NOT DELINEATED ON THE SAID PLAN, AND ANY ENFORCEMENT THEREON FOR ANY REASON WHATSOEVER SHALL BE THE SOLE RESPONSIBILITY OF THE SUBMITTER AND/OR DEVELOPER, HIS HEIRS AND ASSIGNS, AND SHALL BE SUBJECT TO THE JURISDICTION OF THE ARMY CORPS OF ENGINEERS AND/OR THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE SAID ENFORCEMENT SHALL CONFORM TO THE RULES AND REGULATIONS OF THE JURISDICTIONAL AGENCIES.

Keystone Consulting Engineers has determined through field verification that State or Federally regulated wetlands do not exist within the boundaries shown on the plan for the project site. This inventory for wetland conditions was conducted according to Federal and State guidelines as described in the Regional Supplement to Corps of Engineers Wetland Delineation Manual: Northeast and North West Region, Version 2.0 as agreed to process for identifying and delineating wetlands in Pennsylvania.

No wetlands exist within the development area.

**SURVEY NOTES**

- 1) Utility locations depicted herein are approximate and are based on field location of obvious above-ground evidence. Underground lines whose presence is not implied on the surface by markings or structures may not have been shown. This plan does not guarantee that additional utilities do not exist.
- 2) The existence and location of underground utilities on the site shall be verified by the contractor in accordance with PA Act 187 and 121 prior to commencing any excavation work.
- 3) Property owner name, deed and tax parcel identifier information as shown is based upon Northampton County tax map records as of December 30 and is subject to the accuracies or inaccuracies thereof.
- 4) Lines as shown with bearings and distances or curve information indicate lines measured by this survey. Lines without any geometric notation may have been plotted using record information and are intended for general site orientation only.
- 5) Bearings and coordinates as shown herein are based on PA South Zone State Plane Coordinate System. In us feet, distances as shown are ground measurements (no grid scale factor has been applied).
- 6) This survey and plan has been prepared without the benefit of a title search and is therefore subject to any easements or other pertinent facts which such might disclose.

**E + S LEGEND**

- LIMIT OF DISTURBANCE (LOD) (Dashed line)
- ROCK CONSTRUCTION ENTRANCE (CS-B)
- 8" COMPOST FILTER SOCK (CS-B)
- STORM INLET PROTECTION (Circle with 'O')
- CONCRETE WASHOUT FACILITY (Circle with 'CWO')

**TOPOGRAPHIC AND EXISTING FEATURE INFORMATION AND SURVEY BOUNDARY**

THE TOPOGRAPHIC & EXISTING FEATURES INFORMATION SHOWN HEREIN WAS COMPILED FROM A FIELD SURVEY CONDUCTED BY LEHIGH ENGINEERING ASSOC., INC. ON JUNE 2016. AND FIELD VERIFICATION COMPLETED BY KEYSTONE CONSULTING ENGINEERS ON APRIL 2019.

**ADJOINING PROPERTY INFORMATION**  
THE METES AND BOUNDS SHOWN WERE OBTAINED FROM THE DEEDS OF RECORD. ADJACENT OWNER INFORMATION WAS COMPILED FROM NORTHAMPTON COUNTY ASSESSMENT RECORDS.

**WETLAND INFORMATION**

NO WETLANDS ARE EVIDENT ON THIS SITE

**SHEET INDEX**

PLAN TITLE	SHEET NUMBER
LOT CONSOLIDATION PLAN (RECORD)	1 OF 1
SITE ANALYSIS/EXISTING RESOURCES PLAN	1 OF 7
LAND DEVELOPMENT PLAN (RECORD)	2 OF 7
GRADING / UTILITY PLAN	3 OF 7
LANDSCAPE & LIGHTING PLAN	4 OF 7
DETAIL SHEET	5 OF 7
DEM. & EROSION CONTROL PLAN	6 OF 7
EROSION CONTROL DETAIL SHEET	7 OF 7

**ENGINEER CERTIFICATION**

I HEREBY CERTIFY THAT THIS PLAN CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND, WHERE APPLICABLE, THE LOTS, BUILDINGS, PARKING AREAS, WALKWAYS, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN HEREON.

ERIC S. SNIDER, P.E. 056871  
888 INTERCHANGE ROAD, SUITE 101 P.O. BOX 639  
BETHLEHEM, PA 18033  
610-581-5233



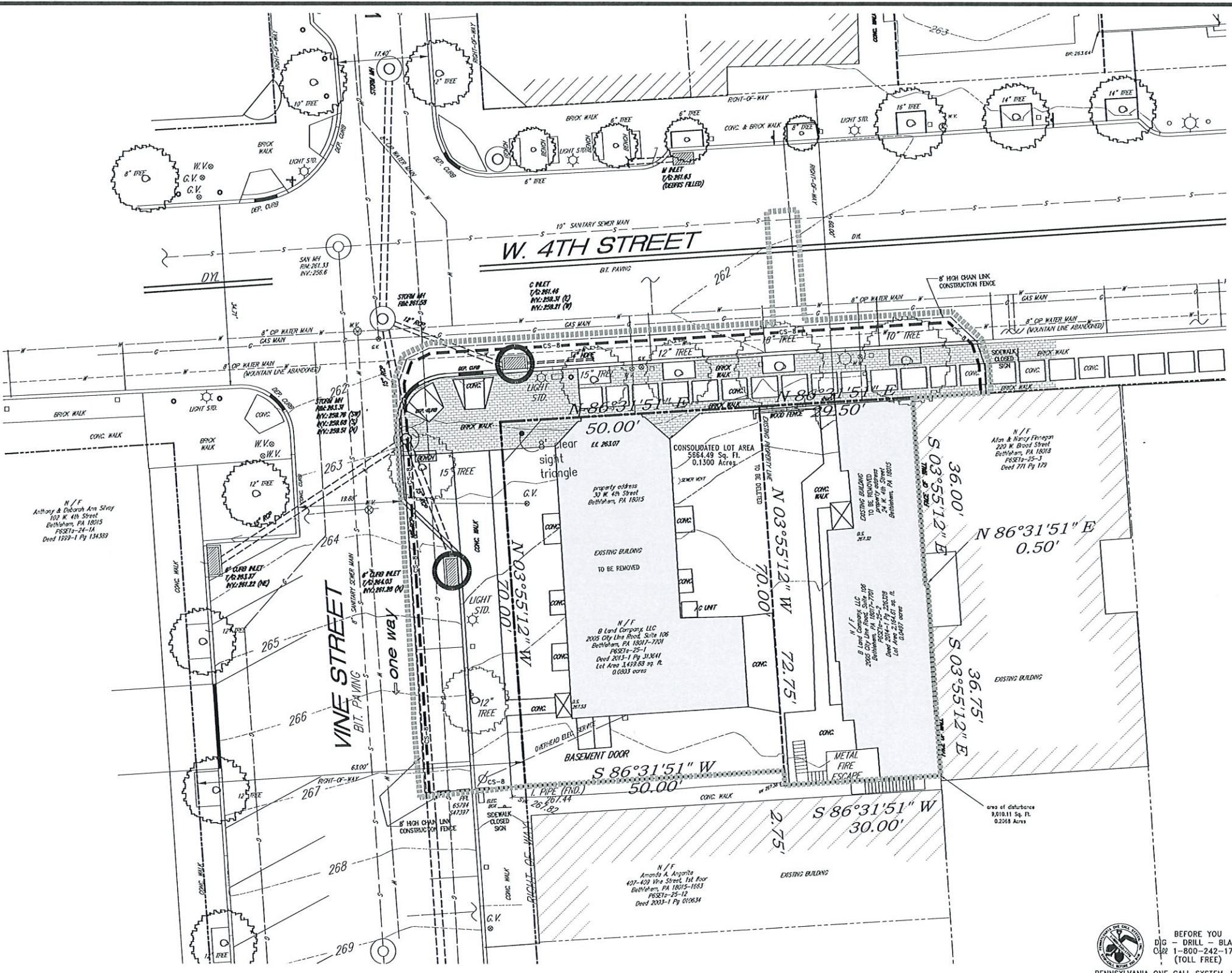
**MAP LEGEND**

- FERROUS HOLE (Symbol)
- SOIL PROBE (Symbol)
- CONCRETE MONUMENT (Symbol)
- IRON PIN (Symbol)
- RIP RAP (Symbol)
- STREET SIGN (Symbol)
- STOP SIGN (Symbol)
- POST (Symbol)
- STREET ADDRESS (Symbol)
- WETLAND MARKER (Symbol)
- SOILS TYPE (Symbol)
- UTILITY POLE (Symbol)
- LIGHT (Symbol)
- VALVE/WISO-VAL (Symbol)
- PROP. FIRE HYDRANT (Symbol)
- EX. FIRE HYDRANT (Symbol)
- MANHOLE (Symbol)
- CATCH BASIN (Symbol)
- HEADWALL (Symbol)
- EX. SPOT ELEVATION (Symbol)
- EX. CONTOUR (Symbol)
- EX. WATERMAIN (Symbol)
- PROP. WATERMAIN (Symbol)
- EX. SAN. MAIN (Symbol)
- PROP. SAN. MAIN (Symbol)
- EX. FORCE MAIN (Symbol)
- PROP. FORCE MAIN (Symbol)
- EX. STORM PIPE (Symbol)
- PROP. STORM PIPE (Symbol)
- TRAILLINE (Symbol)
- HEDGE ROW (Symbol)
- GENERAL (Symbol)
- FR. TRACK (Symbol)
- STONE WALL (Symbol)
- RETAIN. WALL (Symbol)
- FENCE (Symbol)
- EXISTING RIGHT OF WAY (Symbol)
- SOILS BOUNDARY (Symbol)
- ULTIMATE RIGHT OF WAY (Symbol)
- PROPERTY LINE (Symbol)
- CENTELINE (Symbol)
- EASEMENT LINE (Symbol)
- ADJACENT PROPERTY LINE (Symbol)
- WATER LATERAL WITH METER FIT (Symbol)

NOTE: Stippled text represents existing features.

Benchmark top of nut on existing fire hydrant at Schenckville and Eaton Avenue, #1 508.23

SCALE: 1" = 10'



**KEYSTONE CONSULTING ENGINEERS, INC.**  
Engineering firm of choice since 1972  
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www.KeystoneConsultingEngineers.com



**DEMO & EROSION CONTROL PLAN FOR:**  
B. LAND COMPANY, LLC  
24-30 W. 4th STREET  
CITY OF BETHLEHEM  
NORTHAMPTON COUNTY  
PENNSYLVANIA

DESIGNED BY:	DATE:
DDH	07/19/22
DRAWN BY:	DATE:
ESS	06/17/21
CHECKED BY:	DATE:
ESS	06/17/21
SCALE:	JOB NUMBER:
1" = 10'	CN-16-079
SHEET:	TOTAL SHEETS:
6 OF 7	7