

PRELIMINARY / FINAL LAND DEVELOPMENT PLAN

FOR

MACADA PARTNERS, LLC

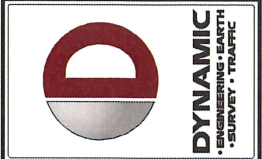
PROPOSED APARTMENTS

PARCEL NO. N6SE1B 3 1 0204

1763 MADISON AVENUE

CITY OF BETHLEHEM

NORTHAMPTON COUNTY, PENNSYLVANIA



REV.	DATE	COMMENTS
1	03/14/22	REVISED PER CITY AND LPMC COMMENTS

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION!

DATE: _____

DESIGNED BY: _____

CHECKED BY: _____

DRAWN BY: _____

PROJECT: **MACADA PARTNERS, LLC PROPOSED APARTMENTS**

PARCEL NO. N6SE1B 3 1 0204

1763 MADISON AVENUE

CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA

811 SERIAL # 20212040260 PROTECT YOURSELF

ALL STATES REQUIRE INTERFERENCE BY DIGITARY DESIGNERS OR ANY PERSON PERFORMING TO EXCAVATE THE GROUND'S SURFACE ANYWHERE IN ANY STATE

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

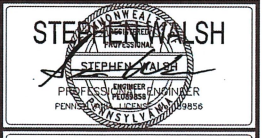
DYNAMIC ENGINEERING

LAND DEVELOPMENT CONSULTING • PERMITTING
 GEOTECHNICAL • ENVIRONMENTAL
 TRAFFIC • SURVEY • PLANNING & ZONING

95 Highland Avenue, Suite 170
 Bethlehem, PA 18017
 T: 215.253.4888 | F: 247.685.0361

Offices conveniently located at:

www.dynamiccec.com



TITLE: **COVER SHEET**

SCALE: AS NOTED DATE: 12/15/2021

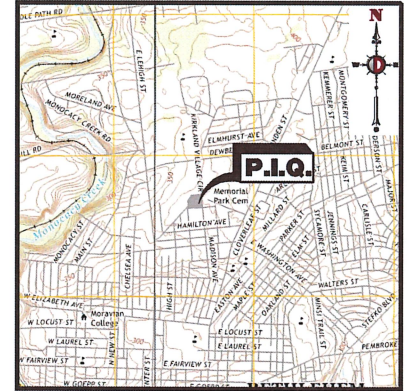
PROJECT No: 393699001

SHEET No: **1** Rev. #: **1**

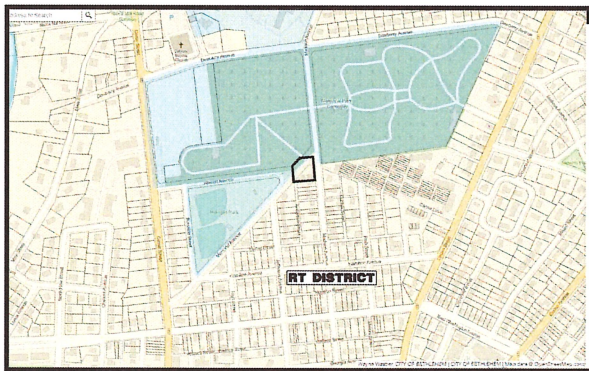
OF 15



AREA MAP
1" = 50'



USGS MAP
1" = 1000'



LOCATION MAP
1" = 600'

DRAWING INDEX	
COVER SHEET (RECORD PLAN 1 OF 3)	01 of 15
EXISTING CONDITIONS & DEMOLITION PLAN	02 of 15
LOT LINE ADJUSTMENT PLAN (RECORD PLAN 2 OF 3)	03 of 15
SITE PLAN (RECORD PLAN 3 OF 3)	04 of 15
GRADING PLAN	05 of 15
UTILITY PLAN	06 of 15
LIGHTING PLAN	07 of 15
LANDSCAPING PLAN	08 of 15
CONSTRUCTION DETAILS	09 of 15
CONSTRUCTION DETAILS	10 of 15
CONSTRUCTION DETAILS	11 of 15
EROSION & SEDIMENT CONTROL PLAN	12 of 15
EROSION CONTROL DETAILS	13 of 15
TRASH TRUCK VEHICLE CIRCULATION PLAN	14 of 15
FIRE TRUCK VEHICLE CIRCULATION PLAN	15 of 15

Revisions marked throughout plan set

CERTIFICATION OF OWNERSHIP

I, THE UNDERSIGNED, BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT I (WE) AM (ARE) THE SOLE OWNER(S) OF THE ABOVE PROPERTY IN FEUDAL POSSESSION OF THE SAME AND THAT THERE ARE NO SAITS OR LIENS PENDING AFFECTING THE TITLE THEREOF.

OTHERS SIGNATURE _____

OTHERS SIGNATURE _____

SWORN TO AND SUBSCRIBED BEFORE ME THIS _____ DAY OF _____, 2021.

SEAL _____

BY COMMISSION EXPIRES ON _____

PROFESSIONAL ENGINEER'S OR SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND THERE AFFILIATE, THE LOTS, BUILDINGS, STREETS, PARKING AREAS, DRAINAGES, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN THEREON.

PROFESSIONAL ENGINEER'S OR SURVEYOR'S SIGNATURE _____

RESIDENCE NUMBER _____

SEAL _____

CITY OF BETHLEHEM PLANNING COMMISSION

THIS PLAN APPROVED BY THE CITY OF BETHLEHEM PLANNING COMMISSION:

SECRETARY _____ DATE _____

CHAIRMAN _____ DATE _____

LEHIGH VALLEY PLANNING COMMISSION

REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION:

PLANNER _____ DATE _____

RECORDER OF DEEDS

THIS PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR NORTHAMPTON COUNTY THIS _____ DAY OF _____, 2021.

PLAN BOOK _____ VOLUME _____ PAGE _____

RECORDER OF DEEDS _____

CITY RECORDER OF DEEDS RECORDING BLOCK

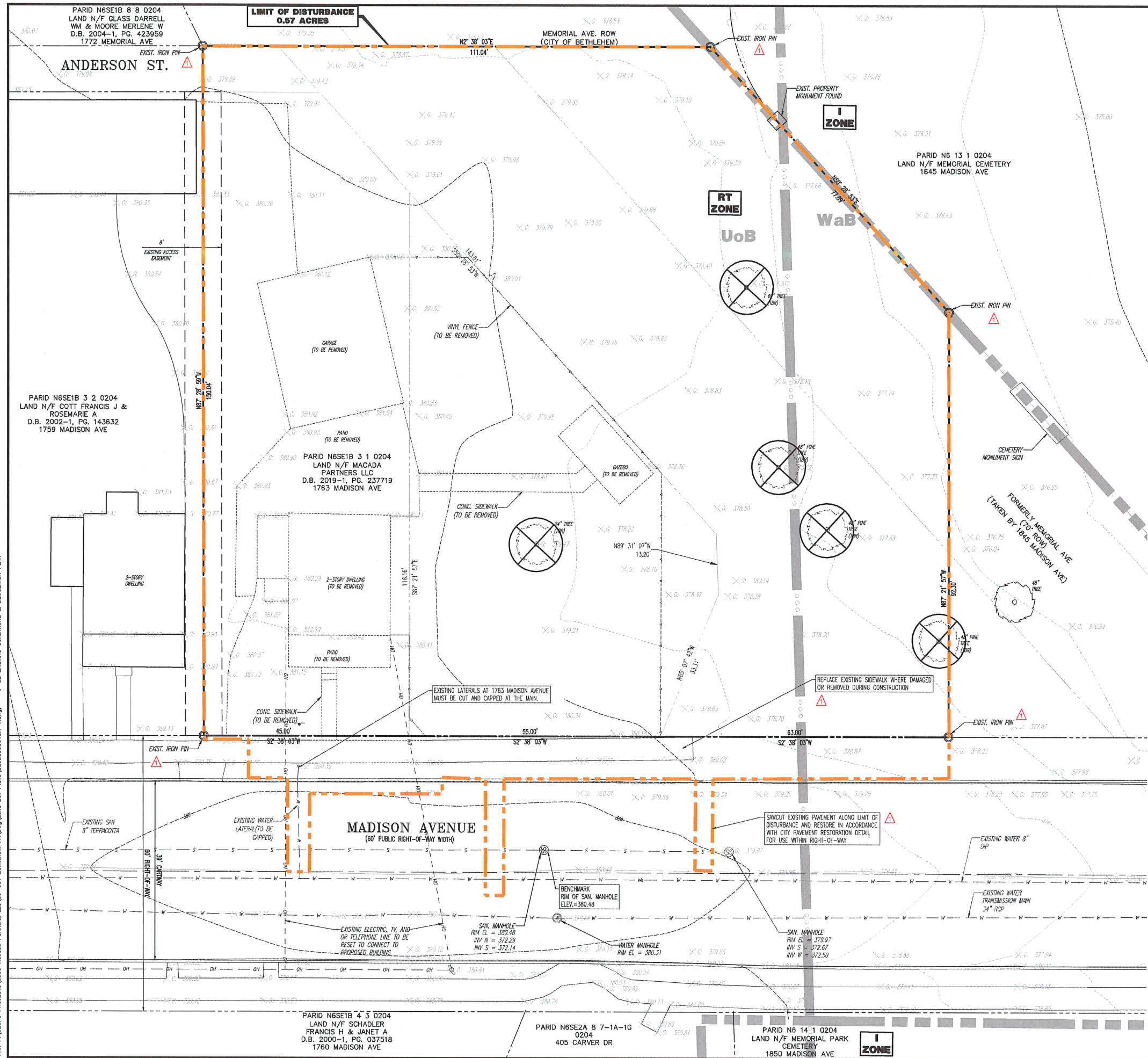
PREPARED BY

DYNAMIC ENGINEERING CONSULTANTS, P.C.

95 HIGHLAND AVENUE, SUITE 170

BETHLEHEM, PA 18017

WWW.DYNAMICCEC.COM



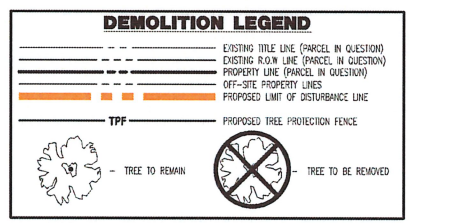
DEMOLITION NOTES

1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
3. COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TERRACE BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
4. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
5. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND BY MEANS OF HOISTS, BERRICKS OR OTHER SUITABLE METHODS.
6. BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
7. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
8. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT STRUCTURES, IF APPLICABLE).
9. DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, INCLUDING BASEMENTS, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PAVEMENT OR BREAK BASEMENT FLOOR SLABS. SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO REVEN STRUCTURE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT, CRAWL SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS SHALL BE DEMOLISHED BY OWNER IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
10. ERECT AND MAINTAIN COVERED PASSAGEWAYS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
11. REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
12. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, ALLEYS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
13. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DEBRIS BEING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
14. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
15. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOLOGICAL REPORT, CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
16. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE MATERIALS. REMOVE MATERIALS SHALL NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
17. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION WORK FOR POSITIVE ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES BEFORE THE COMMENCEMENT OF DEMOLITION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PROPERTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
18. THIS DEMOLITION PLAN IS INTENDED TO DEPICT THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.
19. UNDERGROUND AND ABOVE GROUND FEATURES TO REMAIN WITHIN LIMITS OF DEMOLITION SHALL BE IDENTIFIED AND MARKED IN THE FIELD PRIOR TO BEGINNING SITE DEMOLITION.
20. CONTRACTOR TO COORDINATE WITH SUPERVISOR TO RESET SITE BENCHMARKS AS NECESSARY.
21. THE 8 FT WIDE EXISTING ACCESS EASEMENT AS DEPICTED ALONG THE COMMON PROPERTY LINE BETWEEN 1759 AND 1763 MADISON AVENUE IS DESCRIBED WITHIN 89-2002-1 PAGE 143632 AND 05-751 PG 715, RECORDS WITH NORTHAMPTON COUNTY RECORDER OF DEEDS, AS 4 FT IN WIDTH ON EITHER SIDE OF THE COMMON PROPERTY LINE TO THE BENEFIT OF EACH PROPERTY IN QUESTION.

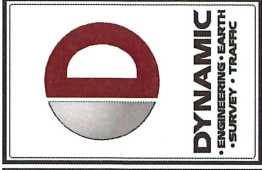
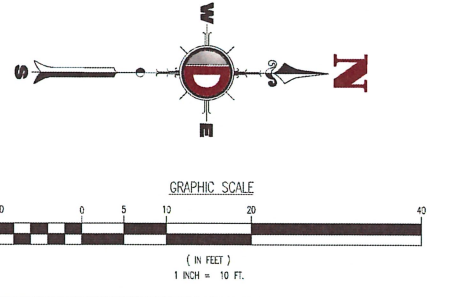
- NOTES**
1. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO PLACE A PA ONE CALL FOR DEMOLITION PURPOSES AND NOT IN ADVANCE OF ANY EXCAVATION.
 2. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
 3. ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.
 4. ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.

NRCS SOIL TABLE:

NORTHAMPTON COUNTY SOIL SURVEY INFORMATION		
SOIL TYPE (SYMBOL)	SOIL TYPE (NAME)	HYDROLOGIC SOIL GROUP (HSG)
UoB	URBAN LAND-DUFFLED COMPLEX, 0 TO 8 PERCENT SLOPES	B
WaB	WASHINGTON SLOPE, 3 TO 8 PERCENT SLOPES	B



- ADJACENT PROPERTY OWNERS LIST**
1. PARID NESE2A 8 7-1A 0204 LAND N/F KOLUNOWSKI GEORGE S & SKRANGINA NANCI S D.B. 2001-1, PG. 240592 417 CARVER DR
 2. PARID NESE2A 8 7-1B 0204 LAND N/F SCHOFFER RON B D.B. 2018-1, PG. 180524 415 CARVER DR
 3. PARID NESE2A 8 7-1C 0204 LAND N/F CLON DAVID C & LUCIANE D.B. 2014-1, PG. 172207 415 CARVER DR
 4. PARID NESE2A 8 7-1D 0204 LAND N/F CLON JANE B D.B. 2011, PG. 020501 411 CARVER DR
 5. PARID NESE2A 8 7-1E 0204 LAND N/F LAZON ALTHEA F D.B. 1995-1, PG. 001554 409 CARVER DR
 6. PARID NESE2A 8 7-1F 0204 LAND N/F BORING ROBERT & PATRICIA L D.B. 2008-1, PG. 020117 407 CARVER DR
 7. PARID NESE2A 8 7-1G 0204 LAND N/F MOGON-SHERI ANN D.B. 2013-1, PG. 020475 405 CARVER DR
- PA ONE-CALL INFO:**
- PA ONE CALL SERIAL #2021204260
LIST OF UTILITY USERS:
- BETHLEHEM CITY WATER DEPARTMENT 10 EAST CHURCH STREET BETHLEHEM PA 610-665-7075 ROBERT TAYLOR
 - PPL ELECTRIC UTILITIES CORPORATION 327 ROUSHAW ROAD ALLINTOWN, PA 18104 ATTN: JENNIFER PERDICK
 - SERVICE ELECTRIC CABLE TV, INC. 2240 AVENUE A BETHLEHEM, PA 18017
 - UGI UTILITIES INC. LEHIGH 2721 CITY LINE ROAD BETHLEHEM, PA 18017 610-666-0951
 - VERIZON PENNSYLVANIA INC. 900 RACE STREET 6TH FLOOR PHILADELPHIA, PA 19107



REV.	DATE	COMMENTS
1	05/14/2021	REVISED PER CITY AND LDC COMMENTS

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DESIGNED BY: SMMW
CHECKED BY: SMMW
DATE: 5/14/2021

PROJECT: MACADA PARTNERS, LLC
PROPOSED APARTMENTS
PARCEL NO. N6SE1B 3 1 0204
1763 MADISON AVENUE
CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA

811 PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF ENGINEERS, DESIGNERS, OR ANY PERSON WITHIN 48 HOURS OF THE EXISTING SURFACE WHERE IN ANY STATE
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING
GEO TECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING

95 Highland Avenue, Suite 170
Bethlehem, PA 18017
T: 215.263.4888 | F: 247.485.0341
Offices conveniently located at:

www.dynamiccec.com

STEPHEN WALSH
Professional Engineer
No. 1200000000
Professional Engineer
No. 1200000000
Professional Engineer
No. 1200000000

TITLE: EXISTING CONDITIONS & DEMOLITION PLAN

SCALE: 1" = 10'
DATE: 12/15/2021
PROJECT No: 393699001
SHEET No: 2
Rev. #: 1

Plotted: 04/01/22 12:03 PM By: swalsh
File: P:\DECPC PROJECTS\3936 Macada Partners, LLC\99-001 Bethlehem PA\DWG\Land Dev Plans\393699001SR-L.dwg --> OF EXISTING CONDITIONS & DEMOLITION PLAN
COPYRIGHT © 2022 - DYNAMIC ENGINEERING CONSULTANTS, PC - ALL RIGHTS RESERVED

GRADING NOTES

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTOR REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SURFACE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
- CONTRACTOR IS RESPONSIBLE FOR NOTIFICATION OF EXISTING GEOPHYSICAL INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL ISLAND CURBS, CURBS AND 1.0% ON ALL CONCRETE SURFACES, AND 1-1/2% MIN. ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COSTS, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY, PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MIN. OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
- SUBGRADE MATERIAL FOR SIDEWALKS, CURBS, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBGRADE BE DEEMED UNSUITABLE, SURFACE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- REFER TO SITE PLAN FOR ADDITIONAL NOTES.
- IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.
- MAXIMUM CROSS SLOPE OF 2% ON ALL SIDEWALKS.
- CONTRACTOR TO ENSURE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS IN ADA PARKING SPACES AND ADA ACCESSIBLE AREAS. CONTRACTOR TO ENSURE A MAXIMUM OF 5% RUNNING SLOPE AND 2% CROSS SLOPE ALONG ALL OTHER PORTIONS OF ACCESSIBLE ROUTE, WITH THE EXCEPTION OF RAMP AND CURB RAMP. CONTRACTOR SHALL CARRY ANY QUESTIONS CONCERNING CONSTRUCTION IN ADA AREAS WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.

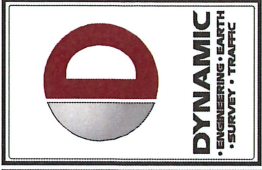
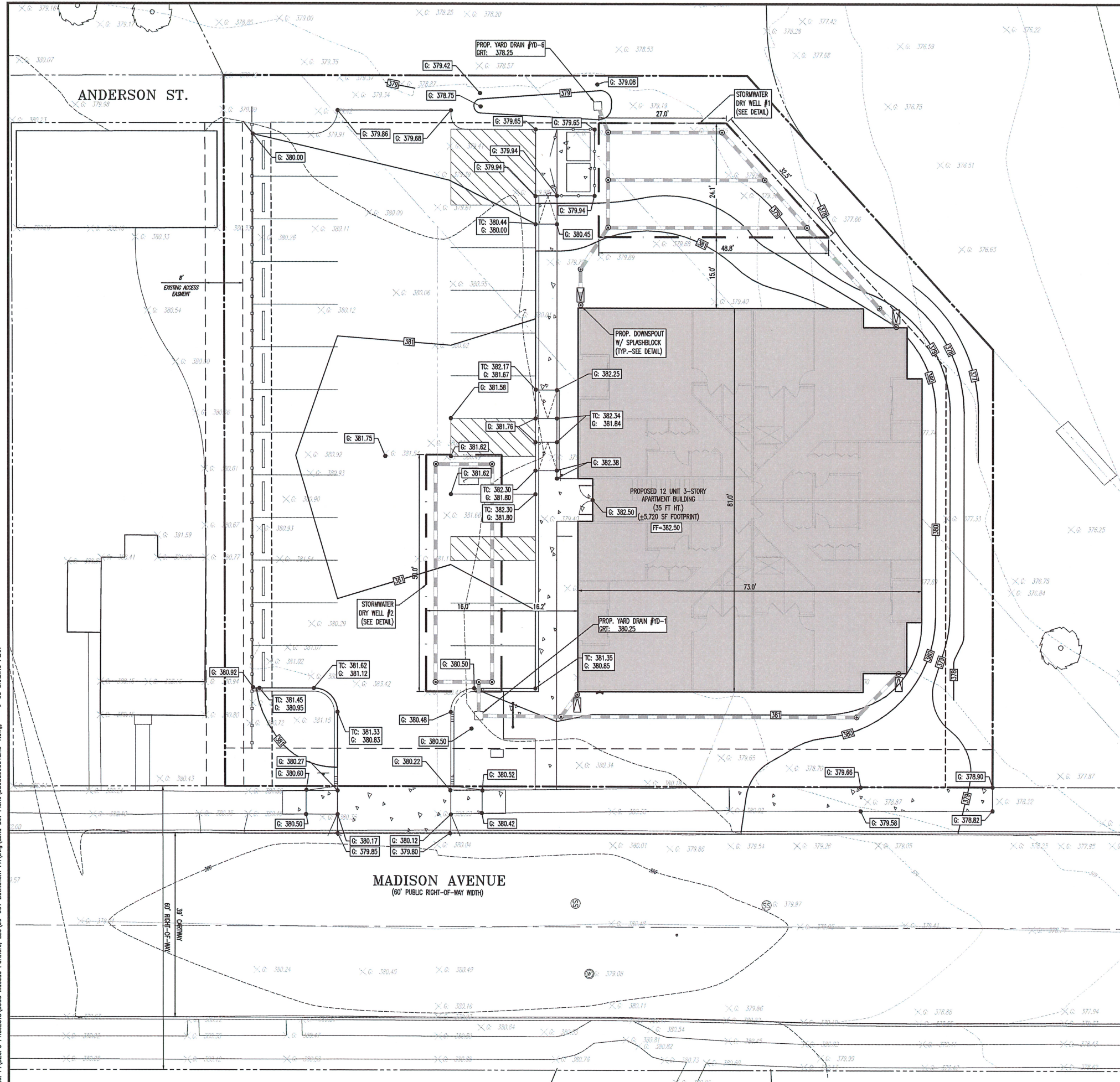
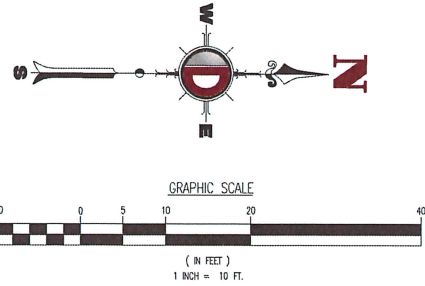
ADA NOTES

- ALL SLOPES INDICATED ARE ACTUAL. CONTRACTOR TO REFER TO LATEST ADA GUIDELINES FOR SLOPE LIMITS. AT THE TIME OF PLAN DESIGN, THE SLOPE LIMITS ARE AS FOLLOWS:
- SIDEWALKS/ACCESSIBLE ROUTES**
- RUNNING SLOPE: 1:20 (5%) MAX. (4.5% MAX. FOR NEW CONSTRUCTION)
 - CROSS SLOPE: 1:48 (2.08%) MAX. (1.5% MAX. FOR NEW CONSTRUCTION)
 - INTERSECTION SLOPE: 1:48 (2.08%) MAX. IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
 - CHANGE IN LEVELS: 1/4" MAX. HEIGHT OR 1/2" MAX. HEIGHT WITH BEVELED EDGE. BEVELED EDGE SLOPE OF 1:2 (50%) MAX.
 - GAPS: 1/2" MAX. WIDTH ELONGATED OPENINGS SHALL BE PLACED SO LONG DIMENSION IS PERPENDICULAR TO PATH OF TRAVEL.
- CURB RAMP**
- SLOPE: 1:12 (8.33%) MAX. (7.4% MAX. FOR NEW CONSTRUCTION)
 - SIDE FLARE SLOPE: 1:10 (10%) MAX. (WHERE FEEDS CROSS RAMP)
 - BOTTOM LANDING: 48" MIN. LENGTH; WIDTH TO MATCH CURB RAMP; 1:48 MAX. (2.08%) IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
 - TOP LANDING: 36" MIN. LENGTH; WIDTH TO MATCH CURB RAMP; 1:48 MAX. (2.08%) CROSS SLOPE (1.5% MAX. FOR NEW CONSTRUCTION) AND 1:20 (5%) RUNNING SLOPE (4.5% MAX. FOR NEW CONSTRUCTION)
- ACCESSIBILITY PARKING SPACES**
- SPACE AND ACCESSIBLE SLOPE: 1:48 MAX. (2.08%) IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
- CROSSINGS**
- RUNNING SLOPE: 1:20 (5%) MAX. (4.5% MAX. FOR NEW CONSTRUCTION)
 - CROSS SLOPE: 1:48 (2.08%) MAX. (1.5% MAX. FOR NEW CONSTRUCTION)
 - CHANGE IN LEVELS: 1/4" MAX. HEIGHT OR 1/2" MAX. HEIGHT WITH BEVELED EDGE. BEVELED EDGE SLOPE OF 1:2 (50%) MAX.
 - GAPS: 1/2" MAX. WIDTH ELONGATED OPENINGS SHALL BE PLACED SO LONG DIMENSION IS PERPENDICULAR TO PATH OF TRAVEL.
- RAMP**
- SLOPE: 1:12 (8.33%) MAX. (7.4% MAX. FOR NEW CONSTRUCTION)
 - EXISTING RAMP; SLOPE: 1:10 (10%) MAX. FOR RISE OF 6"; 1:8 (12.5%) MAX. FOR MAX. RISE OF 3"
 - MAX. RISE: 36"
 - MIN. CLEAR WIDTH: 36"
 - MIN. LANDING CLEAR LENGTH: 60"
 - MAX. CROSS SLOPE: 1:48 (2.08%) (1.5% MAX. FOR NEW CONSTRUCTION)

STANDARD GRAPHIC LEGEND

	EXISTING TITLE LINE (PARCEL IN QUESTION)
	EXISTING FLOW LINE (PARCEL IN QUESTION)
	PROPERTY LINE (DISSOLVED)
	OFF-SITE PROPERTY LINES
	EXIST. MINOR CONTOUR & ELEVATION
	EXIST. MAJOR CONTOUR & ELEVATION
	PROP. FINISH GRADE CONTOUR & ELEVATION
	EXIST. OVERHEAD WIRES
	EXIST. WATER LINE
	EXIST. SANITARY SEWER LINE
	EXIST. SANITARY MANHOLE
	EXIST. WATER MANHOLE
	EXIST. UTILITY POLE
	EXIST. BUILDING LIGHT
	EXIST. MANHOLE
	PROP. OVERHEAD WIRES
	PROP. 2" WATER LINE
	PROP. 4" WATER LINE
	PROP. 8" SANITARY SEWER LINE
	PROP. STORM DRAIN LINE
	PROP. UTILITY POLE
	PROP. AREA LIGHT
	PROP. YARD INLET
	PROP. FLARED END SECTION

Sheet revised for consistency with other plan revisions



REV.	DATE	COMMENTS
1	10/17/22	REVISED PER CITY AND LPMC COMMENTS

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DESIGNED BY: CHECKED BY:

DRAWN BY: SCALE:

MACADA PARTNERS, LLC
 PROPOSED APARTMENTS
 PARCEL NO. INSET B 3 1 0204
 1763 MADISON AVENUE
 CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA

811 Call before you dig

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

DYNAMIC ENGINEERING

LAND DEVELOPMENT CONSULTING • PERMITTING
 GEOTECHNICAL • ENVIRONMENTAL
 TRAFFIC • SURVEY • PLANNING & ZONING

95 Highland Avenue, Suite 170
 Bethlehem, PA 18017
 T: 215.263.4888 | F: 247.685.0361
 Offices conveniently located at:

Erie County, PA: 724.838.8888
 Chester County, PA: 610.381.2121
 Lehigh Valley, PA: 610.381.2121
 Allentown, PA: 610.381.2121
 Harrisburg, PA: 717.634.2121
 York, PA: 717.634.2121
 Lancaster, PA: 717.634.2121
 Pottsville, PA: 610.381.2121
 Scranton, PA: 717.634.2121
 Allentown, PA: 610.381.2121
 Allentown, PA: 610.381.2121
 Allentown, PA: 610.381.2121

www.dynamiccee.com

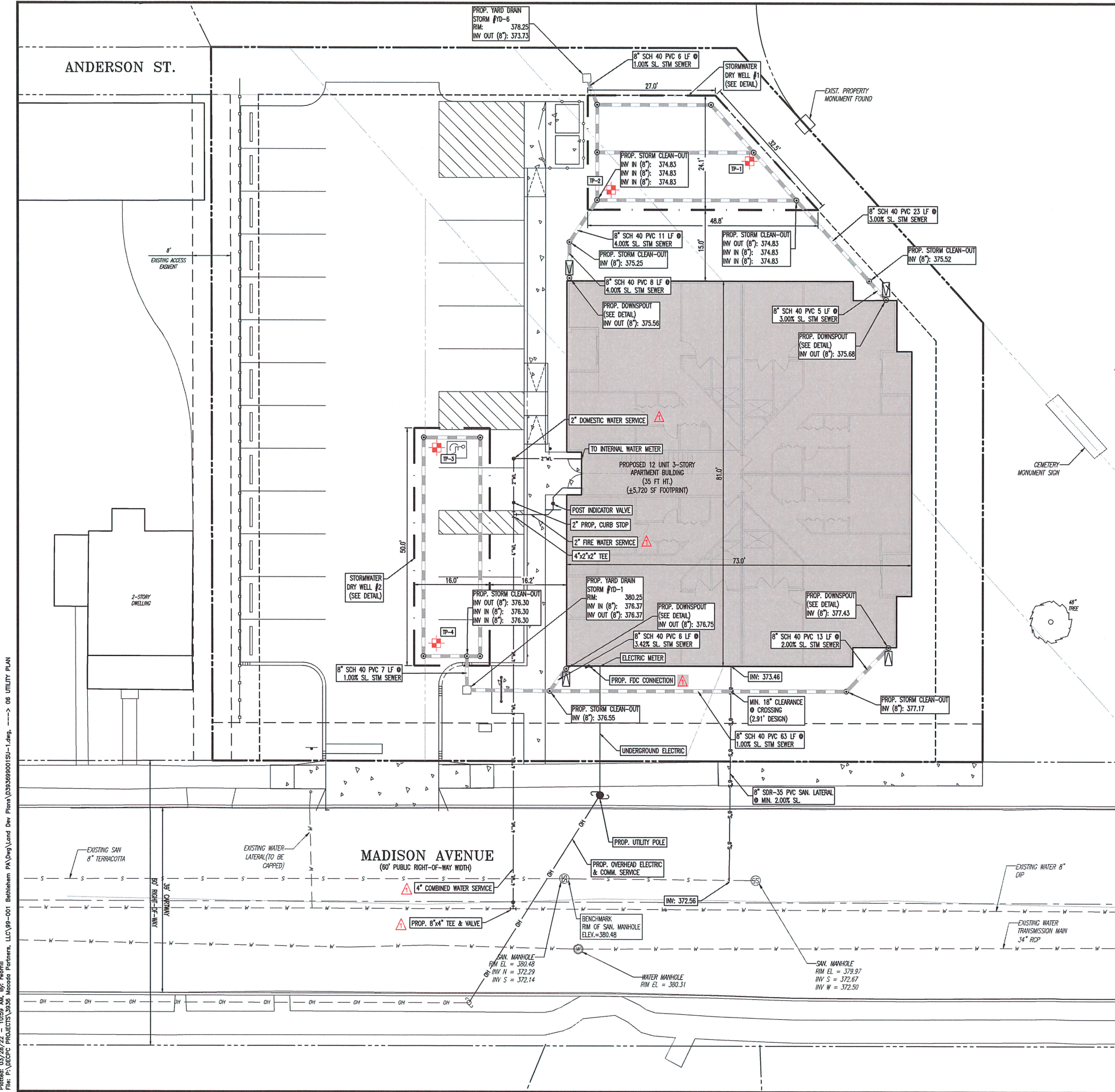
STEPHEN WALSH

PROFESSIONAL ENGINEER
 PENNSYLVANIA #000099556

TITLE:
GRADING PLAN

SCALE: 1" = 10'
 DATE: 12/15/2021
 PROJECT No: 393699001
 SHEET No: **5** OF 15
 Rev. #: 1

Plot Date: 03/28/22 - 11:00 AM. By: mcorrell
 File: P:\DEPC PROJECTS\3936 Macada Partners, LLC\99-001 Bethlehem PA\img\Land Dev Plans\393699001S10-1.dwg -> 05 GRADING PLAN
 COPYRIGHT © 2022 - DYNAMIC ENGINEERING CONSULTANTS, PC - ALL RIGHTS RESERVED



UTILITY NOTES

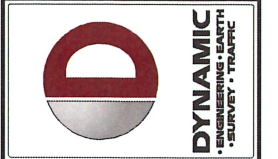
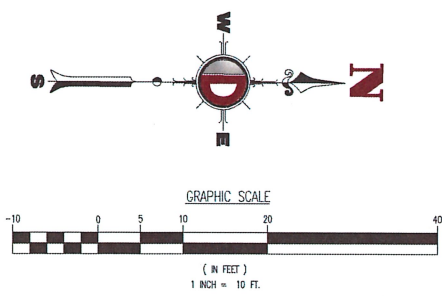
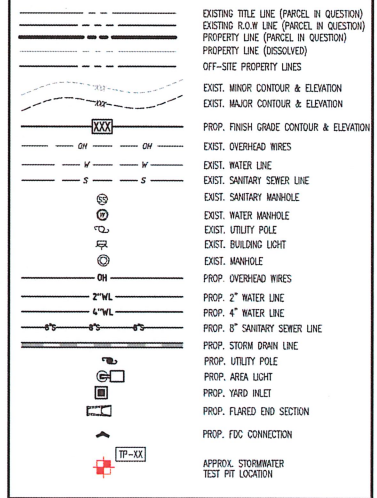
1. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK OUT THEIR UTILITIES. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
3. WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
4. ALL WATER MAIN SHALL BE GENERAL-CLASS CLASS 50 DUCTILE IRON PIPE, UNLESS OTHERWISE DESIGNATED.
5. THE MINIMUM DIAMETER FOR DOMESTIC WATER SERVICES SHALL BE 1 INCH.
6. SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. WHERE THIS IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER MAIN AT LEAST 18 INCHES BELOW THE WATER MAIN. ALL SEWER MAINS SHALL BE 8" SCH 40 PVC PIPE UNLESS OTHERWISE DESIGNATED.
7. ALL SEWER PIPE INSTALLED WITH LESS THAN 3 FEET OF COVER GREATER THAN 20 FEET OF COVER OR WITHIN 18 INCHES OF A WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE. ALL DUCTILE IRON SEWER PIPE SHALL BE CEMENT-LINED, CLASS 50 PIPE, FURNISHED WITH SOWER COAT, OR APPROVED EQUAL.
8. WHERE SANITARY SEWER LATERALS ARE GREATER THAN 10' DEEP AT CONNECTION TO THE SEWER MAIN, CONCRETE DEEP LATERAL CONNECTIONS ARE TO BE UTILIZED.
9. LOCATION & LAYOUT OF GAS, ELECTRIC & TELECOMMUNICATION UTILITY LINES AND SERVICES SHOWN ON THESE PLANS ARE SCHEMATIC IN NATURE. ACTUAL LOCATION & LAYOUT OF THESE UTILITIES & SERVICES ARE TO BE PER THE APPROPRIATE UTILITY PROVIDER.
10. ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED WITH ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
11. ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATORY AUTHORITY'S RULES AND REGULATIONS.
12. ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
13. MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS II, UNLESS OTHERWISE DESIGNATED. DESIGNATED, REINFORCED CONCRETE STORM PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MORTAR OR PREFORMED FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C 890 TO BE UTILIZED TO PROVIDE A SILENT-JOINT. WHERE SPECIALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATER-TIGHT AND CONFORM TO ASTM C-443.
14. HOPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2306. SOLID PIPE SHALL HAVE CASKETS SILENT-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F477. HOPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HOPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
15. HP DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2736 (12" - 24" PIPE) AND ASTM F2801 (18" - 24" PIPE). PIPE SHALL HAVE CASKETS WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2736 AND ASTM F477. FIELD WATER-TIGHTNESS PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED IN ACCORDANCE WITH ASTM F2487. HP PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HP PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
16. PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR ACCORDINGLY.
17. ANY EXCAVATION, REPAIR OR MODIFICATION OF EXISTING SEPTIC AREAS SHALL RECEIVE APPROVAL FROM THE SEWAGE ENFORCEMENT OFFICER OR GOVERNING AGENCY PRIOR TO CONSTRUCTION.

STORMWATER INFILTRATION TEST PIT SUMMARY TABLE:

LOCATION	APPROXIMATE EXIST. SURFACE ELEVATION (FT)	ESTIMATED SEASONAL HIGH GROUNDWATER		INFILTRATION TEST RESULTS	
		DEPTH (FT)	ELEVATION (FT)	DEPTH (IN)	RATE (IN/HR)
TP-1	379.30	NOT ENCOUNTERED		60	5.50
TP-2	379.75	NOT ENCOUNTERED		60	1.50
TP-3	380.50	NOT ENCOUNTERED		60	2.25
TP-4	380.50	NOT ENCOUNTERED		60	1.50

Storm Design revised for consistency with other plan revisions

STANDARD GRAPHIC LEGEND



REV.	DATE	COMMENTS
1	03/14/22	REVISED PER CITY AND UPC COMMENTS

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION.

PROJECT: MACADA PARTNERS, LLC
 PROPOSED APARTMENTS
 PARCEL NO. INSE 18 3 1 0204
 1763 MAISON AVENUE
 CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA

811 SERIAL # 20212040260
 PROTECT YOURSELF
 ALL STATES REQUIRE INTERVIEW OF DIGITARY DESIGNER OR ANY PERSON PERFORMING OR SUPERVISING THE EXCAVATION SURFACE ANYWHERE IN ANY STATE
 FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

DYNAMIC ENGINEERING
 LAND DEVELOPMENT CONSULTING • PERMITTING
 GEOTECHNICAL • ENVIRONMENTAL
 TRAFFIC • SURVEY • PLANNING & ZONING

95 Highland Avenue, Suite 170
 Bethlehem, PA 18017
 T: 215.253.4888 | F: 247.685.0361

Offices conveniently located at:
 Lehigh Valley: 707.272.8888
 Chester County: 610.272.8888
 Berks County: 610.272.8888
 Montgomery County: 610.272.8888
 Northampton County: 610.272.8888
 Lehigh County: 610.272.8888
 Allentown: 610.272.8888
 Easton: 610.272.8888
 Pottsville: 610.272.8888
 Reading: 610.272.8888
 Schuylkill County: 610.272.8888
 York County: 717.242.2244
 Dauphin County: 717.242.2244
 Carbon County: 610.272.8888

www.dynamiccec.com

STEPHEN WALSH
 ENGINEER
 PENNSYLVANIA
 LICENSE # 0000000000

TITLE: **UTILITY PLAN**

SCALE: 1" = 10'
 DATE: 12/15/2021
 PROJECT No: 393699001
 SHEET No: **6** Rev. #: 1
 OF 15

Plotted: 03/28/22 1:05:59 AM. By: mcorral
 File: P:\DECPC PROJECTS\3936 Macada Partners, LLC\98-001 Bethlehem PA\DWG\Land Dev Plans\393699001SU-1.dwg. ---> 06 UTILITY PLAN
 COPYRIGHT © 2022 - DYNAMIC ENGINEERING CONSULTANTS, PC - ALL RIGHTS RESERVED

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY

LIGHTING LUMINAIRE SCHEDULE								
SYMB	QTY	LABEL	WTA DE	MOUNTING HEIGHT	ARRANGEMENT	LIGHT LOSS FACTOR	MANUFACTURER	DESCRIPTION
	1	T4-BC	133.5 06	16 FT	SINGLE	0.850	HUBBELL LIGHTING	VP-5-60L-136-467-4-BC
	2	T4W-8 C	133.6 03	16 FT	SINGLE	0.850	HUBBELL LIGHTING	VP-5-60L-136-467-4W-BC
	1	LNC2-1 2L-4K- 035-3	13.8	16 FT	SINGLE	0.850	HUBBELL LIGHTING	LNC2-12L-4K-035-3

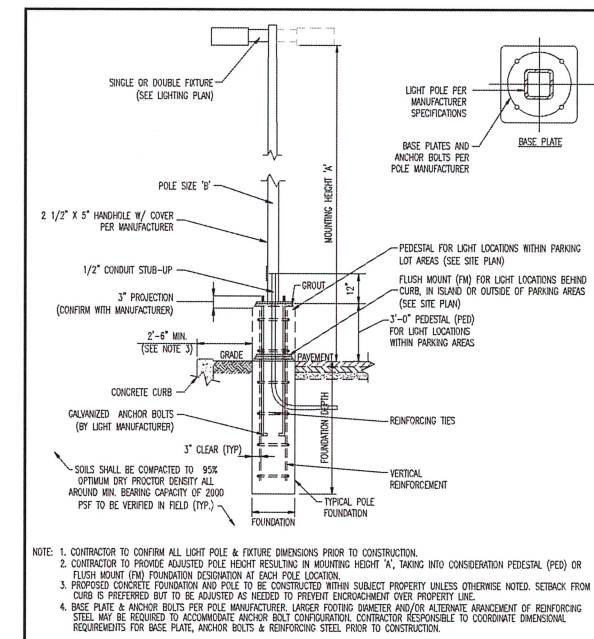
NOTE: ALL AREA LIGHTS ARE TO INCLUDE A BACKSHIELD. REFER TO SHEET 10 FOR FIXTURE DETAILS.

STATISTICAL AREA SUMMARY					
LABEL	AVERAGE	MAXIMUM	MINIMUM	AVG./MIN.	MAX./MIN.
ALL CALC POINTS	1.19	7.8	0.0	N/A	N/A

LIGHTING GENERAL NOTES

- THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
- CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GUARDRAIL POSTS.
- ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
- REFER TO ARCHITECTURAL PLANS FOR WIRING DIAGRAM.
- THIS PLAN IS PREPARED SPECIFICALLY TO ANALYZE THE LIGHTING LEVELS GENERATED BY THE PROPOSED ON-SITE LIGHTING ONLY. EXISTING LIGHT FIXTURES BEYOND THE EXTENTS OF THIS DEVELOPMENT/PROPERTY ARE NOT MODELED IN THIS DESIGN, AND MAY ALTER ACTUAL LIGHT LEVELS AT THE PROPERTY LINES.

ISOLINE LEGEND	
	3.0 FOOTCANDELS
	1.0 FOOTCANDELS
	0.5 FOOTCANDELS

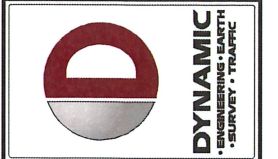
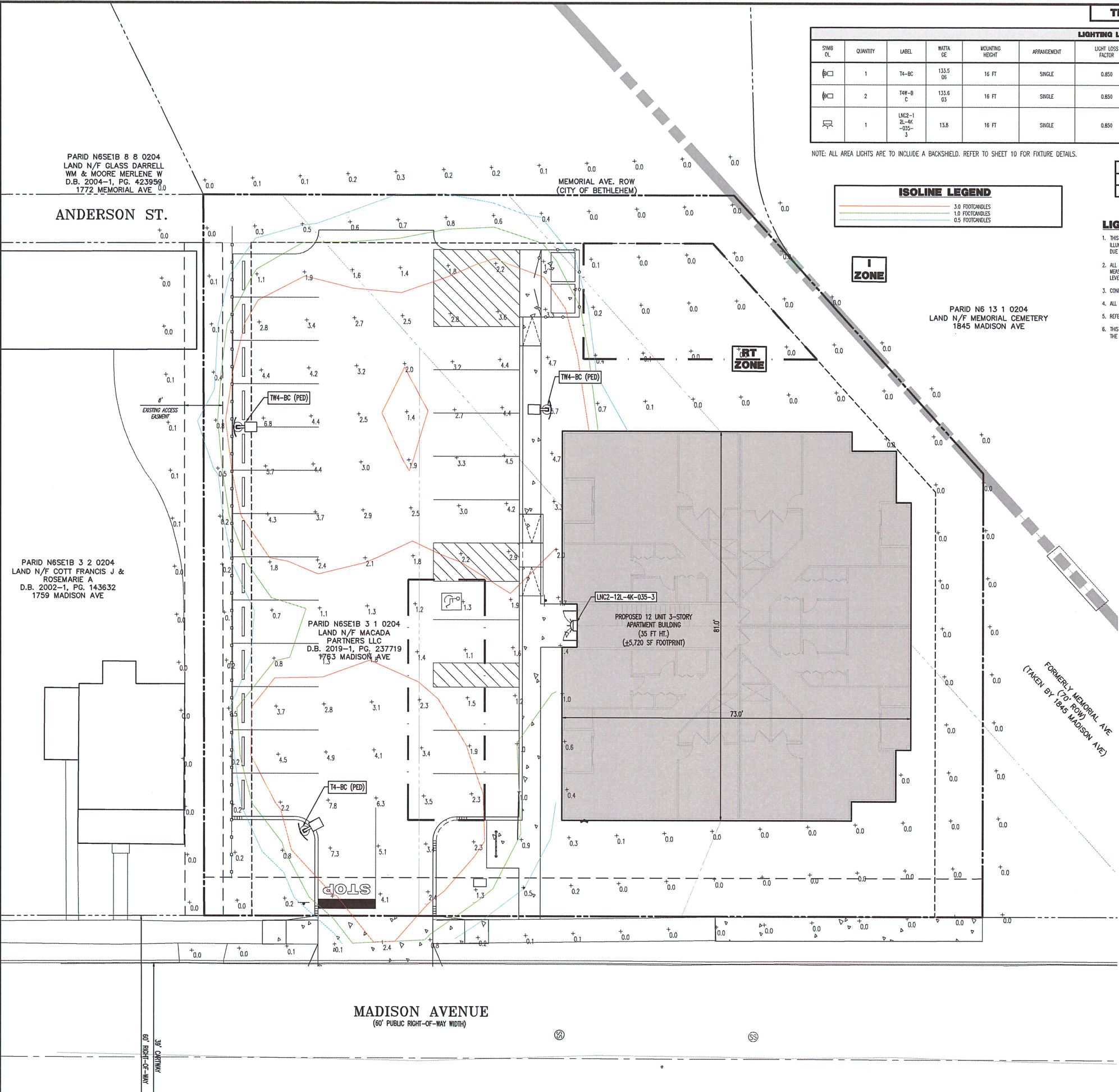
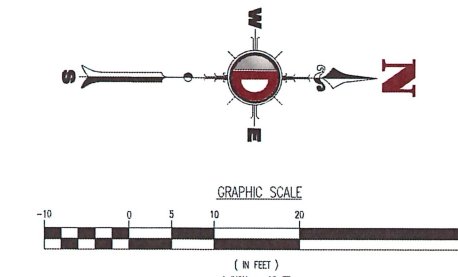


- NOTE: 1. CONTRACTOR TO CONFIRM ALL LIGHT POLE & FIXTURE DIMENSIONS PRIOR TO CONSTRUCTION.
 2. CONTRACTOR TO PROVIDE ADJUSTED POLE HEIGHT RESULTING IN MOUNTING HEIGHT "A", TAKING INTO CONSIDERATION PEDESTAL (PED) OR FLUSH MOUNT (FM) FOUNDATION DESIGNATION AT EACH POLE LOCATION.
 3. PROPOSED CONCRETE FOUNDATION AND POLE TO BE CONSTRUCTED WITHIN SUBJECT PROPERTY UNLESS OTHERWISE NOTED. SETBACK FROM CURB IS PREFERRED BUT TO BE ADJUSTED AS NEEDED TO PREVENT ENCROACHMENT OVER PROPERTY LINE.
 4. BASE PLATE & ANCHOR BOLTS PER POLE MANUFACTURER. LARGER FOOTING DIAMETER AND/OR ALTERNATE ARRANGEMENT OF REINFORCING STEEL MAY BE REQUIRED TO ACCOMMODATE ANCHOR BOLT CONFIGURATION. CONTRACTOR RESPONSIBLE TO COORDINATE DIMENSIONAL REQUIREMENTS FOR BASE PLATE, ANCHOR BOLTS & REINFORCING STEEL PRIOR TO CONSTRUCTION.

LIGHT POLE FOUNDATION SCHEDULE	
MOUNTING HEIGHT ABOVE GRADE "A"	16'
POLE DIA. "B"	6" SQUARE (OR PER MANUFACTURER)
# OF FIXTURES	SINGLE OR DOUBLE

- SOIL NOTES**
- FOOTING DESIGN BASED ON ASSUMED MAXIMUM ALLOWABLE SOILS BEARING CAPACITY OF 2,000 PSF. CONTRACTOR RESPONSIBLE TO VERIFY ADEQUACY OF ASSUMED BEARING CAPACITY PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED IF INCONSISTENCIES EXIST.
 - SUBGRADE TO BE FREE OF ORGANICS AND BE SUITABLE, COMPACTED MATERIAL.
- CONCRETE NOTES**
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS WITH A MINIMUM CEMENT CONTENT OF 600 POUNDS PER CUBIC YARD FOR ALL FOOTINGS.
 - ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".
 - ALL EXPOSED CONCRETE SHALL BE AIR-ENTRAINED (WITHIN 1% TOLERANCE), CONFORMING TO ASTM C260.
 - REINFORCING FRAMEWORK AND PLACEMENT OF CONCRETE SHALL COMPLY WITH GOOD CONSTRUCTION PRACTICES AND BE IN ACCORDANCE WITH ALL LOCAL CONCERNING CODES AND REGULATIONS AS WELL AS THE ACT AND UNIFORM BUILDING CODE.

AREA LIGHT FOUNDATION DETAIL
NOT TO SCALE



REV.	DATE	COMMENTS
1	03/15/2021	REVISED PER CITY AND LUPC COMMENTS

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION!

DESIGNED BY: SAMY
 CHECKED BY: SAMY
 DRAWN BY: CP

PROJECT: MACADA PARTNERS, LLC
 PROPOSED APARTMENTS
 PARCEL NO. INSE 18 3 1 0204
 1763 MADISON AVENUE
 CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA

811 SERIAL# 20212040260
 PROTECT YOURSELF
 ALL STATES REQUIRE INTERFERENCE OF DIAGNOSTIC, DESIGNER, OR ANY PERSON PERFORMING TO LOCATE THE EXISTING SERVICES ANYWHERE IN ANY STATE
 Call before you dig
 FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

DYNAMIC ENGINEERING
 LAND DEVELOPMENT CONSULTING • PERMITTING
 GEOTECHNICAL • ENVIRONMENTAL
 TRAFFIC • SURVEY • PLANNING & ZONING

95 Highland Avenue, Suite 170
 Bethlehem, PA 18017
 T: 215.253.4888 | F: 247.685.0361
 Offices conveniently located at:

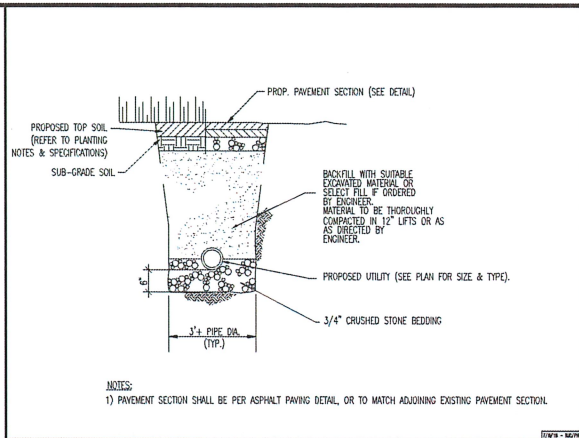
www.dynamiccec.com

STEPHEN WALSH
 PROFESSIONAL ENGINEER
 PENNSYLVANIA # 000000000000000000

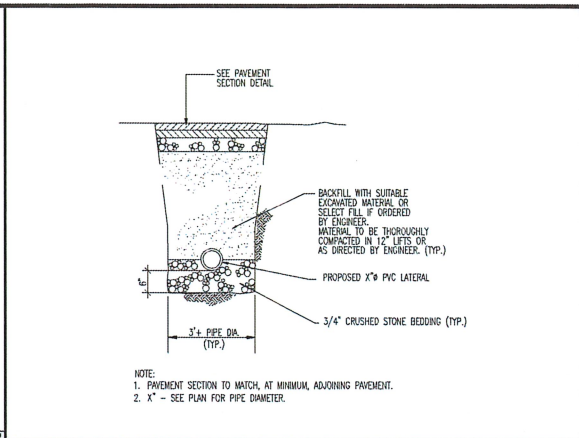
TITLE:
LIGHTING PLAN

SCALE: 1/8" = 1'-0"
 DATE: 12/15/2021
 PROJECT No.: 393699001
 SHEET No.: **7** Rev. #:

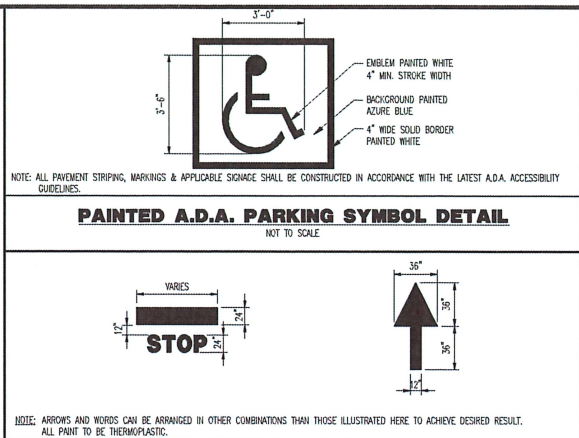
Plotted: 03/28/22 10:59 AM By: mcorral
 File: P:\DECPC PROJECTS\3936 Macada Partners, LLC\99-001 Bethlehem PA\99-001 Land Dev Plans\393699001SI-1.dwg. ---> 07 LIGHTING PLAN
 COPYRIGHT © 2022 - DYNAMIC ENGINEERING CONSULTANTS, PC - ALL RIGHTS RESERVED



UTILITY SERVICE TRENCH DETAIL (ON-SITE)
NOT TO SCALE

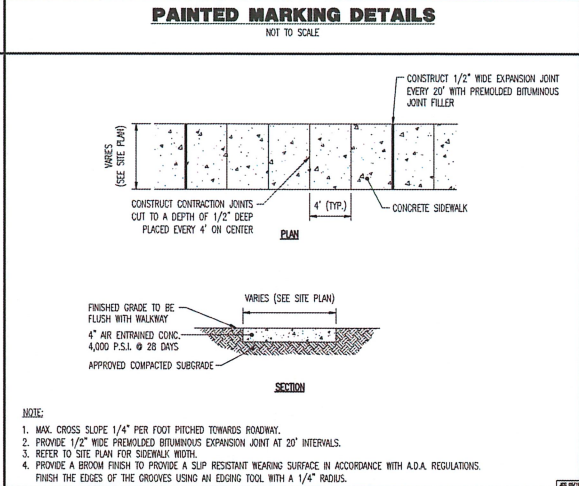


SANITARY SEWER TRENCH DETAIL (ON-SITE)
NOT TO SCALE



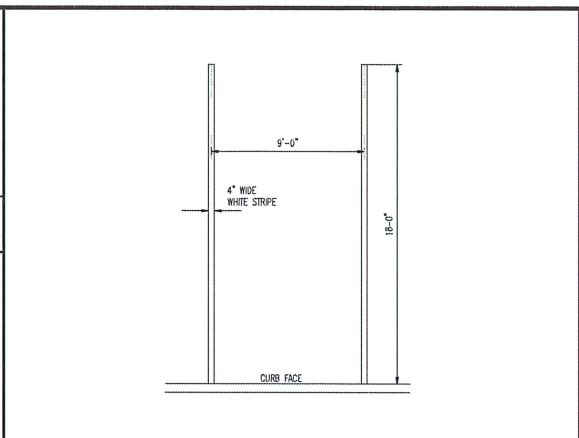
NOTE: ALL PAVEMENT STRIPING, MARKINGS & APPLICABLE SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST A.D.A. ACCESSIBILITY GUIDELINES.

PAINTED A.D.A. PARKING SYMBOL DETAIL
NOT TO SCALE

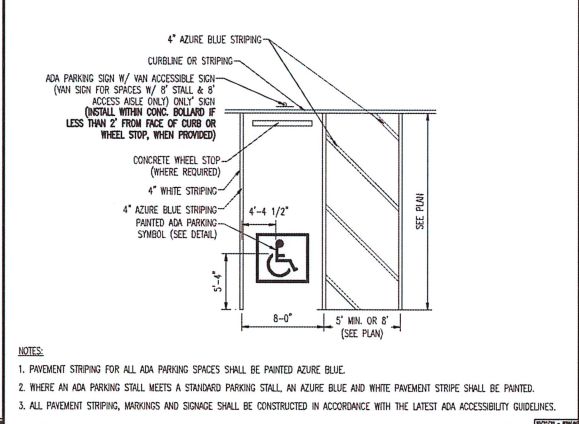


PAINTED MARKING DETAILS
NOT TO SCALE

NOTE: ARROWS AND WORDS CAN BE ARRANGED IN OTHER COMBINATIONS THAN THOSE ILLUSTRATED HERE TO ACHIEVE DESIRED RESULT. ALL PAINT TO BE THERMOPLASTIC.

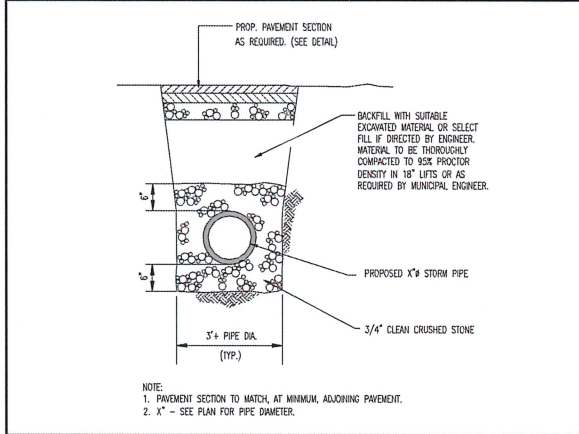


PARKING STALL STRIPING DETAIL
NOT TO SCALE

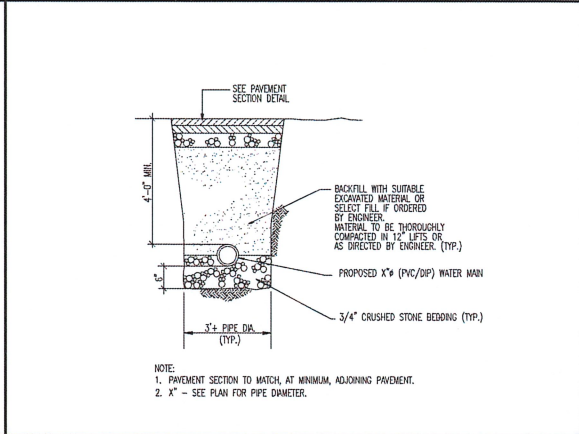


NOTE: 1. PAVEMENT STRIPING FOR ALL ADA PARKING SPACES SHALL BE PAINTED AZURE BLUE. 2. WHERE AN ADA PARKING STALL MEETS A STANDARD PARKING STALL, AN AZURE BLUE AND WHITE PAVEMENT STRIPE SHALL BE PAINTED. 3. ALL PAVEMENT STRIPING, MARKINGS AND SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST ADA ACCESSIBILITY GUIDELINES.

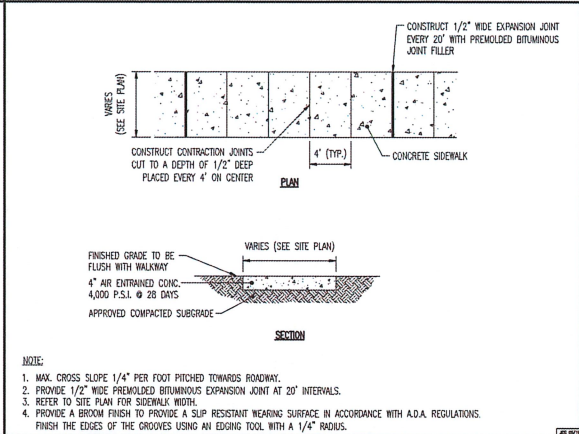
ADA STALL MARKINGS
NOT TO SCALE



STORM SEWER TRENCH DETAIL (ON-SITE)
NOT TO SCALE

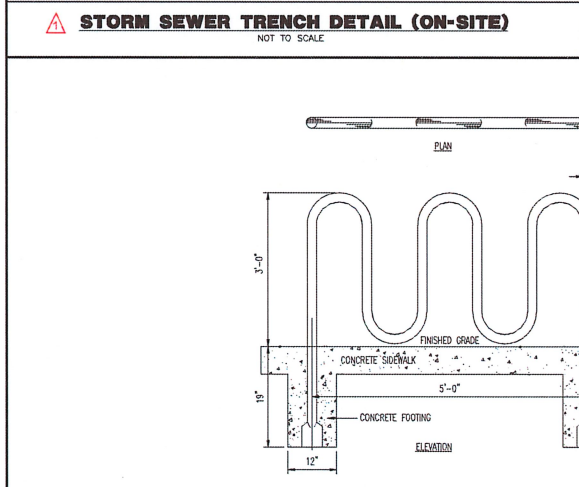


WATER SERVICE TRENCH DETAIL (ON-SITE)
NOT TO SCALE

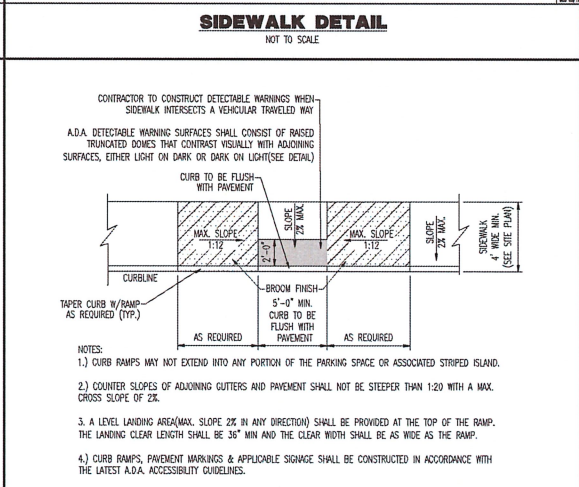


SIDEWALK DETAIL
NOT TO SCALE

NOTE: 1. MAX. CROSS SLOPE 1/4\"/>

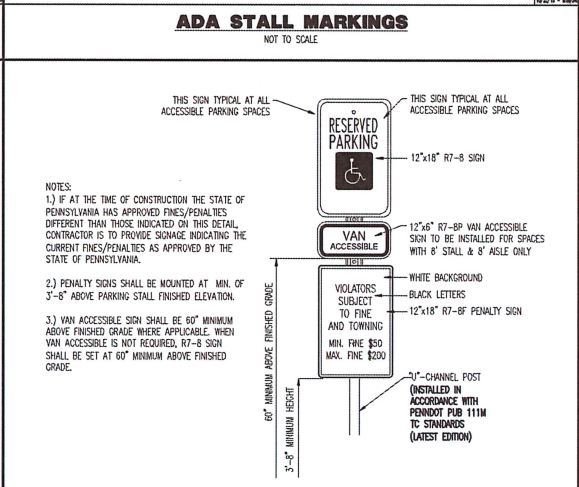


'U' BICYCLE RACK DETAIL
NOT TO SCALE



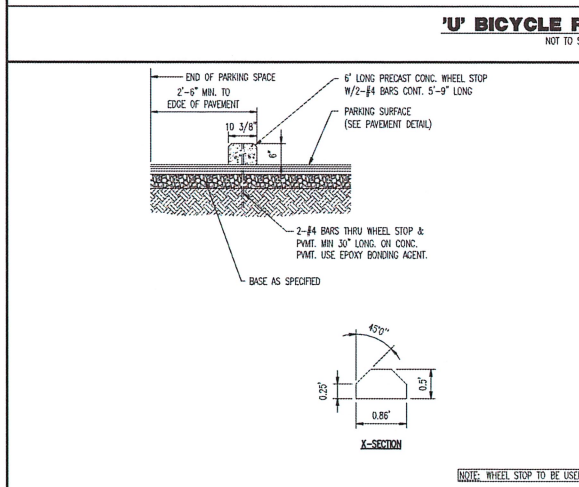
A.D.A. PARALLEL CURB RAMP DETAIL
NOT TO SCALE

NOTE: 1.) CURB RAMP MAY NOT EXTEND INTO ANY PORTION OF THE PARKING SPACE OR ASSOCIATED STRIPED ISLAND. 2.) COUNTER SLOPES OF ADJOINING CURTIERS AND PAVEMENT SHALL NOT BE STEEPER THAN 1:20 WITH A MAX. CROSS SLOPE OF 2%. 3. A LEVEL LANDING AREA (MAX. SLOPE 2% IN ANY DIRECTION) SHALL BE PROVIDED AT THE TOP OF THE RAMP. THE LANDING CLEAR LENGTH SHALL BE 36\"/>

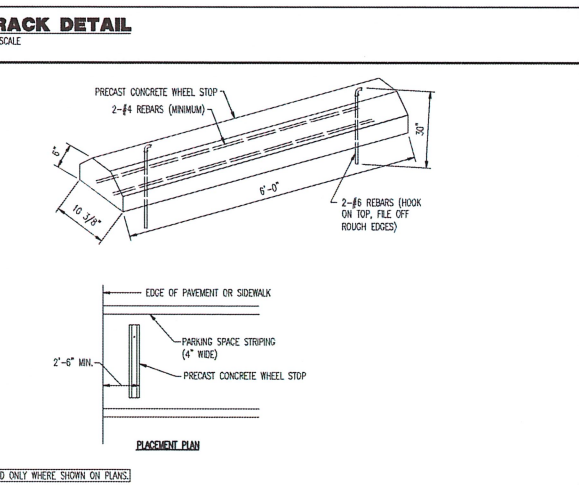


NOTE: 1.) IF AT THE TIME OF CONSTRUCTION THE STATE OF PENNSYLVANIA HAS APPROVED FINES/PENALTIES DIFFERENT THAN THOSE INDICATED ON THIS DETAIL, CONTRACTOR IS TO PROVIDE SIGNAGE INDICATING THE CURRENT FINES/PENALTIES AS APPROVED BY THE STATE OF PENNSYLVANIA. 2.) PENALTY SIGNS SHALL BE MOUNTED AT MIN. OF 3'-6\"/>

ADA PARKING SIGN W/ VAN ACCESSIBLE SIGN
NOT TO SCALE

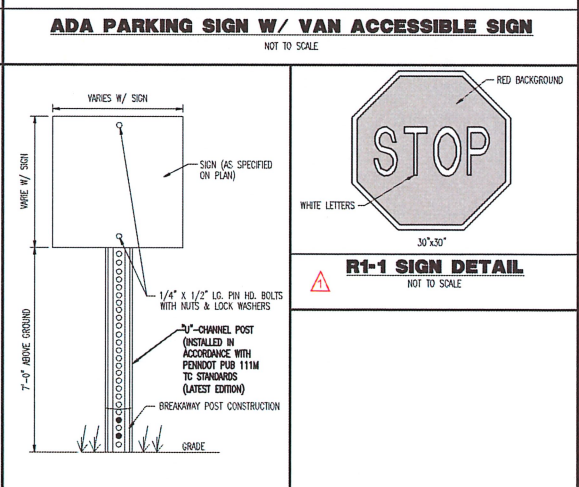


PRECAST CONCRETE WHEEL STOP DETAIL
NOT TO SCALE

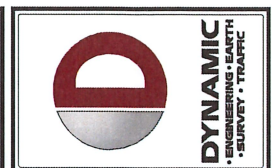


STANDARD PAVEMENT SECTION
NOT TO SCALE

NOTE: 1. ALL PAVEMENT SECTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH PENNSYLVANIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOUND IN PUBLICATION 408. 2. OWNER SHALL CONTACT AND ENGAGE DYNAMIC EARTH, LLC, TO INSPECT AND TEST SUBGRADE SOILS. CONTRACTOR SHALL CONTACT DYNAMIC EARTH, LLC AT (908) 879-7025 (WWW.DYNAMIC-EARTH.COM) AT ONSET OF CONSTRUCTION TO CONFER REQUIREMENTS AND COORDINATE INSPECTIONS. 3. SUBGRADE SOILS SHALL BE APPROVED BY DYNAMIC EARTH, LLC. APPROVED NATURAL SOILS SHALL BE COMPACTED AND PROTECTED WITH A LINED BARRIER AND TRUCK TO A FIRM AND UNYIELDING CONDITION. UNSUITABLE MATERIALS SHALL BE REMOVED AND REPLACED WITH STRUCTURAL FILL OR STABILIZED AS DIRECTED BY DYNAMIC EARTH, LLC. ANY STRUCTURAL FILL AT OR BELOW PAVEMENT SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM-D1557. 4. CONTRACTOR TO REFER TO GEOTECHNICAL REPORT FOR FINAL PAVEMENT SECTION DESCRIPTION.



SIGN POST DETAIL
NOT TO SCALE



REV.	DATE	COMMENTS
1	02/14/22	REVISED PER CITY AND LPMC COMMENTS

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION.

OWNER: XXX
DESIGNED BY: SAWY
CHECKED BY: SAWY

PROJECT: MACADA PARTNERS, LLC PROPOSED APARTMENTS
PARCEL NO. INSE 1B 3 1 0204
WARD 14, BLOCK 45
CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA

811
SERIAL# 20212040260
PROJECT YOURSELF
PROTECT YOURSELF
ALL STATES REQUIRE INTERVIEW OF DIGITATORS, RECORDERS, OR ANY PERSON PERFORMING BY HANDS THE GARDEN SURFACE REMOVED IN AIR SPACE

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING
GEO-TECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING

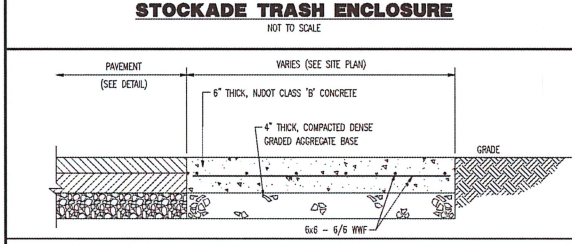
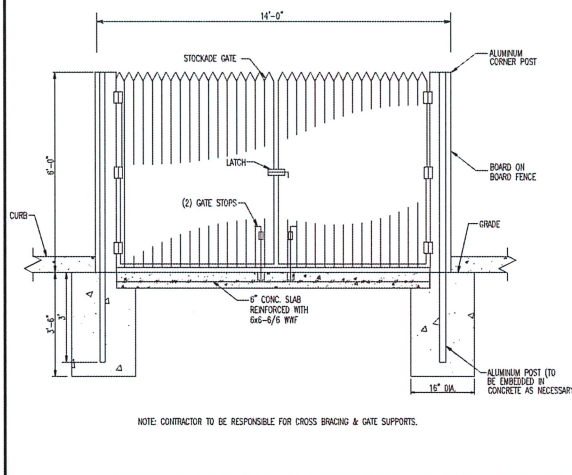
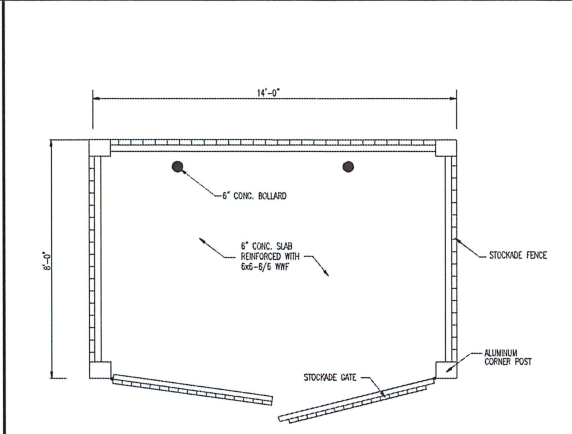
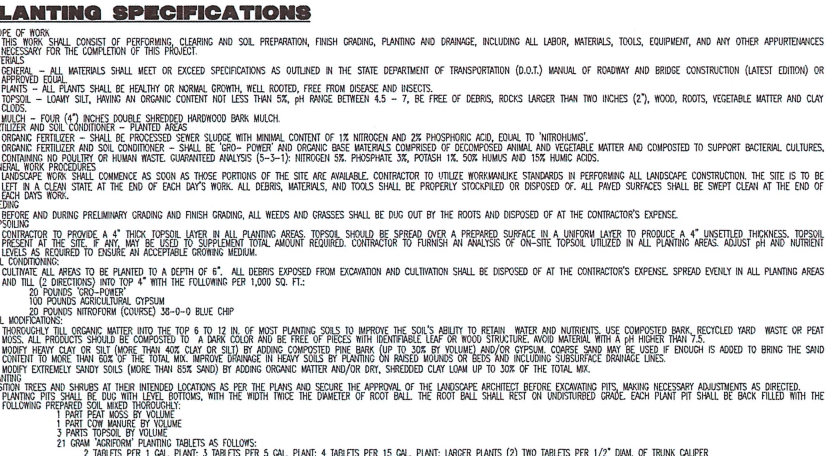
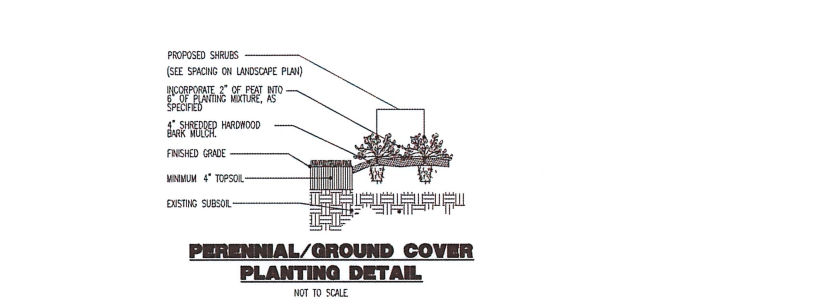
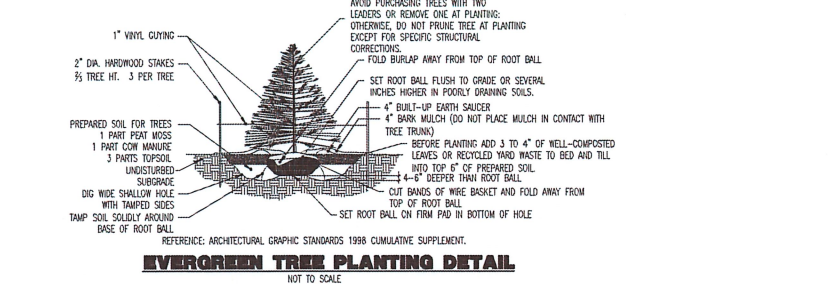
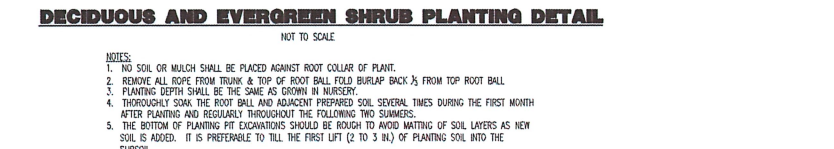
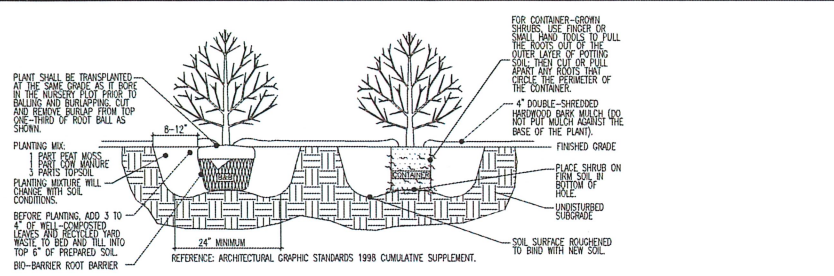
95 Highland Avenue, Suite 170
Bethlehem, PA 18017
1: 215.253.4888 | F: 247.485.0341
Offices conveniently located at:

STEPHEN WALSH
REGISTERED PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE # 00000556

TITLE: **CONSTRUCTION DETAILS**

SCALE: (N) NO SCALE DATE: 12/15/2021
PROJECT No: 383699001

SHEET No: **9** OF 15
Rev. #: 1



BEACON VIPER S SMALL VIPER LUMINAIRE

DATE: LOCATION: TYPE: PROJECT: CATALOG #:

ORDERING GUIDE

Series	LED Engine	Color	Beam Spread	Beam Angle	Beam Diameter	Beam Length	Beam Weight
VIPER S	3000K	20°	100°	100°	100°	100°	100°

FEATURES

- Small size companion to Viper Large
- Wide choice of different LED engine configurations
- Non-rotational luminaire
- Designed to mount and light up to 400W solar or wired
- Available for wet locations

CONTROL TECHNOLOGY

INSTALLATION

WARRANTY

KEY DATA

Lumen Range	4500-15000
Efficiency Range (LPW)	100-120
Reported Life (Hours)	170,000-200,000
Input Current Range (amps)	0.1-1.3

BEACON VIPER S SMALL VIPER LUMINAIRE

DATE: LOCATION: TYPE: PROJECT: CATALOG #:

ORDERING GUIDE

Series	LED Engine	Color	Beam Spread	Beam Angle	Beam Diameter	Beam Length	Beam Weight
VIPER S	3000K	20°	100°	100°	100°	100°	100°

FEATURES

- Small size companion to Viper Large
- Wide choice of different LED engine configurations
- Non-rotational luminaire
- Designed to mount and light up to 400W solar or wired
- Available for wet locations

CONTROL TECHNOLOGY

INSTALLATION

WARRANTY

KEY DATA

Lumen Range	4500-15000
Efficiency Range (LPW)	100-120
Reported Life (Hours)	170,000-200,000
Input Current Range (amps)	0.1-1.3

HUBBELL LNC2 SMALL LED LITERARY

DATE: LOCATION: TYPE: PROJECT: CATALOG #:

ORDERING GUIDE

Series	LED Engine	Color	Beam Spread	Beam Angle	Beam Diameter	Beam Length	Beam Weight
LNC2	3000K	20°	100°	100°	100°	100°	100°

FEATURES

- 50% more lumens and increased performance than other LNC models
- 1000K, 4000K and 5000K as well as Amber
- Type II and III distribution available for a variety of installation needs
- Quick-mount adapter allows easy installation/removal
- 347V and 480V versions for industrial applications and controls
- Stack versions available for fast change
- Full cast aluminum housing, USA designed
- Optional professional for additional energy savings

CONTROL TECHNOLOGY

INSTALLATION

WARRANTY

KEY DATA

Lumen Range	2500-1000
Efficiency Range (LPW)	55-82
Reported Life (Hours)	100,000
Input Current Range (amps)	0.1-1.3

HUBBELL LNC2 SMALL LED LITERARY

DATE: LOCATION: TYPE: PROJECT: CATALOG #:

ORDERING GUIDE

Series	LED Engine	Color	Beam Spread	Beam Angle	Beam Diameter	Beam Length	Beam Weight
LNC2	3000K	20°	100°	100°	100°	100°	100°

FEATURES

- 50% more lumens and increased performance than other LNC models
- 1000K, 4000K and 5000K as well as Amber
- Type II and III distribution available for a variety of installation needs
- Quick-mount adapter allows easy installation/removal
- 347V and 480V versions for industrial applications and controls
- Stack versions available for fast change
- Full cast aluminum housing, USA designed
- Optional professional for additional energy savings

CONTROL TECHNOLOGY

INSTALLATION

WARRANTY

KEY DATA

Lumen Range	2500-1000
Efficiency Range (LPW)	55-82
Reported Life (Hours)	100,000
Input Current Range (amps)	0.1-1.3

HUBBELL WALL LIGHT DETAIL

DATE: LOCATION: TYPE: PROJECT: CATALOG #:

ORDERING GUIDE

Series	LED Engine	Color	Beam Spread	Beam Angle	Beam Diameter	Beam Length	Beam Weight
Wall Light	3000K	20°	100°	100°	100°	100°	100°

FEATURES

- Small size companion to Viper Large
- Wide choice of different LED engine configurations
- Non-rotational luminaire
- Designed to mount and light up to 400W solar or wired
- Available for wet locations

CONTROL TECHNOLOGY

INSTALLATION

WARRANTY

KEY DATA

Lumen Range	4500-15000
Efficiency Range (LPW)	100-120
Reported Life (Hours)	170,000-200,000
Input Current Range (amps)	0.1-1.3

BEACON VIPER S SMALL VIPER LUMINAIRE

DATE: LOCATION: TYPE: PROJECT: CATALOG #:

ORDERING GUIDE

Series	LED Engine	Color	Beam Spread	Beam Angle	Beam Diameter	Beam Length	Beam Weight
VIPER S	3000K	20°	100°	100°	100°	100°	100°

FEATURES

- Small size companion to Viper Large
- Wide choice of different LED engine configurations
- Non-rotational luminaire
- Designed to mount and light up to 400W solar or wired
- Available for wet locations

CONTROL TECHNOLOGY

INSTALLATION

WARRANTY

KEY DATA

Lumen Range	4500-15000
Efficiency Range (LPW)	100-120
Reported Life (Hours)	170,000-200,000
Input Current Range (amps)	0.1-1.3

HUBBELL LNC2 SMALL LED LITERARY

DATE: LOCATION: TYPE: PROJECT: CATALOG #:

ORDERING GUIDE

Series	LED Engine	Color	Beam Spread	Beam Angle	Beam Diameter	Beam Length	Beam Weight
LNC2	3000K	20°	100°	100°	100°	100°	100°

FEATURES

- 50% more lumens and increased performance than other LNC models
- 1000K, 4000K and 5000K as well as Amber
- Type II and III distribution available for a variety of installation needs
- Quick-mount adapter allows easy installation/removal
- 347V and 480V versions for industrial applications and controls
- Stack versions available for fast change
- Full cast aluminum housing, USA designed
- Optional professional for additional energy savings

CONTROL TECHNOLOGY

INSTALLATION

WARRANTY

KEY DATA

Lumen Range	2500-1000
Efficiency Range (LPW)	55-82
Reported Life (Hours)	100,000
Input Current Range (amps)	0.1-1.3

HUBBELL LNC2 SMALL LED LITERARY

DATE: LOCATION: TYPE: PROJECT: CATALOG #:

ORDERING GUIDE

Series	LED Engine	Color	Beam Spread	Beam Angle	Beam Diameter	Beam Length	Beam Weight
LNC2	3000K	20°	100°	100°	100°	100°	100°

FEATURES

- 50% more lumens and increased performance than other LNC models
- 1000K, 4000K and 5000K as well as Amber
- Type II and III distribution available for a variety of installation needs
- Quick-mount adapter allows easy installation/removal
- 347V and 480V versions for industrial applications and controls
- Stack versions available for fast change
- Full cast aluminum housing, USA designed
- Optional professional for additional energy savings

CONTROL TECHNOLOGY

INSTALLATION

WARRANTY

KEY DATA

Lumen Range	2500-1000
Efficiency Range (LPW)	55-82
Reported Life (Hours)	100,000
Input Current Range (amps)	0.1-1.3

HUBBELL WALL LIGHT DETAIL

DATE: LOCATION: TYPE: PROJECT: CATALOG #:

ORDERING GUIDE

Series	LED Engine	Color	Beam Spread	Beam Angle	Beam Diameter	Beam Length	Beam Weight
Wall Light	3000K	20°	100°	100°	100°	100°	100°

FEATURES

- Small size companion to Viper Large
- Wide choice of different LED engine configurations
- Non-rotational luminaire
- Designed to mount and light up to 400W solar or wired
- Available for wet locations

CONTROL TECHNOLOGY

INSTALLATION

WARRANTY

KEY DATA

Lumen Range	4500-15000
Efficiency Range (LPW)	100-120
Reported Life (Hours)	170,000-200,000
Input Current Range (amps)	0.1-1.3

HUBBELL WALL LIGHT DETAIL

DATE: LOCATION: TYPE: PROJECT: CATALOG #:

ORDERING GUIDE

Series	LED Engine	Color	Beam Spread	Beam Angle	Beam Diameter	Beam Length	Beam Weight
Wall Light	3000K	20°	100°	100°	100°	100°	100°

FEATURES

- Small size companion to Viper Large
- Wide choice of different LED engine configurations
- Non-rotational luminaire
- Designed to mount and light up to 400W solar or wired
- Available for wet locations

CONTROL TECHNOLOGY

INSTALLATION

WARRANTY

KEY DATA

Lumen Range	4500-15000
Efficiency Range (LPW)	100-120
Reported Life (Hours)	170,000-200,000
Input Current Range (amps)	0.1-1.3

DYNAMIC ENGINEERING

LAND DEVELOPMENT CONSULTING • PERMITTING
GEOTECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING

95 Highland Avenue, Suite 170
Bethlehem, PA 18017
T: 215.253.4888 | F: 247.685.0361

Offices conveniently located at:

www.dynamicce.com

MACADA PARTNERS, LLC

PROPOSED APARTMENTS
PARCEL NO. 00-00-0003-0003-0004
N. 3RD ST. & N. 3RD ST.
1763 MADISON AVENUE
CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DATE: 12/15/2021

REVISIONS:

NO.	DATE	DESCRIPTION
1	12/15/2021	ISSUED FOR PERMIT

811

CALL BEFORE YOU DIG

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

ALL STATES REQUIRE NOTIFICATION OF DIGGING, BORING, OR USE OF EXCAVATION BEFORE THE DATE OF THE WORK.

STEPHEN WALSH

PROFESSIONAL ENGINEER
PENNSYLVANIA # 000000000000000000

CONSTRUCTION DETAILS

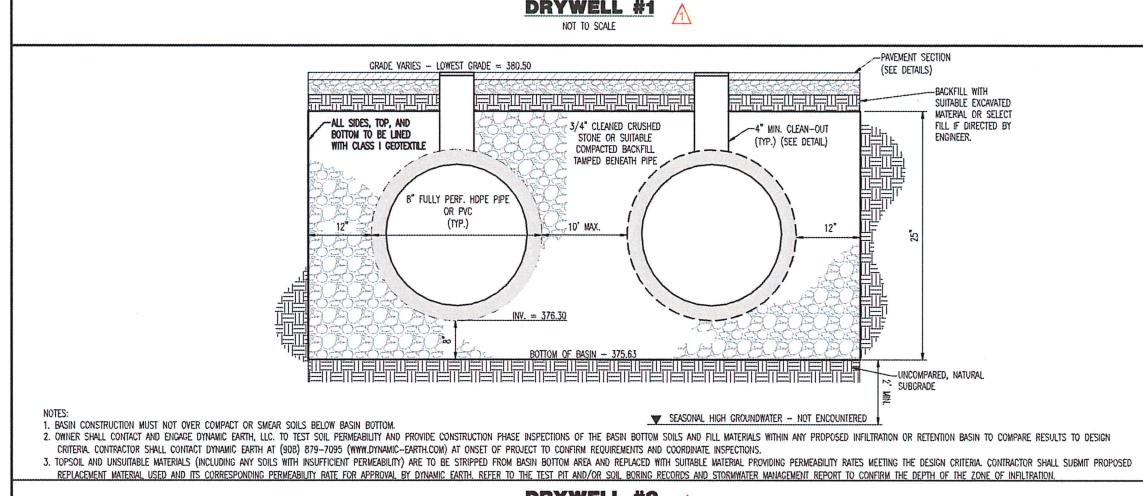
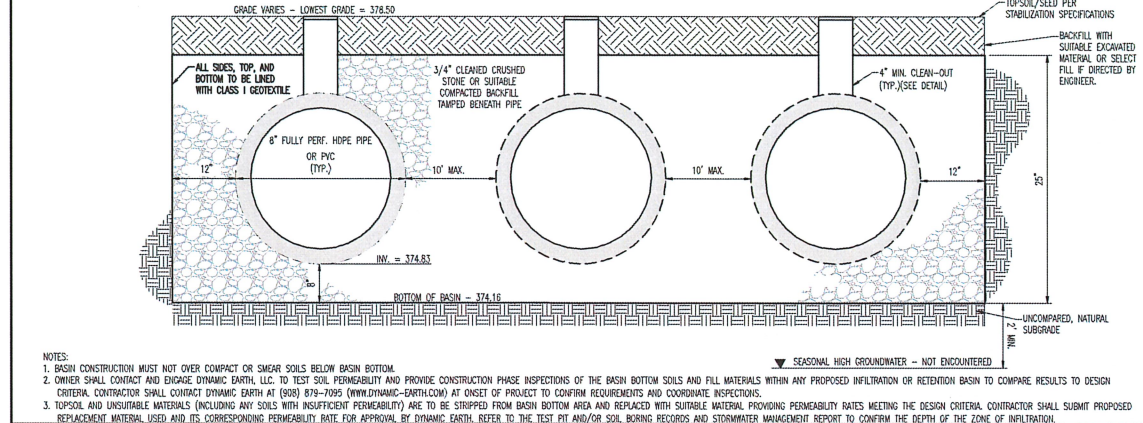
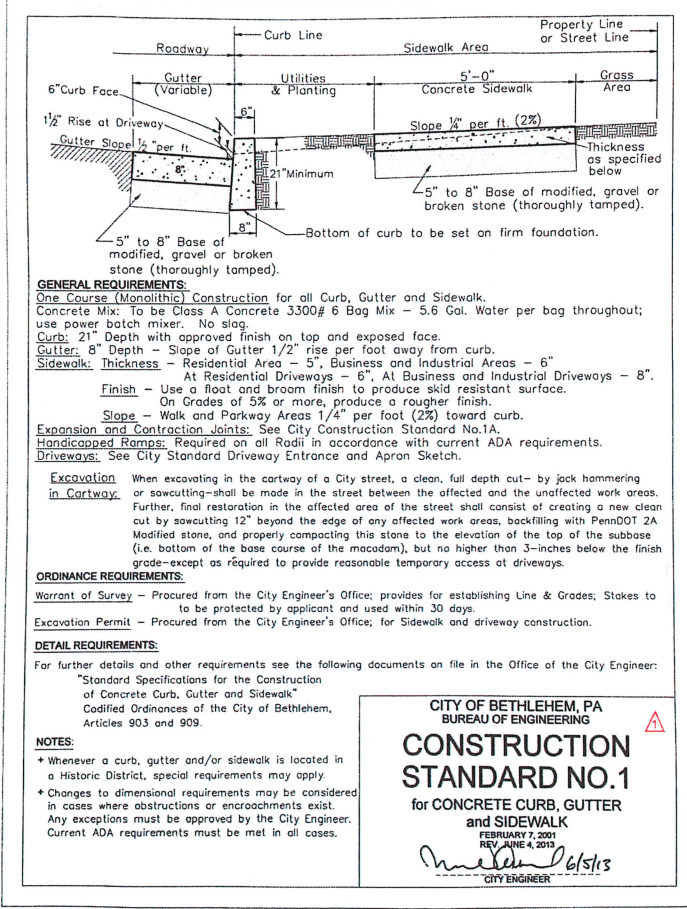
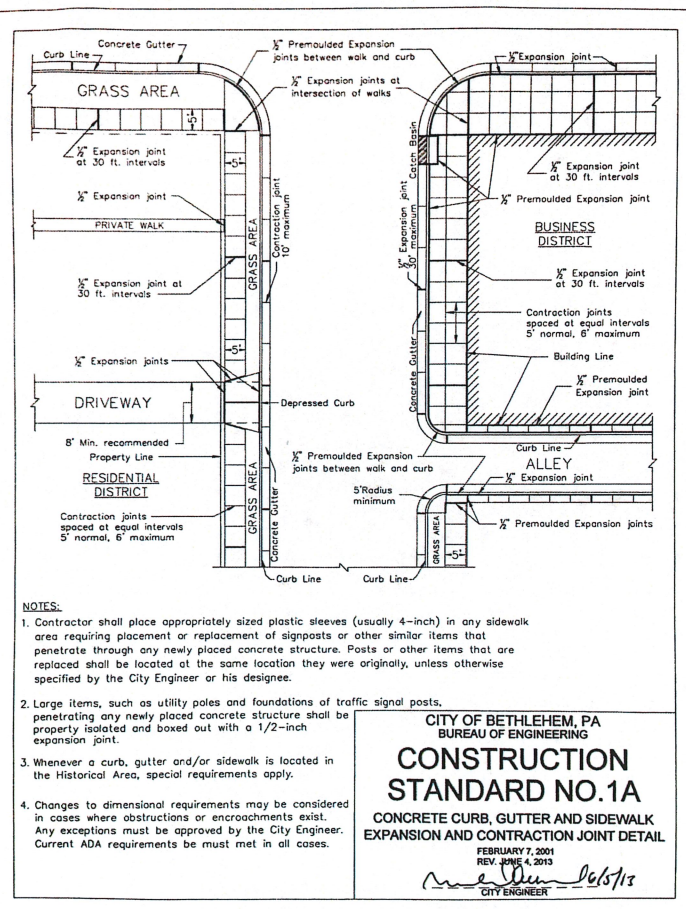
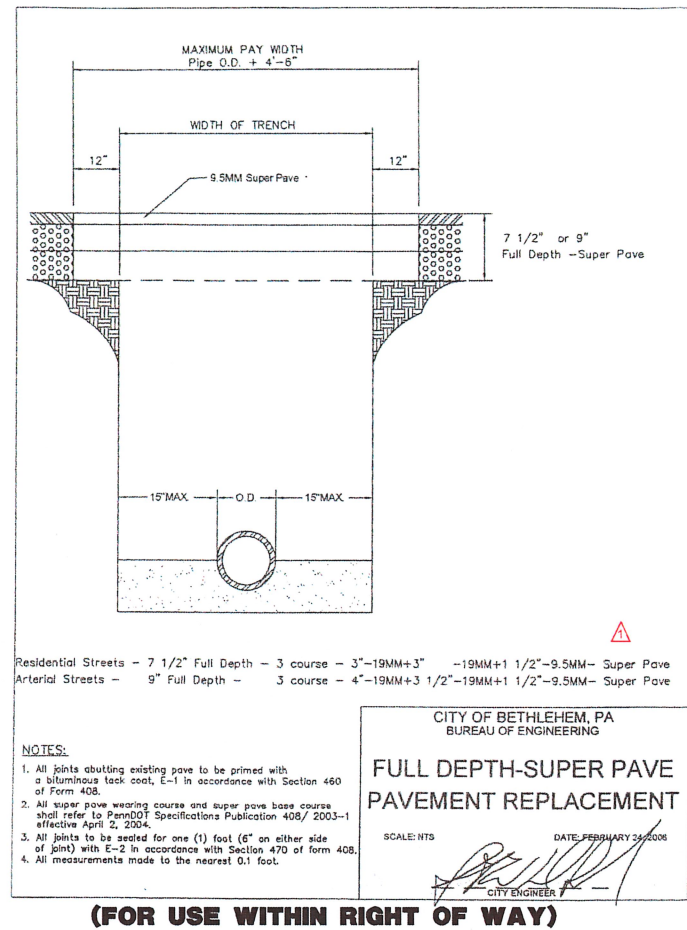
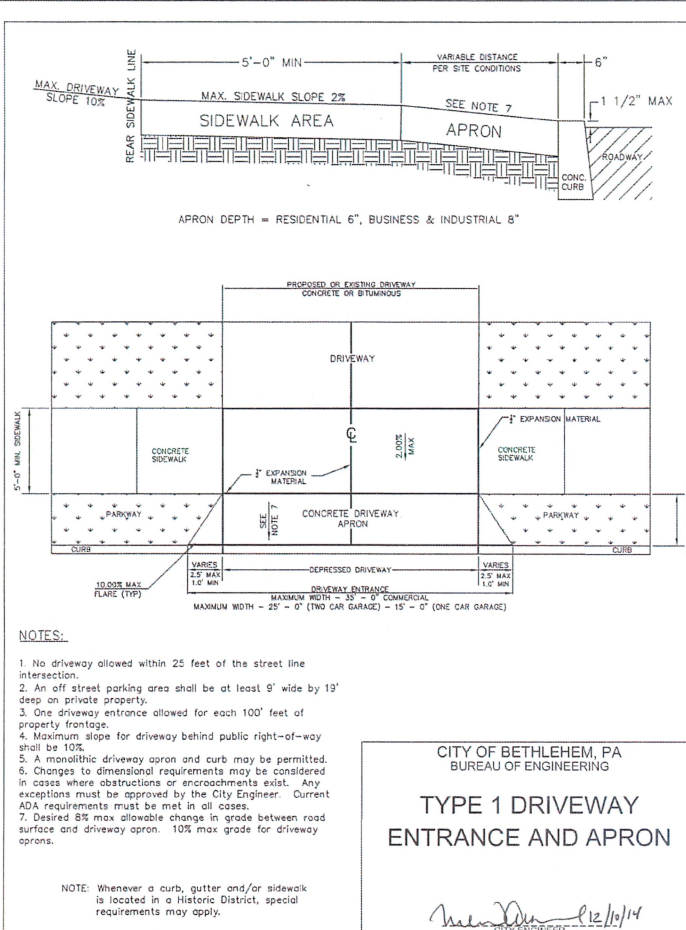
SCALE: 1" = 10'

DATE: 12/15/2021

PROJECT NO.: 393699001

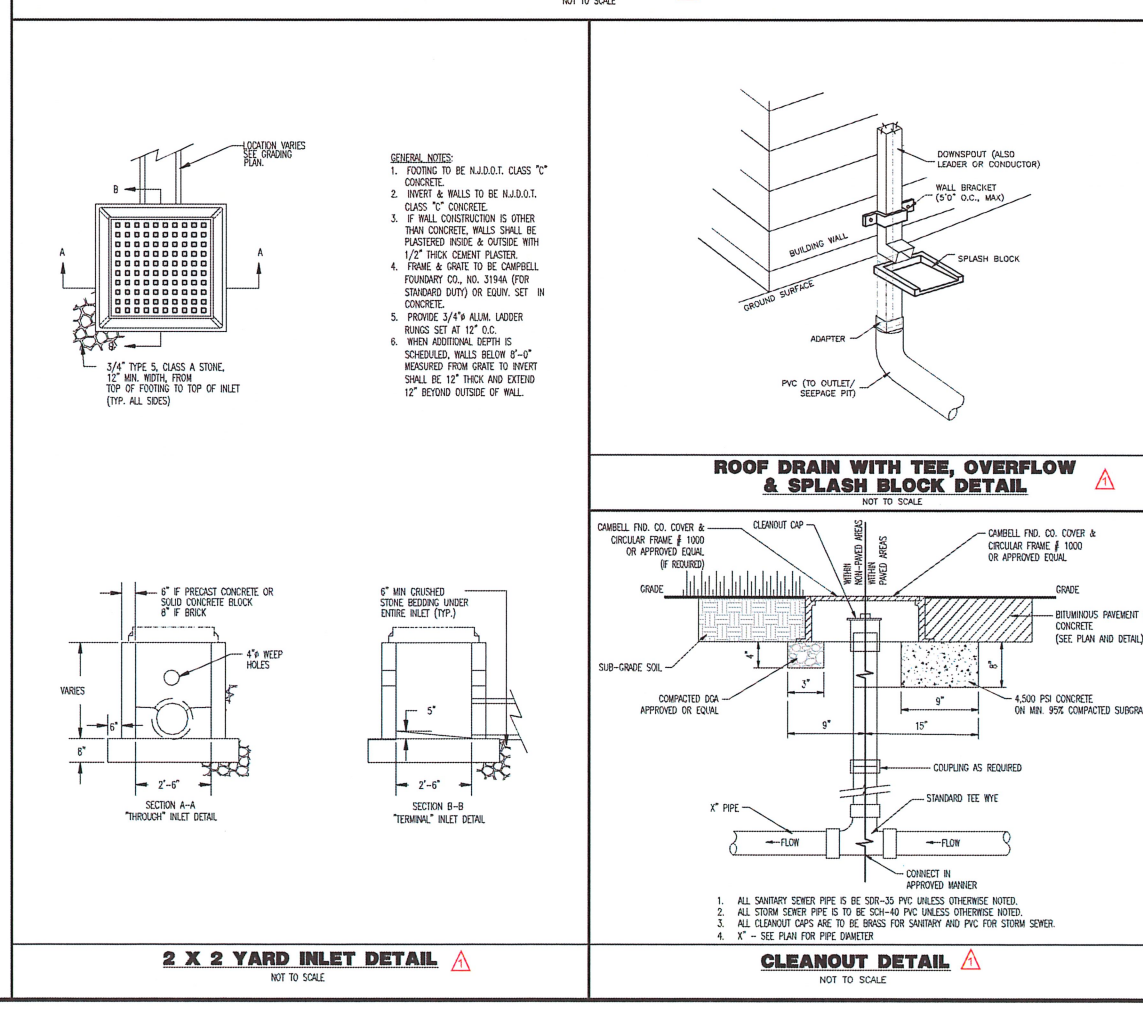
SHEET NO.: 10 OF 15

10562 AM, Dr. newmill
12/15/2021
10 CONSTRUCTION DETAILS



10x22 AM, Bc: neorill
File: P:\VECC PROJECTS\3936 Macada Partners, LLC\9-001 Bethlehem PA\DWG\Land Dev Plans\039369001D-1.dwg, ---> 11 CONSTRUCTION DETAILS

2 X 2 YARD INLET DETAIL
NOT TO SCALE



REV.	DATE	COMMENTS
1	03/14/23	REVISED PER CITY AND LUPC COMMENTS

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: MACADA PARTNERS, LLC
PARCEL NO. 03936 3 1 0204
1763 MADISON AVENUE
CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA

811
Call before you dig
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

SERIAL# 20212040260
PROTECT YOURSELF
ALL STATES REQUIRE INFORMATION OF EDUCATIONAL, BUSINESS, OR ANY PERSON PREPARING TO EXCAVATE THE EARTH'S SURFACE ADVISE IN ADVANCE

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING
GEOTECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING

95 Highland Avenue, Suite 170
Bethlehem, PA 18017
T: 215.253.4888 | F: 267.685.0361
Offices conveniently located at:

www.dynamiccee.com

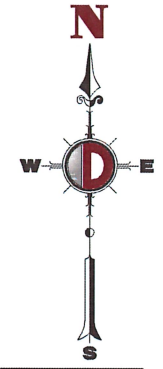
STEPHEN WALSH
REGISTERED PROFESSIONAL ENGINEER
PENNSYLVANIA No. 000009856

CONSTRUCTION DETAILS

SCALE: 1" = 10'
DATE: 12/15/2021
PROJECT No.: 393699001
SHEET No.: 11 of 15

THIS PLAN TO BE UTILIZED FOR SOIL EROSION & SEDIMENT CONTROL PURPOSES ONLY

Sheet revised for consistency with other plan revisions



REV.	DATE	COMMENTS	BY
1	03/14/2021	REVISED PER CITY AND LVPIC COMMENTS	RWK

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: MACADA PARTNERS, LLC
 PROPOSED APARTMENTS
 PARCEL NO. N6SE1B 3 1 0204
 1763 MADISON AVE
 CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA

811
 Call before you dig
 FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

DYNAMIC ENGINEERING
 LAND DEVELOPMENT CONSULTING • PERMITTING
 GEOTECHNICAL • ENVIRONMENTAL
 TRAFFIC • SURVEY • PLANNING & ZONING

95 Highland Avenue, Suite 170
 Bethlehem, PA 18017
 T: 215.253.4888 | F: 267.685.0361
 Offices conveniently located at:

www.dynanicec.com

STEPHEN WALSH
 PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE # 0000099556

TITLE: **EROSION & SEDIMENT CONTROL PLAN**

SCALE: 1"=10'
 DATE: 12/15/2021

PROJECT No: 393699001

SHEET No: **12** OF 15

E&S CONTROL LEGEND

	EXISTING TITLE LINE (PARCEL IN QUESTION)
	EXISTING ROW LINE (PARCEL IN QUESTION)
	PROPERTY LINE (PARCEL IN QUESTION)
	REQUIRED RIGHT OF WAY LINE
	PROPOSED LIMIT OF DISTURBANCE LINE & TYPED LINE
	PROPOSED TREE PROTECTION FENCE
	PROP. COMPOST FILTER SOCK
	PROP. CONSTRUCTION FENCE
	EXIST. SOIL BOUNDARY
	SILT FENCE
	ORANGE SUPER SILT FENCE
	DRAINAGE AREA LINES
	WETLANDS
	WETLAND BUFFER LINES
	RIPRAP BUFFER LINES
	STREAM (TOP OF BANK)
	FLOODWAY
	EXIST. MINOR CONTOUR & ELEVATION
	EXIST. MAJOR CONTOUR & ELEVATION
	PROP. FINISH GRADE CONTOUR & ELEVATION
	SOIL IDENTITY

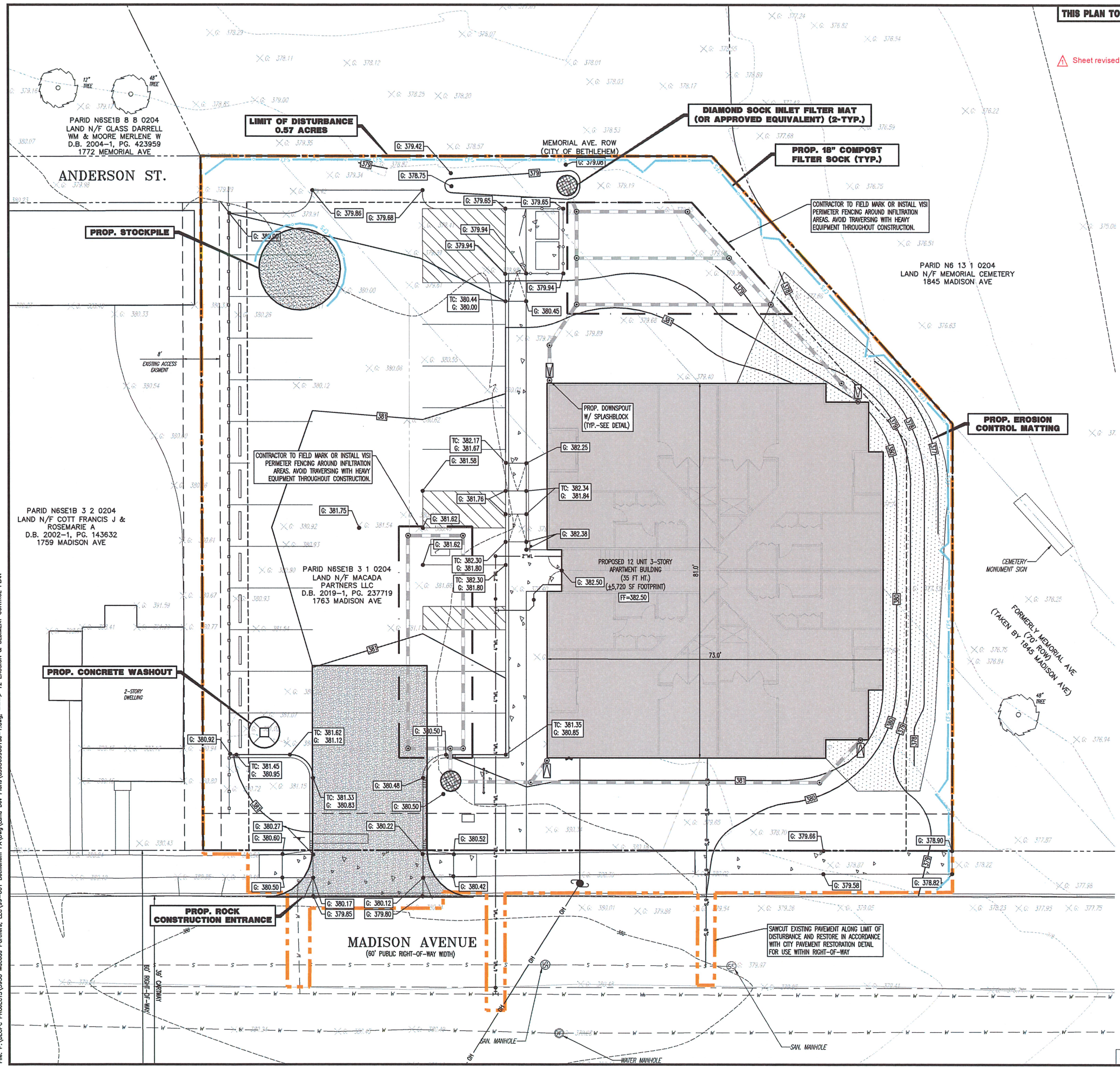
BeB2

	EXIST. TREE LINES		PROP. TREE LINES
	EXIST. TREES		PROP. TREES
	EXIST. MONITORING WELL		PROP. RIP-RAP APRON
	APPROX. SLOTTED TEST PIT LOCATION		PROP. INLET FILTER
	APPROX. BORING LOCATION		PROP. EROSION CONTROL MATTING
	PROP. CONCRETE WASHOUT		STABILIZED CONSTRUCTION ENTRANCE
	TEMP STOCKPILE		

UTILITY GRAPHIC LEGEND

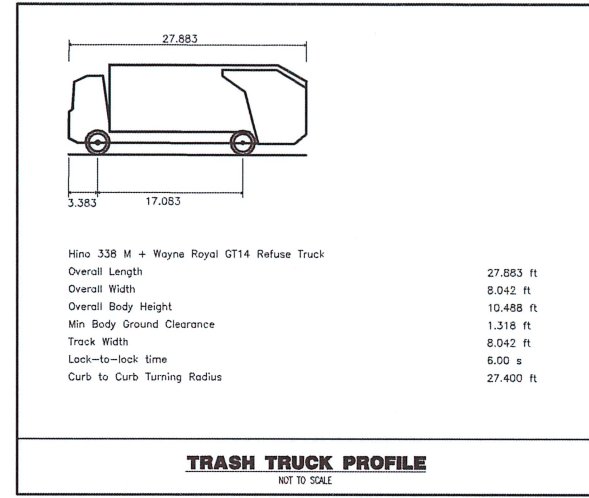
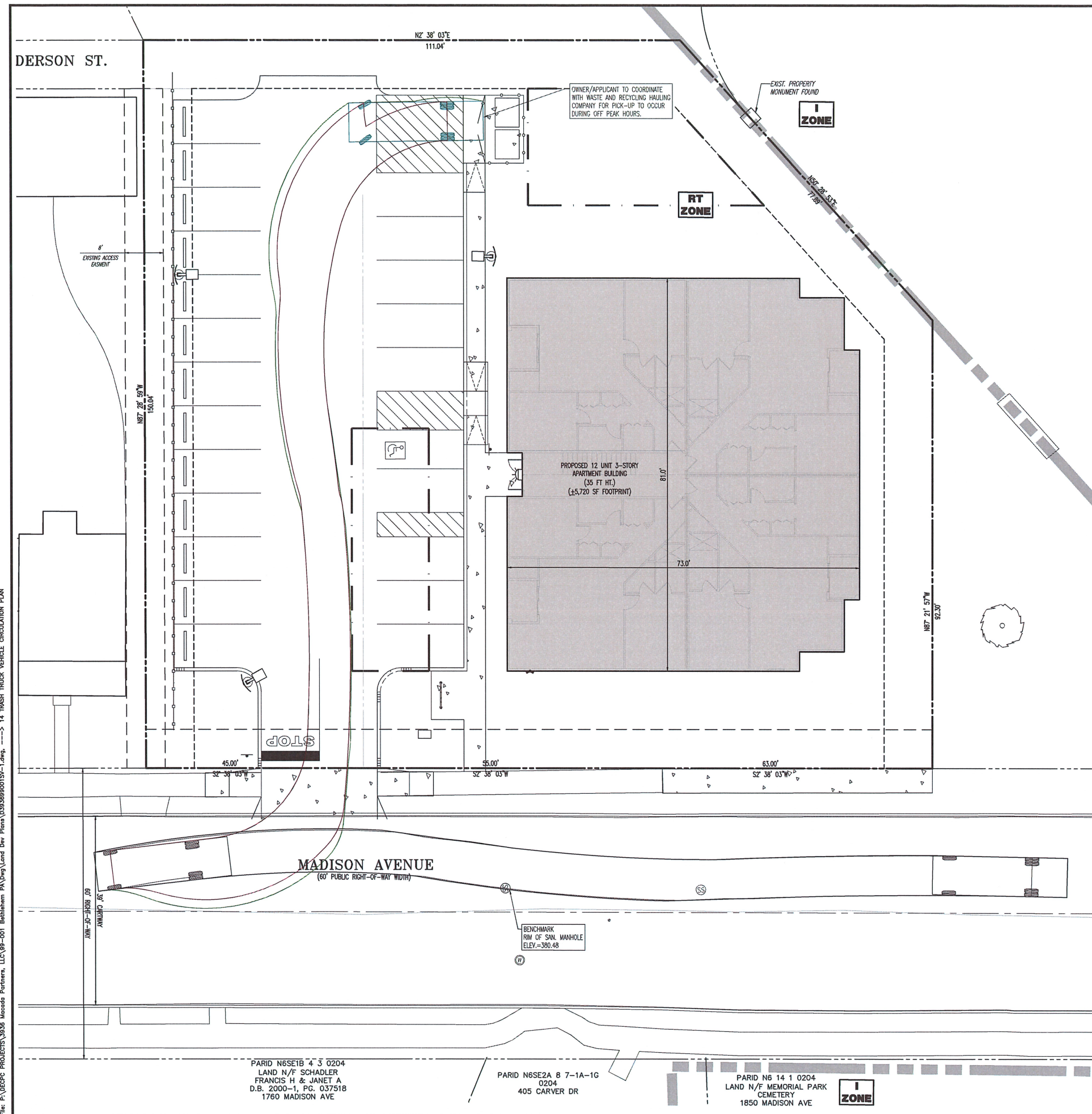
	EXIST. CABLE LINE		EXIST. WATER LINE
	EXIST. ELECTRIC LINE		EXIST. SANITARY SEWER LINE
	EXIST. FIBER OPTIC LINE		EXIST. STORM DRAIN LINE
	EXIST. FUEL LINE		EXIST. UTILITY POLE
	EXIST. OVERHEAD WIRES		EXIST. GUY WIRE
	EXIST. TELEPHONE LINE		EXIST. LIGHT POLE
	EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		EXIST. BUILDING LIGHT
	EXIST. WATER LINE		EXIST. SHOE BOX LIGHT
	EXIST. SANITARY SEWER LINE		EXIST. COBRA LIGHT POLE
	EXIST. STORM DRAIN LINE		EXIST. TRAFFIC SIGNAL POLE
	EXIST. UTILITY POLE		EXIST. MANHOLE
	EXIST. GUY WIRE		EXIST. "W" INLET
	EXIST. LIGHT POLE		EXIST. "C" INLET
	EXIST. BUILDING LIGHT		EXIST. DOUBLE "W" INLET
	EXIST. SHOE BOX LIGHT		EXIST. YARD INLET
	EXIST. COBRA LIGHT POLE		EXIST. FLARED END SECTION
	EXIST. TRAFFIC SIGNAL POLE		EXIST. HEADWALL
	EXIST. MANHOLE		PROP. CABLE LINE
	EXIST. "W" INLET		PROP. ELECTRIC LINE
	EXIST. "C" INLET		PROP. FIBER OPTIC LINE
	EXIST. DOUBLE "W" INLET		PROP. FUEL LINE
	EXIST. YARD INLET		PROP. OVERHEAD WIRES
	EXIST. FLARED END SECTION		PROP. TELEPHONE LINE
	EXIST. HEADWALL		PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
	PROP. CABLE LINE		PROP. WATER LINE
	PROP. ELECTRIC LINE		PROP. SANITARY SEWER LINE
	PROP. FIBER OPTIC LINE		PROP. STORM DRAIN LINE
	PROP. FUEL LINE		PROP. UTILITY POLE
	PROP. OVERHEAD WIRES		PROP. AREA LIGHT
	PROP. TELEPHONE LINE		PROP. DRAINAGE MANHOLE
	PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		PROP. "W" INLET
	PROP. WATER LINE		PROP. "C" INLET
	PROP. SANITARY SEWER LINE		PROP. DOUBLE "W" INLET
	PROP. STORM DRAIN LINE		PROP. YARD INLET
	PROP. UTILITY POLE		PROP. FLARED END SECTION
	PROP. AREA LIGHT		PROP. HEADWALL
	PROP. DRAINAGE MANHOLE		PROP. OUTLET CONTROL STRUCTURE
	PROP. "W" INLET		PROP. SANITARY SEWER MANHOLE
	PROP. "C" INLET		
	PROP. DOUBLE "W" INLET		
	PROP. YARD INLET		
	PROP. FLARED END SECTION		
	PROP. HEADWALL		
	PROP. OUTLET CONTROL STRUCTURE		
	PROP. SANITARY SEWER MANHOLE		

SEE SHEET 13 OF 15 FOR EROSION CONTROL DETAILS



Plotfile: 03/28/22 - 10453 AM, Bc: nccrill
 File: F:\DEPC PROJECTS\3936 Macada Partners, LLC\99-001 Bethlehem PA\Dev\Plan\393699001-1.dwg, ----> 12 EROSION & SEDIMENT CONTROL PLAN
 COPYRIGHT © 2022 - DYNAMIC ENGINEERING CONSULTANTS, PC - ALL RIGHTS RESERVED

THIS PLAN TO BE UTILIZED FOR VEHICLE CIRCULATION PURPOSES ONLY



REV.	DATE	COMMENTS	RWN	BY
1	03/14/22	REVISED PER CITY AND LVPC COMMENTS		

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: **MACADA PARTNERS, LLC**
PROPOSED APARTMENTS
PARCEL NO. N6SE1B 3 1 0204
WARD 14, BLOCK 45
CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA

811 PROTECT YOURSELF
ALL STATES REQUIRE INFORMATION OF DEPOSITORS, RECORDERS, OR ANY PERSON PREPARING TO DIGIT THE GROUND'S SURFACE WHETHER IN HIS STATE

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING
GEO TECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING

95 Highland Avenue, Suite 170
Bethlehem, PA 18017
T: 215.253.4888 | F: 267.685.0361

Offices conveniently located at:

- Chapel Hill, NC • 703.942.1100
- Cherry Hill, NJ • 856.497.9127
- Clarks Summit, PA • 717.252.7500
- Concord, NC • 703.942.1100
- Doylestown, PA • 717.252.7500
- Greenville, SC • 252.333.4400
- High Point, NC • 336.885.1800
- King of Prussia, PA • 610.261.2900
- Lebanon, PA • 717.261.2900
- Littleton, CO • 303.941.8200
- Rocky Mount, NC • 919.592.1200

www.dynamiccec.com

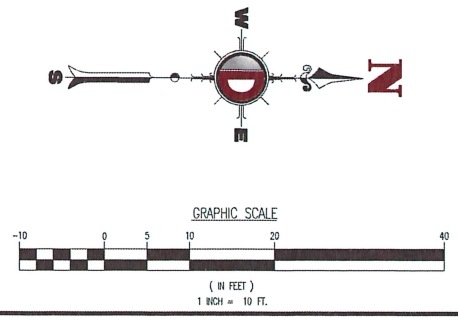


TITLE: **TRASH TRUCK VEHICLE CIRCULATION PLAN**

SCALE: (a) 1"=10'
(b) ONE
DATE: 12/15/2021

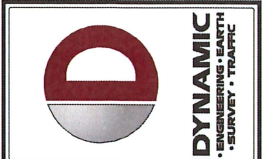
PROJECT No: 393699001

SHEET No: **14** OF 15



Path: D:\2022\12\15\14 - 1854.dwg, Plt: BECC-PROJECTS\3936_Macada_Partners_LLC\99-001_Bethlehem_PANew_Vand_Dev_Plan\393699001S14.dwg, Plot: 14 - TRASH TRUCK VEHICLE CIRCULATION PLAN
 Date: 12/15/2021 10:54 AM, By: rscapf, PLOT: 14 - TRASH TRUCK VEHICLE CIRCULATION PLAN
 Copyright © 2022 - DYNAMIC ENGINEERING CONSULTANTS, PC - ALL RIGHTS RESERVED

THIS PLAN TO BE UTILIZED FOR VEHICLE CIRCULATION PURPOSES



REV.	DATE	COMMENTS
1	05/14/22	REVISED PER CITY AND LYFC COMMENTS

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: MACADA PARTNERS, LLC
 PARCEL NO. INSET 1B 3 1 0204
 1763 MADISON AVENUE
 CITY OF BETHLEHEM, NORTHAMPTON COUNTY, PENNSYLVANIA

811
 Call before you dig
 FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

DYNAMIC ENGINEERING
 LAND DEVELOPMENT CONSULTING • PERMITTING
 GEOTECHNICAL • ENVIRONMENTAL
 TRAFFIC • SURVEY • PLANNING & ZONING

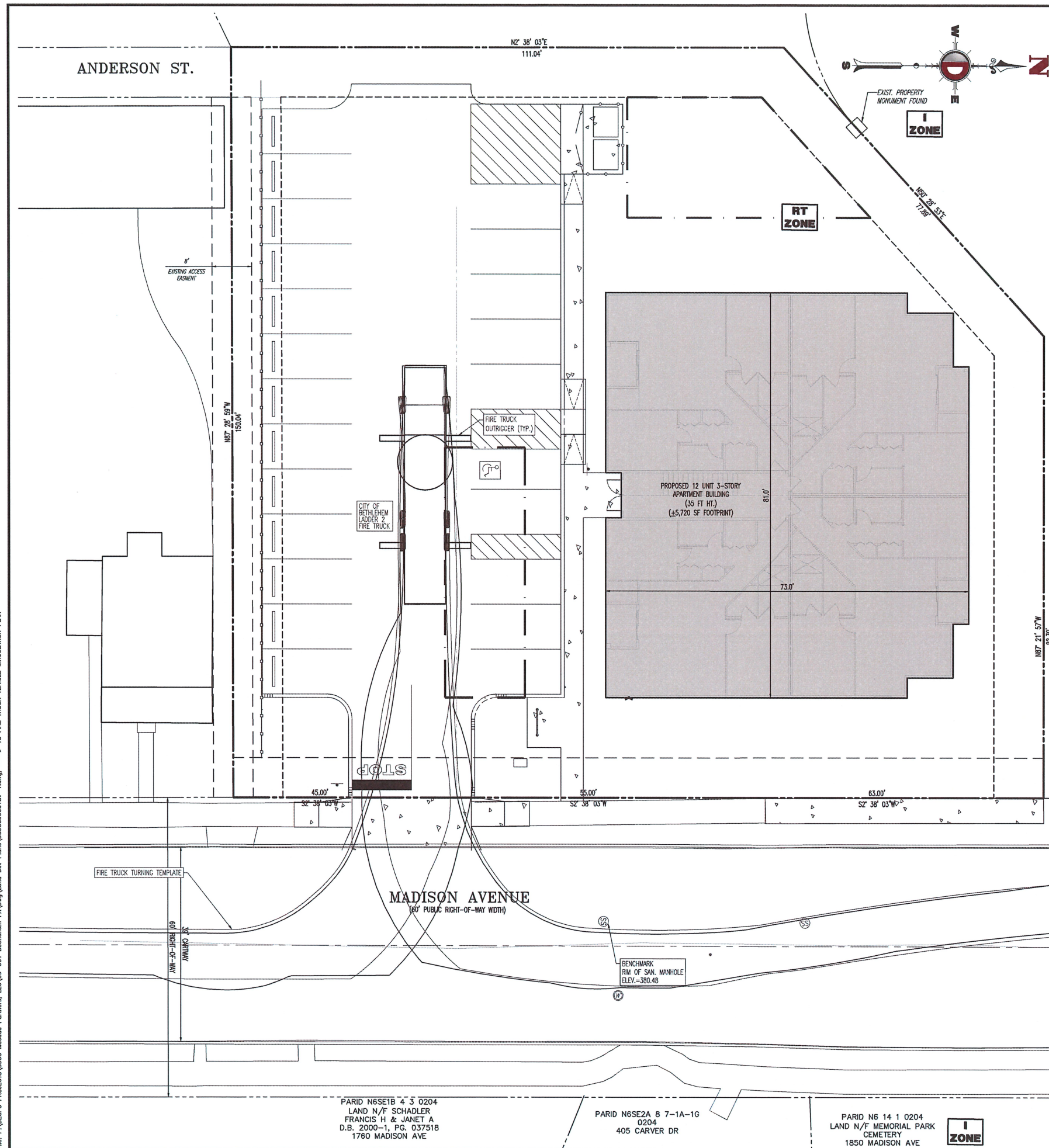
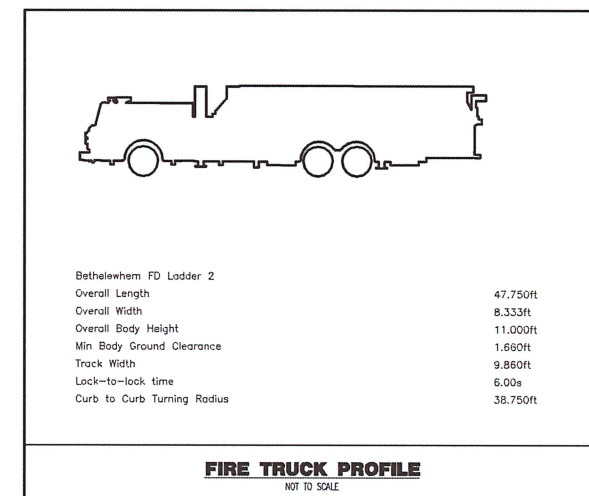
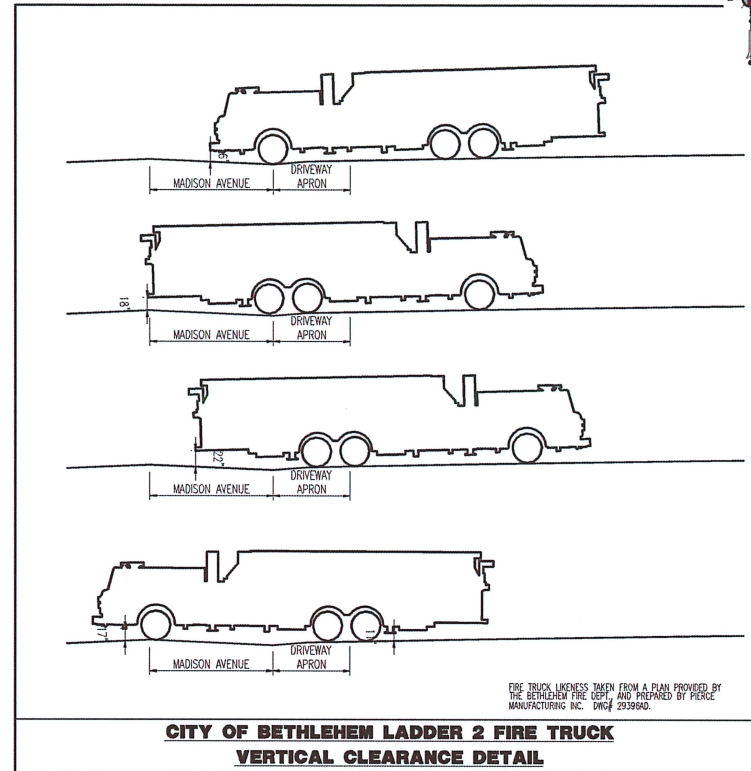
95 Highland Avenue, Suite 170
 Bethlehem, PA 18017
 T: 215.253.4888 | F: 267.685.0361

STEPHEN WALSH
 PROFESSIONAL ENGINEER
 PENNSYLVANIA # 009856

TITLE:
FIRE TRUCK VEHICLE CIRCULATION PLAN

SCALE: (H) 1" = 10'
 (V) 1" = 10'
 PROJECT No: 393699001

SHEET No: **15** OF 15
 DATE: 12/15/2021
 REV. #:



Plotted: 03/28/22 - 10:54 AM, By: nccrill
 File: F:\CEPC PROJECTS\3936 Macada Partners, LLC\99-001 Bethlehem PA\Map\Land Dev\393699001.dwg, ----> 15 FIRE TRUCK VEHICLE CIRCULATION PLAN