

**LOCATION MAP**

1" = 2000'

**SITE DATA**

RECORD OWNER: NASER KODZA  
 PROPERTY ADDRESS: 2039 CLERMONT STREET  
 TAX MAP REFERENCE: N7NW4C-14-2A  
 DEED REFERENCE: D.B.V. 2022-1, PG. 133938  
 EX. LOT AREA (BY SURVEY): 12,000 S.F./0.2755 AC.  
 CITY WARD/BLOCK: 15/74  
 ZONING CLASSIFICATION: HIGH-DENSITY RESIDENTIAL (RT)  
 WATER: CITY OF BETHLEHEM  
 SANITARY SEWER: CITY OF BETHLEHEM  
 NO. EXISTING/PROPOSED LOTS: 1/1

**ZONING DATA**

**HIGH-DENSITY RESIDENTIAL (RT)**  
 (MULTI-FAMILY DWELLING, 2.5 STORIES OR LESS)

	PER ORD.	PER PLAN
MIN. TRACT SIZE:	9,000 S.F.	12.0K S.F.
MIN. LOT AREA PER D.U.:	2,200 S.F.	3,000 S.F.
MIN. LOT WIDTH:	20 FEET	120 FEET
FRONT YARD SETBACK:	0 FEET	0 FEET
SIDE YARD SETBACK (EA):	10 FEET	10 FEET
REAR YARD SETBACK:	20 FEET	20 FEET
ACCESSORY STRUCTURE:	2 FEET	2 FEET
SETBACK:		
MAX. BUILDING HEIGHT:	35 FEET	35 FEET
MAX. BUILDING COVER:	2.5 STRY.	2.5 STRY.
MAX. IMPERVIOUS COVER:	80%	21%

**GENERAL NOTES**

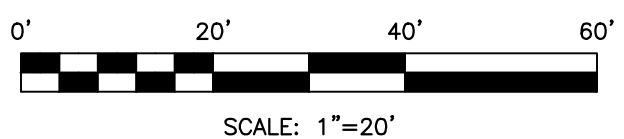
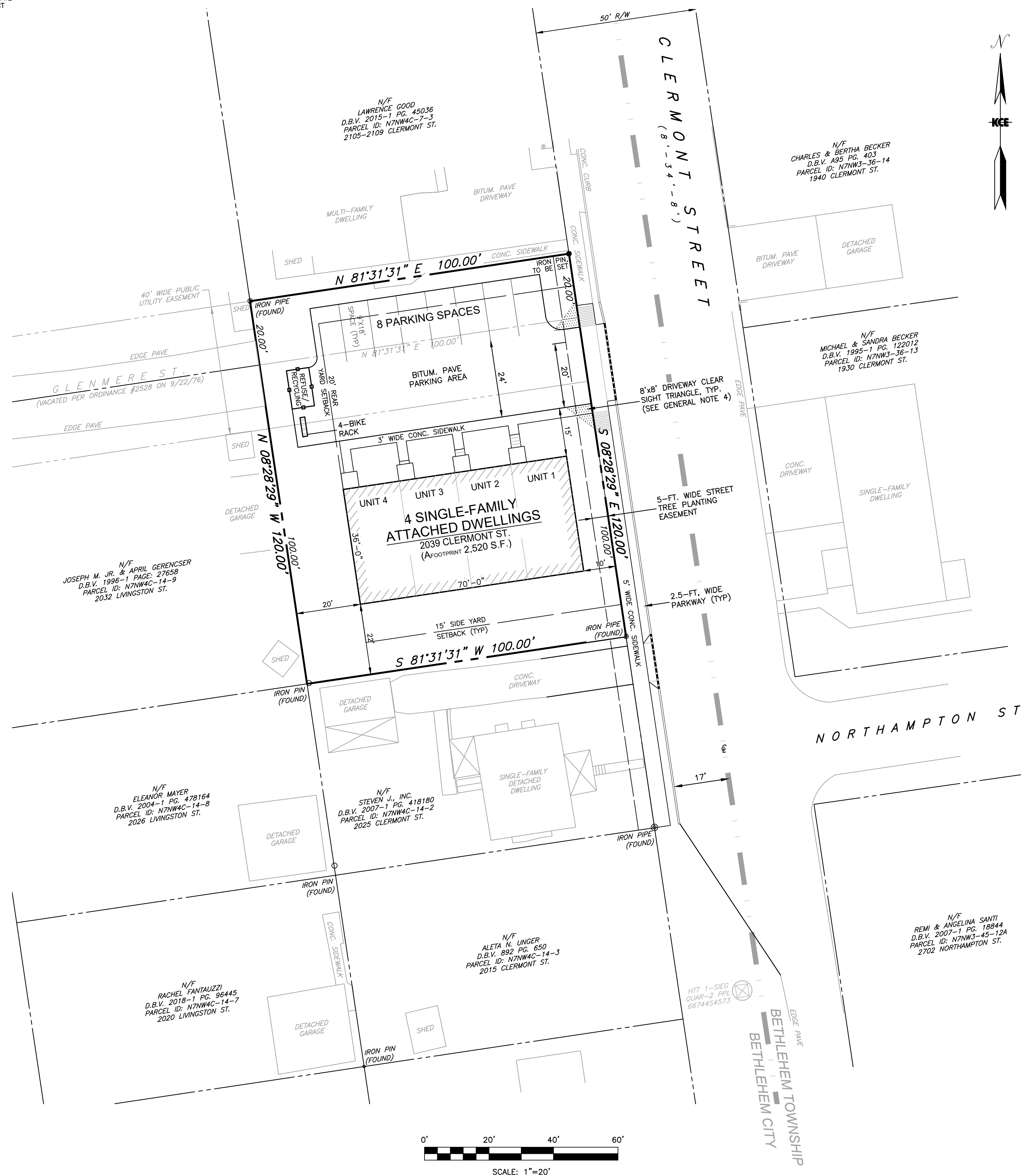
- ANY AND ALL SITE IMPROVEMENTS, PUBLIC AND PRIVATE, PROPOSED HEREIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF BETHLEHEM CONSTRUCTION STANDARDS IN EFFECT AT THE TIME OF SUBDIVISION APPROVAL.
- BUILDING DESIGN, MATERIALS, AND CONSTRUCTION FOR THE PROPOSED DWELLINGS SHALL MEET THE EXCESS INTERNATIONAL BUILDING CODE STANDARDS, LATEST EDITION.
- BY SUBMISSION OF THESE PLANS, THE ENGINEER OF RECORD CERTIFIES THAT THESE PLANS ARE IN COMPLETE CONFORMANCE WITH THE CITY OF BETHLEHEM STORM WATER MANAGEMENT ORDINANCE.
- CLEAR SIGHT TRIANGLES: THE PROPERTY OWNER(S), THEIR HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE TO MAINTAIN REQUIRED 8' CLEAR SIGHT TRIANGLES, LOCATED ON THE SUBJECT PROPERTY AND DELINEATED HEREIN, FREE OF VEGETATION AND OTHER VISUAL OBSTRUCTIONS BETWEEN A HEIGHT THREE FEET ABOVE THE STREET GRADE AND A PLANE 10 FEET ABOVE CURB LEVEL IN ACCORDANCE WITH SECTION 1318.06(B) OF THE CITY OF BETHLEHEM ZONING ORDINANCE. IT IS INTENDED THAT MAINTENANCE RESPONSIBILITIES IMPOSED HEREUNDER SHALL BE A COVENANT RUNNING WITH THE LAND AND ENFORCEABLE AGAINST ALL FUTURE OWNERS.
- IN ORDER TO MAINTAIN CONTINUITY BETWEEN PLAN REVISIONS, ANY CHANGES TO A PREVIOUS PLAN SUBMISSION SHALL BE FLAGGED WITH A TRIANGLE. ANY CHANGES NOT FLAGGED MAY BE CONSIDERED NOT APPROVED. FLAGGED CHANGES SHALL BE REFERENCED TO THE APPROPRIATE REVISION DATE.
- THE PROPERTY OWNER(S), THEIR HEIRS, SUCCESSORS, AND ASSIGNS SHALL BE PERPETUALLY RESPONSIBLE TO MAINTAIN EXISTING AND PROPOSED EASEMENTS LOCATED ON THE SUBJECT PROPERTY IN A GRASSED OR OTHERWISE APPROVED CONDITION IN ACCORDANCE WITH THE GRASSES AND DESIGNS INDICATED HEREIN. DRAINAGE EASEMENTS PROVIDE FOR THE FLOW OF STORMWATER ACROSS LOTS AND MAY NOT BE ALTERED WITHOUT WRITTEN PERMISSION OF THE CITY ENGINEER. NO OBSTRUCTIONS SUCH AS PLANTING BERRUS OR FENCES, OTHER THAN THOSE DEPICTED HEREIN, MAY BE INSTALLED IN DRAINAGE EASEMENTS WITHOUT MAKING SUFFICIENT PROVISIONS FOR THE PASSAGE OF STORMWATER. ANY SUCH PROPOSED PROVISIONS SHALL BE APPROVED IN WRITING BY THE CITY ENGINEER. IT IS INTENDED THAT MAINTENANCE RESPONSIBILITIES IMPOSED HEREUNDER SHALL BE A COVENANT RUNNING WITH THE LAND AND ENFORCEABLE AGAINST ALL FUTURE OWNERS.
- STREET TREE PLANTING EASEMENT: PROPERTY OWNER(S), THEIR SUCCESSORS, HEIRS, AND ASSIGNS SHALL BE RESPONSIBLE TO MAINTAIN THE EXISTING STREET TREE PLANTING EASEMENT IDENTIFIED HEREIN IN A GRASSED OR OTHERWISE APPROVED CONDITION AND MAINTAIN AND REPLACE (AS NECESSARY) ANY STREET TREES LOCATED THEREIN ON THE SUBJECT PROPERTY IN ACCORDANCE WITH ARTICLE 910 OF THE CITY OF BETHLEHEM ZONING ORDINANCE. IT IS INTENDED THAT MAINTENANCE RESPONSIBILITIES IMPOSED HEREUNDER SHALL BE A COVENANT RUNNING WITH THE LAND AND ENFORCEABLE AGAINST ALL FUTURE OWNERS.
- STREET TREES: DUE TO THE PROXIMITY OF STREET TREES TO THE EXISTING OVERHEAD ELECTRIC TRANSMISSION LINES, ALLOWABLE TREE SPACES SHALL BE LIMITED TO THOSE APPEARING IN GROUP 1 OF APPROVED STREET TREES FOR THE CITY OF BETHLEHEM, LATEST EDITION, OR AS OTHERWISE APPROVED BY THE CITY FORESTER.
- AS-BUILT PLANS: ACCURATE AS-BUILT PLANS SHALL BE KEPT CURRENT DURING THE CONSTRUCTION PROCESS. AT THE COMPLETION OF THE PROJECT, RECORD DRAWINGS SHALL BE PREPARED FROM AS-BUILT PLANS AND SUBMITTED TO THE CITY ENGINEER'S OFFICE. ALL FINAL DRAWINGS SHALL SHOW NORTH AMERICAN DATUM (AND) 1983 STATE PLANE COORDINATES IN FEET (PA SOUTH, FIPS ZONE 3702) AND THE DIGITAL FILE SHALL BE IN STATE PLANE FEET COORDINATES AS APPLICABLE. HARD COPIES OF RECORD DRAWINGS SHALL BE IN THE FORM OF MYLAR COPIES. THE ENGINEER OF RECORD SHALL CERTIFY (I.E. STAMPED AND SIGNED) THAT THE RECORD DRAWINGS COMPLY SUBSTANTIALLY WITH THE APPROVED PLANS AND THAT THEY CONFORM TO INDUSTRY STANDARDS. ALL DIGITAL FILES SHALL RESIDE ON A PC COMPATIBLE CD-ROM CONTAINING THE DIGITAL REPRESENTATION OF THE PLAN AS PRESENTED ON TWENTY-FOUR BY THIRTY-SIX INCH SHEETS. DIGITAL PLANS SHALL BE AUTOCAD COMPATIBLE. ALL DRAWING LAYERS INCLUDED IN THE DIGITAL PLANS SHALL BE THE STANDARDIZED LAYERS PREPARED AND UTILIZED BY THE CITY OF BETHLEHEM TO ENSURE COMPATIBILITY WITH THE CITY'S EXISTING CAD STANDARDS AND AS DESCRIBED IN APPENDIX A OF THE CITY'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. THE CITY'S EXISTING CAD STANDARDS MUST BE REVIEWED AND REVISED TO BE COMPATIBLE WITH THE CITY'S CURRENT GIS SYSTEM AND STANDARDS.
- EXISTING NATURAL SLOPES ACROSS THE SUBJECT PROPERTY RANGES FROM APPROXIMATELY 2 TO 8 PERCENT.
- THE PROPOSED DEVELOPMENT WILL YIELD A NET INCREASE IN ON-SITE IMPERVIOUS COVER OF 6,000 S.F.

**EQUITABLE OWNER / APPLICANT**

NASER KODZA  
 O/O DOMINIC A. VILLANI, JR.  
 709 JENNINGS PLACE  
 BETHLEHEM, PA 18017  
 239-272-3173

**STATEMENT OF INTENT**

THE APPLICANT INTENDS TO CONSTRUCT FOUR (4) SINGLE-FAMILY ATTACHED DWELLINGS, OFF-STREET PARKING ACCOMMODATIONS, AND RELATED PUBLIC AND PRIVATE IMPROVEMENTS ON AND ADJACENT TO THE SUBJECT PROPERTY, ALL AS DEPICTED HEREIN.



**PLAN SHEET INDEX**

LD1 OF 6	RECORD PLAN *
LD2 OF 6	EXISTING CONDITIONS & DEMOLITION PLAN
LD3 OF 6	SITE GRADING & UTILITIES PLAN
LD4 OF 6	SITE LANDSCAPING & SIGNAGE PLAN
LD5 OF 6	EROSION & SEDIMENT POLLUTION CONTROL (ESPC) PLAN
LD6 OF 6	CONSTRUCTION DETAILS & SPECS PLAN

\* DENOTES PLAN TO BE RECORDED IN NORTHAMPTON COUNTY RECORDER OF DEEDS OFFICE UPON APPROVAL BY PALMER TOWNSHIP.

**OFF-STREET PARKING SPACE TABULATION**

PROPOSED USE	REQUIRED PARKING
MULTI-FAMILY RESIDENTIAL, (4) 2-BEDROOM UNITS	REQ'D: 1.75 SPACES PER UNIT
1.75 SPACES * 4 UNITS =	7 SPACES
<b>TOTAL</b>	<b>TOTAL SPACES REQUIRED: 7; PROPOSED: 8</b>

**LEGEND**

	SUBJECT PROPERTY LINE
	ADJOINER PROPERTY LINE OR RIGHT-OF-WAY LINE
	EX. ROADWAY CENTERLINE
	EX. EASEMENT LINE
	REQUIRED YARD LINE
	MUNICIPAL BOUNDARY LINE
	EX. CONCRETE CURB
	EX. EDGE OF PAVEMENT
	EX. FENCE (TYPE AS NOTED)
	EX. IRON PIN (OR AS NOTED)
	EX. CONCRETE MONUMENT
	EX. LOT LINE (TO BE DELETED)
	PROPOSED PROPERTY LINE
	PROPOSED STREET TREE EASEMENT
	PROPOSED CONCRETE CURB
	PROPOSED DEPRESSED CONC. CURB
	PROPOSED PRIVACY FENCE (6' HIGH)
	PROPOSED ROAD WIDENING
	PROPOSED CONCRETE PAVEMENT
	PROPOSED IRON PIN

**NOTE:**  
 ITALIC TEXT IN PLAN VIEW DENOTES EXISTING FEATURES WHILE UPRIGHT TEXT DENOTES PROPOSED FEATURES.

**PLANNING BUREAU REVIEW**

REVIEWED AND ACCEPTED FOR RECORDING BY THE CITY OF BETHLEHEM BUREAU OF PLANNING AND ZONING THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

DIRECTOR \_\_\_\_\_

**L.V.P.C. REVIEW**

REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION

L.V.P.C. STAFF PERSON \_\_\_\_\_ DATE \_\_\_\_\_  
 RESPONSIBLE FOR REVIEW

**OWNER'S STATEMENT**

I, THE UNDERSIGNED, DEPOSE AND SAY THAT I AM THE RECORD OWNER OF THE LAND HEREIN SUBDIVIDED OR DEVELOPED, THAT NO LITIGATION OR LENS EXIST ON OR ARE PENDING AGAINST THE PROPERTY, THAT THIS PLAN HAS BEEN PROCESSED WITH MY FREE CONSENT, AND THAT I DESIRE THIS PLAN BE RECORDED ACCORDING TO LAW.

NAME \_\_\_\_\_  
 SIGNATURE \_\_\_\_\_  
 SWORN AND SUBSCRIBED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
 IN WITNESS WHEREOF, I HERETO SET MY HAND AND OFFICIAL SEAL.  
 \_\_\_\_\_  
 NOTARY PUBLIC

**PLAN OF RECORD**

RECORDED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022  
 IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR THE COUNTY OF NORTHAMPTON, PENNSYLVANIA, IN PLAN \_\_\_\_\_  
 BOOK NO. \_\_\_\_\_, PAGE \_\_\_\_\_  
 RECORDER OF DEEDS \_\_\_\_\_

**SURVEYOR'S CERTIFICATION**

I HEREBY CERTIFY THAT: THE BOUNDARY RETRACEMENT AND TOPOGRAPHIC SURVEY DEPICTED ON THIS PLAN WERE CONDUCTED UNDER MY SUPERVISION TO THE LOCAL STANDARDS OF CARE; THIS PLAN IS BASED ON A FIELD SURVEY COMPLETED AS OF THE DATE(S) INDICATED IN PLAN PREPARER'S NOTE 1 HEREIN; THE SURVEY REPRESENTS A RETRACEMENT OF LANDS AS DESCRIBED IN THE DEEDS OF RECORD LISTED IN THE SITE DATA TABLE HEREIN; AND THE SURVEY DIMENSIONS ARE CORRECT IN THE FIELD AS INDICATED HEREIN AND SUBSTANTIALLY MEET THE PRECISION STANDARDS OF A "SUBURBAN" SURVEY AS PUBLISHED BY THE AMERICAN CONGRESS ON SURVEYING AND MAPPING IN 1992; THIS SURVEY AND PLAN HAVE BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH AND ARE THEREFORE SUBJECT TO ANY EASEMENTS, ENCUMBRANCES, OR OTHER PERTINENT FACTS WHICH A TITLE SEARCH MAY DISCLOSE.

KEYSTONE CONSULTING ENGINEERS, INC. DATE: \_\_\_\_\_  
 BY DOUGLAS MARWICK, P.L.S. (AGENT)  
 REGISTRATION NO. SU0759503  
 THIS PLAN IS NULL AND VOID UNLESS IT CONTAINS AN ORIGINAL SIGNATURE, DATE, AND PROFESSIONAL SEAL.

**ENGINEER'S CERTIFICATION**

I, KEITH T. LAWLER, A REGISTERED PROFESSIONAL ENGINEER IN THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THESE PLANS AND ANY RELATED INSTRUMENTS APPLICATION AND SUPPORTING DOCUMENTATION ARE TRUE AND CORRECT, TO THE BEST OF MY KNOWLEDGE.

KEYSTONE CONSULTING ENGINEERS, INC. DATE: \_\_\_\_\_  
 BY KEITH T. LAWLER, P.E. (AGENT)  
 REGISTRATION NO. PE-148606  
 THIS PLAN IS NULL AND VOID UNLESS IT CONTAINS AN ORIGINAL SIGNATURE, DATE, AND PROFESSIONAL SEAL.

**PLAN PREPARER'S NOTES**

- THIS PLAN IS BASED UPON A FIELD SURVEY COMPLETED ON AUGUST 16, 2019 BY KEYSTONE CONSULTING ENGINEERS INC. USING A SPECTRA SP80 GPS WITH KEYNET AND A TRIMBLE SS ROBOTIC TOTAL STATION.
- LOCATIONS OF AND INFORMATION PERTAINING TO UNDERGROUND UTILITIES CONTAINED HEREIN ARE APPROXIMATE AND WERE INTERPOLATED BASED ON FIELD LOCATIONS OF OBVIOUS ABOVE-GROUND EVIDENCE. UNDERGROUND UTILITIES NOT EVIDENCED ON THE SURFACE BY MARKINGS OR STRUCTURES AT THE TIME OF THE FIELD SURVEY HAVE NOT BEEN DEPICTED HEREIN.
- CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATIONS OF UNDERGROUND UTILITIES ON THE SITE IN ACCORDANCE WITH PA ACT 187 AND 121 PRIOR TO COMMENCING ANY EARTH DISTURBANCE ACTIVITY.
- PROPERTY OWNERS' NAMES, DEED REFERENCES, AND TAX PARCEL IDENTIFIER INFORMATION CONTAINED HEREIN ARE BASED ON NORTHAMPTON COUNTY TAX ASSESSMENT RECORDS CURRENT AS OF SEPTEMBER 25, 2019 AND ARE SUBJECT TO THE ACCURACIES OR INACCURACIES THEREOF.
- PROPERTY BOUNDARIES DEPICTED HEREIN AND ANNOTATED WITH BEARING ANGLES, DISTANCES, OR CURVE DATA DENOTE BOUNDARIES MEASURED BY THIS SURVEY. PROPERTY BOUNDARIES WITHOUT GEOMETRIC ANNOTATION MAY HAVE BEEN PLOTTED USING RECORD INFORMATION AND ARE INTENDED FOR GENERAL SITE ORIENTATION PURPOSES ONLY.
- HORIZONTAL BEARING ANGLES AND COORDINATES CONTAINED HEREIN ARE BASED ON THE PA SOUTH ZONE STATE PLANE COORDINATE SYSTEM IN US FEET. DISTANCES ANNOTATED HEREIN REPRESENT GROUND MEASUREMENTS (NO GRID SCALE FACTOR HAS BEEN APPLIED).
- 'IRON PIN (TO BE SET)' IDENTIFIED HEREIN DENOTES A 3/4-INCH DIAMETER REINFORCING BAR WITH YELLOW PLASTIC CAP INSCRIBED 'KEYSTONE ENG.' TO BE SET BY KEYSTONE CONSULTING ENGINEERS, INC.

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 Bethlehem, Wescosville, Kresgeville  
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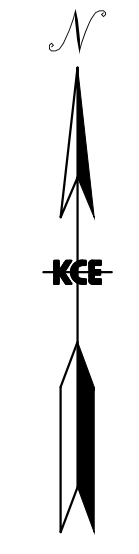
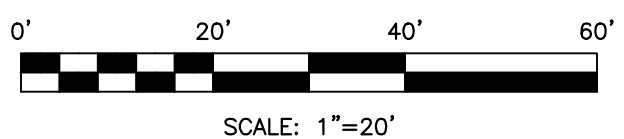
**RECORD PLAN**  
**LAND DEVELOPMENT**  
**LANDS N/F NASER KODZA**  
 2039 CLERMONT STREET  
 BETHLEHEM CITY  
 NORTHAMPTON COUNTY, PENNSYLVANIA

DESIGNED BY: KJH  
 DRAWN BY: KJH  
 CHECKED BY: KJH  
 DATE: APR. 4, 2022  
 SCALE: 1" = 20'  
 KCE JOB NO.: CB-19-078  
 SHEET: LD1 OF 6

REVISIONS  
 KJH 05.03.2022

**DEMOLITION NOTES**

- CONTRACTOR SHALL REMOVE OR ABANDON-IN-PLACE AS APPLICABLE ALL ABOVE AND BELOW-GRADE STRUCTURES, SITE IMPROVEMENTS, AND TREES ON THE PROJECT SITE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
- CONTRACTOR SHALL FIELD-LOCATE AND CUT/CAP, REMOVE, AND/OR ABANDON-IN-PLACE ANY ABOVE AND BELOW-GRADE UTILITY LINES AND APPURTENANCES ON THE PROJECT SITE (THAT ARE NOT IDENTIFIED HEREIN AS TO BE REUSED) IN ACCORDANCE WITH RESPECTIVE FACILITY OWNERS STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL FIELD-LOCATE AND REMOVE ANY ABOVE OR BELOW-GRADE STORAGE TANKS AND RELATED APPURTENANCES ON THE PROJECT SITE IN ACCORDANCE WITH PennDEP REGULATIONS.
- CONTRACTOR SHALL REMOVE FROM THE PROJECT SITE, RECYCLE OR DISPOSE OF ALL CONSTRUCTION MATERIALS AND WASTE IN ACCORDANCE WITH PennDEP SOLID WASTE MANAGEMENT REGULATIONS CONTAINED IN CHAPTER 25 PA CODE 260.1 ET. SEQ., 271.1 ET. SEQ. AND 287.1 ET. SEQ. CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY CONSTRUCTION MATERIALS OR WASTE ON THE PROJECT SITE.
- CONTRACTOR SHALL BE RESPONSIBLE TO IMPLEMENT ANY AND ALL MEASURES NECESSARY, INCLUDING BUT NOT LIMITED TO FENCING, BARRICADES, SHEETING AND SHORING, TEMPORARY SIGNAGE AND TRAFFIC CONTROLS, TEMPORARY PEDESTRIAN ACCOMMODATIONS, SECURITY PERSONNEL OR DEVICES, ETC., TO ADEQUATELY SECURE THE SITE, MAINTAIN A SAFE AND CLEAN WORK AREA, MAINTAIN ROADWAYS AND WALKWAYS IN A SAFE AND PASSABLE CONDITION, PREVENT INJURY TO PEDESTRIANS AND MOTORISTS, AND AVOID DAMAGE TO SURROUNDING PUBLIC AND PRIVATE PROPERTY FOR THE DURATION OF THE PROJECT.



**LEGEND**

- SUBJECT PROPERTY LINE
- ADJOINER PROPERTY LINE
- LEGAL R/W LINE
- EX. ROADWAY CENTERLINE
- EX. EASEMENT LINE
- SOIL TYPE BOUNDARY LINE
- EX. CONTOUR LINE
- EX. CONCRETE CURB
- EX. EDGE OF PAVE
- EX. OVERHEAD UTILITY LINES
- EX. NATURAL GAS MAIN
- EX. STORM SEWER
- EX. WATER MAIN
- EX. SANITARY SEWER MAIN
- EX. WROUGHT IRON FENCE
- EX. CHAIN LINK FENCE
- EX. TREE ROW OR EDGE OF WOODS
- EX. CONIFEROUS TREE
- EX. DECIDUOUS TREE
- EX. IRON PIN (OR AS NOTED)
- EX. CONCRETE MONUMENT

**NOTE:**  
ITALIC TEXT IN PLAN VIEW DENOTES EXISTING FEATURES  
WHILE UPRIGHT TEXT DENOTES PROPOSED FEATURES.

**LANDSCAPE TABULATION**

- STREET TREES:**  
BLAKE ST.: 160 LF. FRONTAGE; 1 LG. TREE REQ'D. PER 50 LF.  
3 LG. TREES REQUIRED; 3 PROPOSED
- REPLACEMENT TREES**  
IN THE RT ZONING DISTRICT, 1 REPLACEMENT TREE IS REQUIRED FOR EACH EXISTING REGULATED TREE (8-IN. TRUNK CALIPER OR GREATER) THAT WILL BE REMOVED AS A RESULT OF THE PROPOSED LAND DEVELOPMENT.  
6 REPLACEMENT TREES REQUIRED; 6 PROPOSED



DIAL 8-1-1 OR 1-800-242-1778 NOT LESS THAN 3 BUSINESS DAYS NOR MORE THAN 10 BUSINESS DAYS PRIOR TO THE START OF EXCAVATION  
FINAL DESIGN SERIAL NUMBER: 20221233676-000

KEYSTONE CONSULTING ENGINEERS, INC., PREPARED THESE DRAWINGS FOR THE PURPOSE OF THE DESIGN OF THE SUBDIVISION OR LAND DEVELOPMENT IMPROVEMENTS SHOWN, PURSUANT TO THE REQUIREMENTS OF PA ACT 287 OF 1974, AS AMENDED, KEYSTONE CONSULTING ENGINEERS, INC., HAS:

- REQUESTED LINE AND FACILITY INFORMATION FROM A ONE CALL SYSTEM NOT LESS THAN TEN NOR MORE THAN NINETY WORKING DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED.
- SHOWN UPON THE DRAWINGS THE POSITION AND TYPE OF EACH FACILITY OWNER'S LINE, DERIVED PURSUANT TO THE REQUEST MADE, INCLUDING THE FACILITY OWNER'S NAME, OFFICE ADDRESS AND TELEPHONE NUMBER AS SHOWN ON THE LIST MAINTAINED BY THE ONE-CALL SYSTEM;
- MADE A REASONABLE EFFORT IN PREPARATION OF THE CONSTRUCTION DRAWINGS TO AVOID DAMAGE TO AND MINIMIZE INTERFERENCE WITH THE FACILITY OWNER'S FACILITIES IN THE CONSTRUCTION AREA BY MAINTAINING AN EIGHTEEN-INCH CLEARANCE OF THE FACILITY OWNER'S FACILITIES;
- SHOWN UPON THE DRAWINGS THE SERIAL NUMBER AND DATE OF THE ONE CALL NOTICE.

KEYSTONE CONSULTING ENGINEERS, INC., MAKES NO REPRESENTATION, ASSURANCE, OR GUARANTEE THAT THE INFORMATION OBTAINED AS NOTED ABOVE AND ILLUSTRATED HEREON ACCURATELY DEPICTS FIELD CONDITIONS. ALL CONTRACTORS PERFORMING ACTUAL EXCAVATION OR DEMOLITION WORK ON THIS SITE ARE HEREBY ALERTED TO THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE ONE-CALL SYSTEM AS REQUIRED BY ACT 287, AS AMENDED.

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**EXISTING CONDITIONS & DEMOLITION PLAN**  
**LAND DEVELOPMENT**  
**LANDS N/F NASER KODZA**  
2039 CLERMONT STREET  
BETHLEHEM CITY, PENNSYLVANIA  
NORTHAMPTON COUNTY, PENNSYLVANIA

REVISIONS	DATE	BY
	05.03.2022	KJH

DESIGNED BY: KJH  
DRAWN BY: KJH  
CHECKED BY: KJH  
DATE: APR. 4, 2022  
SCALE: 1" = 20'  
KCE JOB NO.: CB-19-078  
SHEET: LD2 OF 6

**GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PALMER TOWNSHIP, PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, AND OTHER GOVERNING STANDARDS AND REGULATION AS APPLICABLE.
- CONTRACTOR SHALL LOCATE OR CAUSE TO HAVE LOCATED ANY AND ALL UNDERGROUND UTILITIES IN ACCORDANCE WITH PA ACT 121 PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER IN THE EVENT THAT A CONFLICT IS DISCOVERED.
- PROPOSED ELEVATION CONTOUR LINES DEPICTED ON THIS PLAN REPRESENT FINAL GRADES AT THE COMPLETION OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AT ALL TIMES DURING CONSTRUCTION TO PREVENT THE PONDING OF WATER ON THE SITE.
- CONTRACTOR SHALL DEWATER AND OTHERWISE MAINTAIN UTILITY TRENCHES AND OTHER EXCAVATIONS FREE OF WATER (GROUND WATER AND SURFACE WATER) AT ALL TIMES USING A PUMPED WATER FILTER BAG OR OTHER APPROVED METHODS (REFER TO PUMPED WATER FILTER BAG DETAIL ON EAS POLLUTION CONTROL DETAILS PLAN). ADDITIONALLY, CONTRACTOR SHALL PROPERLY GRADE ADJACENT AREAS AND TAKE ANY OTHER REASONABLE PRECAUTIONS NECESSARY TO PREVENT WATER FROM ENTERING EXCAVATIONS.
- IF CONTRACTOR ENCOUNTERS SOFT, SATURATED, OR OTHERWISE UNSUITABLE SOILS DURING CONSTRUCTION, CONTRACTOR SHALL EXCAVATE, REMOVE, AND REPLACE ANY SUCH MATERIAL WITH COMPACTED CLEAN FILL OR AGGREGATE MATERIAL AS DIRECTED BY THE PROJECT GEOTECHNICAL ENGINEER.
- WHERE PLACEMENT OF FILL BENEATH SETTLEMENT SENSITIVE STRUCTURES (E.G. BUILDING PADS, PARKING LOTS, UTILITY AND STORM SEWERS LINES, AND RELATED STRUCTURES) IS NECESSARY TO ACHIEVE DESIRED SUBGRADE, CONTRACTOR SHALL PLACE AND COMPACT APPROPRIATE FILL MATERIAL IN STRICT ACCORDANCE WITH THE GEOTECHNICAL REPORT OR AS OTHERWISE DIRECTED BY THE PROJECT GEOTECHNICAL ENGINEER.
- SPOT ELEVATIONS AND CONTOUR LINES CONTAINED HEREIN ARE BASED ON GPS OBSERVATIONS USING A TRIMBLE R8 GPS WITH KEYNET AND ARE ACCURATE WITHIN 0.15' OF THE U.S.G.S. NORTH AMERICAN VERTICAL DATUM OF 1988.
- LOCATIONS OF PROPOSED WATER AND SANITARY SEWER SERVICE LINES AS DEPICTED HEREIN ARE APPROXIMATE AND COULD BE SUBJECT TO FIELD ADJUSTMENT.
- PRIOR TO ANY WORK WITHIN PUBLIC RIGHTS-OF-WAY, PERMITS MUST BE OBTAINED FROM PALMER TOWNSHIP AND/OR PennDOT, AS APPLICABLE.
- DESIGN OF CONCRETE CURB RAMPS SHALL BE IN STRICT ACCORDANCE WITH PENNDOT PUBLICATION 72M, STANDARDS FOR ROADWAY CONSTRUCTION, PC-RTM, MATERIALS AND CONSTRUCTION SHALL MEET PENNDOT PUBLICATION 405, SECTIONS 300, 409, 630, 676, 694, AND 695 STANDARDS, AS APPLICABLE. DETECTABLE WARNING SURFACES SHALL BE OF A COLOR AS SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.
- THE SITE/PLAN BENCHMARK IS THE TOP OF AN EXISTING IRON PIPE MARKING THE NORTHWEST CORNER OF THE SUBJECT PROPERTY AND HAVING AN ELEVATION OF 381.76 FEET (ACCURATE WITHIN 0.15' OF THE U.S.G.S. NORTH AMERICAN VERTICAL DATUM OF 1988).

**WATER SYSTEM NOTES**

- WATER DISTRIBUTION SYSTEM SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH CITY OF BETHLEHEM AND PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION STANDARDS AND REGULATION AS APPLICABLE.
- PIPING FOR INDIVIDUAL SERVICE LINES SHALL BE TYPE 'K' COPPER PIPE OF THE SIZES INDICATED HEREIN.
- PROVIDE A MINIMUM 10-FOOT HORIZONTAL SEPARATION OR 18-INCH CLEAR VERTICAL SEPARATION BETWEEN WATERLINES AND SANITARY OR STORM SEWERS WHERE PRACTICABLE.
- INSTALL WATER LINES AT LEAST FOUR FEET BELOW FINAL GRADE.

**SANITARY SEWER SYSTEM NOTES**

- SANITARY SEWERAGE SYSTEM SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH CITY OF BETHLEHEM AND PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION STANDARDS AND REGULATION AS APPLICABLE.
- PIPING FOR INDIVIDUAL SERVICE LINES SHALL BE SDR-35 PVC PIPE OF THE SIZES INDICATED HEREIN.
- PIPING, STRUCTURES, AND APPURTENANCES SHALL BE DESIGNED TO WITHSTAND HS-25 HIGHWAY LOADING AND SHALL MEET OR EXCEED APPLICABLE PENNDOT AND ASTM STANDARDS.



**LEGEND**

- SUBJECT PROPERTY LINE
- ADJOINER PROPERTY LINE
- EX. ROADWAY CENTERLINE
- EX. EASEMENT LINE
- EX. CONTOUR LINE
- EX. CONCRETE CURB
- EX. EDGE OF PAVE
- EX. OVERHEAD UTILITY LINES
- EX. NATURAL GAS MAIN
- EX. STORM SEWER
- EX. WATER MAIN (H.P. DENOTES HIGH PRESSURE)
- EX. SANITARY SEWER MAIN
- EX. WROUGHT IRON FENCE
- EX. CHAIN LINK FENCE
- EX. TREE ROW OR EDGE OF WOODS
- EX. CONIFEROUS TREE
- EX. DECIDUOUS TREE
- EX. IRON PIN (OR AS NOTED)
- EX. CONCRETE MONUMENT
- PROPOSED IMPROVEMENT
- PROPOSED CONCRETE CURB
- PROPOSED DEPRESSED CONC. CURB
- PROPOSED BITUMINOUS PAVEMENT OR FULL-DEPTH RESTORATION
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONTOUR LINE
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER GRAVITY LINE
- PROPOSED STORM SEWER
- FINISHED FLOOR ELEVATION
- SITE/PLAN BENCHMARK

**NOTE:**  
ITALIC TEXT IN PLAN VIEW DENOTES EXISTING FEATURES  
WHILE UPRIGHT TEXT DENOTES PROPOSED FEATURES.



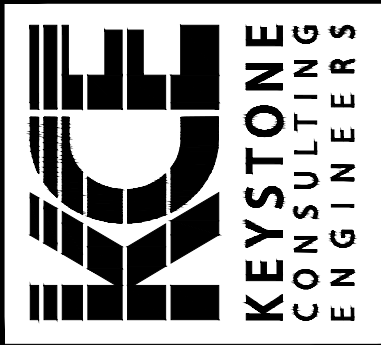
DIAL 8-1-1 OR 1-800-242-1778 NOT LESS THAN 3 BUSINESS DAYS NOR MORE THAN 10 BUSINESS DAYS PRIOR TO THE START OF EXCAVATION  
FINAL DESIGN SERIAL NUMBER: 20221233676-000

KEYSTONE CONSULTING ENGINEERS, INC., PREPARED THESE DRAWINGS FOR THE PURPOSE OF THE DESIGN OF THE SUBDIVISION OR LAND DEVELOPMENT IMPROVEMENTS SHOWN, PURSUANT TO THE REQUIREMENTS OF PA ACT 287 OF 1974, AS AMENDED, KEYSTONE CONSULTING ENGINEERS, INC., HAS:

- REQUESTED LINE AND FACILITY INFORMATION FROM A ONE CALL SYSTEM NOT LESS THAN TEN NOR MORE THAN NINETY WORKING DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED.
- SHOWN UPON THE DRAWINGS THE POSITION AND TYPE OF EACH FACILITY OWNER'S LINE, DERIVED PURSUANT TO THE REQUEST MADE, INCLUDING THE FACILITY OWNER'S NAME, OFFICE ADDRESS AND TELEPHONE NUMBER AS SHOWN ON THE LIST MAINTAINED BY THE ONE-CALL SYSTEM;
- MADE A REASONABLE EFFORT IN PREPARATION OF THE CONSTRUCTION DRAWINGS TO AVOID DAMAGE TO AND MINIMIZE INTERFERENCE WITH THE FACILITY OWNER'S FACILITIES IN THE CONSTRUCTION AREA BY MAINTAINING AN EIGHTEEN-INCH CLEARANCE OF THE FACILITY OWNER'S FACILITIES;
- SHOWN UPON THE DRAWINGS THE SERIAL NUMBER AND DATE OF THE ONE CALL NOTICE.

KEYSTONE CONSULTING ENGINEERS, INC., MAKES NO REPRESENTATION, ASSURANCE, OR GUARANTEE THAT THE INFORMATION OBTAINED AS NOTED ABOVE AND ILLUSTRATED HEREON ACCURATELY DEPICTS FIELD CONDITIONS. ALL CONTRACTORS PERFORMING ACTUAL EXCAVATION OR DEMOLITION WORK ON THIS SITE ARE HEREBY ALERTED TO THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE ONE-CALL SYSTEM AS REQUIRED BY ACT 287, AS AMENDED.

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Bethlehem, Allentown, Kresgeville  
www.KCEinc.com



**SITE GRADING & UTILITIES PLAN**  
**LAND DEVELOPMENT**  
**LANDS N/F NASER KODZA**  
2039 CLERMONT STREET  
BETHLEHEM CITY  
NORTHAMPTON COUNTY, PENNSYLVANIA

REVISIONS	DATE	BY	DATE
	05.03.2022	KJH	

DESIGNED BY: KJH  
DRAWN BY: KJH  
CHECKED BY: KJH  
DATE: APR. 4, 2022  
SCALE: 1" = 20'  
KCE JOB NO.: CB-19-078  
SHEET: LD2 OF 6

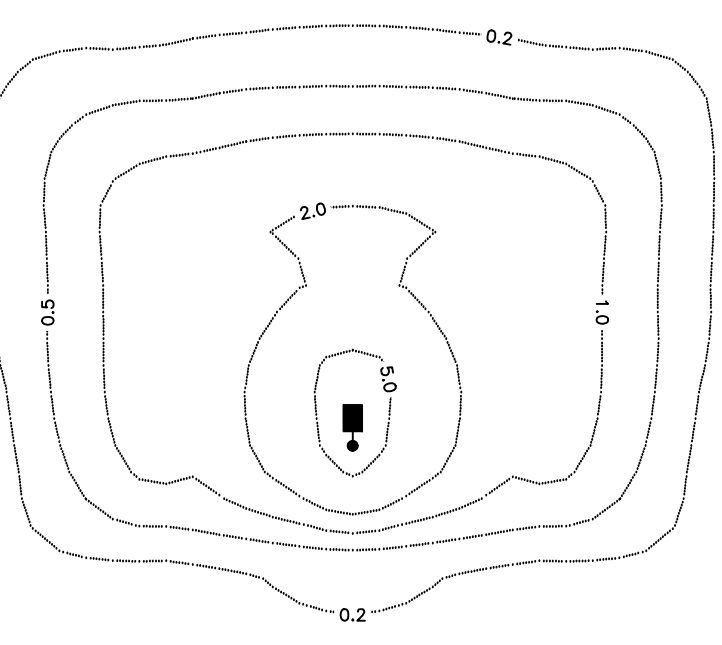
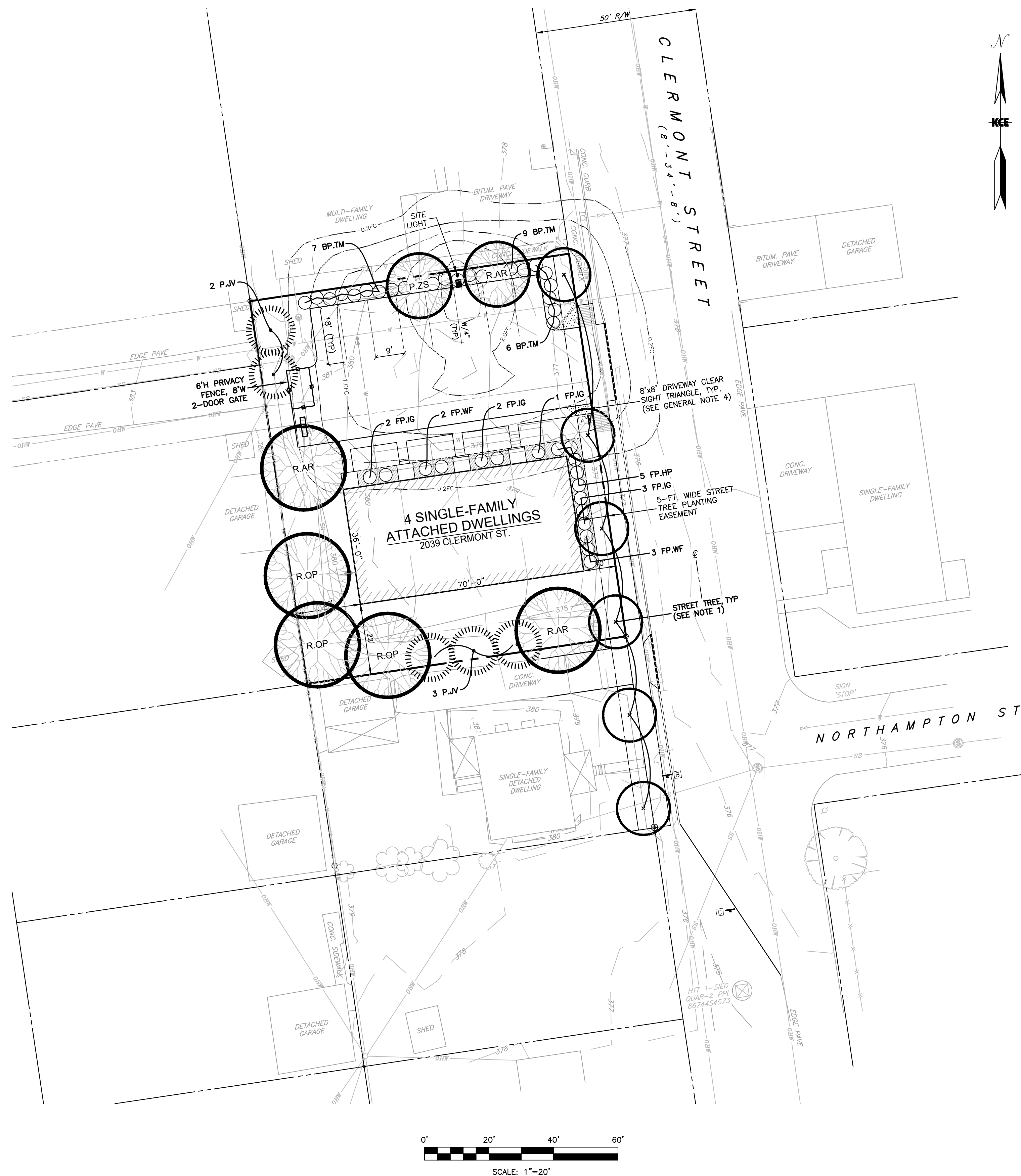
**LANDSCAPING NOTES**

- CONTRACTOR SHALL VERIFY THE PRESENCE, LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO BEGINNING LANDSCAPE CONSTRUCTION. CALL PA ONE CALL (800) 242-1776.
- CONTRACTOR SHALL LAYOUT AND REVIEW ALL PLANT MATERIAL AND PLANT LOCATIONS WITH LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION.
- CONTRACTOR SHALL LOCATE PLANTINGS TO AVOID PLACEMENT WITHIN SWALE CENTERLINES.
- MULCH FOR ALL PLANTINGS SHALL BE DOUBLE SHREDDED HARDWOOD BARK MULCH, DARK BROWN IN COLOR, ACED AT LEAST ONE YEAR AND CLEAN AND FREE OF WEEDS.
- ALL PLANT GROUPINGS AND HEDGES SHALL BE COMPLETELY ENCOMPASSED WITHIN ONE LARGE MULCH BED AT EACH PLANT GROUPING LOCATION.
- CONTRACTOR SHALL APPLY A PRE-EMERGENT WEED PREVENTATIVE SUCH AS TREFLAN TO TOPSOIL PRIOR TO MULCHING ACTIVITIES.
- CONTRACTOR SHALL MAINTAIN ALL NEW PLANTINGS FOR A PERIOD OF THIRTY DAYS. THIS SHALL INCLUDE WATERING, FERTILIZING, MULCHING, CULTIVATING, ETC. FOR A WEED FREE HEALTHY LANDSCAPE.
- CONTRACTOR SHALL PERMANENTLY RESTORE ALL NON-PAVED AREAS ON THE SUBJECT PROPERTY TO A GRASSED CONDITION.
- CONTRACTOR SHALL TEST EXISTING TOPSOIL TO DETERMINE PROPER LIME AND FERTILIZER APPLICATION RATES. PERMANENT LAWN ESTABLISHMENT SHALL INCLUDE FINE GRADING OF TOPSOIL, SEEDING, FERTILIZER, MULCH, AND ADEQUATE 60-DAY MAINTENANCE IN ORDER TO ACHIEVE A "GOOD STAND" OF TURF. A "GOOD STAND" OF TURF SHALL BE DEFINED AS A WEED FREE LAWN WITH 95% COVERAGE UPON CLOSE EXAMINATION OF ANY GIVEN FOUR SQUARE FOOT AREA.
- CONTRACTOR SHALL GUARANTEE ALL REQUIRED PLANTINGS FOR A PERIOD OF TWENTY-FOUR MONTHS FROM THE DATE OF FINAL ACCEPTANCE. PLANTINGS SHALL BE ALIVE AND HEALTHY AS DETERMINED BY THE ARCHITECT, OWNER, OR HIS AGENT AT THE END OF THE GUARANTEE PERIOD. FINAL ACCEPTANCE SHALL BEGIN UPON SUCCESSFUL COMPLETION OF THE REQUIRED MAINTENANCE PERIOD.
- NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBANCE IS ALLOWED IN THE TREE PROTECTION ZONE UNLESS INDICATED ON THE PLAN.
- TREE PROTECTION BARRICADES MUST BE INSTALLED PRIOR TO ANY DESTRUCTION AND/OR CONSTRUCTION ACTIVITY.
- THE ROOT PROTECTION ZONE SHALL BE DEFINED AS THE AREA ENCOMPASSED BY A CIRCLE WITH A RADIUS EXTENDING 1.25 FT. FROM THE TRUNK OF THE TREE FOR EVERY INCH DBH (DIAMETER AT BREAST HEIGHT) OF THE TREE.
- VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO PENALTY PER CITY ORDINANCE.
- ALL TREES ON PUBLIC PROPERTY ARE PROTECTED BY ORDINANCES NO PRUNING, ROOT PRUNING OF ROOTS OVER ONE INCH IN DIAMETER, AND/OR TREE REMOVAL IS TO BE PERFORMED WITHOUT A PERMIT AND WORK MUST BE PERFORMED BY A CITY LICENSED TREE CONTRACTOR.
- ALL PLANT MATERIALS ARE TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- STREET AND PARKING LOT TREES SHALL BE A MINIMUM OF 14 FT. IN HEIGHT AND HAVE A SINGLE STRAIGHT TRUNK WITH THE FIRST LATERAL BRANCH AT 7 FT. ABOVE THE ROOT BALL. TREES WITH AN UPRIGHT BRANCHING HABIT, SUCH AS ZELKOVA, MAY HAVE THE FIRST LATERAL BRANCH AT 6 FT. ABOVE THE ROOT BALL.
- ALL LANDSCAPING SHALL CONFORM TO THE CURRENT EDITION OF THE ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE OF THE CITY OF BETHLEHEM.
- A ROOT CONTROL SYSTEM IS REQUIRED WHEN INSTALLING STREET TREES. THE ROOT BARRIER SHALL BE OF THE BIO-BARRIER TYPE AND A MINIMUM OF EIGHTEEN (18) INCHES WIDE. ANY SUBSTITUTION SHALL BE APPROVED BY THE CITY FORESTER. THE ROOT-CONTROL SYSTEM IS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TREE OPENINGS IN THE SIDEWALK SHALL HAVE THE BIO-BARRIER INSTALLED ALONG THE FACE OF THE TREE OPENING WHICH IS PARALLEL TO THE STREET AND CLOSEST TO THE PROPERTY LINE, OVERLAPPING THE NEAREST TWO CORNERS BY APPROXIMATELY FOUR (4) INCHES. WHERE TREES ARE TO BE PLANTED IN A PARKWAY OR PLANTING STRIP BETWEEN CURB AND SIDEWALK, THE BARRIER SHALL BE INSTALLED ALONG THE SIDEWALK EDGE CLOSEST TO THE CURB AND CENTERED ON THE ROOT SOURCE. THE LENGTH OF THE BARRIER SHALL BE A MINIMUM LENGTH EQUAL TO THE SPREAD OF THE TREE CANOPY AT MATURITY PLUS TEN (10) FEET.

**SIGNAGE NOTES**

- TRAFFIC CONTROL SIGNS SHALL COMPLY WITH PennDOT PUBLICATION 236, HANDBOOK OF APPROVED SIGNS.
- ALTERNATE TRAFFIC CONTROL SIGN DESIGNS MAY BE USED ON PRIVATE PROPERTY IN LIEU OF STANDARD PennDOT SIGNS UPON APPROVAL BY CITY OF BETHLEHEM.
- TRAFFIC CONTROL SIGNS SHALL BE MOUNTED ON PennDOT APPROVED BREAKAWAY POSTS IN ACCORDANCE WITH PennDOT PUBLICATION 236.
- STOP SIGNS SHALL BE PLACED TEN FEET BEHIND THE EDGE OF PAVEMENT AT A HEIGHT OF NINE FEET TO THE TOP OF SIGN.

TRAFFIC SIGNAGE SCHEDULE				
ID	SERIES	SIZE	QTY	MESSAGE
(A)	R1-1	24x24	1	STOP
(B)	W5-1	36x36	1	ROAD NARROWS
(C)	OM1-3	18x18	1	OBJECT MARKERS



**SPECIFICATIONS:**  
 SINGLE TMU TALON LED LIGHTING FIXTURE WITH FOUR (4) 21-LED LIGHTBARS HAVING A TYPE IV WITH SPILL CONTROL DISTRIBUTION (MODEL NO. TMU-E04-LED-E-U-SL4-XX). FIXTURE COLOR AND FINISH AND ADDITIONAL OPTIONS TO BE SPECIFIED BY THE OWNER, POLE-MOUNTED AT 20 FEET ABOVE FINISHED GRADE (1 REQUIRED).  
 \* NOTE: SHIELD FIXTURE AS NECESSARY TO PREVENT LIGHT SPILLOVER ONTO ADJACENT PROPERTIES.

**SITE LIGHT PHOTOMETRIC DIAGRAM**  
 (20 FT. POLE-MOUNTED, SINGLE FIXTURE, TYPE IV DIST.)  
 SCALE: 1" = 30'

**PAVEMENT MARKING NOTES**

- PAVEMENT MARKINGS ON PRIVATE PROPERTY SHALL BE OF WATERBORNE TRAFFIC PAINT. LOCATIONS, SIZES, TYPES, AND COLORS OF PAVEMENT MARKINGS SHALL BE AS INDICATED HEREIN. MATERIALS AND WORKMANSHIP FOR WATERBORNE PAVEMENT MARKINGS SHALL CONFORM TO PennDOT PUBLICATION 408 SECTION 962.
- PAVEMENT MARKINGS IN PUBLIC (NON-PennDOT) ROADS SHALL BE HOT THERMOPLASTIC PAVEMENT MARKINGS, EXCEPT FOR ROADWAY CENTERLINE STRIPING WHICH SHALL BE OF WATERBORNE TRAFFIC PAINT. LOCATIONS, SIZES, TYPES, AND COLORS OF PAVEMENT MARKINGS SHALL BE AS INDICATED HEREIN. MATERIALS AND WORKMANSHIP FOR HOT THERMOPLASTIC PAVEMENT MARKINGS SHALL CONFORM TO PennDOT PUBLICATION 408 SECTION 960.
- PRIOR TO APPLICATION OF PAVEMENT MARKINGS CLEAN PAVEMENT SURFACES OF DIRT, DEBRIS, AND OTHER CONTAMINANTS THAT MAY INHIBIT ADHESION USING A PRESSURE WASHER, COMPRESSED AIR OR OTHER APPROPRIATE METHOD.
- APPLY PAVEMENT MARKINGS TO CLEAN, DRY PAVEMENT WITH MINIMUM AIR AND PAVEMENT TEMPERATURES OF 50 DEGREES FAHRENHEIT AND A MAXIMUM RELATIVE HUMIDITY OF 80%.
- WHERE BITUMINOUS SEALANT RENDERS THE EXTENSION OF PAVEMENT MARKINGS TO THE FACE OF CURB IMPRACTICAL, MARKINGS SHALL EXTEND TO THE EDGE OF SEALANT OR WITHIN 1 FOOT OF THE FACE OF CURB, WHICHEVER IS LESS.

**PAVEMENT MARKING LEGEND**

W/X"	PROPOSED X-IN. WIDE WHITE LINE
---	SUBJECT PROPERTY LINE
- - - -	ADJOINER PROPERTY LINE
---	EX. ROADWAY CENTERLINE
---	EX. EASEMENT LINE
---	EX. CONTOUR LINE
---	EX. CONCRETE CURB
---	EX. EDGE OF PAVE
---	EX. OVERHEAD UTILITY LINES
---	EX. NATURAL GAS MAIN
---	EX. STORM SEWER
---	EX. WATER MAIN
---	EX. SANITARY SEWER MAIN
---	EX. WROUGHT IRON FENCE
---	EX. CHAIN LINK FENCE
---	EX. TREE ROW OR EDGE OF WOODS
---	EX. CONIFEROUS TREE
---	EX. DECIDUOUS TREE
---	EX. IRON PIN (OR AS NOTED)
---	EX. CONCRETE MONUMENT
---	PROPOSED IMPROVEMENT
---	PROPOSED CONCRETE CURB
---	PROPOSED DEPRESSED CONC. CURB
---	PROPOSED PRIVACY FENCE (6' HIGH)
---	PROPOSED CONTOUR LINE
---	PROPOSED WATER LINE
---	PROPOSED SANITARY SEWER GRAVITY LINE
---	PROPOSED STORM SEWER
---	FINISHED FLOOR ELEVATION

**LEGEND**

---	SUBJECT PROPERTY LINE
- - - -	ADJOINER PROPERTY LINE
---	EX. ROADWAY CENTERLINE
---	EX. EASEMENT LINE
---	EX. CONTOUR LINE
---	EX. CONCRETE CURB
---	EX. EDGE OF PAVE
---	EX. OVERHEAD UTILITY LINES
---	EX. NATURAL GAS MAIN
---	EX. STORM SEWER
---	EX. WATER MAIN
---	EX. SANITARY SEWER MAIN
---	EX. WROUGHT IRON FENCE
---	EX. CHAIN LINK FENCE
---	EX. TREE ROW OR EDGE OF WOODS
---	EX. CONIFEROUS TREE
---	EX. DECIDUOUS TREE
---	EX. IRON PIN (OR AS NOTED)
---	EX. CONCRETE MONUMENT
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---	PROPOSED DEPRESSED CONC. CURB
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---	PROPOSED WATER LINE
---	PROPOSED SANITARY SEWER GRAVITY LINE
---	PROPOSED STORM SEWER
---	FINISHED FLOOR ELEVATION

**NOTE:**  
 ITALIC TEXT IN PLAN VIEW DENOTES EXISTING FEATURES WHILE UPRIGHT TEXT DENOTES PROPOSED FEATURES.

**PLAN SYMBOL LEGEND**

---	LARGE OR STREET TREE	---	SMALL TREE
---	SHRUB	---	EVERGREEN TREE
---	PLANTING BED	---	TRAFFIC SIGN
---		---	SITE LIGHT (POLE-MOUNTED, SINGLE FIXTURE)

**LANDSCAPE TABULATION**

**STREET TREES:**  
 (1) CLERMONT ST.: 180 LF. FRONTAGE: 1 SM. TREE REQ'D. PER 30 LF.  
 6 STREET TREES REQ'D.; 6 PROPOSED

**GENERAL SITE LANDSCAPING:**  
 FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS, PROVIDE LANDSCAPE CREDITS EQUIV. TO 1% OF THE AREA.  
 AREA: 6,000 S.F.; CREDITS REQUIRED: 600 S.F.  
 SM. TREES: (0) @ 100 S.F. EA. 0 S.F.  
 MED. TREES: (0) @ 150 S.F. EA. 0 S.F.  
 LG. TREES: (1) @ 200 S.F. EA. 200 S.F.  
 EVERGREEN TREES: (5) @ 100 S.F. EA. 500 S.F.  
 PLANTING BEDS: 450 S.F.  
 TOTAL CREDITS PROPOSED: 1,150 S.F.  
 (INCLUDED IN ABOVE CREDITS) 1 SHADE TREE REQ'D. PER 15 PARKING SPACES; 8 PARKING SPACES PROPOSED  
 1 SHADE TREE REQ'D.; 1 SHADE TREE PROPOSED

**BUFFER PLANTINGS:**  
 FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS, PROVIDE PARKING AREA BUFFER PLANTINGS IN ACCORDANCE WITH ZONING ORDINANCE SECTION 1319.03(n)

**REPLACEMENT TREES**  
 IN THE RT ZONING DISTRICT, 1 REPLACEMENT TREE IS REQUIRED FOR EACH EXISTING REGULATED TREE (8-IN. TRUNK CALIPER OR GREATER) THAT WILL BE REMOVED AS A RESULT OF THE PROPOSED LAND DEVELOPMENT.  
 6 REPLACEMENT TREES REQUIRED; 6 PROPOSED

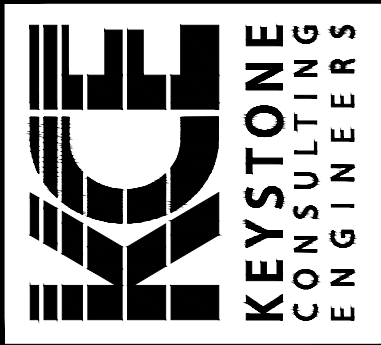
**NOTE:**  
 (1) DUE TO THE PROXIMITY OF STREET TREES TO THE EXISTING OVERHEAD ELECTRIC TRANSMISSION LINES, ALLOWABLE TREE SPECIES SHALL BE LIMITED TO THOSE APPEARING IN GROUP I OF APPROVED STREET TREES FOR THE CITY OF BETHLEHEM, LATEST EDITION, OR AS OTHERWISE APPROVED BY THE CITY FORESTER.

**NOTES**

- MATERIALS (INCLUDING PLANT TYPE, QUANTITIES, QUALITY, ETC.) AND INSTALLATION FOR SITE LANDSCAPING SHALL BE IN ACCORDANCE WITH CITY OF BETHLEHEM SALDO SECTION 1349.08 STANDARDS AND REGULATIONS, AS APPLICABLE.
- STREET AND PARKING LOT TREES SHALL BE A MINIMUM OF 14" IN HEIGHT AND HAVE A SINGLE STRAIGHT TRUNK WITH THE FIRST LATERAL BRANCH AT 7' ABOVE THE ROOT BALL. TREES WITH AN UPRIGHT BRANCHING HABIT, SUCH AS ZELKOVA, MAY HAVE THE FIRST LATERAL BRANCH AT 6' ABOVE THE ROOT BALL.
- BUFFER PLANTINGS SHALL CONSIST PRIMARILY OF EVERGREEN TREES AND SHRUBS AND SHALL BE AT LEAST 4 FEET IN HEIGHT WHEN PLANTED AND BE OF SUCH SPECIES AND SPACING THAT CAN BE EXPECTED TO PRODUCE, WITHIN 3 YEARS, A COMPLETE VISUAL SCREEN OF AT LEAST 6 FEET IN HEIGHT IN ACCORDANCE WITH CITY OF BETHLEHEM ZONING ORDINANCE SECTION 1318.231.1.
- IN THE EVENT OF ANY DISCREPANCIES BETWEEN THE PLAN SCHEDULE AND PLAN, THE PLAN SHALL PREVAIL.

PLANT SCHEDULE						
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COND.	CLASS. NOTES
<b>STREET TREES</b>						
ST.PH	6	PRUNUS x HILLIERI 'SPIRE'	SPIRE CHERRY	2"-2 1/2" CAL.	B&B	SMALL
<b>OPEN SPACE, PARKING AND LOADING AREA PLANTINGS</b>						
P.J.V	5	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6' HT.	B&B	EVGRN
P.Z.S	1	ZELKOVA SERBATA 'MUSASHINO'	MUSASHINO ZELKOVA	2"-2 1/2" CAL.	B&B	LARGE
<b>PARKING BUFFER SCREEN PLANTINGS</b>						
BP.TM	13	TAXUS x MEDIA 'HICKSI'	HICKS YEW	36" HT.	CONT.	SHRUB 4' O.C.
BP.RC	9	RHODODENDRON CATAWBIENSE	CATAWBA RHODODENDRON	36" HT.	CONT.	SHRUB 4' O.C.
<b>REPLACEMENT TREES</b>						
R.AR	3	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER RED GLORY	2"-2 1/2" CAL.	B&B	LARGE
R.O.P	3	QUERCUS PALUSTRIS	PIN OAK	2"-2 1/2" CAL.	B&B	LARGE
<b>FOUNDATION PLANTINGS</b>						
FP.HP	5	HYDRANGEA PANICULATA 'JANE'	LITTLE LIME HARDY HYDRANGEA	#7	CONT.	SHRUB
FP.IG	8	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	#7	CONT.	SHRUB
FP.WF	5	WEIGELA FLORIDA 'ALEXANDRA'	WINE AND ROSES WEIGELA	#7	CONT.	SHRUB

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**SITE LANDSCAPING & SIGNAGE PLAN**  
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KJH	APR. 4, 2022
SCALE:	KCE JOB NO.:
1" = 20'	CB-19-078
SHEET:	LD4 OF 6

**SPECIFICATIONS FOR SEEDING  
STABILIZATION AND SOIL SUPPLEMENTS**

**TEMP. NON-VEGETATIVE SURFACE STABILIZATION**

TEMPORARY MULCH TYPE: HAY OR STRAW  
APPLICATION RATE: 3 TONS/AC.

**TEMPORARY SEED MIXTURE**

PENNDOT FORMULA E PER	PennDOT	PUB.	408,	SEC.	804
SPECIES	% WEIGHT	PURITY	GERMINATION		
ANNUAL RYEGRASS	100	98%	90%		

APPLICATION RATE: 10 LBS. PER 1,000 S.Y.  
FERTILIZER TYPE: 10-10-10  
FERTILIZER APPLICATION RATE: 100 LBS. PER 1,000 S.Y.  
LIME APPLICATION RATE: 410 LBS. PER 1,000 S.Y.  
HAY OR STRAW MULCH APPLICATION RATE: 3 TONS/AC.  
SEEDING PERIOD: MARCH 15 TO OCTOBER 15

**PERMANENT SEED MIXTURE**

PENNDOT FORMULA B PER	PennDOT	PUB.	408,	SEC.	804
SPECIES	% WEIGHT	PURITY	GERMINATION		
PERENNIAL RYEGRASS	20	98%	90%		
CREeping RED FESCUE	30	98%	85%		
KENTUCKY BLUEGRASS	50	98%	80%		

APPLICATION RATE: 21 LBS. PER 1,000 S.Y.  
FERTILIZER TYPE: 10-20-20  
FERTILIZER APPLICATION RATE: 210 LBS. PER 1,000 S.Y.  
LIME APPLICATION RATE: 2,480 LBS. PER 1,000 S.Y.  
HAY OR STRAW MULCH APPLICATION RATE: 3 TONS/AC.  
SEEDING PERIOD: MARCH 15 TO OCTOBER 15

**NOTES**

1. THE CUTOFF DATE FOR HYDROSEEDING IS NOVEMBER 15.
2. SLURRY APPLICATIONS OF SEED USING A CELLULOSE THICKENER SHALL INCLUDE A STRAW MULCH BINDER AT A RATE OF 3 TONS PER ACRE.



**LEGEND**

	SUBJECT PROPERTY LINE
	ADJOINER PROPERTY LINE
	EX. ROADWAY CENTERLINE
	EX. EASEMENT LINE
	EX. CONTOUR LINE
	EX. CONCRETE CURB
	EX. EDGE OF PAVE
	EX. OVERHEAD UTILITY LINES
	EX. NATURAL GAS MAIN
	EX. STORM SEWER
	EX. WATER MAIN
	EX. SANITARY SEWER MAIN
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	PROPOSED SANITARY SEWER GRAVITY LINE
	PROPOSED STORM SEWER
	F.F.E.

**NOTE:**  
ITALIC TEXT IN PLAN VIEW DENOTES EXISTING FEATURES  
WHILE UPRIGHT TEXT DENOTES PROPOSED FEATURES.

**ESPC LEGEND**

	LIMIT OF EARTH DISTURBANCE
	SOIL TYPE LIMIT
	ROCK CONSTRUCTION ENTRANCE
	EROSION CONTROL MATTING (TYPE PER PLAN)
	XX-IN. COMPOST FILTER SOCK
	ROCK FILTER OUTLET
	INLET FILTER BAG

**ESPC PLAN NOTES**

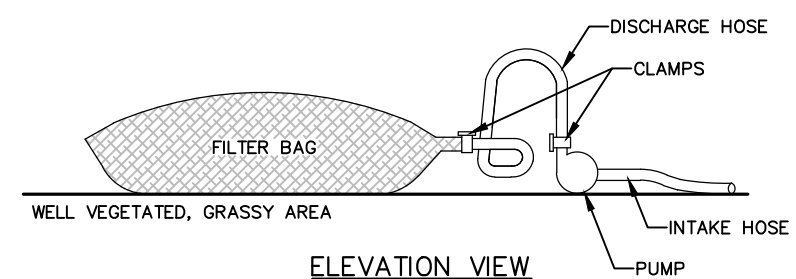
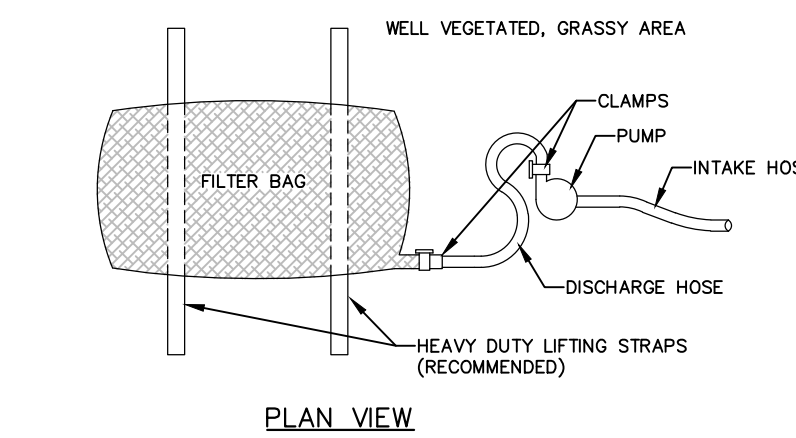
1. EROSION AND SEDIMENT POLLUTION CONTROL (ESPC) MEASURES AND PRACTICES INCLUDING BUT NOT LIMITED TO FILTER FABRIC FENCE, ROCK CONSTRUCTION ENTRANCE, TOPSOIL STOCKPILES AND TEMPORARY AND PERMANENT SEEDING SHALL BE INSTALLED AND MAINTAINED IN STRICT ACCORDANCE WITH PENNDOT EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL, REVISED MARCH 2000. CONTRACTOR SHALL BE RESPONSIBLE TO IMMEDIATELY EMPLOY ANY AND ALL ADDITIONAL CONTROL MEASURES WHEN AND IF DETERMINED NECESSARY DURING CONSTRUCTION TO PREVENT THE TRANSPORT OF SEDIMENT BEYOND THE LIMITS OF THE SUBJECT PROPERTY.
2. THE PROJECT SITE IS TRIBUTARY TO A SEGMENT OF THE NANCY RUN WITH A DESIGNATED USE OF HIGH QUALITY COLD WATER FISHES, MIGRATORY FISHES (HQ-CWF, WF).
3. ESPC BMPs SHALL BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL PRIOR TO ANY SITE DISTURBANCE WITHIN THE RESPECTIVE TRIBUTARY AREAS OF THESE DEVICES.
4. ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED SHALL BE IMMEDIATELY TEMPORARILY STABILIZED. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATE.
5. ANY AREA THAT SHOWS SIGNS OF EROSION OR DAMAGE AFTER TEMPORARY OR PERMANENT STABILIZATION BUT PRIOR TO ESTABLISHMENT OF SUBSTANTIAL VEGETATIVE COVER SHALL BE IMMEDIATELY REGRADED AND RESTABILIZED WITH APPROVED TEMPORARY EROSION CONTROL MATTING.
6. 'STABILIZATION' SHALL BE DEFINED AS 'A MINIMUM 70 PERCENT UNIFORM PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS TO RESIST SLIDING OR OTHER MOVEMENTS'.
7. SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, CONTRACTOR SHALL TAKE ANY AND ALL NECESSARY CORRECTIVE ACTION TO REMEDY SUCH CONDITIONS.
8. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET AND STOCKPILE EMBANKMENT SLOPES SHALL NOT EXCEED 2:1.
9. UNTIL THE SITE IS STABILIZED, CONTRACTOR SHALL MAINTAIN ALL ESPC BMPs. MAINTENANCE SHALL INCLUDE INSPECTION OF ALL BMPs FOLLOWING EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ANY NECESSARY PREVENTATIVE AND REMEDIAL ACTIONS, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, AND REMULCHING, SHALL BE PERFORMED IMMEDIATELY UPON DISCOVERY OF NEED.
10. SEDIMENT WHICH HAS BEEN TRAPPED BY BMPs SHALL BE REMOVED AND REDISTRIBUTED ON THE PROJECT SITE IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED OR PLACED IN TOPSOIL STOCKPILES.
11. THE CAPACITY OF BMPs SHALL BE CHECKED WEEKLY AS WELL AS AFTER EACH RUNOFF EVENT UNTIL PERMANENT STABILIZATION HAS BEEN ACHIEVED WITHIN AREAS TRIBUTARY TO RESPECTIVE BMPs. ANY CONSTRUCTION DEBRIS OR OTHER UNSUITABLE MATERIAL SHALL BE REMOVED IMMEDIATELY UPON DISCOVERY AND DISPOSED OF IN ACCORDANCE WITH DEPARTMENT REGULATIONS.
12. TEMPORARY ESPC BMPs SHALL BE REMOVED ONCE PERMANENT STABILIZATION HAS BEEN ACHIEVED WITHIN ENTIRE AREAS TRIBUTARY TO RESPECTIVE BMPs. AREAS DISTURBED DURING REMOVAL OF BMPs SHALL BE IMMEDIATELY PERMANENTLY STABILIZED.
10. CONTRACTOR SHALL REMOVE FROM THE PROJECT SITE, RECYCLE OR DISPOSE OF ALL CONSTRUCTION MATERIALS AND WASTE IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS CONTAINED IN 25 PA CODE 2601 ET. SEC. 2713 ET. SEC. AND 2871 ET. SEC. CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP OR DISCHARGE ANY CONSTRUCTION MATERIALS OR WASTE ON THE PROJECT SITE.
11. ANY OFFSITE LOCATIONS UTILIZED BY CONTRACTOR TO OBTAIN OR DISPOSE OF EXCAVATED FILL MATERIAL SHALL HAVE AN ACTIVE AND FULLY IMPLEMENTED EROSION AND SEDIMENTATION CONTROL PLAN APPROVED BY THE GOVERNING CONSERVATION DISTRICT.
12. ALL ESPC BMPs SHALL BE ENTIRELY LOCATED WITHIN THE BOUNDARIES OF THE SUBJECT PROPERTY, PUBLIC RIGHTS-OF-WAY, OR EASEMENTS OF RECORD. ESPC BMPs SEEMINGLY DEPICTED HEREIN ON ADJACENT PRIVATE PROPERTY APPEAR AS SUCH FOR PURPOSES OF PLAN CLARITY ONLY.

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**ESPC PLAN**  
**LAND DEVELOPMENT**  
**LANDS N/F NASER KODZA**  
2039 CLERMONT STREET  
BETHLEHEM CITY  
NORTHAMPTON COUNTY, PENNSYLVANIA

DESIGNED BY:	KJH
DRAWN BY:	KJH
CHECKED BY:	KJH
DATE:	APR. 4, 2022
SCALE:	1" = 20'
KCE JOB NO.:	CB-19-078
SHEET:	LDS OF 6



**NOTES:**

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH DOUBLE STITCHED "7" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 100 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRASS TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PS
UV RESISTANCE	ASTM D-4355	70%
AGS % RETAINED	ASTM D-4751	80 SEIVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS, WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 10% FOR SLOPES EXCEEDING 10% CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE ITS STRENGTH.

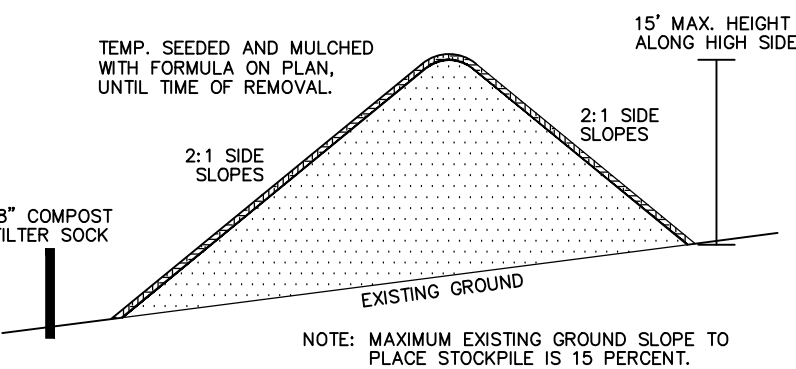
NO DOWNPOUR SEDIMENT BARRIERS ARE REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HO OR EY WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

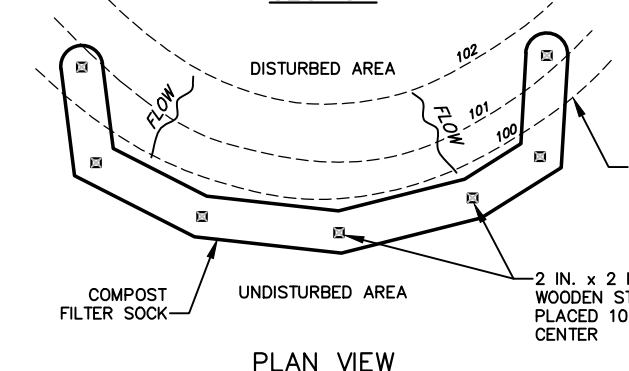
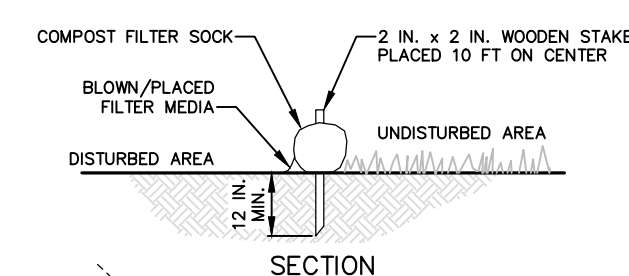
FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

**STANDARD CONSTRUCTION DETAIL #3-16**  
PUMPED WATER FILTER BAG  
NOT TO SCALE



- NOTES:**
- INSPECTED STOCKPILED TOPSOIL AND FILL MATERIAL ON A DAILY BASIS AND AFTER EVERY RUNOFF EVENT. MAKE ADJUSTMENTS IMMEDIATELY.
  - ALL STOCKPILES WILL BE TEMPORARILY SEEDED AND MULCHED AT ALL TIMES.

**CONSTRUCTION DETAIL #9-1**  
SPECIAL CONSTRUCTION STOCKPILED TOPSOIL AND FILL MATERIAL  
NOT TO SCALE



ORGANIC MATTER CONTENT	25%-100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS & ELONGATED
pH	5.5-8.5
MOISTURE CONTENT	30%-60%
PARTICLE SIZE	30-100 PASS THROUGH 3/8" SIEVE
SOLUBLE SALT CONCENTRATION	5.0 MG MAXIMUM

**NOTES:**

SOCK FABRIC SHALL MEET STANDARDS OF TABLE A.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 6 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER. ALTERNATE SLOPE LENGTHS ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

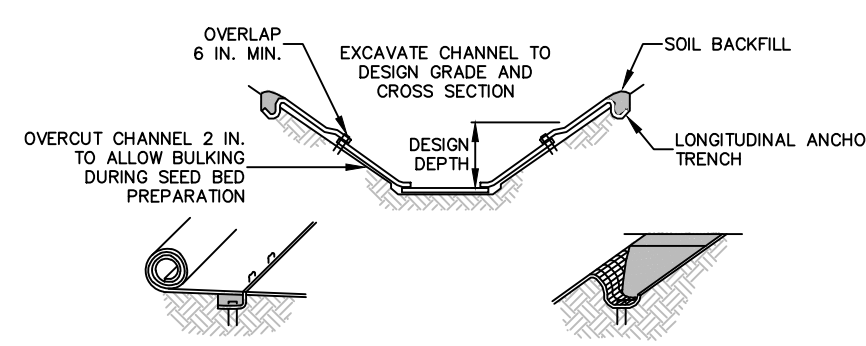
ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

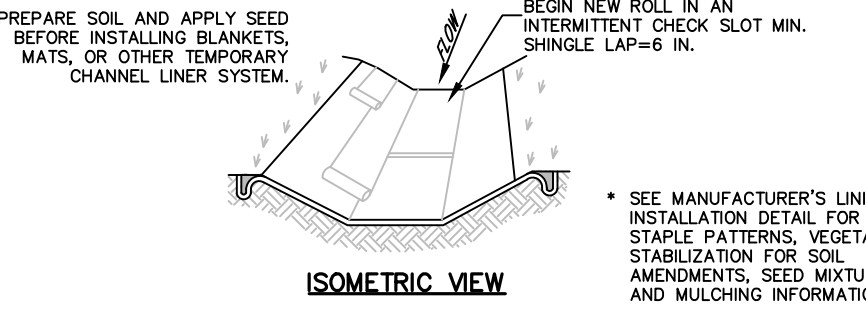
BIOERODABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTOERODABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

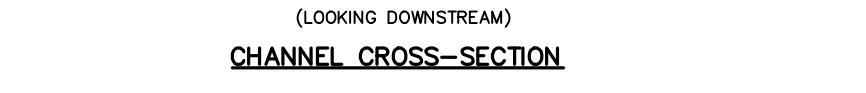
**STANDARD CONSTRUCTION DETAIL #4-1**  
COMPOST FILTER SOCK  
NOT TO SCALE



**INTERMITTENT CHECK SLOT**



**LONGITUDINAL ANCHOR TRENCH**



**CHANNEL CROSS-SECTION**

**NOTES:**

ANCHOR TRENCHES SHALL BE INSTALLED AT BEGINNING AND END OF CHANNEL IN THE SAME MANNER AS LONGITUDINAL ANCHOR TRENCHES.

CHANNEL DIMENSIONS SHALL BE CONSTANTLY MAINTAINED. CHANNEL SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 25% AT ANY LOCATION. SEDIMENT DEPOSITS SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS SOIL CONDITIONS PERMIT ACCESS TO CHANNEL WITHOUT FURTHER DAMAGE. DAMAGED LINING SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF DISCOVERY.

NO MORE THAN ONE THIRD OF THE SHOOT (GRASS LEAF) SHALL BE REMOVED IN ANY MOWING. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED. EXCESS VEGETATION SHALL BE REMOVED FROM PERMANENT CHANNELS TO ENSURE SUITABLE CHANNEL CAPACITY.

THE BURLAP SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. (STAPLE PATTERN "D")

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS, WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 10% FOR SLOPES EXCEEDING 10% CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE ITS STRENGTH.

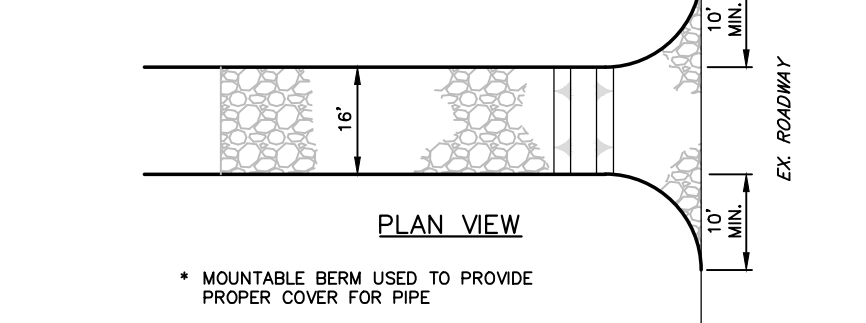
NO DOWNPOUR SEDIMENT BARRIERS ARE REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HO OR EY WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

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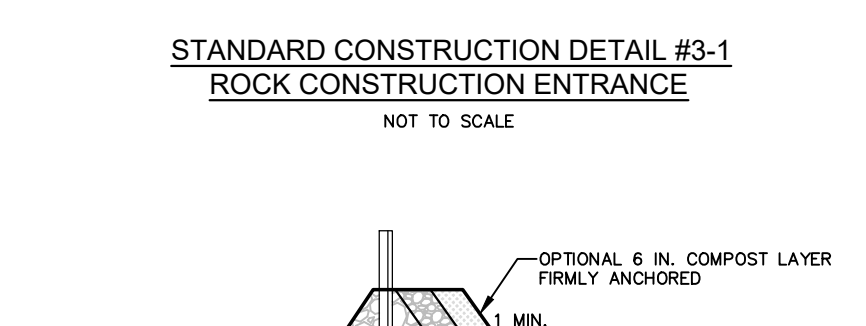
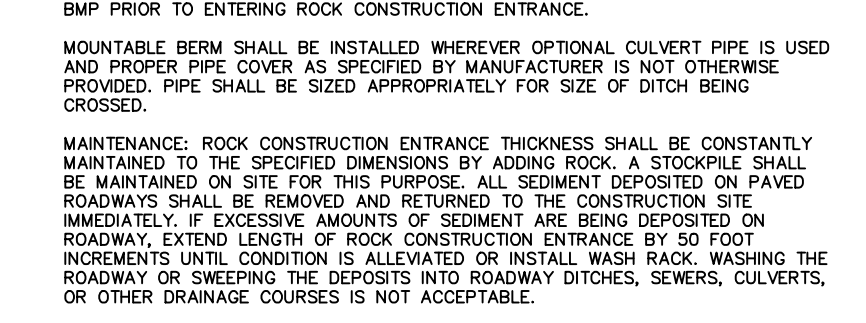
THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

**STANDARD CONSTRUCTION DETAIL #6-1**  
VEGETATED CHANNEL  
NOT TO SCALE



**STANDARD CONSTRUCTION DETAIL #3-1**  
ROCK CONSTRUCTION ENTRANCE  
NOT TO SCALE



ORGANIC MATTER CONTENT	25%-100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS & ELONGATED
pH	5.5-8.5
MOISTURE CONTENT	30%-60%
PARTICLE SIZE	30-100 PASS THROUGH 3/8" SIEVE
SOLUBLE SALT CONCENTRATION	5.0 MG MAXIMUM

**NOTES:**

SOCK FABRIC SHALL MEET STANDARDS OF TABLE A.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 6 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER. ALTERNATE SLOPE LENGTHS ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

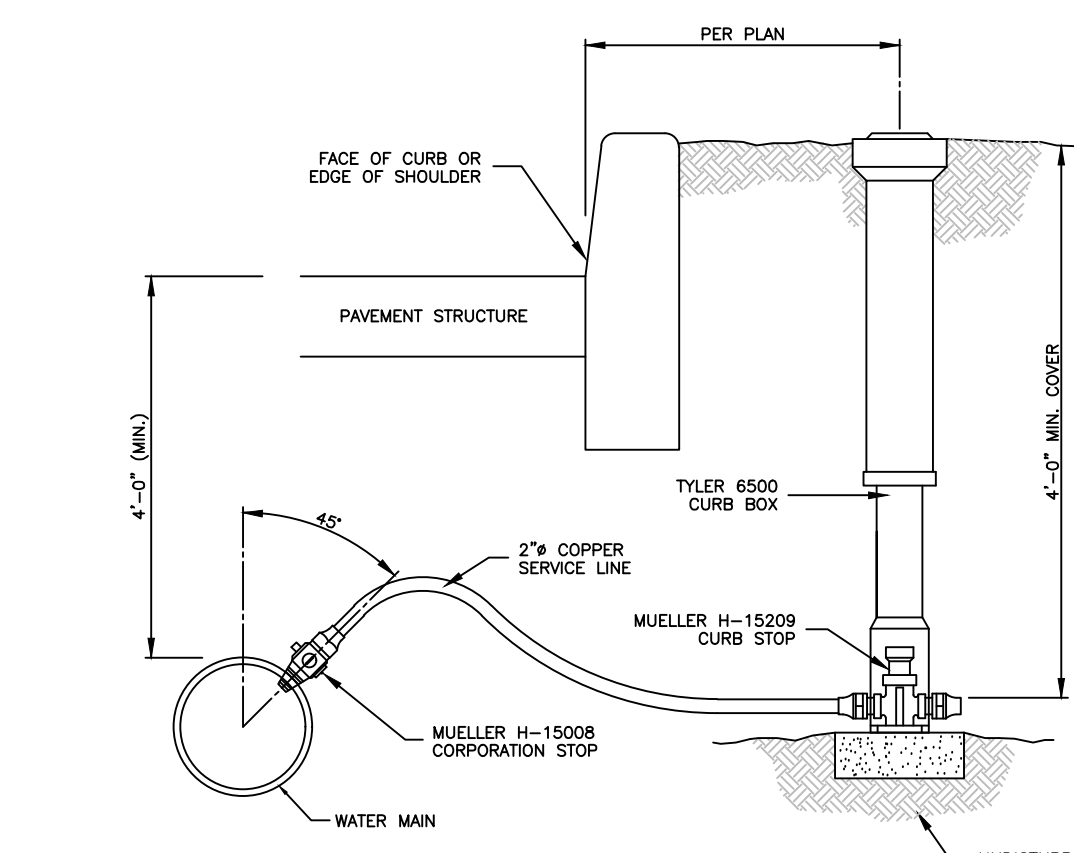
ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIOERODABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTOERODABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

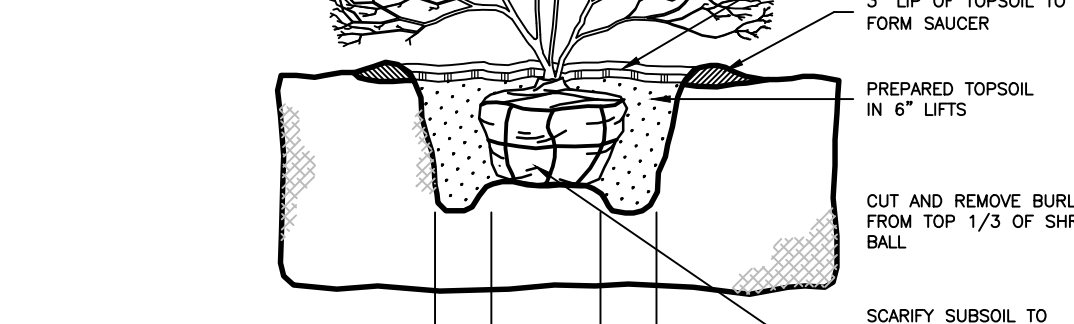
**STANDARD CONSTRUCTION DETAIL #4-6**  
ROCK FILTER OUTLET  
NOT TO SCALE



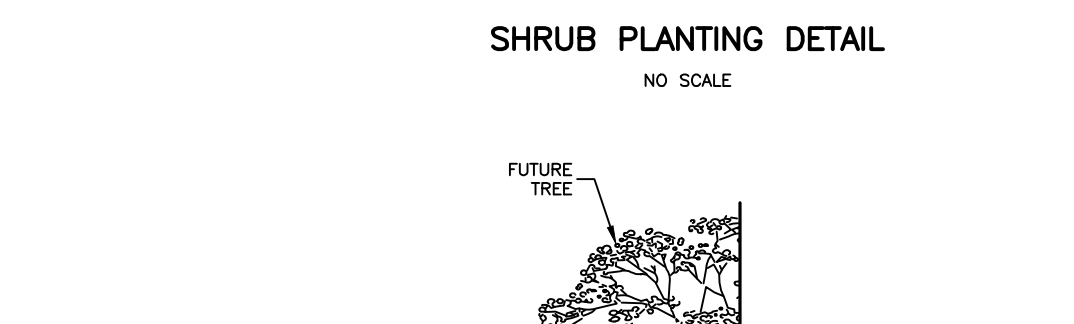
**WATER SERVICE CONNECTION DETAIL**  
NO SCALE



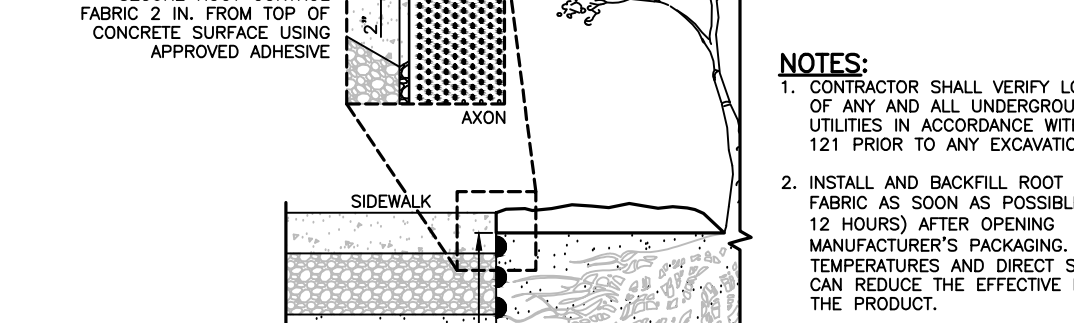
**SHRUB PLANTING DETAIL**  
NO SCALE



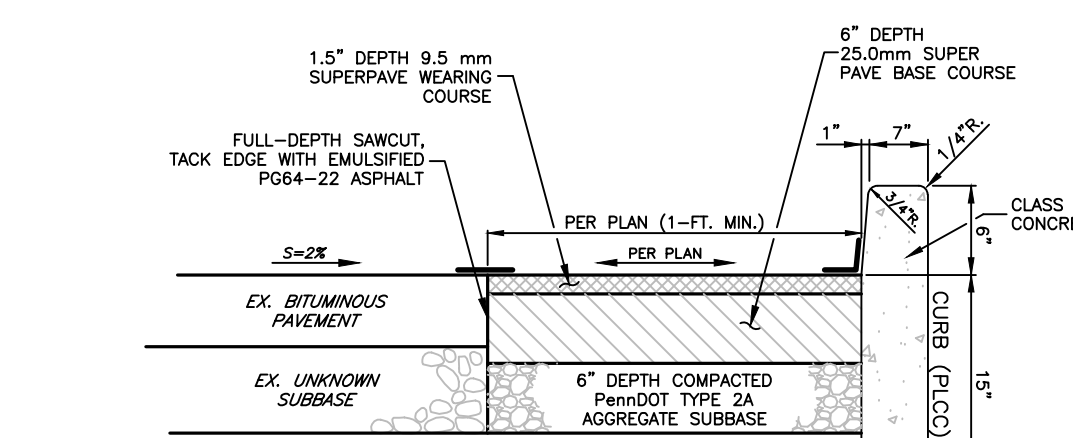
**ROOT BARRIER FABRIC INSTALLATION DETAIL**  
NO SCALE



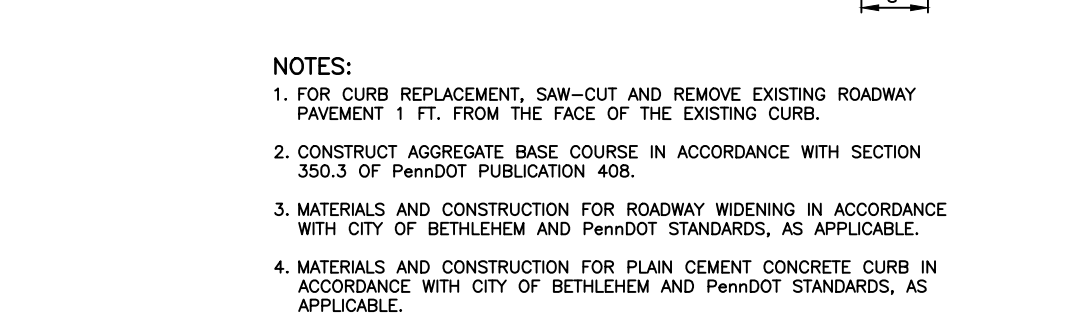
**PIPE BEDDING DETAIL**  
NO SCALE



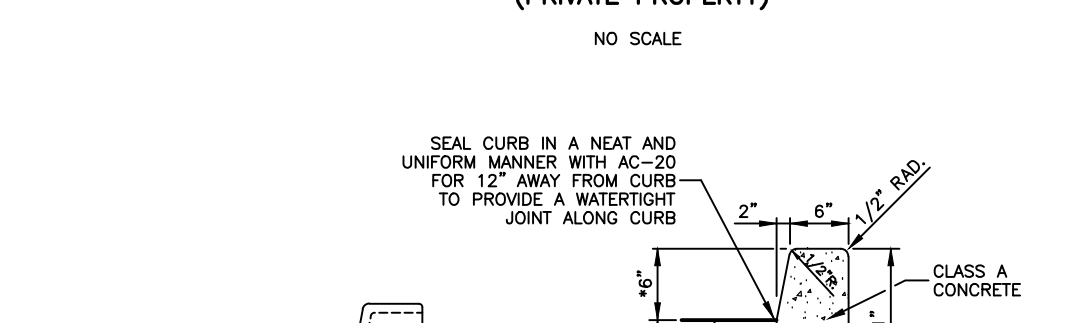
**REFUSE AREA ENCLOSURE DETAIL**  
NO SCALE



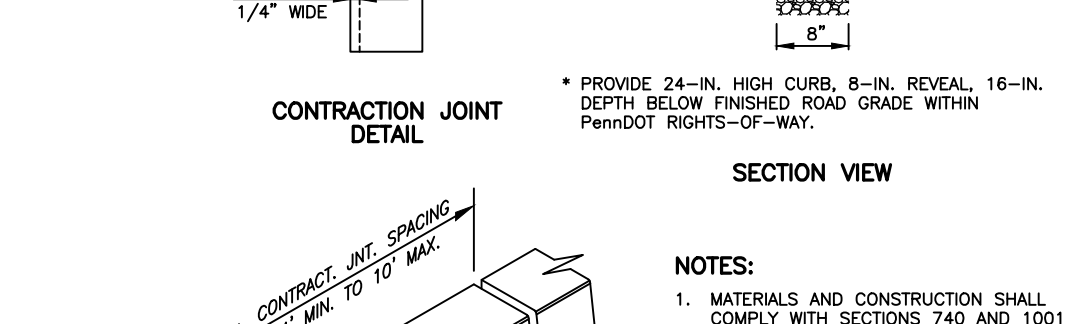
**PAVEMENT WIDENING & CURB INSTALLATION DETAIL**  
(PRIVATE PROPERTY)  
NO SCALE



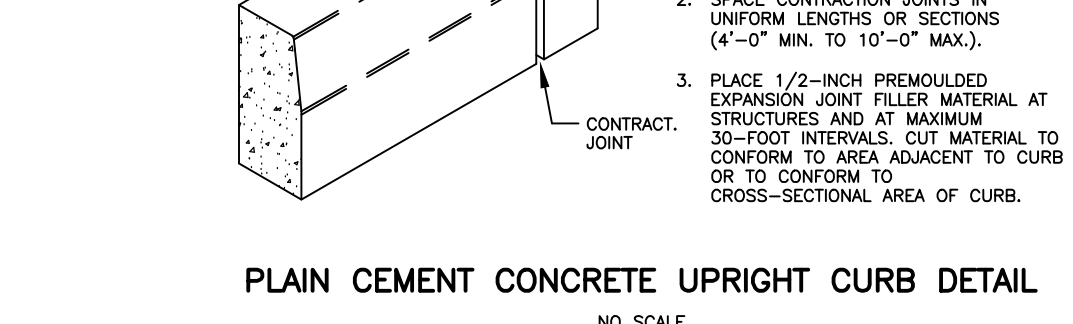
**CONCRETE SIDEWALK SECTION DETAIL**  
(PRIVATE PROPERTY)  
NO SCALE



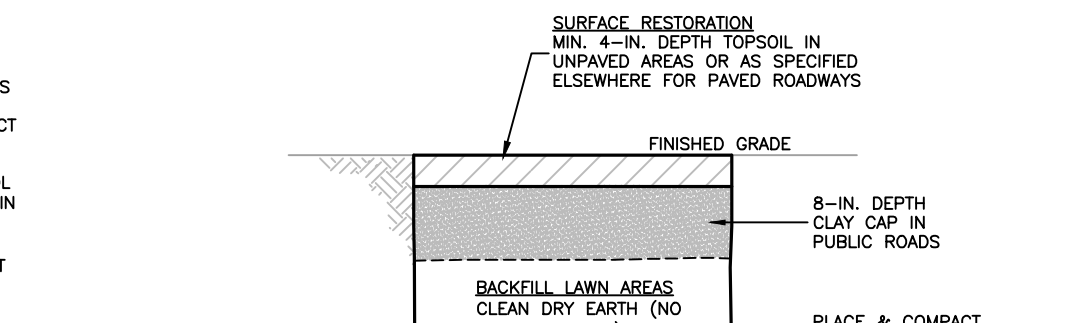
**PLAIN CEMENT CONCRETE UPRIGHT CURB DETAIL**  
NO SCALE



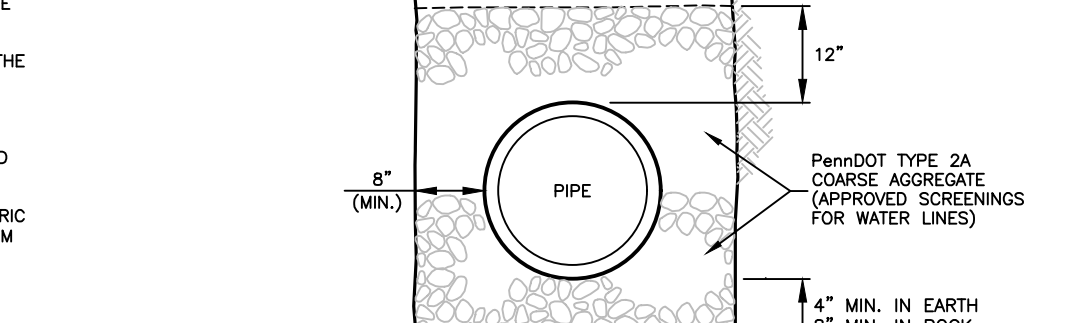
**TRENCH RESTORATION DETAIL**  
(MUNICIPAL ROADWAYS)  
NO SCALE



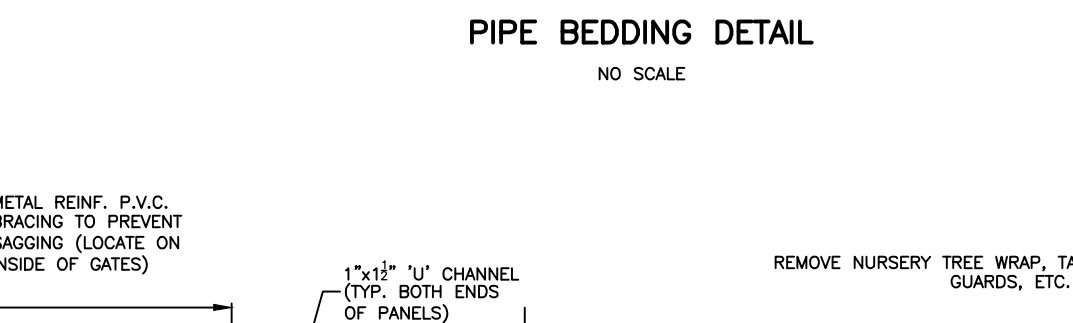
**DEPRESSED CURB - FRONT ELEVATION**



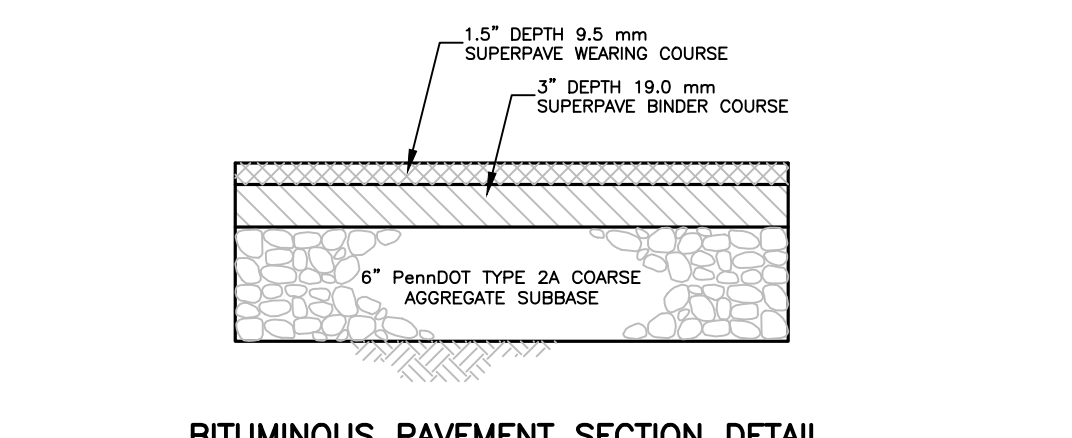
**TAPERED END SECTION**



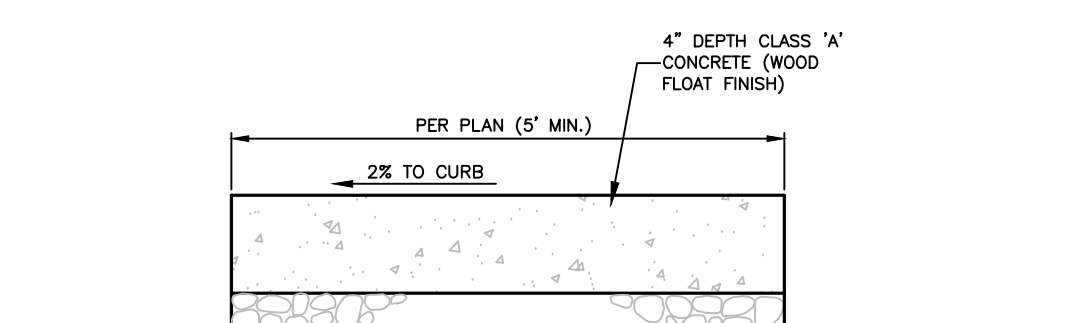
**DEPRESSED CURB - SECTION 'A-A'**



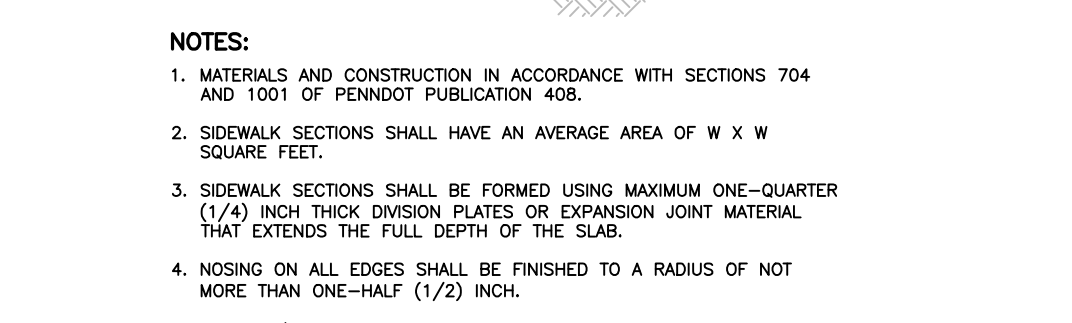
**TREE PLANTING AND STAKING DETAIL**  
NO SCALE



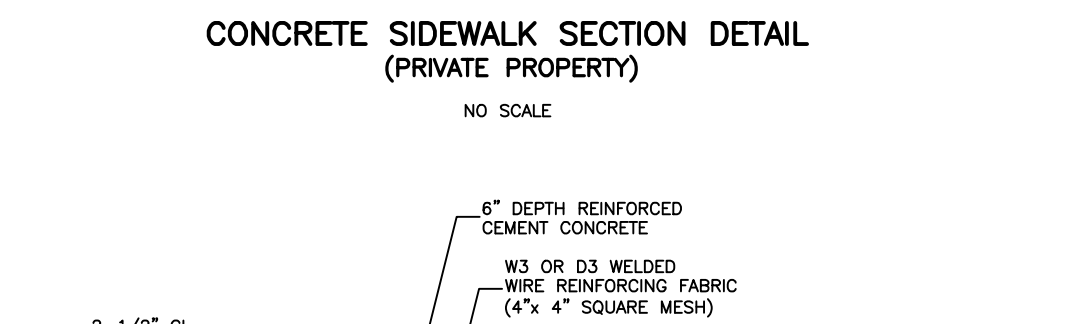
**BITUMINOUS PAVEMENT SECTION DETAIL**  
(PRIVATE PROPERTY - STANDARD-DUTY)  
NO SCALE



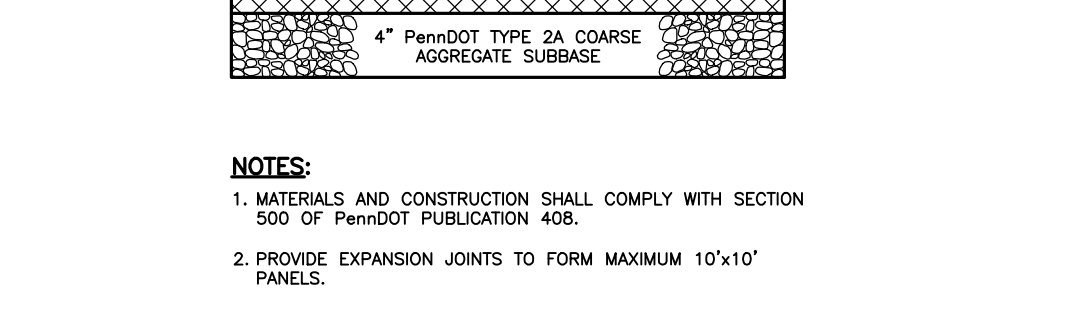
**PLAIN CEMENT CONCRETE UPRIGHT CURB DETAIL**  
NO SCALE



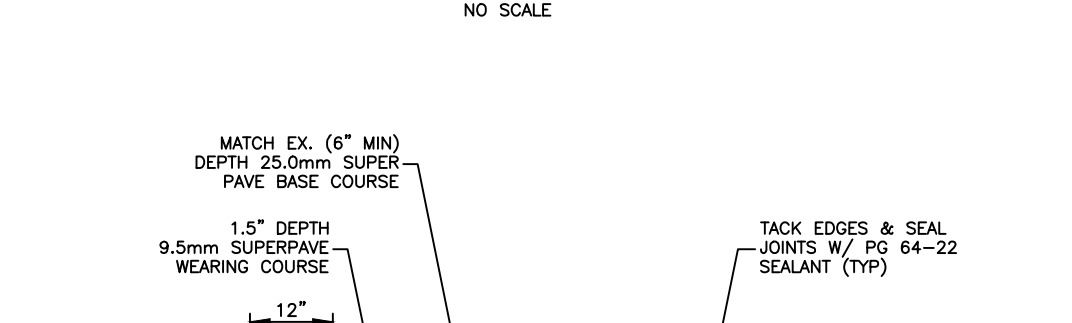
**TRENCH RESTORATION DETAIL**  
(MUNICIPAL ROADWAYS)  
NO SCALE



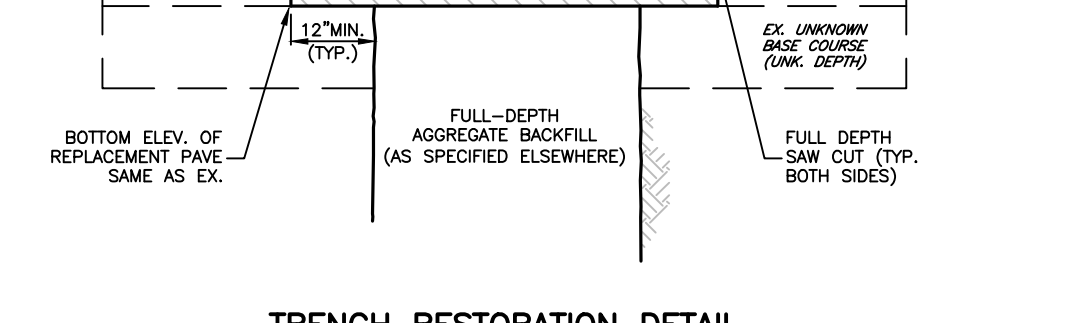
**DEPRESSED CURB - FRONT ELEVATION**



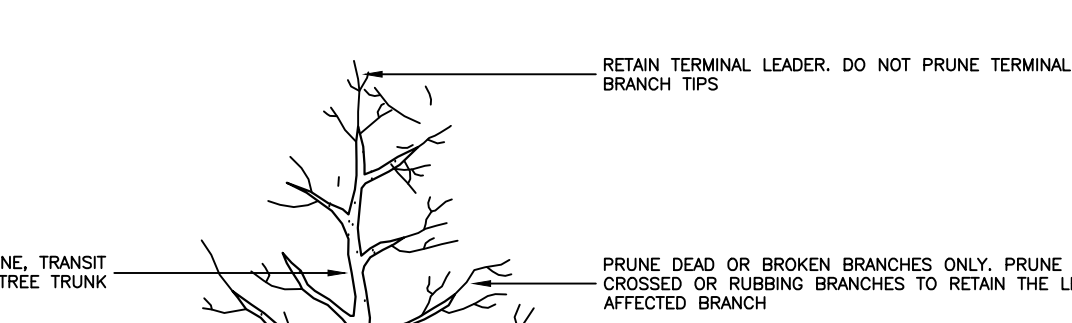
**TAPERED END SECTION**



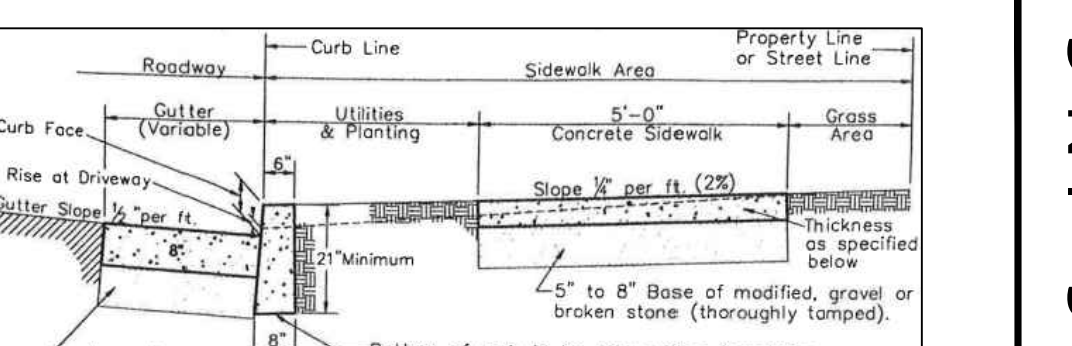
**DEPRESSED CURB - SECTION 'A-A'**



**TREE PLANTING AND STAKING DETAIL**  
NO SCALE



**PLAIN CEMENT CONCRETE CURB DETAILS**  
NO SCALE



**CONSTRUCTION STANDARD NO. 1**  
FOR CONCRETE CURB, GUTTER AND SIDEWALK

**GENERAL REQUIREMENTS:**

See Concrete (Bituminous) Construction for all Curb, Gutter and Sidewalk. Concrete Mix to be Class A Concrete 3300/6 Bag Mix - 5.6 Gall. Water per bag throughout; use proper job mixing procedure. No stop.

Curb: 21" Depth with approved finish on top and exposed face.

Gutter: 8" Depth - Slope of Gutter 1/2" rise per foot away from curb.

Sidewalk: Thickness - Residential Areas - 2". Business and Industrial Areas - 6". At Residential Driveways - 6". At Business and Industrial Driveways - 8".

Finish - Use a float and broom finish to produce a skid resistant surface.

Slope - Walk and Parkway Areas 1/4" per foot (2%)

On Grades of 5% or more, produce a rougher finish.

Expansion and Contraction Joints: See City Construction Standard No. 1a.

Handicapped Slopes: Required on all Road in accordance with current ADA requirements.

Stripes: See City Standard Driveway Entrance and Apron Schedules.

Excavation - When excavating in the curbside of a City street, a clean, full depth cut - by jack hammering or sawcutting - shall be made in the street between the affected and the unaffected work areas. Further, final restoration in the affected area of the street shall consist of creating a new clean modified stone, and properly compacting the top to the elevation of the top of the subbase (i.e. bottom of the base course of the macrolite), but no higher than 3-inches below the finish grade-level as required to provide reasonable temporary access to driveways.

Warrant of Survey - Procured from the City Engineer's Office, for establishing Line & Grades, Stakes to be protected by applicant and used within 30 days.

Excavation Permits - Procured from the City Engineer's Office, for Sidewalk and driveway construction.

DETAIL REQUIREMENTS:

For further details and other requirements see the following documents on file in the Office of the City Engineer:

- Standard Specifications for the Construction of Concrete Curb, Gutter and Sidewalk.
- Codified Ordinances of the City of Bethlehem, Articles 903 and 909.

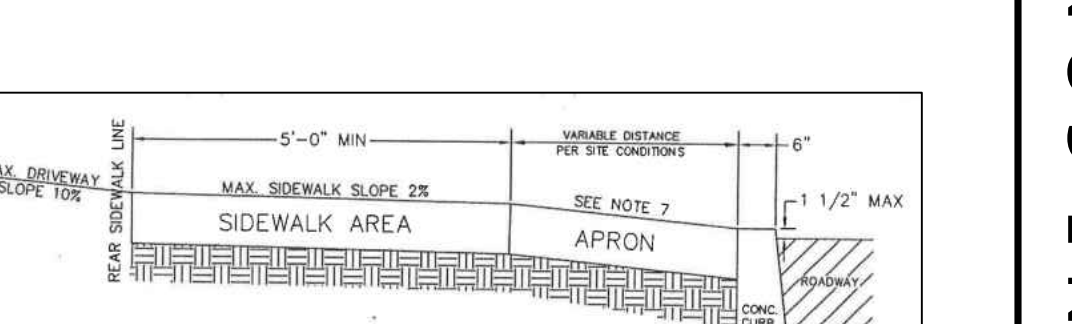
**NOTES:**

- MATERIALS AND CONSTRUCTION IN ACCORDANCE WITH SECTIONS 704 AND 1001 OF PENNDOT PUBLICATION 408.
- SIDEWALK SECTIONS SHALL HAVE AN AVERAGE AREA OF W X W SQUARE FEET.
- SIDEWALK SECTIONS SHALL BE FORMED USING MAXIMUM ONE-QUARTER (1/4) INCH THICK DIVISION PLATES OR EXPANSION JOINT MATERIAL THAT EXTENDS THE FULL DEPTH OF THE SLAB.
- MOWING ON ALL EDGES SHALL BE FINISHED TO A RADIUS OF NOT MORE THAN ONE-HALF (1/2) INCH.
- PLACE 1/2-INCH PREMOULDED BITUM. EXPANSION JOINT MATERIAL AT STRUCTURES (INCLUDING EXISTING SIDEWALK). TRIM MATERIAL TO CONFORM TO FINISHED SIDEWALK CROSS-SECTION.

**CITY OF BETHLEHEM, PA**  
BUREAU OF ENGINEERING  
**CONSTRUCTION STANDARD NO. 1**  
FOR CONCRETE CURB, GUTTER AND SIDEWALK  
APPROVED: 12/14/14  
M. J. KRESGVILLE, CITY ENGINEER



**TYPE 1 DRIVEWAY ENTRANCE AND APRON**



**CONSTRUCTION STANDARD NO. 1**  
FOR CONCRETE CURB, GUTTER AND SIDEWALK

**GENERAL REQUIREMENTS:**

See Concrete (Bituminous) Construction for all Curb, Gutter and Sidewalk. Concrete Mix to be Class A Concrete 3300/6 Bag Mix - 5.6 Gall. Water per bag throughout; use proper job mixing procedure. No stop.

Curb: 21" Depth with approved finish on top and exposed face.

Gutter: 8" Depth - Slope of Gutter 1/2" rise per foot away from curb.

Sidewalk: Thickness - Residential Areas - 2". Business and Industrial Areas - 6". At Residential Driveways - 6". At Business and Industrial Driveways - 8".

Finish - Use a float and broom finish to produce a skid resistant surface.

Slope - Walk and Parkway Areas 1/4" per foot (2%)

On Grades of 5% or more, produce a rougher finish.

Expansion and Contraction Joints: See City Construction Standard No. 1a.

Handicapped Slopes: Required on all Road in accordance with current ADA requirements.

Stripes: See City Standard Driveway Entrance and Apron Schedules.

Excavation - When excavating in the curbside of a City street, a clean, full depth cut - by jack hammering or sawcutting - shall be made in the street between the affected and the unaffected work areas. Further, final restoration in the affected area of the street shall consist of creating a new clean modified stone, and properly compacting the top to the elevation of the top of the subbase (i.e. bottom of the base course of the macrolite), but no higher than 3-inches below the finish grade-level as required to provide reasonable temporary access to driveways.

Warrant of Survey - Procured from the City Engineer's Office, for establishing Line & Grades, Stakes to be protected by applicant and used within 30 days.

Excavation Permits - Procured from the City Engineer's Office, for Sidewalk and driveway construction.

DETAIL REQUIREMENTS:

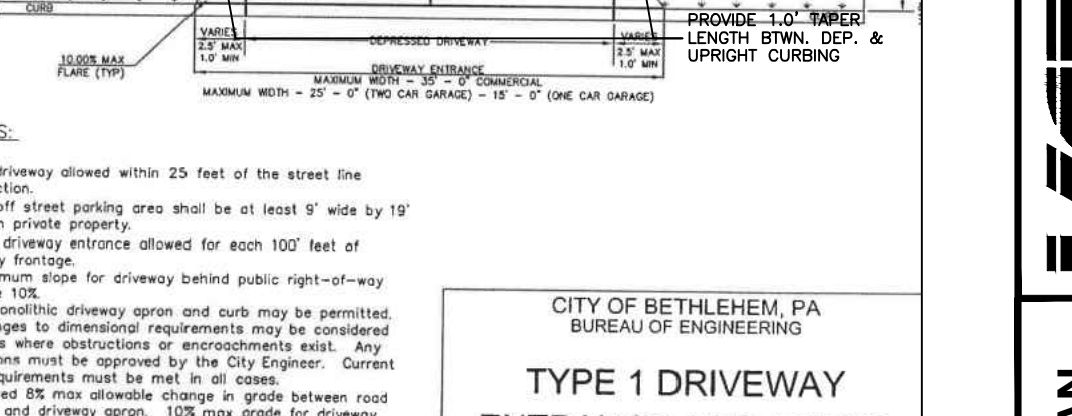
For further details and other requirements see the following documents on file in the Office of the City Engineer:

- Standard Specifications for the Construction of Concrete Curb, Gutter and Sidewalk.
- Codified Ordinances of the City of Bethlehem, Articles 903 and 909.

**NOTES:**

- MATERIALS AND CONSTRUCTION SHALL COMPLY WITH SECTION 500 OF PENNDOT PUBLICATION 408.
- PROVIDE EXPANSION JOINTS TO FORM MAXIMUM 10'x10' PANELS.
- PROVIDE 24-IN. HIGH CURB, 8-IN. REVEAL, 16-IN. DEPTH BELOW FINISHED ROAD GRADE WITHIN PENNDOT RIGHTS-OF-WAY.

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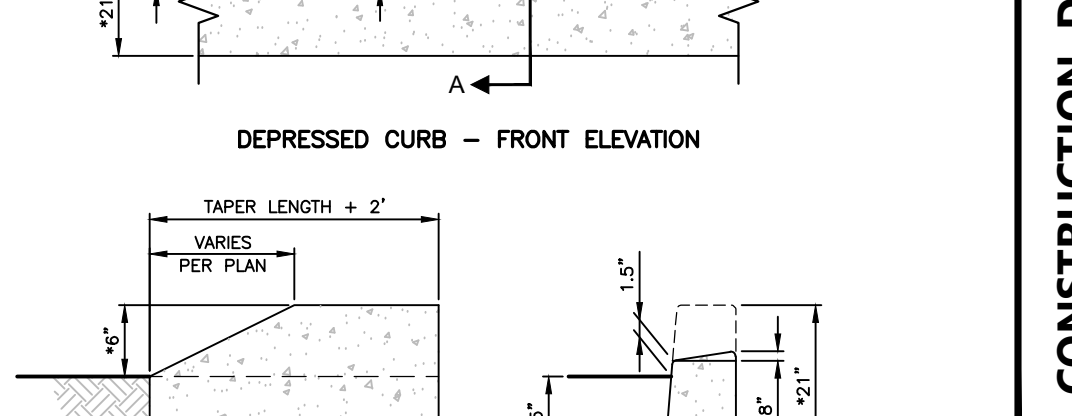
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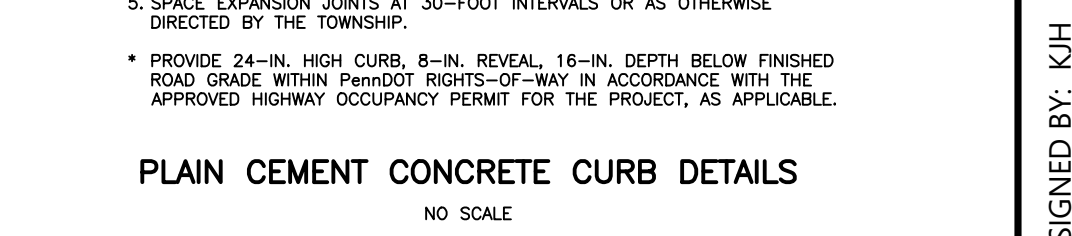
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**KEYSTONE CONSULTING ENGINEERS, INC.**  
Engineering firm of choice since 1972  
2870 EMRICK BOULEVARD, BETHLEHEM, PA 18020  
Bethlehem, Allentown, Kresgville  
www.kceinc.com



**CONSTRUCTION DETAILS AND SPECS PLAN**  
LAND DEVELOPMENT  
LANDS N/F NASER KODZA  
2039 CLERMONT STREET  
BETHLEHEM CITY  
NORTHAMPTON COUNTY, PENNSYLVANIA

DESIGNED BY:	KJH
DRAWN BY:	KJH
CHECKED BY:	KJH
DATE:	APR. 4, 2022
SCALE:	AS NOTED
KCE JOB NO.:	CB-19-078
SHEET:	LD6 OF 6

REVISIONS	DATE
BY: KJH	05/03/2022