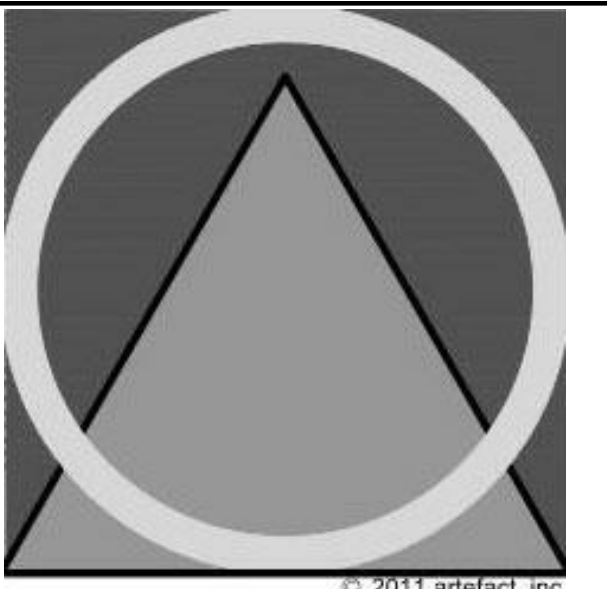


230-232 E. MORTON STREET APARTMENT RENOVATIONS & ADDITION

BETHLEHEM, PA 18015



Artefact, Inc.

CHRISTINE USSLER, AIA
26-28 EAST THIRD STREET
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APARTMENT RENOVATIONS & REAR ADDITION

230-232 E. Morton Street
Bethlehem, PA 18015

CLIENT
Ethos Residential

SEAL & SIGNATURE



ISSUE

LOCATION MAP



SYMBOLS LEGEND

	NAME	ELEVATION DATUM
		PROJECT NORTH
		(E) WALL
		DEMO WALL
		PROPOSED WALL
		ALIGN
		REVISION CLOUD
		ELEVATION MARKER
	TYP	BUILDING SECTION
	TYP	DETAIL SECTION
		CHANGE IN PLANE

GENERAL NOTES

- DO NOT SCALE DIRECTLY FROM THE DRAWINGS.
- MAINTAIN A CLEAR, PROTECTED PATH OF EGRESS TO AND FROM THE EXISTING STREET LEVEL ENTRY.
- DISCREPANCIES FOUND IN THESE DRAWINGS AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING APPLICABLE CODES AND REGULATIONS:

- 2018 PA UNIFORM CONSTRUCTION CODE (UCC)
2015 INTERNATIONAL BUILDING CODE (IBC) AND 2018 RESIDENTIAL CODE (IRC)
NATIONAL STANDARD ELECTRICAL & PLUMBING CODES (2015 PENNSYLVANIA EDITIONS)
- AMERICANS WITH DISABILITIES ACT, ADA TITLE III
- OSHA
- ACCESSIBLE AND USEABLE BUILDING FACILITIES ANSI A117.1-2015

PROJECT TEAM

ARCHITECT:
Artefact, Inc.
26-28 East Third Street
Bethlehem, PA 18015
Contacts: Christine Ussler, AIA
Lucienne DiBiase Dooley
610-861-0235

OWNER:
Ethos Residential
Mobile: (215) 341-8387
Email: calbright@ethosresidential.com
Contact: Christopher Albright

ABBREVIATIONS

(E) EXISTING	DIM. DIMENSION	MISC. MISCELLANEOUS	SED SEE ELECTRICAL
(N) NEW	DN. DOWN	MTD. MOUNTED	DRAWINGS
@ AT	DWG. DRAWING	MTL. METAL	SEE MECHANICAL
A.B. ANCHOR BOLT	EA. EACH	N.I.C. NOT IN CONTRACT	DRAWINGS
A.F.F. ABOVE FINISH FLOOR	ELEC. ELECTRICAL	N.T.S. NOT TO SCALE	SEE PLUMBING
ACOUS. ACOUSTICAL	ELEV. ELEVATION	NEC. NECESSARY	DRAWINGS
ADJ. ADJACENT	EMER. EMERGENCY	NO. or # NUMBER	SEE STRUCTURAL
ALT. ALTERNATE	EQ. EQUAL	NOM. NOMINAL	DRAWINGS
ALUM. ALUMINUM	EST. ESTIMATED	O.C. ON CENTER	STAINLESS STEEL
APPROX. APPROXIMATE	EXT. EXTERIOR	O.H. OPPOSITE HAND	S.S. SCHEDULE
ARCH. ARCHITECTURAL	F.O. FACE OF	O.F. OVER	SECT. SECTION
B.O. BOTTOM OF	F.O.F. FACE OF FINISH	OPNG. OPENING	SHT. SHEET
BD. BOARD	FIN. FINISH	OPNG. OWNER FURNISHED	SIM. SIMILAR
BLDG. BUILDING	FLR. FLOOR	CONTRACTOR	SPEC. SPECIFICATION
BLKG. BLOCKING	GA. GAUGE	INSTALLED	STD. STANDARD
BOT. BOTTOM	GALV. GALVANIZED	PRESSURE TREATED	STL. STEEL
CAB. CABINET	GFRC GLASS FIBER	PLY. PLYWOOD	STRUCT. STRUCTURAL
CL. CENTERLINE	GL. GLASS	PNL'G PANELING	T.O. TOP OF
CLG. CEILING	GYP. GYPSUM	PTD. PAINTED	THK. THICK
CLST. CLOSET	GYP. BD. GYPSUM BOARD	R.O. ROUGH OPENING	TYP. TYPICAL
CONSTR. CONSTRUCTION	HCW HOLLOW CORE WALL	RAD. RADIUS	UNLESS OTHERWISE
CONTIN. CONTINUOUS	HDWR. HARDWARE	REINF. REINFORCED	NOTED
CONTR. CONTRACTOR	HORZ. HORIZONTAL	REIN. REMOVE(D)	WITH
CORR. CORRIDOR	INSUL. INSULATION	REQ'D. REQUIRED	WITHOUT
CTR. CENTER	INT. INTERIOR	RET. RETAINING	WOOD
CTSK. COUNTERSUNK	JT. JOINT	RM. ROOM	WATERPROOF
DBL. DOUBLE	MAT. MATERIAL	S.C. SOLID CORE	WT. WEIGHT
DEM. DEMOLISH	MAX. MAXIMUM	S.F. SQUARE FEET	
DET. DETAIL	MECH. MECHANICAL	S.M. SHEET METAL	
	MFR. MANUFACTURER		
	MIN. MINIMUM		

DRAWING INDEX

ARCHITECTURAL DRAWINGS

G0.00	COVER SHEET
G0.01	CODE & EGRESS ANALYSIS
D0.00	BASEMENT & FIRST FLOOR DEMO PLANS
D0.01	SECOND & THIRD (ATTIC) FLOOR DEMO PLANS
A1.00	SITE PLAN
A2.00	BASEMENT & FIRST FLOOR PLANS
A2.01	SECOND & THIRD (ATTIC) FLOOR PLANS
A4.00	BASEMENT & FIRST FLOOR CLNG. & ELEC. PLANS
A4.01	SECOND & THIRD (ATTIC) CLNG. & ELEC. PLANS
A6.00	EXTERIOR ELEVATIONS
A6.01	ADDITION WALL SECTIONS
A9.00	SCHEDULES, RISER DIAGRAM, & TYP. DETAILS

NOT FOR CONSTRUCTION

TITLE
COVER SHEET

Project Status
ISSUE DATE 12.30.20
SCALE As indicated
DRAWN BY CR
CHECKED BY LDBD

G0.00

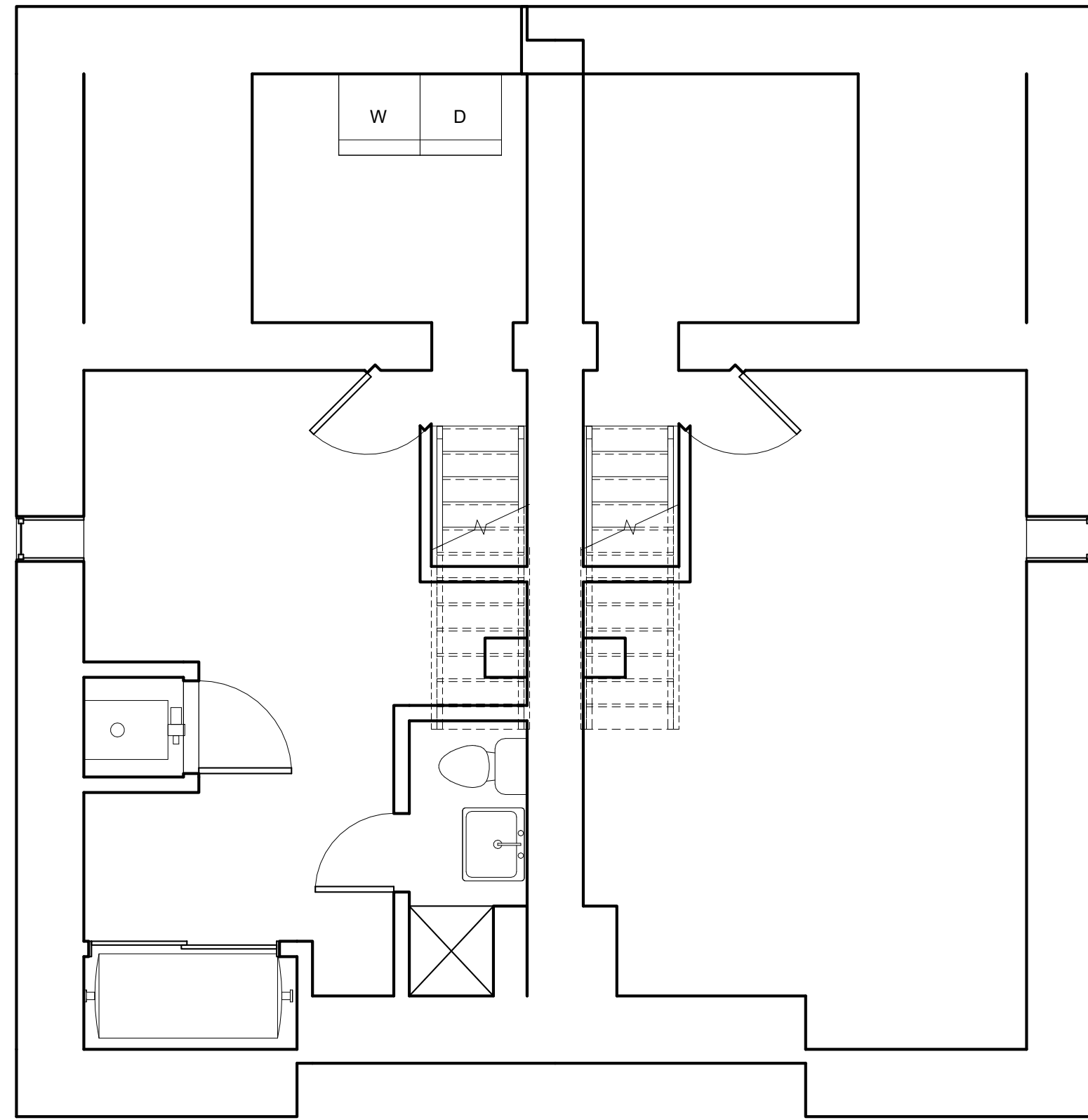
DEMOLITION NOTES

1. MAINTAIN AND PROTECT EXIST. UTILITIES TO REMAIN IN SERVICE BEFORE PROCEEDING WITH DEMOLITION. IF REQ'D, PROVIDE BYPASS CONNECTIONS.
2. PROTECT EXIST. PEDESTRIAN PATHS, WALLS, AND EXPOSED FINISHES PROPOSED TO BE RETAINED. ERECT AND MAINTAIN DUSTPROOF BARRIERS AS NECESSARY DURING CONSTRUCTION.
3. PROMPTLY REMOVE DEMOLISHED MATERIALS FROM PROPERTY AND LEGALLY DISPOSE OF THEM. THE ITEMS SHALL BE DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL ORDINANCES. LEAVING SURFACES CLEAN, SOLID AND READY TO RECEIVE NEW MATERIALS/FINISHES.

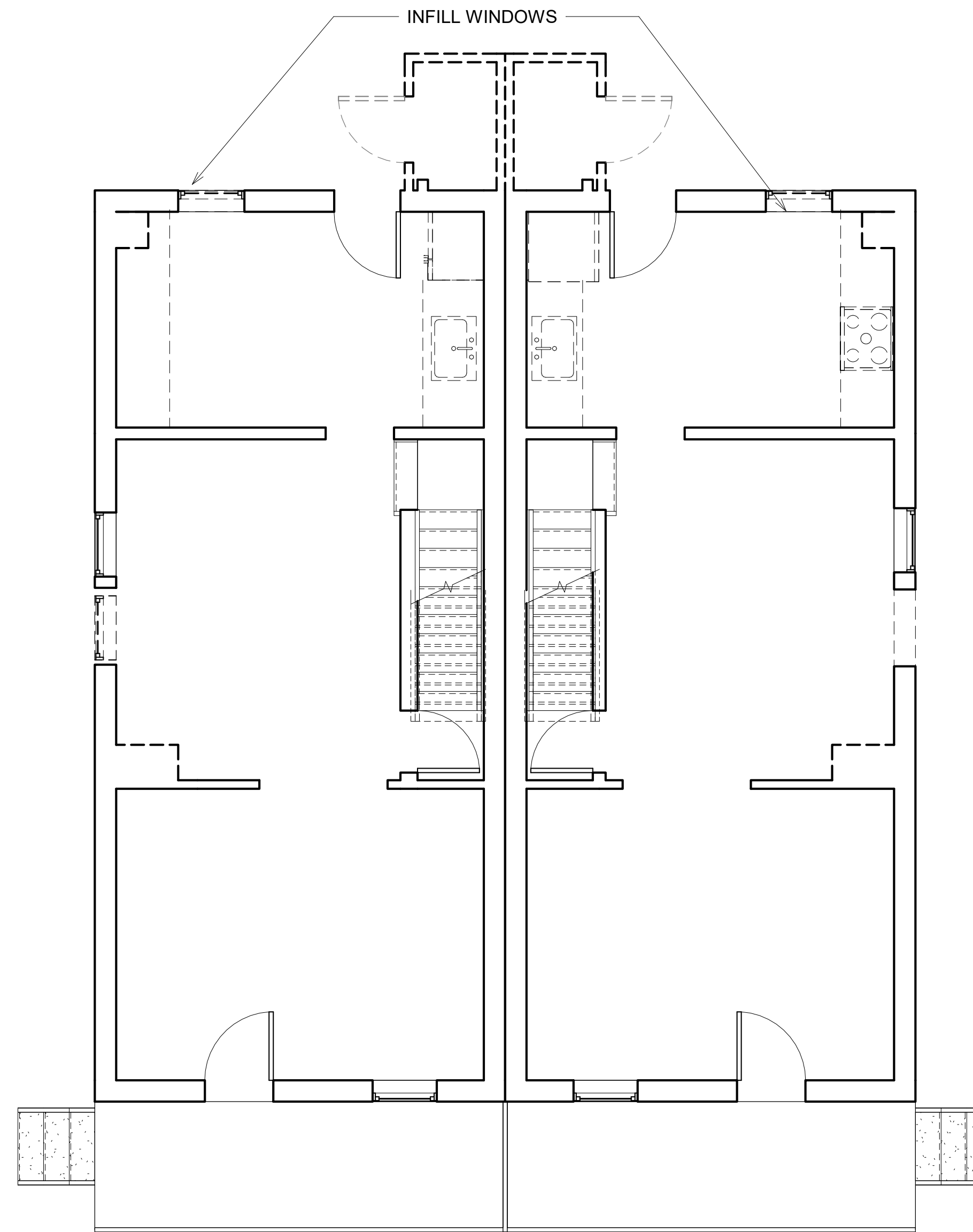
LEGEND

- EXISTING TO REMAIN
- - - - EXISTING TO BE DEMOLISHED

NO WORK IN BASEMENT, ETR.



① Basement DEMO
1/4" = 1'-0"



② Level 1 DEMO
1/4" = 1'-0"



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SEAL & SIGNATURE

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TITLE
**BASEMENT & 1ST
FLOOR DEMO PLANS**

Project Status
ISSUE DATE 12.30.20
SCALE 1/4" = 1'-0"
DRAWN BY Author
CHECKED BY Checker

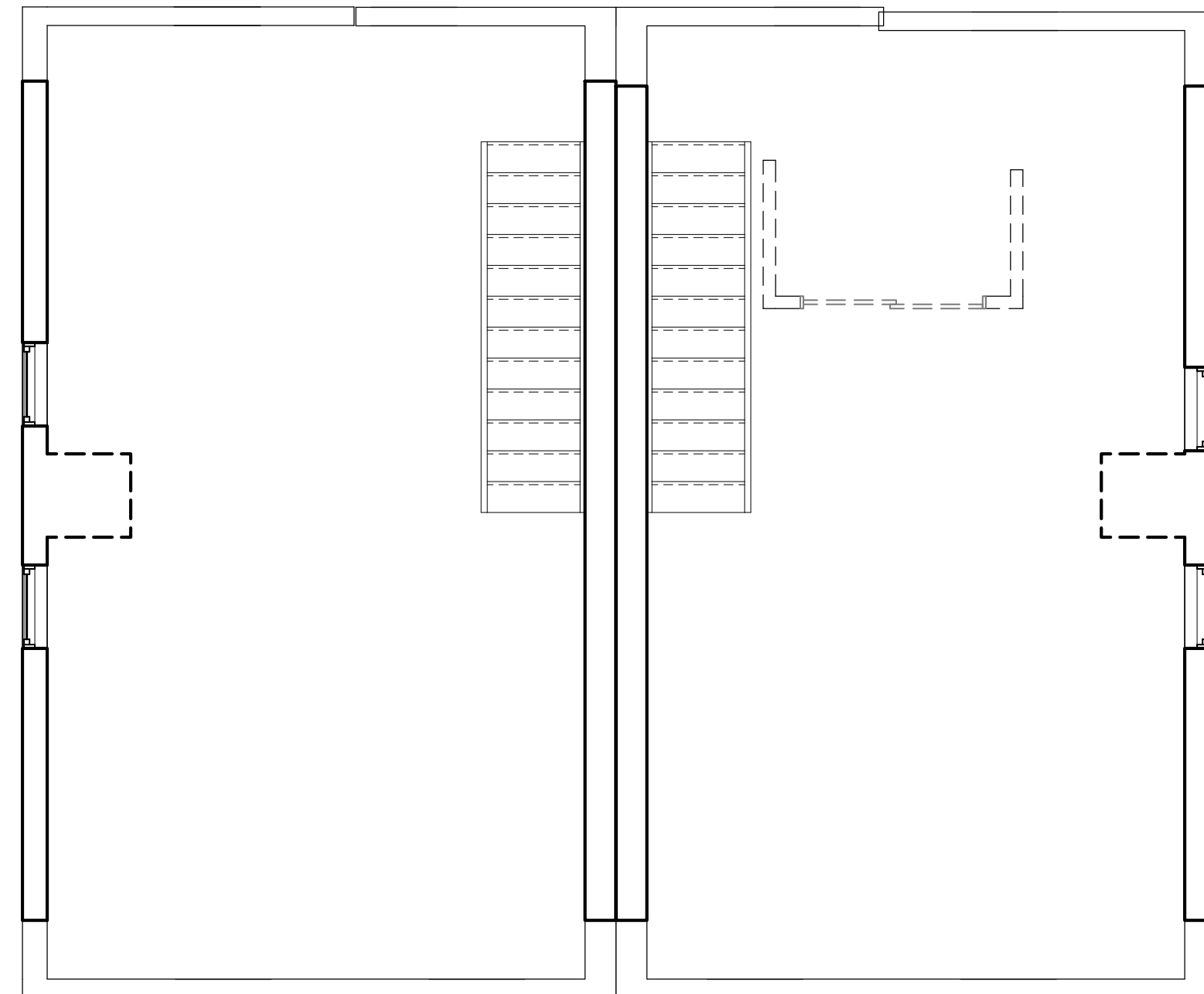
D0.00

DEMOLITION NOTES

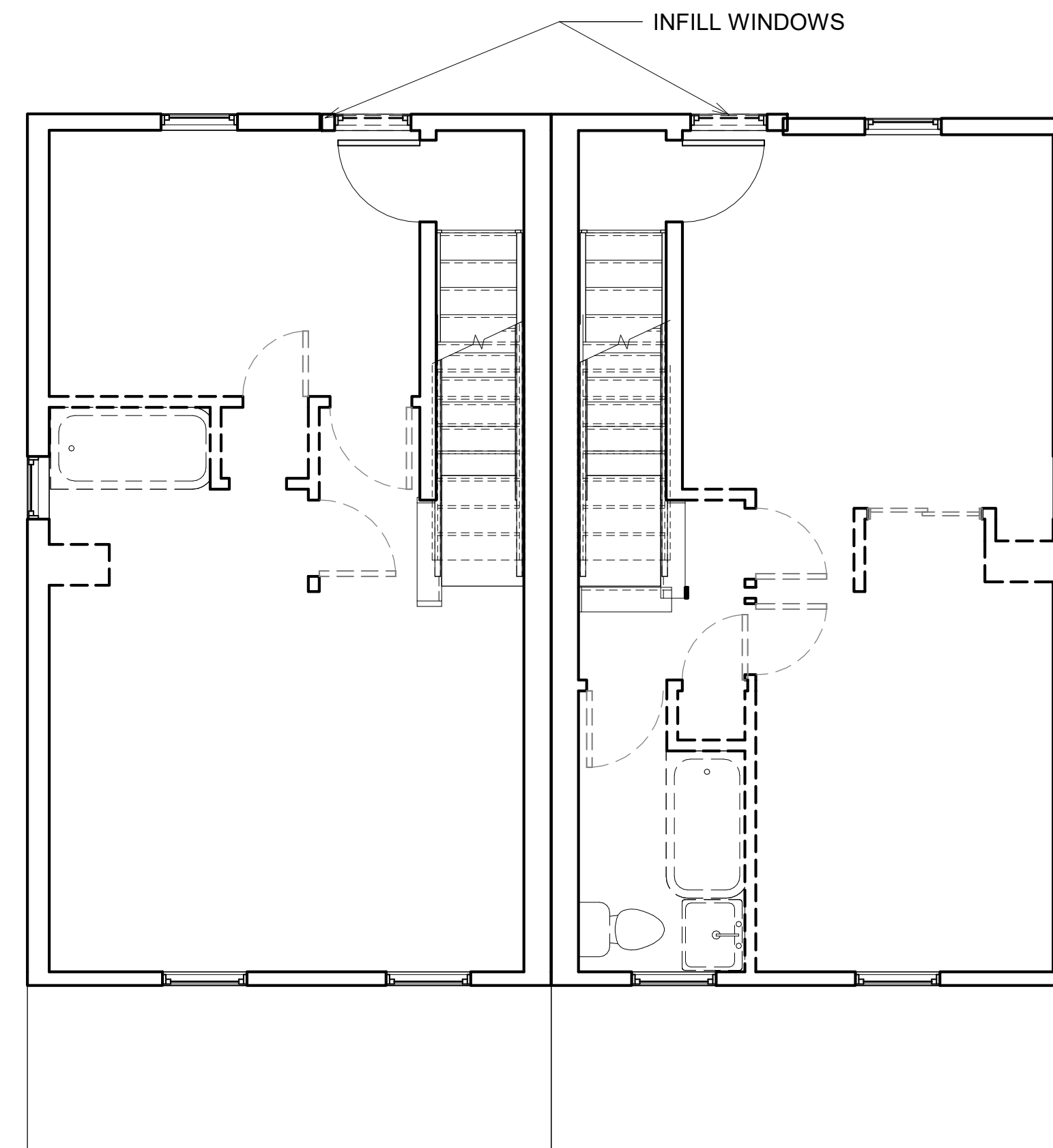
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2. PROTECT EXIST. PEDESTRIAN PATHS, WALLS, AND EXPOSED FINISHES PROPOSED TO BE RETAINED. ERECT AND MAINTAIN DUSTPROOF BARRIERS AS NECESSARY DURING CONSTRUCTION.
3. PROMPTLY REMOVE DEMOLISHED MATERIALS FROM PROPERTY AND LEGALLY DISPOSE OF THEM. THE ITEMS SHALL BE DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL ORDINANCES, LEAVING SURFACES CLEAN, SOLID AND READY TO RECEIVE NEW MATERIALS/FINISHES.

LEGEND

- EXISTING TO REMAIN
- - - - EXISTING TO BE DEMOLISHED



② Attic DEMO
1/4" = 1'-0"



① Level 2 DEMO
1/4" = 1'-0"



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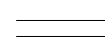



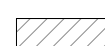
NOT FOR CONSTRUCTION

TITLE
**2ND & ATTIC DEMO
FLOOR PLANS**

Project Status
ISSUE DATE 12.30.20
SCALE 1/4" = 1'-0"
DRAWN BY Author
CHECKED BY Checker

D0.01

LEGEND

-  EXISTING WALLS TO REMAIN (WOOD-FRAMED)
-  EXIST. WALLS W/ 1HR. RATING (1 LAYER 5/8" GYP BD. EA. SIDE)
-  NEW NON-RATED WALLS - SEE TYP. DETAIL ON GO.01
2X W/ (1) LAYER 5/8" GYP. BD. ON EACH SIDE;
USE MR GYP. BD. AT TOILET RMS. & WET AREAS
-  NEW 2 HR. RATED WAL - SEE TYP. DETAIL ON GO.01
-  EXIST. FOUNDATION WALLS TO REMAIN

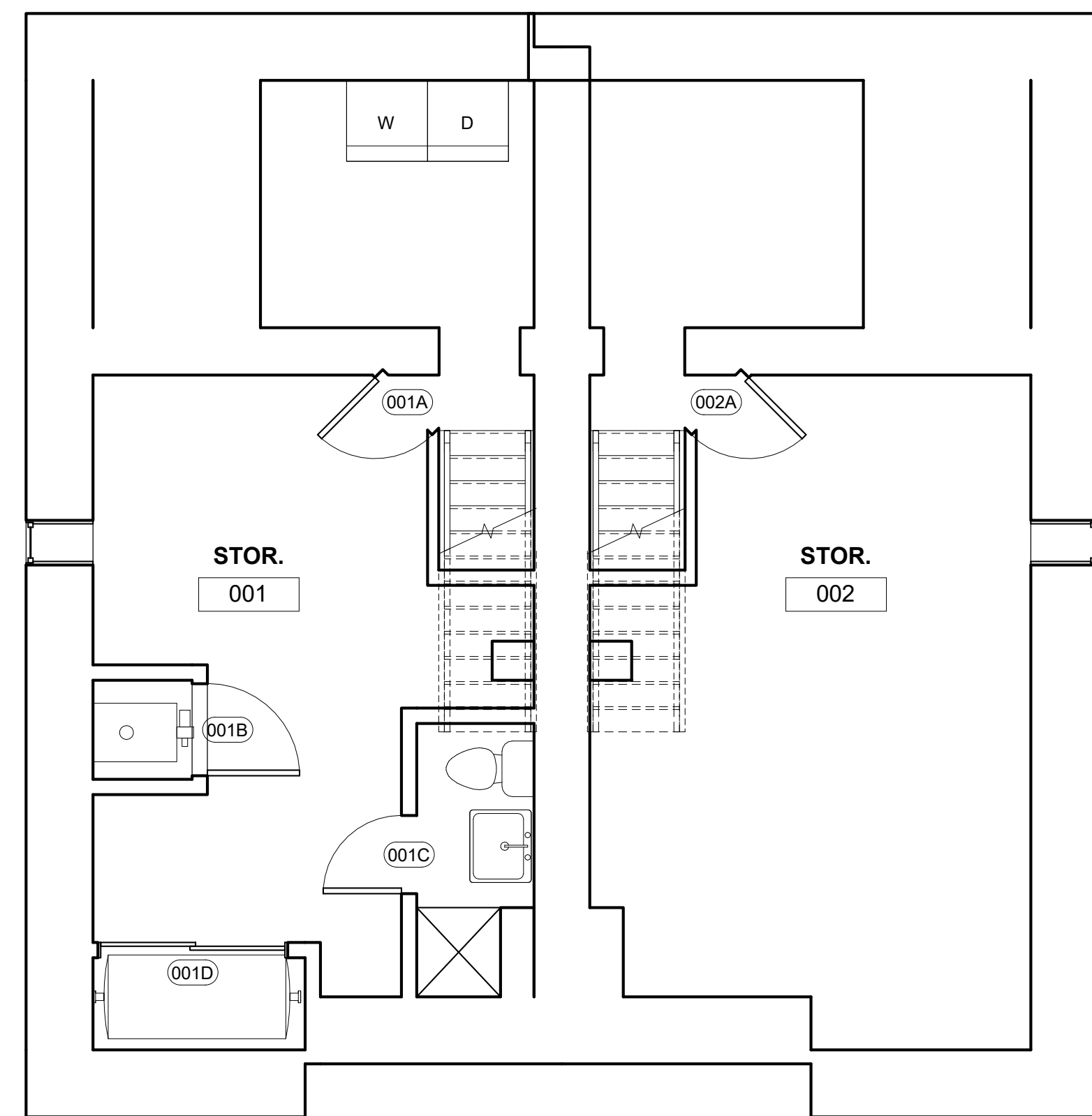
FLAG NOTES

1. INSTALL WIRE SHELF (min. 12" D.) W/
INTEGRAL CLOTHES HANGER @ 4'-6" A.F.F.
PROVIDE BLOCKING AS REQ'D. FINISHED
CLOSET DEPTH TO BE 2'-0" TYP.
2. INSTALL (5) WIRE SHELVES (min. 12" D.)
FROM 3' A.F.F. & 12" o.c.
PROVIDE BLOCKING AS REQ'D.
3. INSTALL NEW HANDRAIL @ 34-38" ABOVE
STAIR NOSING W/ 12" EXTENSION AT TOP
& BOTTOM, PROVIDE BLOCKING AS REQ'D.
4. REMOVE EXIST. CARPET OR OTHER FINISH FLOORING, TYP.;
INSTALL NEW WOOD FLOORING OR OTHER, TBD.
5. INSTALL CERAMIC TILE FLOORING, TYPE/COLOR TBD.
6. EGRESS WINDOWS IN BEDROOMS.

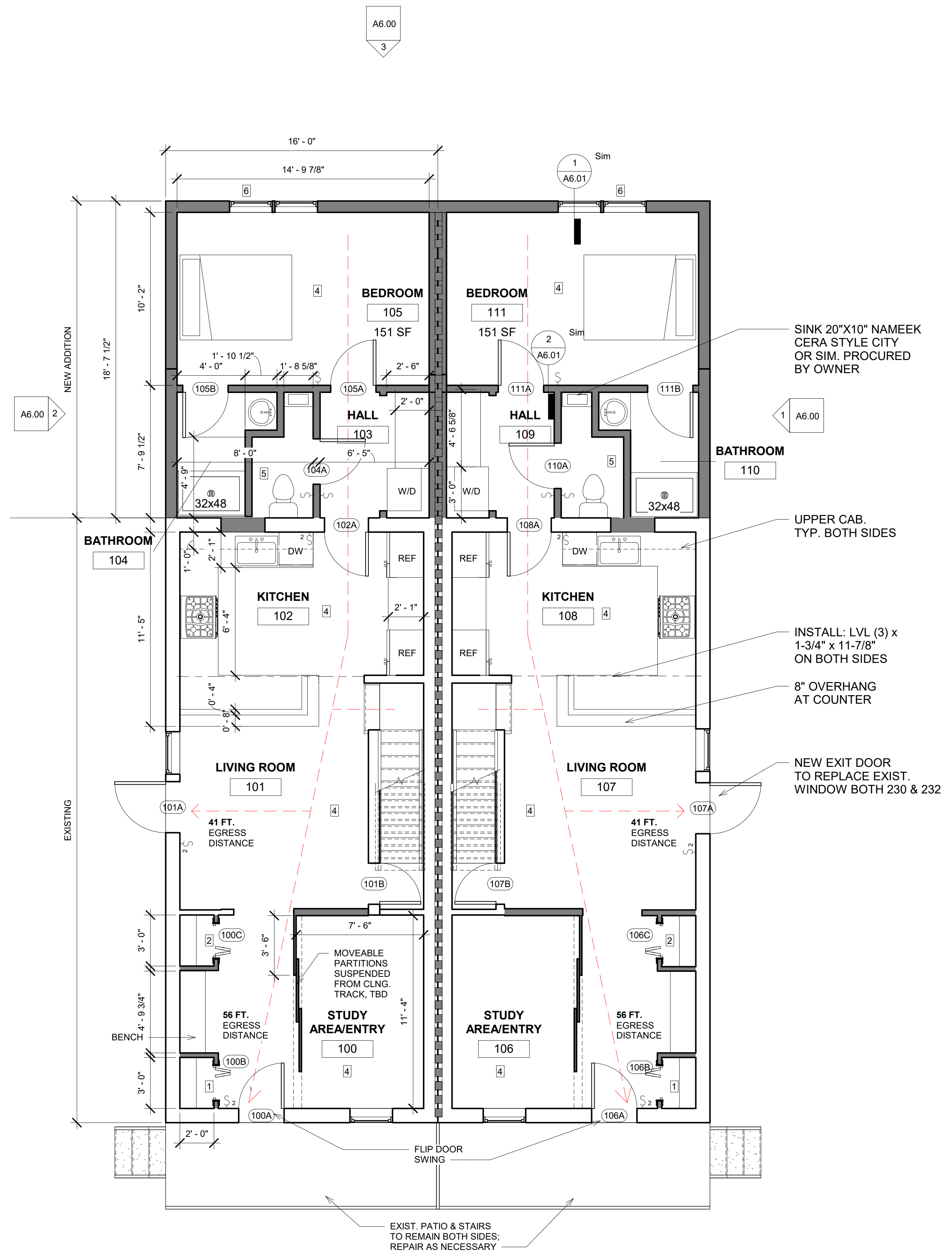
GENERAL NOTES:

1. ALL DOORS AND WINDOWS EXIST. TO REMAIN UNLESS OTHERWISE NOTED.
2. ALL GUTTED EXTERIOR WALLS TO RECEIVE BATT INSULATION.

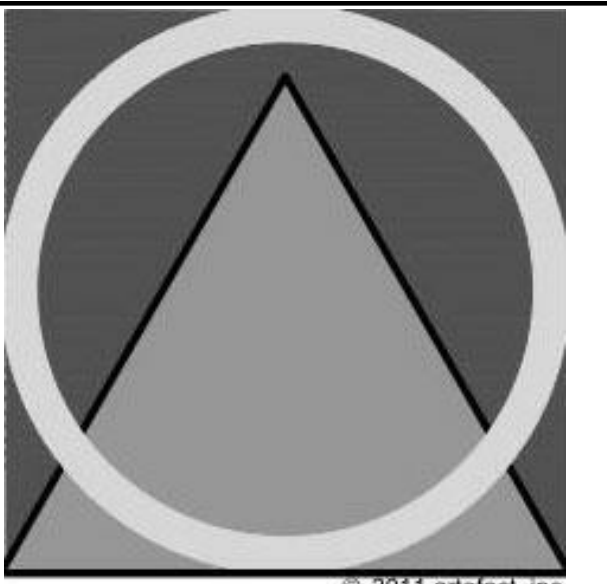
NO WORK AT BASEMENT; EXIST. TO REMAIN. 2 STORY ADDITION ABOVE AT SOUTH SIDE.



1 BASEMENT
1/4" = 1'-0"



2 LEVEL 1
1/4" = 1'-0"



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ISSUE DATE 12.30.20
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DRAWN BY Author
CHECKED BY Checker

A2.00

LIGHTING & ELECTRICAL LEGEND

- RECESSED DOWNLIGHT
- WALL MOUNTED FIXTURE
- PENDANT FIXTURE
- SURFACE-MTD. LED LAMP
- ⊙ CEILING HEIGHT - TO MATCH EXIST., (U.O.N.)
- ⊙ FLUSH MTD. EXHAUST FAN W/ LIGHT
- ⊙ JUNCTION BOX - RECIRCULATING FAN
- ⊙ SWITCH, 2-WAY SWITCH
- ⊙ DUPLEX RECEPTACLE, +12" A.F.F., TYP.
- ⊙_{GFI} GFCI PROTECTED DUPLEX RECEPTACLE, 3' ABOVE COUNTER, 40 A.F.F. IN BATHROOMS

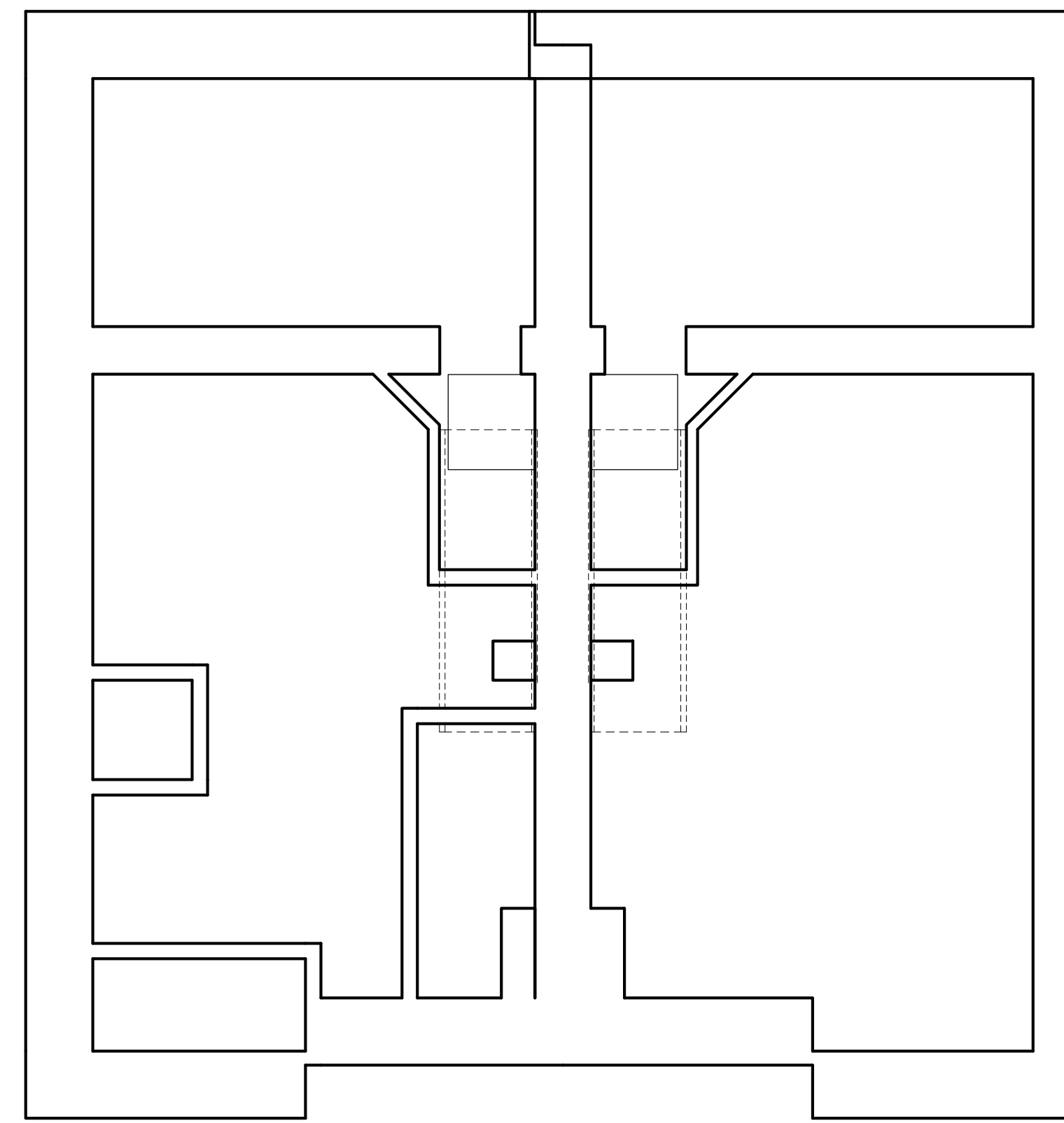
FIRE SAFETY LEGEND

- ⬇ ILLUMINATED EXIT SIGN W/ EMERGENCY LIGHTING
- ⬇ EMERGENCY LIGHTING
- ⬇ AUDIBLE/VISUAL ALARM
- ⊙ SMOKE DETECTOR
- ⊙_{FE} FIRE EXTINGUISHER

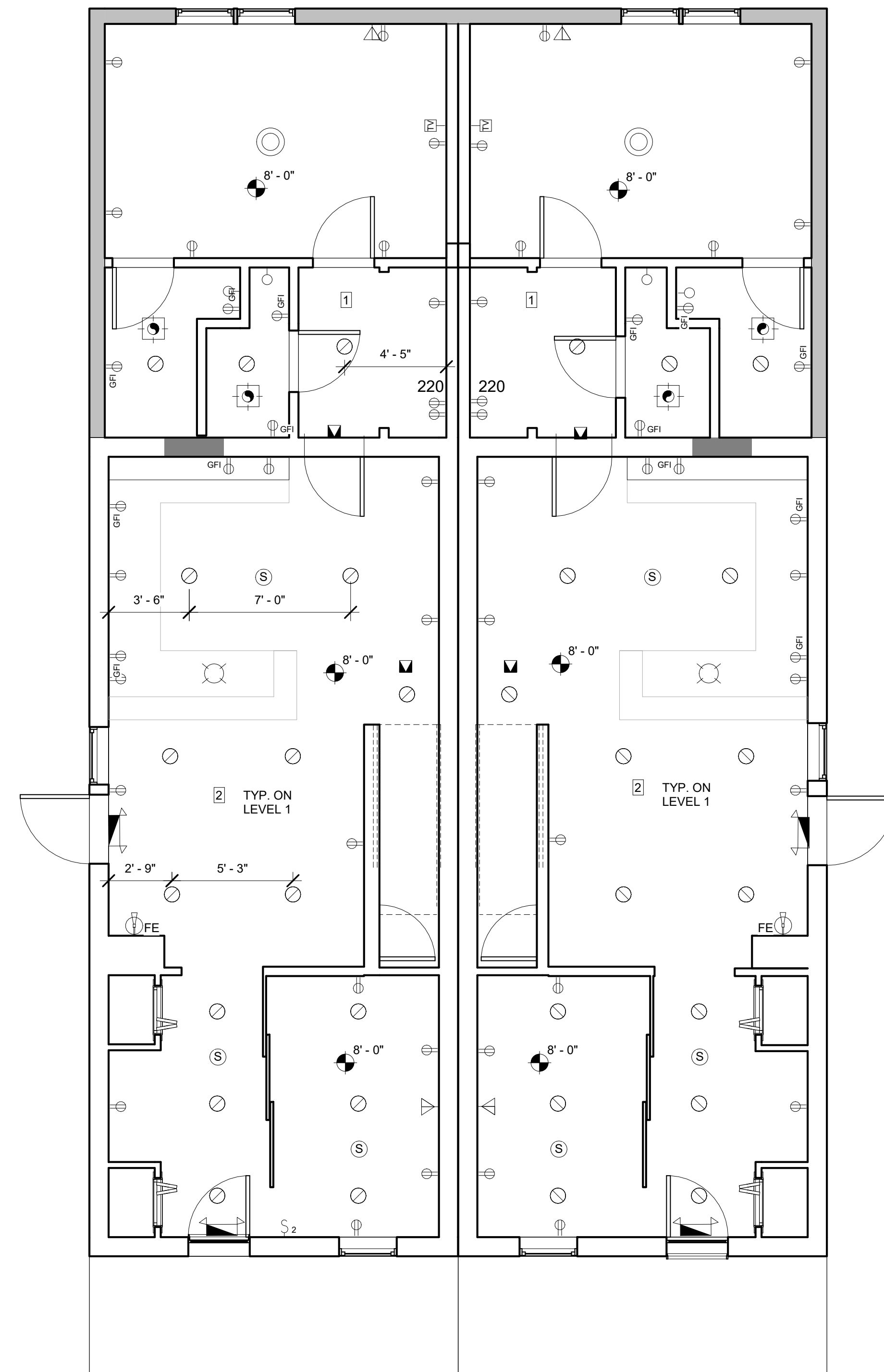
FLAG NOTES

- 1 REMOVE EXIST. TILE OR GYP. BD. CEILING IF EXIST. INSTALL NEW 1-HR GYP. BD. CEILING (ON EXIST. FRAMING IN EXIST. SECTION AND INSTALL NEW FRAMING IN ADDITION). SEE TYP. CEILING DETAIL ON A9.00
 - 2 EXIST. GYP. BD. CEILING TO REMAIN. PATCH AND REFINISH AS REQ.
- NOTE:
- 1. LIGHT FIXTURES TO BE CENTERED IN SPACE, UNLESS OTHERWISE NOTED. LIGHT FIXTURES TO BE LED AND WILL BE SELECTED AND PROCURED BY OWNER.
 - 2. SMOKE DETECTORS TO BE INSTALLED IN ALL BEDROOMS HALLWAYS AND LIVING ROOMS

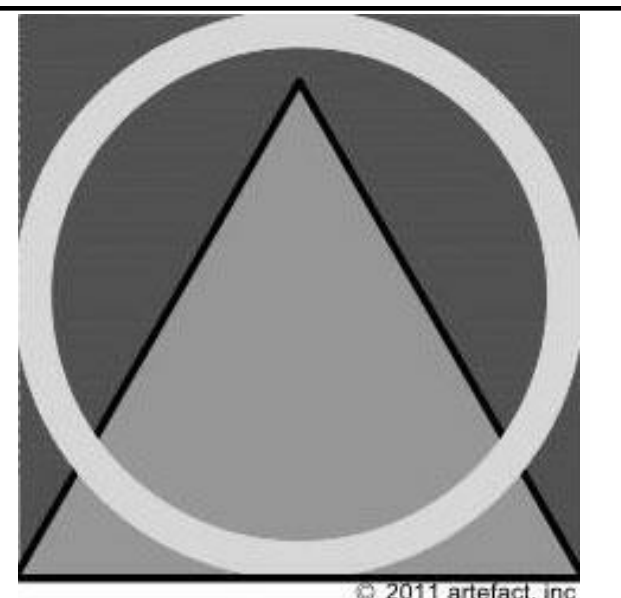
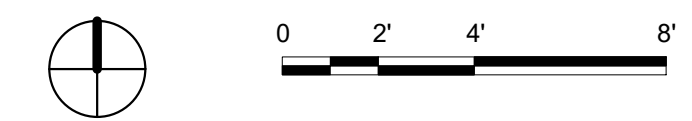
NO WORK AT BASEMENT LEVEL.



1 BASEMENT
1/4" = 1'-0"



2 LEVEL 1
1/4" = 1'-0"



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A4.00

LIGHTING & ELECTRICAL LEGEND

- RECESSED DOWNLIGHT
- WALL MOUNTED FIXTURE
- PENDANT FIXTURE
- SURFACE-MTD. LED LAMP
- CEILING HEIGHT - TO MATCH EXIST., (U.O.N.)
- ⊠ FLUSH MTD. EXHAUST FAN W/ LIGHT
- ⊞ JUNCTION BOX - RECIRCULATING FAN
- ⊞₂ SWITCH, 2-WAY SWITCH
- ⊞ DUPLEX RECEPTACLE, +12" A.F.F., TYP.
- ⊞_{GFI} GFCI PROTECTED DUPLEX RECEPTACLE, 3' ABOVE COUNTER, 40 A.F.F. IN BATHROOMS

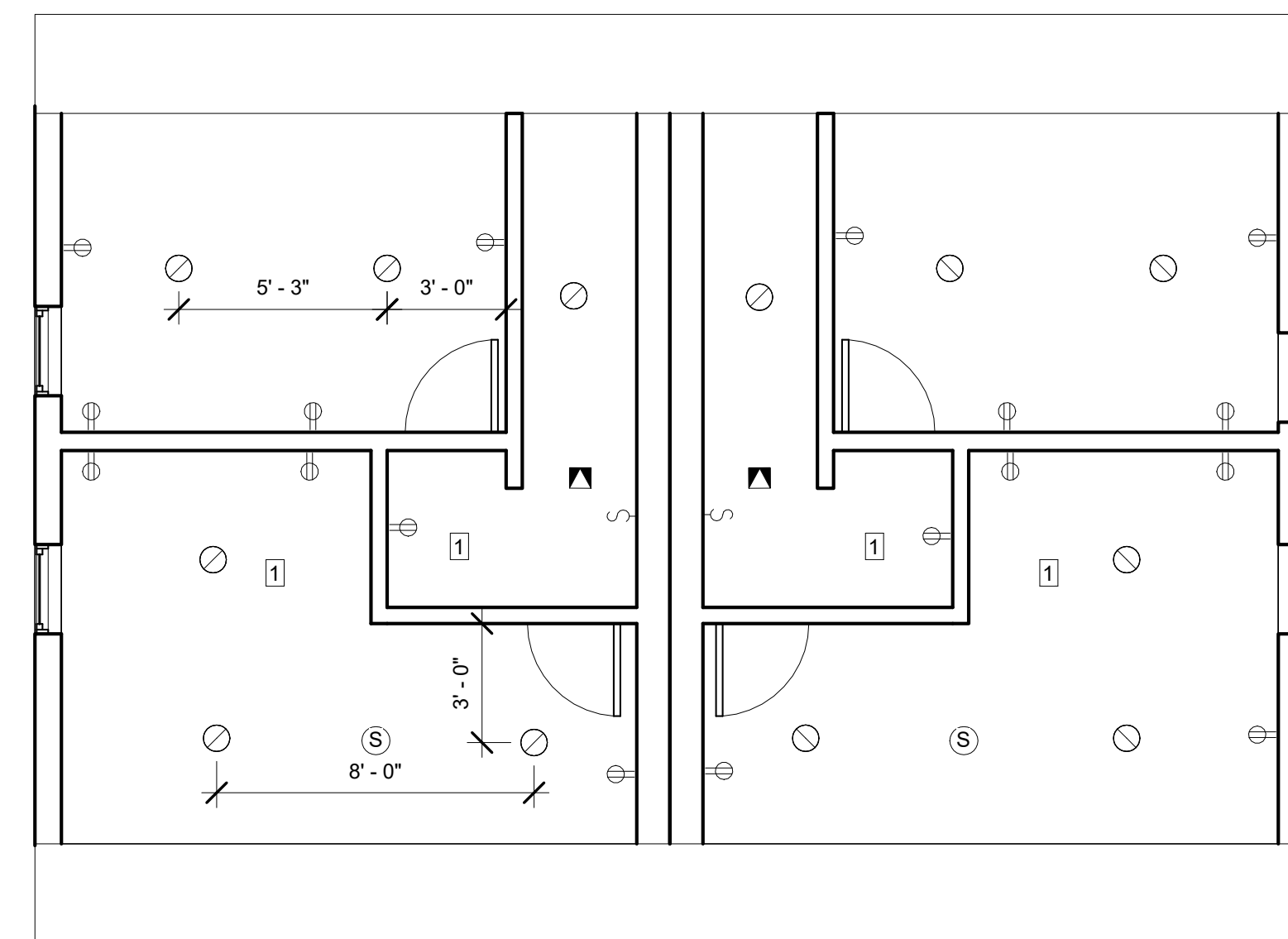
FIRE SAFETY LEGEND

- ⬆ ILLUMINATED EXIT SIGN W/ EMERGENCY LIGHTING
- ⊞ EMERGENCY LIGHTING
- ⬛ AUDIBLE/VISUAL ALARM
- ⊞ SMOKE DETECTOR
- ⊞ FE FIRE EXTINGUISHER

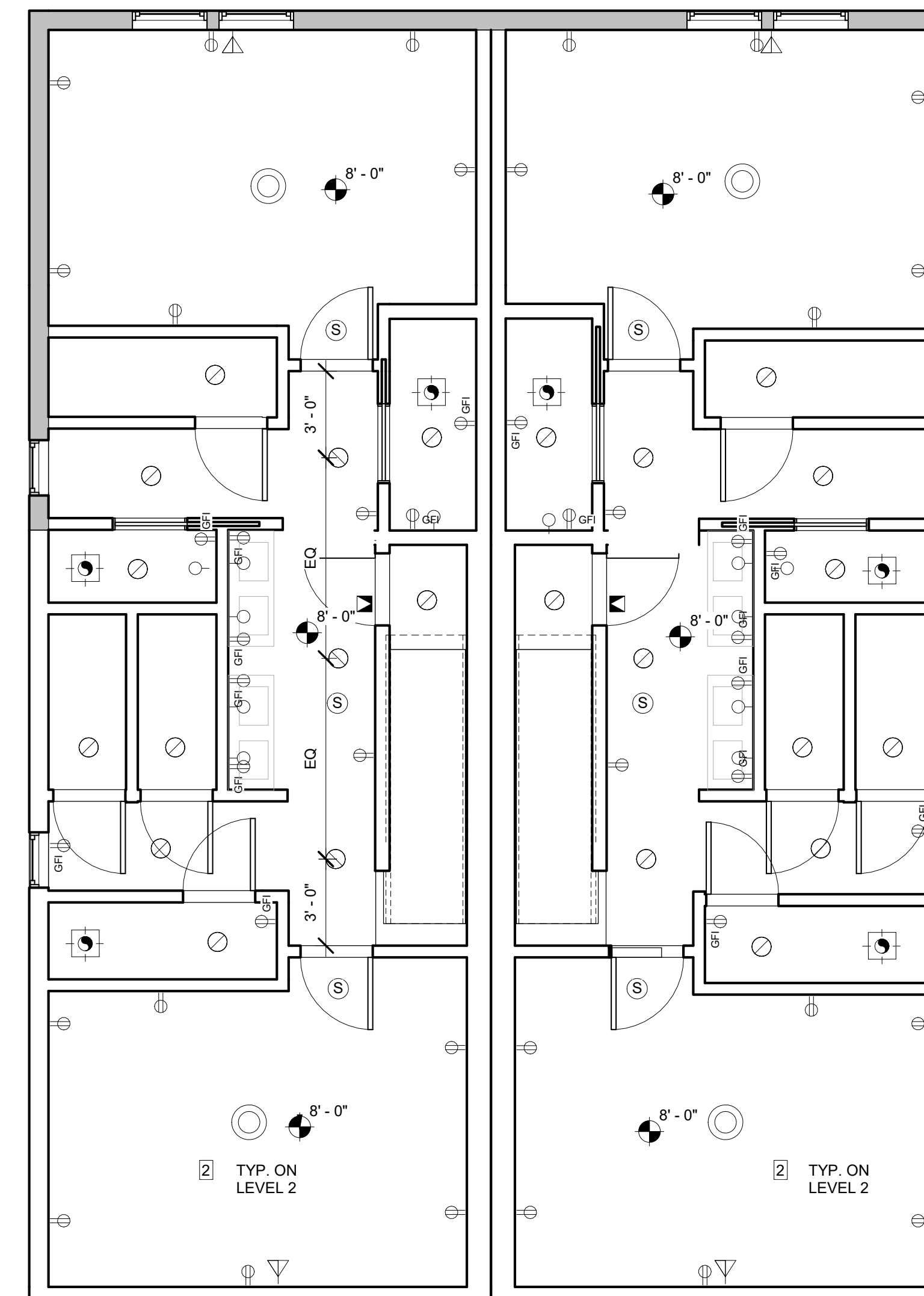
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- 2 EXIST. GYP. BD. CEILING TO REMAIN. PATCH AND REFINISH AS REQ.

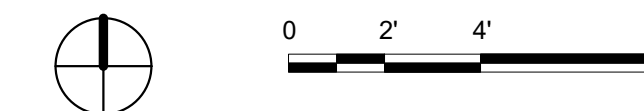
NOTE:
 1. LIGHT FIXTURES TO BE CENTERED IN SPACE, UNLESS OTHERWISE NOTED. LIGHT FIXTURES TO BE LED AND WILL BE SELECTED AND PROCURED BY OWNER.



1 ATTIC
 1/4" = 1'-0"



2 LEVEL 2
 1/4" = 1'-0"



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A4.01

