

1" = 2000'

SITE DATA

RECORD OWNER:	WILLIAM A. BURK
PROPERTY ADDRESS:	1535 BUTZTOWN ROA
COUNTY TAX PARCEL I.D.:	M7SW4-23-2
RECORD DOCUMENT I.D.:	D.B.V. 757, PG. 39
EX. LOT AREA (BY SURVEY)): 0.5952 AC. (25,927 S.F
ZONING CLASSIFICATION:	MEDIUM-DENSITY RESIDENTIAL (RO
CITY WARD/BLOCK:	XX/>
WATER:	CITY OF BETHLEHE
SANITARY SEWER:	CITY OF BETHLEHE
NO. EXISTING/PROPOSED L	OTS: 1/

ZONING DATA

MEDIUM-DENSITY RESIDENTIAL (RG) (SINGLE-FAMILY DETACHED DWELLING)

	PER ORD.	PROPOSED
MIN. TRACT SIZE:	6,500 S.F.	8,777 S.F.
MIN. LOT AREA PER D.U.:	6,500 S.F.	8,777 S.F.
MIN. LOT WIDTH:	60 FEET	84 FEET
FRONT YARD SETBACK:	20 FEET	6 FEET <i>(EX)</i>
SIDE YARD SETBACK:	6 FEET	6 FEET
REAR YARD SETBACK:	30 FEET	N/A
ACCESSORY STRUCTURE	2 FEET	2 FEET
SETBACK:		
MAX. BUILDING HEIGHT:	35 FEET	35 FEET <i>(EX)</i>
	2.5 STRY.	2.5 STRY. (EX)
MAX. BUILDING COVER:	35%	18%

(SINGLE-FAMILY ATTACHED DWELLINGS)

	PER ORD.	PROPOSED
MIN. TRACT SIZE:	12.0K S.F.	12.0K S.F.
MIN. LOT AREA PER D.U.:	4,000 S.F.	4,000 S.F. (AVG)
MIN. LOT WIDTH:	20 FEET	24 FEET
FRONT YARD SETBACK:	20 FEET	20 FEET
SIDE YARD SETBACK (ONE):	10 FEET	10 FEET
REAR YARD SETBACK:	30 FEET	N/A
MAX. BUILDING HEIGHT:	35 FEET	25 FEET
	2.5 STRY.	2.0 STRY.
MAX. BUILDING COVER:	35%	24% (AVG)

- 1. AN UNENCLOSED FRONT PORCH MAY ENCROACH UP TO 10 FEET INTO THE MINIMUM FRONT YARD. THIS PORCH MAY BE COVERED BY A ROOF, BUT MAY NOT HAVE A SECOND FLOOR ENCROACHING INTO THE FRONT YARD. STEPS AND STOOPS MAY ALSO ENCROACH INTO THIS SETBACK.
- THE MINIMUM SIDE AND REAR YARD SETBACK FOR A PERMITTED DETACHED STRUCTURE THAT IS ACCESSORY TO A DWELLING SHALL BE TWO (2) FEET,
- 3. A MAXIMUM OF FOUR (4) SINGLE FAMILY ATTACHED DWELLING UNITS MAY BE ATTACHED IN ANY ROW OR GROUPING AND SHALL NOT EXCEED A TOTAL COMBINED BUILDING LENGTH OF 120 FEET.
- THE MINIMUM LOT AREA REQUIREMENT FOR SINGLE FAMILY ATTACHED DWELLINGS MAY BE AVERAGED FOR EACH ATTACHED SET OF SUCH DWELLINGS,
- MAXIMUM BUILDING AND IMPERVIOUS COVERAGE REQUIREMENTS MAY BE MET AS AN AVERAGE ACROSS A TRACT AFTER DEVELOPMENT, AS OPPOSED TO REGULATING
- OFF-STREET PARKING AND ACCOMPANYING DRIVEWAY AREA SHALL NOT OCCUPY MORE THAN 50 PERCENT OF A REQUIRED FRONT YARD.
- 7. SIDE YARD SETBACK REQUIREMENTS SHALL BE REDUCED TO TEN (10) FEET FOR DEVELOPMENTS THAT DO NOT EXCEED 4

PLAN PREPARER'S NOTES

- THIS PLAN IS BASED ON A FIELD SURVEY COMPLETED ON MAY 28, 2020 BY KEYSTONE CONSULTING ENGINEERS INC. USING A SPECTRA SP80 GPS WITH KEYNET AND A TRIMBLE
- CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATIONS OF UNDERGROUND UTILITIES ON THE SITE IN ACCORDANCE WITH PA ACT 187 AND 121 PRIOR TO COMMENCING ANY EARTH DISTURBANCE ACTIVITY.
- LOCATIONS OF AND INFORMATION PERTAINING TO UNDERGROUND UTILITIES CONTAINED HEREIN ARE APPROXIMATE AND WERE INTERPOLATED BASED ON FIELD LOCATIONS OF OBVIOUS ABOVE—GROUND EVIDENCE.

 UNDERGROUND UTILITIES NOT EVIDENCED ON THE SURFACE BY MARKINGS OR STRUCTURES AT THE TIME OF THE FIELD SURFACE AND DESCRIPTION OF THE FIELD SURVEY HAVE NOT BEEN DEPICTED HEREIN.
- . PROPERTY OWNERS' NAMES, DEED REFERENCES, AND TAX PARCEL IDENTIFIER INFORMATION CONTAINED HEREIN ARE BASED ON NORTHAMPTON COUNTY TAX ASSESSMENT RECORDS AND ARE SUBJECT TO THE ACCURACIES OR
- 4. PROPERTY BOUNDARIES DEPICTED HEREIN AND ANNOTATED WITH BEARING ANGLES, DISTANCES, OR CURVE DATA DENOTE BOUNDARIES MEASURED BY THIS SURVEY. PROPERTY BOUNDARIES WITHOUT GEOMETRIC ANNOTATION MAY HAVE REEN PLOTTED USING RECORD INFORMATION AND ARE INTENDED FOR GENERAL SITE ORIENTATION PURPOSES ONLY.
- HORIZONTAL BEARING ANGLES AND COORDINATES CONTAINED HEREIN ARE BASED ON THE PA SOUTH ZONE STATE PLANE COORDINATE SYSTEM IN US FEET. DISTANCES ANNOTATED HEREIN REPRESENT GROUND MEASUREMENTS (NO GRID SCALE FACTOR HAS BEEN APPLIED).
- 6. SPOT ELEVATIONS AND CONTOUR LINES CONTAINED HEREIN ARE BASED ON GPS OBSERVATIONS USING A SPECTRA SP80 U.S.G.S. NORTH AMERICAN VERTICAL DATUM OF 1988.

7. 'IRON PIN (TO BE SET)' IDENTIFIED HEREIN DENOTES A

3/4-INCH DIAMETER REINFORCING BAR WITH YELLOW

PLASTIC CAP INSCRIBED "KEYSTONE ENG." TO BE SET BY

- KEYSTONE CONSULTING ENGINEERS, INC. 8. PLAN REFERENCES: "SLATEPOST VILLAGE", PREPARED BY HANOVER ENGINEERING ASSOCIATES, INC., DATED MARCH 11, 1980, LAST REVISED SEPTEMBER 30, 1987 AND RECORDED
- NORTHAMPTON COUNTY RECORDER OF DEEDS OFFICE. THIS SURVEY AND PLAN WERE PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH AND ARE THEREFORE SUBJECT TO ANY EASEMENTS OR OTHER PERTINENT FACTS WHICH

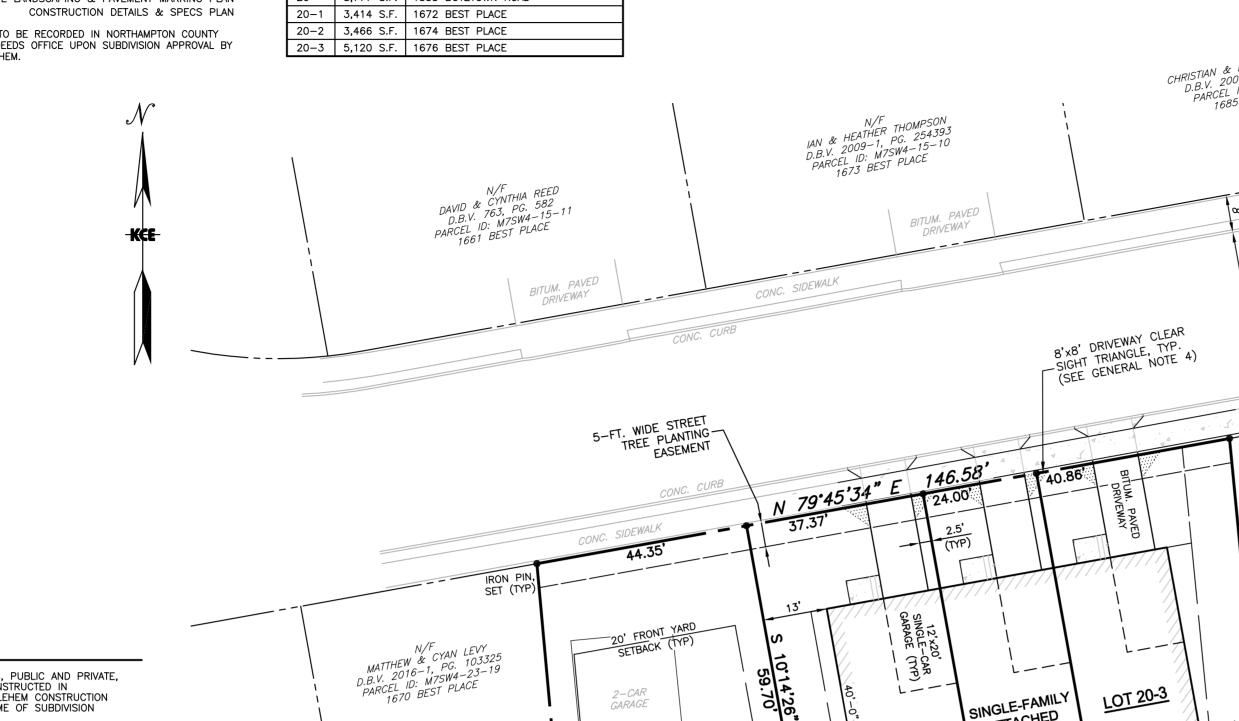
SUCH SEARCH MAY DISCLOSE.

PLAN SHEET INDEX

CITY OF BETHLEHEM.

S1 0F 4	RECORD	PLAN
S2 OF 4	SITE GRADING & UTILITIES	
S3 OF 4	SITE LANDSCAPING & PAVEMENT MARKING	PLAN
S4 OF 4	CONSTRUCTION DETAILS & SPECS	PLAN
	PLAN TO BE RECORDED IN NORTHAMPTON COUN	

	PROP	OSED LOT SCHEDULE
I.D.	AREA	STREET ADDRESS
20	8,777 S.F.	1535 BUTZTOWN ROAD
20-1	3,414 S.F.	1672 BEST PLACE
20-2	3,466 S.F.	1674 BEST PLACE
20-3	5,120 S.F.	1676 BEST PLACE



BITUM. PAVED

8518'03"

CONC. SIDEWALK

MARK & MARY HEUNERMUND D.B.V. 1997-1, PG. 24112 PARCEL ID: N7NW1A-4-9

1528 BUTZTOWN RD.

CONC. SIDEWALK

BUTZTOWN ROAD &

(70' R/W)

A=0.2015 AC.

(8,777 S.F.) 1535 BUTZTOWN RD.

R/W DEDICATED

(A=5,151 S.F.)

TO BETHLEHEM CITY -

LOT 20-3

RESIDENT ACCESS EASEMENT IN FAVOR OF LOT 20-2 (SEE GENERAL NOTE 13)

CONC. SIDEWALK

DRIVEWAY

CONC. SIDEWALK

EDGAR & ROSA LILIAN MOREIRA D.B.V. 2006-1, PG. 204327 PARCEL ID: N7NW1B-8-1

1606 BUTZTOWN RD.

ATTACHED

DWELLINGS

SETBACK

S 85°18'46" W 147.24'

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SCALE: 1"=20'

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GENERAL NOTES

- ANY AND ALL SITE IMPROVEMENTS. PUBLIC AND PRIVATE. PROPOSED HEREIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF BETHLEHEM CONSTRUCTION STANDARDS IN EFFECT AT THE TIME OF SUBDIVISION
- 2. BUILDING DESIGN, MATERIALS, AND CONSTRUCTION FOR THE PROPOSED DWELLINGS SHALL MEET OR EXCEED INTERNATIONAL BUILDING CODE STANDARDS, LATEST EDITION.
- 3. EXISTING NATURAL SLOPES ACROSS THE SUBJECT PROPERTY RANGE FROM APPROXIMATELY 2 TO 13 PERCENT.
- INTERSECTION CLEAR SIGHT TRIANGLES: PROPERTY OWNER(S), THEIR HEIRS, SUCCESSORS, AND ASSIGNS SHALL BE PERPETUALLY RESPONSIBLE TO MAINTAIN REQUIRED BE FEMPEIVALLY RESPONSIBLE TO MAINTAIN REQUIRED INTERSECTION CLEAR SIGHT TRIANGLES, AS DELINEATED HEREIN, FREE OF VEGETATION AND OTHER VISUAL OBSTRUCTIONS BETWEEN A HEIGHT THREE FEET ABOVE THE STREET GRADE AND A PLANE 10 FEET ABOVE CURB LEVEL IN ACCORDANCE WITH SECTION 1318.06(b) OF THE CITY OF BETHLEHEM ZONING ORDINANCE. A STATEMENT TO THIS
 EFFECT SHALL APPEAR IN THE DEEDS OF RECORD FOR THE
 SUBJECT PROPERTIES.
- ANY EXISTING OBSTRUCTIONS, OTHER THAN TRIMMED TRUNKS OF CANOPY TREES, UTILITY POLES, SIGN POSTS, AND FENCES THAT ARE MORE THAN 50 PERCENT NON-OPAQUE, WITHIN REQUIRED CLEAR SIGHT TRIANGLES SHALL BE REMOVED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY CITY OF BETHLEHEM FOR ANY BUILDING.
- <u>DRAINAGE EASEMENTS</u>: PROPERTY OWNER(S) THEIR HEIRS, SUCCESSORS, AND ASSIGNS SHALL BE PERPETUALLY RESPONSIBLE TO MAINTAIN EXISTING AND PROPOSED EASEMENTS LOCATED ON THEIR RESPECTIVE PROPERTIES IN A GRASSED OR OTHERWISE IMPROVED CONDITION IN ACCORDANCE WITH THE GRADES AND DESIGNS INDICATED ON THE APPROVED LAND DEVELOPMENT PLANS FOR THE PROJECT. DRAINAGE EASEMENTS PROVIDE FOR THE FLOW OF STORMWATER ACROSS LOTS AND MAY NOT BE ALTERED WITHOUT WRITTEN PERMISSION OF THE CITY ENGINEER. NO OBSTRUCTIONS SUCH AS PLANTING BERMS OR FENCES, OTHER THAN THOSE DEPICTED HEREIN, MAY BE INSTALLED IN DRAINAGE EASEMENTS WITHOUT MAKING SUFFICIENT PROVISIONS FOR THE PASSAGE OF STORMWATER. ANY SUCH PROPOSED PROVISIONS SHALL BE APPROVED IN WRITING BY THE CITY ENGINEER. IT IS INTENDED THAT THE MAINTENANCE RESPONSIBILITIES IMPOSED HEREUNDER SHALL BE A COVENANT RUNNING WITH THE LAND AND ENFORCEABLE AGAINST ALL FUTURE OWNERS.
- 6. ELECTRIC UTILITY SERVICE LINES (E.G. ELECTRIC POWER, CABLE TV, TELECOMMUNICATION) SHALL BE INSTALLED UNDERGROUND. INSTALLATION OF UNDERGROUND FACILITIES SHALL BE SO LOCATED AS TO PERMIT MULTIPLE INSTALLATIONS WITHIN A COMMON TRENCH WHERE FEASIBLE. 7. THE PROPOSED DEVELOPMENT WILL YIELD A NET INCREASE
- IN ON-SITE IMPERVIOUS COVER OF 3,400 S.F. 8. BY SUBMISSION OF THESE PLANS, THE ENGINEER OF RECORD CERTIFIES THAT THESE PLANS ARE IN COMPLETE CONFORMANCE WITH THE CITY OF BETHLEHEM STORM
- 9. IN ORDER TO MAINTAIN CONTINUITY BETWEEN PLAN REVISIONS, ANY CHANGES TO A PREVIOUS PLAN SUBMISSION SHALL BE FLAGGED WITH A TRIANGLE. ANY CHANGES NOT FLAGGED MAY BE CONSIDERED NOT APPROVED. FLAGGED CHANGES SHALL BE REFERENCED TO THE APPROPRIATE REVISION DATE.
- 10. PRIOR TO ANY WORK WITHIN PUBLIC RIGHTS-OF-WAY, PERMITS MUST BE OBTAINED FROM THE CITY OF BETHLEHEM ENGINEERING OFFICE AND/OR PennDOT, AS
- 12. AS—BUILT PLAN REQUIREMENTS: ACCURATE AS—BUILT PLANS SHALL BE KEPT CURRENT DURING THE CONSTRUCTION PROCESS. AT THE COMPLETION OF THE PROJECT, RECORD DRAWINGS SHALL BE PREPARED FROM AS-BUILT PLANS AND SUBMITTED TO THE CITY ENGINEER'S OFFICE. ALL FINAL DRAWINGS SHALL SHOW NORTH AMERICAN DATUM (NAD) 1983 STATE PLANE COORDINATES IN FEET (PA SOUTH, FIPS ZONE 3702) AND THE DIGITAL FILE SHALL BE IN STATE PLANE FEET COORDINATES AS APPLICABLE. HARD COPIES OF RECORD DRAWINGS SHALL BE IN THE FORM OF MYLAR COPIES. THE ENGINEER OF RECORD SHALL CERTIFY (LE. P.E. STAMPED AND SIGNED) THAT THE RECORD (I.E. P.E. STAMPED AND SIGNED) THAT THE RECORD DRAWINGS COMPLY SUBSTANTIALLY WITH THE APPROVED PLANS AND THAT THEY CONFORM TO INDUSTRY STANDARDS. ALL DIGITAL FILES SHALL RESIDE ON A PC COMPATIBLE CD—ROM CONTAINING THE DIGITAL REPRESENTATION OF THE FINAL PLAN AS PRESENTED ON TWENTY—FOUR BY THIRTY—SIX INCH SHEETS. DIGITAL PLANS SHALL BE AUTOCAD COMPATIBLE. ALL DRAWING LAYERS INCLUDED IN THE DIGITAL PLANS SHALL BE THE STANDARDIZED LAYERS PREPARED AND UTILIZED BY THE CITY OF BETHLEHEM TO ENSURE COMPATIBILITY WITH THE CITY'S EXISTING CAD STANDARDS AND AS DESCRIBED IN APPENDIX A OF THE CITY'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE. THE CITY'S EXISTING CADD STANDARDS MUST BE REVIEWED AND REVISED TO BE COMPATIBLE WITH THE CITY'S CURRENT GIS SYSTEM AND STANDARDS.
- 12. REQUIRED MINIMUM 2.5-FOOT SETBACKS BETWEEN DRIVEWAYS AND SIDE LOT LINES SHALL BE MAINTAINED IN VEGETATION IN ACCORDANCE WITH SECTION 1319.02.g(4) OF THE CITY OF BETHLEHEM ZONING ORDINANCE.
- 13. RESIDENT ACCESS EASEMENT: THE PROPOSED 10-FT. WIDE RESIDENT ACCESS EASEMENT OVER LOT 20-3 IS INTENDED TO PROVIDE NON-VEHICLE ACCESS TO THE REAR OF LOT 20-2 BY THE OWNER AND AUTHORIZED DESIGNEES OF THE OWNER OF LOT 20-2 FOR MAINTENANCE AND OTHER LIMITED PURPOSES THAT CANNOT REASONABLY BE ACCOMPLISHED BY PASSAGE THROUGH THE DWELLING ON LOT 20-2. THE EASEMENT SHALL BE PERMANENTLY STABILIZED WITH TURF GRASS OR OTHER WALKABLE SURFACE TREATMENT AND MAINTAINED BY THE OWNER OF LOT 20-3 IN AN UNOBSTRUTED CONDITION. ADDITIONAL RIGHTS AND OBLIGATIONS OF RESPECTIVE PROPERTY OWNERS SHALL BE DEFINED IN AN AGREEMENT WHICH SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE CITY OF BETHLEHEM BUREAU OF LAW, RECORDED IN THE NORTHAMPTON COUNTY RECORDER OF DEEDS OFFICE, AND REFERENCED IN THE DEEDS OF RECORD FOR LOTS 20-2

SALDO RELIEF GRANTED

AT ITS REGULARLY SCHEDULED MEETING ON SEPTEMBER XX, 2020, THE CITY OF BETHLEHEM PLANNING COMMISSION GRANTED THE APPLICANT'S REQUEST FOR RELIEF FROM CERTAIN PROVISIONS OF THE CITY OF BETHLEHEM CODIFIED ORDINANCES AS DESCRIBED BELOW, BUT ONLY TO THE EXTENT DEPICTED HEREIN:

 ARTICLE 905 DEFERRAL OF REQUIREMENTS TO CONSTRUCT CURB AND SIDEWALK ALONG BUTZTOWN ROAD ALONG THE FRONTAGE OF THE SUBJECT PROPERTY UNTIL SUCH TIME AS THE EXISTING DWELLING ON LOT 20 IS REMOVED OR SAID DWELLING OR PROPERTY IS MODIFIED, IMPROVED, OR REDEVELOPED IN SUCH A WAY THAT WOULD REASONABLY ACCOMMODATE SAID DEFERRED FRONTAGE IMPROVEMENTS OR IF SO ORDERED BY THE CITY OF BETHLEHEM PLANNING COMMISSION. THE COST OF INSTALLATION OF SAID DEFERRED FRONTAGE IMPROVEMENTS, IF REQUIRED, SHALL BE BORNE ENTIRELY BY THE OWNER OF LOT 20.

LEGEND

SUBJECT PROPERTY LINE ADJOINER PROPERTY LINE OR RIGHT-OF-WAY LINE EX. ROADWAY CENTERLINE REQUIRED YARD LINE ZONING DISTRICT BOUNDARY LINE EX. CONCRETE CURB EX. EDGE OF PAVE EX. FENCE (TYPE AS NOTED)

EX. IRON PIN (OR AS NOTED) EX. CONCRETE MONUMENT PROPOSED PROPERTY LINE PROPOSED IMPROVEMENT PROPOSED CONCRETE CURB PROPOSED STREET TREE PLANTING EASEMENT PROPOSED RESIDENT ACCESS

PROPOSED IRON PIN ITALIC TEXT IN PLAN VIEW DENOTES EXISTING FEATURES

WHILE UPRIGHT TEXT DENOTES PROPOSED FEATURES.

APPLICANT

DOMINIC A. VILLANI 565 WEST LEHIGH PARTNERS, LLC, MEMBER 709 JENNINGS PLACE BETHLEHEM, PA 18017 239-272-3173

STATEMENT OF INTENT

THE APPLICANT INTENDS TO SUBDIVIDE THE SUBJECT PROPERTY TO CREATE THREE (3) NEW LOTS INTENDED FOR THE CONSTRUCTION OF THREE (3) SINGLE-FAMILY ATTACHED DWELLING UNITS AND RELATED IMPROVEMENTS AND ONE (RESIDUAL PARCEL CONTAINING THE EXISTING SINGLE—FAMILY DETACHED DWELLING, DETACHED GARAGE, AND RELATED IMPROVEMENTS, ALL AS DEPICTED HEREIN.

L.V.P.C. REVIEW

REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION

L.V.P.C. STAFF PERSON RESPONSIBLE FOR REVIEW

OWNER'S STATEMENT

I, THE UNDERSIGNED, DEPOSE AND SAY THAT I AM THE OWNER OF THE LAND HEREIN SUBDIVIDED, THAT NO LITIGATION OR LIENS EXIST ON OR ARE PENDING AGAINST THE PROPERTY, THAT THIS PLAN HAS BEEN PROCESSED WITH MY FREE CONSENT, AND DESIRE THAT THIS PLAN BE RECORDED ACCORDING TO LAW.

SWORN AND SUBSCRIBED BEFORE ME THIS _____ DAY OF

IN WITNESS THEREOF, I HEREUNTO SET MY HAND AND OFFICIAL

NOTARY PUBLIC

PLAN OF RECORD RECORDED THIS _____ DAY OF _

IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR THE COUNTY OF NORTHAMPTON, PENNSYLVANIA, IN PLAN BOOK NO. ______ , PAGE _____

RECORDER OF DEEDS

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT: THE BOUNDARY RETRACEMENT SURVEY DEPICTED ON THIS PLAN WAS CONDUCTED UNDER MY SUPERVISION TO THE LOCAL STANDARDS OF CARE; THIS PLAN IS BASED ON A FIELD SURVEY COMPLETED AS OF THE DATE(S) INDICATED IN PLAN PREPARER'S NOTE 1 HEREIN; THE SURVEY REPRESENTS A RETRACEMENT OF LANDS AS DESCRIBED IN THE DEEDS OF RECORD LISTED IN THE SITE DATA TABLE HEREIN; AND THE SURVEY DIMENSIONS ARE CORRECT IN THE FIELD AS INDICATED HEREIN AND SUBSTANTIALLY MEET THE PRECISION STANDARDS OF A "SUBURBAN" SURVEY AS PUBLISHED BY THE AMERICAN CONGRESS ON SURVEYING AND MAPPING IN 1992. THIS SURVEY AND PLAN HAVE BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH AND ARE THEREFORE SUBJECT TO ANY EASEMENTS, ENCUMBRANCES, OR OTHER PERTINENT FACTS WHICH A TITLE SEARCH MAY DISCLOSE.

KEYSTONE CONSULTING ENGINEERS, INC. BY DOUGLAS HARWICK, P.L.S. (AGENT) REGISTRATION NO. SU075503

THIS PLAN IS NULL AND VOID UNLESS IT CONTAINS AN ORIGINAL SIGNATURE, DATE, AND PROFESSIONAL SEAL.



PLAN

RECORD

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GENERAL NOTES

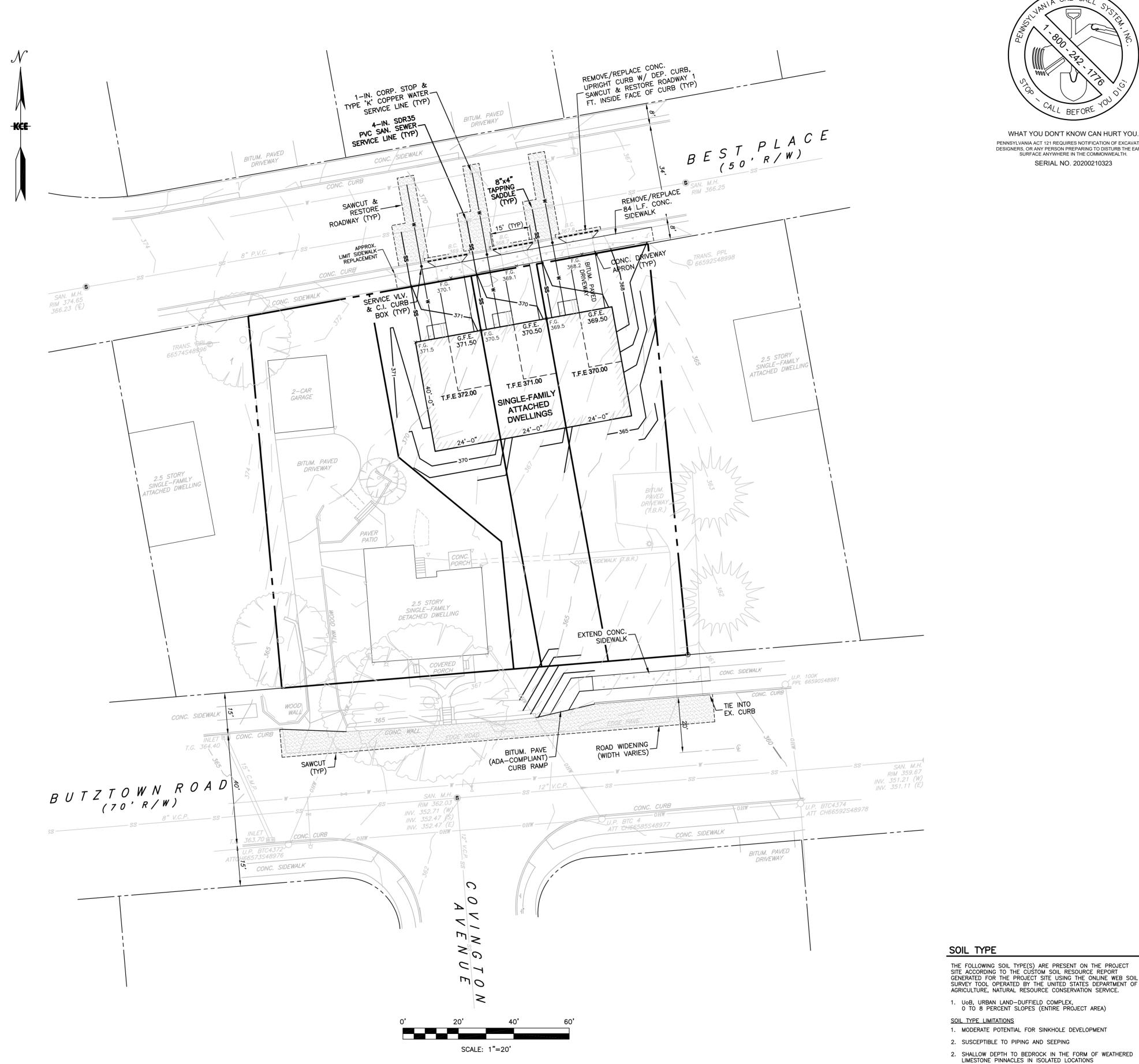
- . ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF BETHLEHEM, PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, AND PENNSYLVANIA DEPARTMENT OF TRANSPORTATION STANDARDS AND REGULATION AS APPLICABLE.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ANY AND ALL UNDERGROUND UTILITIES IN ACCORDANCE WITH PA ACT 121 PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CONSTRUCTION MANAGER IN THE EVENT THAT A CONFLICT IS DISCOVERED.
- PROPOSED ELEVATION CONTOUR LINES DEPICTED ON THIS PLAN REPRESENT FINAL GRADES AT THE COMPLETION OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AT ALL TIMES DURING CONSTRUCTION TO PREVENT THE PONDING OF WATER ON THE SITE.
- CONTRACTOR SHALL DEWATER AND OTHERWISE MAINTAIN UTILITY TRENCHES AND OTHER EXCAVATIONS FREE OF WATER (GROUND WATER AND SURFACE WATER) AT ALL TIMES USING A PUMPED WATER FILTER BAG OR OTHER APPROVED METHODS (REFER TO PUMPED WATER FILTER BAG DETAIL ON E&S POLLUTION CONTROL DETAILS PLAN).
 ADDITIONALLY, CONTRACTOR SHALL PROPERLY GRADE
 ADJACENT AREAS AND TAKE ANY OTHER REASONABLE
 PRECAUTIONS NECESSARY TO PREVENT WATER FROM
- IF CONTRACTOR ENCOUNTERS SOFT OR SATURATED SOILS DEEMED UNSUITABLE BY THE PROJECT ENGINEER DURING CONSTRUCTION, CONTRACTOR SHALL EXCAVATE, REMOVE, AND REPLACE ANY SUCH UNSUITABLE MATERIAL WITH COMPACTED CLEAN FILL OR AGGREGATE MATERIAL AS DIRECTED BY THE PROJECT ENGINEER.
- 6. WHERE PLACEMENT OF FILL BENEATH SETTLEMENT SENSITIVE STRUCTURES (E.G. BUILDING PADS, PARKING LOTS, UTILITY AND STORM SEWERS LINES, AND RELATED STRUCTURES) IS NECESSARY TO ACHIEVE DESIRED SUBGRADE, CONTRACTOR SHALL PLACE AND COMPACT APPROPRIATE FILL MATERIAL IN MAXIMUM 8-INCH LIFTS TO A MINIMUM OF 95% OF THE MODIFIED PROCTOR DENSITY OF THE MATERIAL (98% FOR BUILDING PADS) OR AS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER.
- SPOT ELEVATIONS AND CONTOUR LINES CONTAINED HEREIN ARE BASED ON GPS OBSERVATIONS USING A TRIMBLE R-8 GPS WITH KEYNET AND ARE ACCURATE WITHIN 0.15' OF THE U.S.G.S. NORTH AMERICAN VERTICAL DATUM OF 1988.
- LOCATIONS OF WATER AND SANITARY SEWER LATERALS AS DEPICTED HEREIN ARE APPROXIMATE AND COULD BE SUBJECT TO FIELD ADJUSTMENT.
- PRIOR TO ANY WORK WITHIN PUBLIC RIGHTS-OF-WAY, PERMITS MUST BE OBTAINED FROM THE CITY OF BETHLEHEM ENGINEERING OFFICE AND/OR PennDOT, AS
- 10. DESIGN OF CONCRETE CURB RAMPS SHALL BE IN STRICT ACCORDANCE WITH PENNDOT PUBLICATION 72M, STANDARDS FOR ROADWAY CONSTRUCTION, RC-67M. MATERIALS AND CONSTRUCTION SHALL MEET PENNDOT PUBLICATION 408, SECTIONS 350, 409, 630, 676, 694, AND 695 STANDARD

WATER SYSTEM NOTES

- WATER DISTRIBUTION SYSTEM SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH CITY OF BETHLEHEM, PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, AND AMERICAN WATER WORKS ASSOCIATION STANDARDS AND REGULATION AS APPLICABLE.
- PIPING FOR INDIVIDUAL SERVICE LINES SHALL BE TYPE 'K' FLEXIBLE COPPER TUBING OF THE SIZE(S) INDICATED HEREIN. WATER SYSTEM PIPING AND AND APPURTENANCES SHALL COMPLY WITH AMERICAN WATER WORKS
- PROVIDE A MINIMUM 10-FOOT HORIZONTAL SEPARATION BETWEEN WATER LINES AND SANITARY SEWER LINES WHERE PRACTICABLE. WHERE A 10-FOOT HORIZONTAL SEPARATION IS NOT ATTAINABLE, INSTALL WATER LINES AT LEAST 18 INCHES ABOVE SEWER LINES WHILE STILL MAINTAINING FOUR (4) FEET OF COVER OVER WATER LINES.
- 4. INSTALL WATER LINES AT LEAST FOUR FEET BELOW FINAL

SANITARY SEWER SYSTEM NOTES

- 1. SANITARY SEWERAGE SYSTEM SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH CITY OF BETHLEHEM AND PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION STANDARDS AND REGULATION AS APPLICABLE
- 2. PIPING FOR INDIVIDUAL SERVICE LINES SHALL BE SDR-35 PVC PIPE OF THE SIZE(S) INDICATED HEREIN.
- PIPING, STRUCTURES, AND APPURTENANCES SHALL BE DESIGNED TO WITHSTAND HS-25 HIGHWAY LOADING AND SHALL MEET OR EXCEED APPLICABLE PennDOT AND ASTM



PROTECT YOURSELF A PHONE CALL

CAN BE YOUR INSURANCE POLICY

WHAT YOU DON'T KNOW CAN HURT YOU. PENNSYLVANIA ACT 121 REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH. SERIAL NO. 20200210323

RESOLUTIONS TO SOIL TYPE LIMITATIONS

DURATION OF THE PROJECT.

CONSTRUCTION ACTIVITIES WILL BE SEQUENCED IN SUCH A WAY AS TO PREVENT THE DEVELOPMENT OF LOW SPOTS AND

PNEUMATIC HAMMERING OR RIPPING TO A SUFFICIENT DEPTH (MINIMUM TWO (2) FEET BELOW THE BOTTOM ELEVATION OF INFILTRATION FACILITIES) AND REPLACE SAME WITH SUITABLE

3. CONTRACTOR SHALL DEWATER OR OTHERWISE MAINTAIN ALL

4. CONTRACTOR SHALL REPAIR SINKHOLES IMMEDIATELY UPON DISCOVERY AS DIRECTED BY THE PROJECT ENGINEER.

2. CONTRACTOR SHALL EXCAVATE ROCK BY MEANS OF

LEGEND

______ — онw —</

WOODS

PROPOSED FULL-DEPTH PAVEMENT PROPOSED IRON PIN T.F.E. TOP OF FOUNDATION ELEVATION G.F.E. GARAGE FLOOR ELEVATION

ITALIC TEXT IN PLAN VIEW DENOTES EXISTING FEATURES WHILE UPRIGHT TEXT DENOTES PROPOSED FEATURES.

EX. OVERHEAD UTILITY LINES EX. NATURAL GAS MAIN EX. STORM SEWER EX. WATER MAIN EX. SANITARY SEWER MAIN EX. WROUGHT IRON FENCE EX. CHAIN LINK FENCE EX. TREE ROW OR EDGE OF EX. CONIFEROUS TREE EX. DECIDUOUS TREE EX. IRON PIN (OR AS NOTED) EX. CONCRETE MONUMENT PROPOSED PROPERTY LINE PROPOSED IMPROVEMENT PROPOSED CONCRETE CURB PROPOSED CONTOUR LINE PROPOSED WATER LINE PROPOSED SANITARY SEWER PROPOSED CONCRETE SIDEWALK

SUBJECT PROPERTY LINE ADJOINER PROPERTY LINE

EX. ROADWAY CENTERLINE

EX. CONTOUR LINE EX. CONCRETE CURB

EX. EDGE OF PAVE

ESPC PLAN NOTES

- EROSION AND SEDIMENT POLLUTION CONTROL (ESPC)
 MEASURES AND PRACTICES INCLUDING BUT NOT LIMITED TO FILTER FABRIC FENCE, ROCK CONSTRUCTION ENTRANCE, TOPSOIL STOCKPILES, AND TEMPORARY AND PERMANENT SEEDING SHALL BE INSTALLED AND MAINTAINED IN STRICT ACCORDANCE WITH PennDEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL, REVISED MARCH 2000. CONTRACTOR SHALL BE RESPONSIBLE TO IMMEDITELY EMPLOY ANY AND ALL ADDITIONAL CONTROL MEASURES WHEN AND IF DETERMINED NECESSARY DURING CONSTRUCTION TO PREVENT THE TRANSPORT OF SEDIMENT BEYOND THE LIMITS OF THE SUBJECT PROPERTY
- 2. THE PROJECT SITE IS TRIBUTARY TO A REACH OF THE LEHIGH RIVER HAVING A DESIGNATED USE OF WARM WATER FISHES, MIGRATORY FISHES (WWF, MF).
- 3. ESPC BMPs SHALL BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL PRIOR TO ANY SITE DISTURBANCE WITHIN THE
- RESPECTIVE TRIBUTARY AREAS OF THESE DEVICES. 4. ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED SHALL BE IMMEDIATELY TEMPORARILY STABILIZED. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATE.
- 5. ANY AREA THAT SHOWS SIGNS OF EROSION OR DAMAGE AFTER TEMPORARY OR PERMANENT STABILIZATION BUT PRIOR TO ESTABLISHMENT OF SUBSTANTIAL VEGETATIVE COVER SHALL BE IMMEDIATELY REGRADED AND RESTABILIZED WITH APPROVED TEMPORARY EROSION CONTROL MATTING.
- 6. 'STABILIZATION' SHALL BE DEFINED AS 'A MINIMUM 70 PERCENT UNIFORM PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS TO RESIST SLIDING OR OTHER MOVEMENTS'.
- 7. SHOULD UNFORESEEN EROSIVE CONDITIONS DEVELOP
 DURING CONSTRUCTION, CONTRACTOR SHALL TAKE ANY AND
 ALL NECESSARY CORRECTIVE ACTION TO REMEDY SUCH
- 8. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET AND STOCKPILE EMBANKMENT SLOPES SHALL NOT EXCEED 2:1.
- 9. UNTIL THE SITE IS STABILIZED, CONTRACTOR SHALL MAINTAIN ALL ESPC BMPs. MAINTENANCE SHALL INCLUDE INSPECTION OF ALL BMPs FOLLOWING EACH RUNOFF EVENT AND ON A WEEKLY BASIS, ANY NECESSARY PREVENTATIVE AND REMEDIAL ACTIONS, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, AND REMULCHING SHALL BE PERFORMED IMMEDIATELY UPON DISCOVERY OF
- 10. SEDIMENT WHICH HAS BEEN TRAPPED BY BMPs SHALL BE REMOVED AND REDISTRIBUTED ON THE PROJECT SITE IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY
- STABILIZED OR PLACED IN TOPSOIL STOCKPILES. 11. THE CAPACITY OF BMPs SHALL BE CHECKED WEEKLY AS WELL AS AFTER EACH RUNOFF EVENT UNTIL PERMANENT STABILIZATION HAS BEEN ACHIEVED WITHIN ENTIRE AREAS AREAS TRIBUTARY TO RESPECTIVE BMPs. ANY CONSTRUCTION DEBRIS OR OTHER UNSUITABLE MATERIAL SHALL BE REMOVED IMMEDIATELY UPON DISCOVERY AND DISPOSED OF
- 12. TEMPORARY ESPC BMPS SHALL BE REMOVED ONCE PERMANENT STABILIZATION HAS BEEN ACHIEVED WITHIN ENTIRE AREAS TRIBUTARY TO RESPECTIVE BMPS. AREAS DISTURBED DURING REMOVAL OF BMPS SHALL BE IMMEDIATELY PERMANENTLY STABILIZED.

IN ACCORDANCE WITH DEPARTMENT REGULATIONS.

- 10. CONTRACTOR SHALL REMOVE FROM THE PROJECT SITE, RECYCLE OR DISPOSE OF ALL CONSTRUCTION MATERIALS AND WASTE IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS CONTAINED IN 25 PA CODE 260.1 ET. SEQ., 271.1 ET. SEQ. AND 287.1 ET. SEQ. CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP OR DISCHARGE ANY CONSTRUCTION MATERIALS OR WASTE ON THE PROJECT SITE.
- 11. ANY OFFSITE LOCATIONS UTILIZED BY CONTRACTOR TO OBTAIN OR DISPOSE OF EXCAVATED FILL MATERIAL SHALI HAVE AN ACTIVE AND FULLY IMPLEMENTED EROSION AND SEDIMENTATION CONTROL PLAN APPROVED BY THE GOVERNING CONSERVATION DISTRICT.
- 12. ALL ESPC BMPs SHALL BE ENTIRELY LOCATED WITHIN THE BOUNDARIES OF THE SUBJECT PROPERTY, PUBLIC RIGHTS-OF-WAY, OR EASEMENTS OF RECORD. ESPC BMPs SEEMINGLY DEPICTED HEREIN ON ADJACENT PRIVATE PROPERTY APPEAR AS SUCH FOR PURPOSES OF PLAN CLARITY ONLY.



PLAN

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MAJOR RESIDENTIAL SUBDIVISIOI 1535 BUTZTOWN ROAD LANDS N/F WILLIAM A. BURKE

LANDSCAPING NOTES

- 1. CONTRACTOR SHALL VERIFY THE PRESENCE, LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO BEGINNING LANDSCAPE CONSTRUCTION. CALL PA ONE CALL
- 2. CONTRACTOR SHALL LAYOUT AND REVIEW ALL PLANT MATERIAL AND PLANT LOCATIONS WITH LANDSCAPE ARCHITECT OR
- 3. CONTRACTOR SHALL LOCATE PLANTINGS TO AVOID PLACEMENT WITHIN SWALE CENTERLINES.
- MULCH FOR ALL PLANTINGS SHALL BE DOUBLE SHREDDED HARDWOOD BARK MULCH, DARK BROWN IN COLOR, AGED AT LEAST ONE YEAR AND CLEAN AND FREE OF WEEDS.
- ALL PLANT GROUPINGS AND HEDGES SHALL BE COMPLETELY ENCOMPASSED WITHIN ONE LARGE MULCH BED AT EACH PLANT GROUPING LOCATION.
- 6. CONTRACTOR SHALL APPLY A PRE-EMERGENT WEED PREVENTATIVE SUCH AS TREFLAN TO TOPSOIL PRIOR TO
- MULCHING ACTIVITIES. CONTRACTOR SHALL MAINTAIN ALL NEW PLANTINGS FOR A PERIOD OF THIRTY DAYS. THIS SHALL INCLUDE WATERING,
- FERTILIZING, MULCHING, CULTIVATING, ETC. FOR A WEED FREE HEALTHY LANDSCAPE.
- 8. CONTRACTOR SHALL PERMANENTLY RESTORE ALL NON-PAVED 9. CONTRACTOR SHALL TEST EXISTING TOPSOIL TO DETERMINE PROPER LIME AND FERTILIZER APPLICATION RATES. PERMANENT
- TOPSOIL, SEEDING, FERTILIZER, MULCH, AND ADEQUATE 60—DAY MAINTENANCE IN ORDER TO ACHIEVE A "GOOD STAND" OF TURF. A "GOOD STAND" OF TURF SHALL BE DEFINED AS A WEED FREE LAWN WITH 95% COVERAGE UPON CLOSE EXAMINATION OF ANY GIVEN FOUR SQUARE FOOT AREA. 10. CONTRACTOR SHALL GUARANTEE ALL REQUIRED PLANTINGS FOR A PERIOD OF TWENTY-FOUR MONTHS FROM THE DATE OF FINAL ACCEPTANCE. PLANTINGS SHALL BE ALIVE AND HEALTHY AS DETERMINED BY THE ARCHITECT, OWNER, OR HIS AGENT
- AT THE END OF THE GUARANTEE PERIOD. FINAL ACCEPTANCE SHALL BEGIN UPON SUCCESSFUL COMPLETION OF THE 11. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBANCE IS ALLOWED IN THE TREE PROTECTION ZONE UNLESS INDICATED ON THE PLAN.
- 12. TREE PROTECTION BARRICADES MUST BE INSTALLED PRIOR TO
- ANY DESTRUCTION AND/OR CONSTRUCTION ACTIVITY. 13. THE ROOT PROTECTION ZONE SHALL BE DEFINED AS THE AREA ENCOMPASSED BY A CIRCLE WITH A RADIUS EXTENDING 1.25 FT. FROM THE TRUNK OF THE TREE FOR EVERY INCH DBH (DIAMETER AT BREAST HEIGHT) OF THE TREE.
- 14. VIOLATIONS OF TREE PROTECTION REQUIREMENTS ARE SUBJECT TO PENALTY PER CITY ORDINANCE.
- ORDINANCE: NO PRUNING, ROOT PRUNING OF ROOTS OVER ONE INCH IN DIAMETER, AND/OR TREE REMOVAL IS TO BE PERFORMED WITHOUT A PERMIT AND WORK MUST BE PERFORMED BY A CITY LICENSED TREE CONTRACTOR.
- 16. ALL PLANT MATERIALS ARE TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. 17. STREET AND PARKING LOT TREES SHALL BE A MINIMUM OF 14
- FT. IN HEIGHT AND HAVE A SINGLE STRAIGHT TRUNK WITH
 THE FIRST LATERAL BRANCH AT 7 FT. ABOVE THE ROOT BALL. TREES WITH AN UPRIGHT BRANCHING HABIT, SUCH AS ZELKOVA, MAY HAVE THE FIRST LATERAL BRANCH AT 6 FT.
- 18. ALL LANDSCAPING SHALL CONFORM TO THE CURRENT EDITION OF THE ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE OF THE CITY OF BETHLEHEM.
- STREET TREES. THE ROOT BARRIER SHALL BE OF THE BIO-BARRIER TYPE AND A MINIMUM OF EIGHTEEN (18) INCHES WIDE. ANY SUBSTITUTION SHALL BE APPROVED BY THE CITY FORESTER. THE ROOT-CONTROL SYSTEM IS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. TREE OPENINGS IN THE SIDEWALK SHALL HAVE THE BIO-BARRIER INSTALLED ALONG THE FACE OF THE TREE OPENING WHICH IS PARALLEL TO THE STREET AND CLOSEST TO THE PROPERTY LINE, OVERLAPPING THE NEAREST TWO CORNERS BY APPROXIMATELY FOUR (4) INCHES. WHERE TREES ARE TO BE PLANTED IN A PARKWÀY OR PLANTING STRIP BETWEEN CURB AND SIDEWALK, THE BARRIER SHALL BE INSTALLED ALONG THE SIDEWALK EDGE CLOSEST TO THE CURB AND CENTERED ON THE ROOT SOURCE. THE LENGTH OF THE BARRIER SHALL BE A MINIMUM LENGTH EQUAL TO THE SPREAD OF THE TREE CANOPY AT MATURITY PLUS TEN (10) FEET.
- 20. SIX ADDITIONAL PARKING SPOTS ARE PROPOSED AS PART OF THIS PLAN IN ADDITION TO THE EXISTING PARKING SPACES.
- 21. THE PROPOSED DEVELOPMENT CONSISTS OF 520 SQUARE FEET OF PAVED DRIVEWAY ON LOT.

STREET TREE PLANTING NOTES

- 1. MATERIALS (INCLUDING PLANT TYPE, QUANTITIES, QUALITY, ETC.) AND INSTALLATION FOR SITE LANDSCAPING SHALL BE IN ACCORDANCE WITH CITY OF BETHLEHEM SALDO SECTION 1349.08 STANDARDS AND REGULATIONS, AS APPLICABLE.
- 2. STREET TREES SHALL BE A MINIMUM OF 14-FT. IN HEIGHT AND HAVE A SINGLE STRAIGHT TRUNK WITH THE FIRST LATERAL BRANCH AT LEAST 7 FT. ABOVE THE TOP OF THE ROOT BALL. TREES WITH AN UPRIGHT BRANCHING HABIT, SUCH AS ZELKOVA. MAY HAVE THE FIRST LATERAL BRANCH AT 6 FT. ABOVE THE ROOT BALL.
- 3. NO EXISTING HEALTHY TREES HAVING A TRUNK DIAMETER OF 8-IN. OR LARGER MEASURED 4.5 FEET ABOVE THE GROUND LEVEL WILL BE REMOVED IN CONJUNCTION WITH THE DEVELOPMENT OF THE SUBJECT PROPERTY.
- 4. IF NECESSARY TO PROTECT THE HEALTH OF EXISTING TREES, ERECT TREE PROTECTION FENCING PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH THE DETAIL HEREIN.
- 5. ALTERNATE SPECIES OF TREES FROM THE 'CITY OF BETHLEHEM APPROVED STREET TREES' LIST (CATEGORY III ONLY) MAY BE SUBSTITUTED FOR THOSE SPECIFIED HEREIN WITH PRIOR APPROVAL BY THE CITY FORESTER.

LANDSCAPE TABULATION

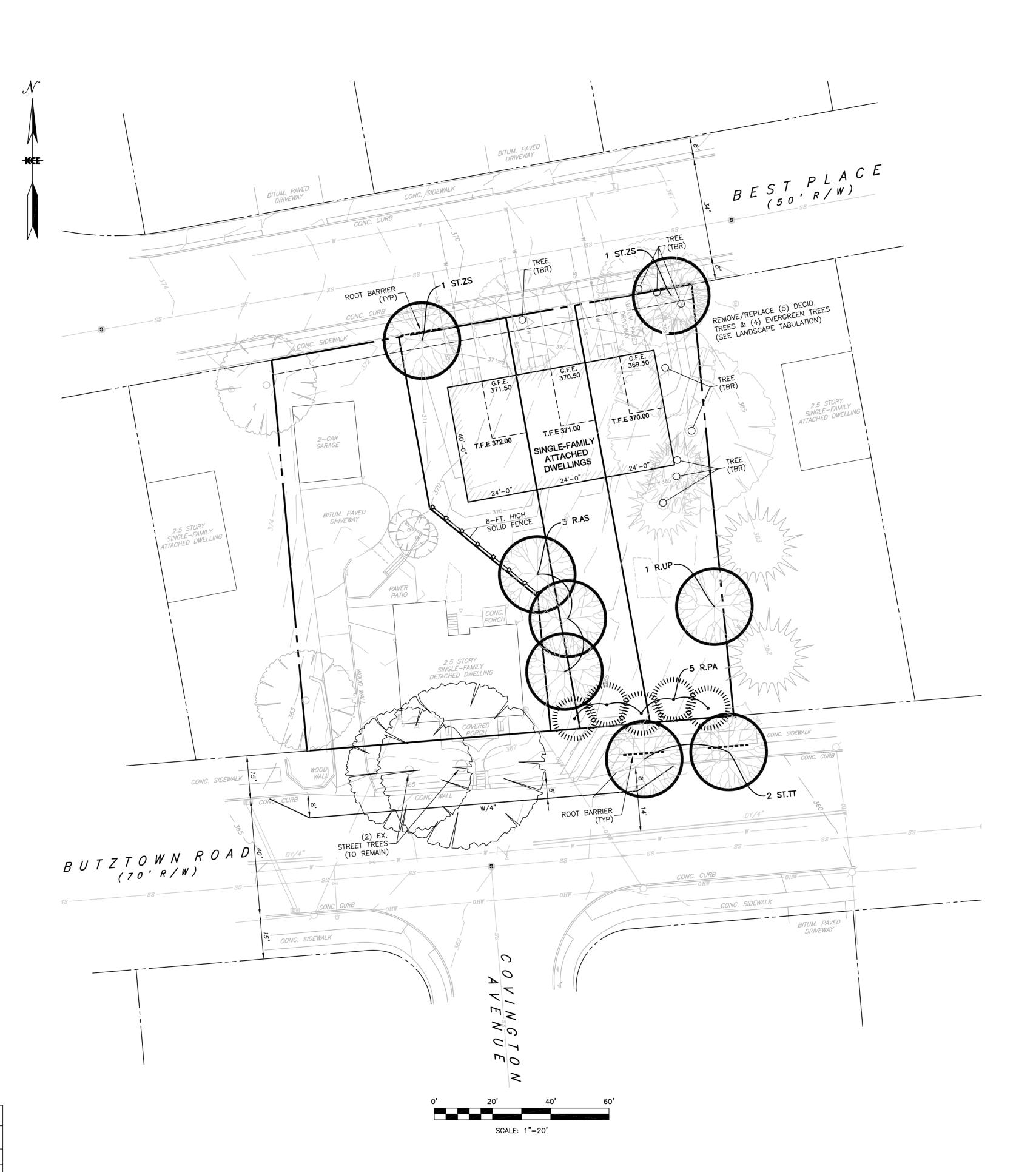
STREET TREES:

- 294 (TOTAL) L.F. FRONTAGE; 1 LG. TREE REQ'D. PER 50 L.F.
- 6 LG. TREES REQUIRED; 4 PROPOSED, 2 TO REMAIN

REPLACEMENT TREES

- IN THE RG ZONING DISTRICT, 1 REPLACEMENT TREE IS REQUIRED FOR EACH EXISTING REGULATED TREE (8-IN. TRUNK CALIPER OR GREATER) THAT WILL BE REMOVED AS A RESULT OF THE PROPOSED LAND DEVELOPMENT,
- 9 REPLACEMENT TREES REQUIRED; 9 PROPOSED

PLANT SCHEDULE							
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COND.	CLASS	NOTES
STREET TREES							
ST.TT	2	TILIA TOMENTOSA	SILVER LINDEN	2½" CAL.	B&B	LARGE	
ST.ZS	2	ZELKOVA SERRATA 'MUSASHINO'	JAPANESE ZELKOVA	2½" CAL.	B&B	LARGE	
REPLACEMENT TREES							
R.AS	3	ACER SACCHARUM 'COMMEMORATION'	SUGAR MAPLE	2½" CAL.	B&B	LARGE	
R.PA	5	PICEA ABIES	NORWAY SPRUCE	6'-8' HT.	B&B	LARGE	
R.UP	1	ULMUS PARVIFOLIA "FRONTIER"	LACEBARK ELM	2½" CAL.	B&B	LARGE	



PROTECT YOURSELF

A PHONE CALL CAN BE YOUR INSURANCE POLICY

WHAT YOU DON'T KNOW CAN HURT YOU. PENNSYLVANIA ACT 121 REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH. SERIAL NO. 20200210323

LEGEND

EX. SANITARY SEWER MAIN EX. WROUGHT IRON FENCE EX. CHAIN LINK FENCE EX. TREE ROW OR EDGE OF EX. CONIFEROUS TREE EX. DECIDUOUS TREE EX. IRON PIN (OR AS NOTED) EX. CONCRETE MONUMENT

SUBJECT PROPERTY LINE ADJOINER PROPERTY LINE

EX. ROADWAY CENTERLINE

EX. OVERHEAD UTILITY LINES

EX. NATURAL GAS MAIN

EX. CONTOUR LINE

EX. CONCRETE CURB

EX. EDGE OF PAVE

EX. STORM SEWER

EX. WATER MAIN

PROPOSED PROPERTY LINE PROPOSED STREET TREE PLANTING EASEMENT _____ PROPOSED IMPROVEMENT PROPOSED CONCRETE CURB PROPOSED CONTOUR LINE PROPOSED WATER LINE

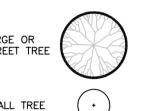
PROPOSED SANITARY SEWER GRAVITY LINE PROPOSED IRON PIN TOP OF FOUNDATION ELEVATION GARAGE FLOOR ELEVATION

ITALIC TEXT IN PLAN VIEW DENOTES EXISTING FEATURES

PLAN SYMBOL LEGEND

T.F.E.

G.F.E.



• É EVERGREEN TREE

EXISTING TREE

PAVEMENT MARKING LEGEND

ROOT BARRIER ----

EXISTING 4-IN. WIDE DOUBLE YELLOW LINE PROPOSED 4-IN. WIDE WHITE LINE

PAVEMENT MARKING

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LANDSCAPING

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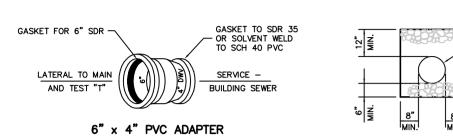
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ENTIAL SUBDIVISION TZTOWN ROAD : WILLIAM A. BURKE MAJOR RESIDEN 1535 BUTZ LANDS N/F W

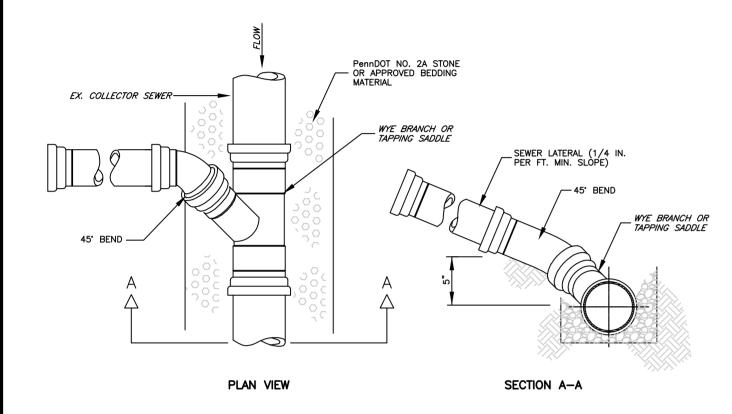
PAVEMENT MARKING NOTES

1. PAVEMENT MARKINGS IN PUBLIC (NON-PennDOT) ROADS SHALL BE HOT THERMOPLASTIC PAVEMENT MARKINGS, EXCEPT FOR ROADWAY CENTERLINE STRIPING WHICH SHALL BE OF WATERBORNE TRAFFIC PAINT. LOCATIONS, SIZES, TYPES, AND COLORS OF PAVEMENT MARKINGS SHALL BE AS INDICATED HEREIN. MATERIALS AND WORKMANSHIP FOR HOT THERMOPLASTIC PAVEMENT MARKINGS SHALL CONFORM TO PennDOT PUBLICATION 408 SECTION 960.

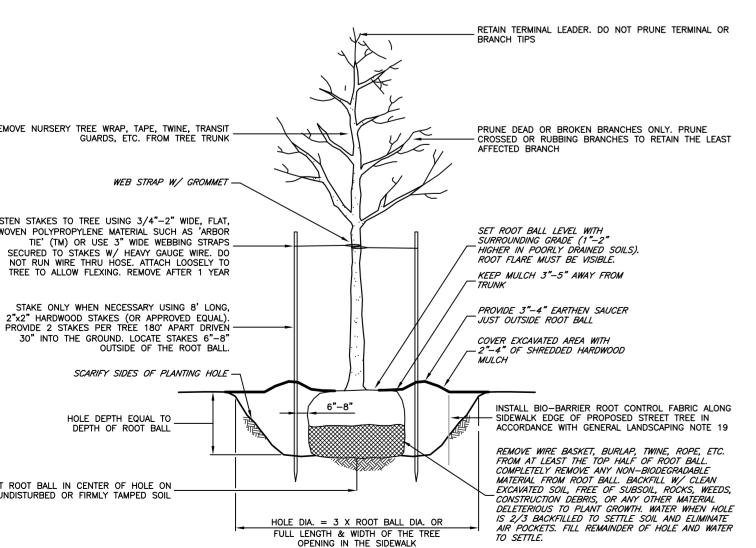
- 2. PRIOR TO APPLICATION OF PAVEMENT MARKINGS CLEAN PAVEMENT SURFACES OF DIRT, DEBRIS, AND OTHER CONTAMINANTS THAT MAY INHIBIT ADHESION USING A PRESSURE WASHER, COMPRESSED AIR OR OTHER APPROPRIATE METHOD.
- 3. APPLY PAVEMENT MARKINGS TO CLEAN, DRY PAVEMENT WITH MINIMUM AIR AND PAVEMENT TEMPERATURES OF 50 DEGREES FAHRENHEIT AND A MAXIMUM RELATIVE HUMIDITY OF 80%.
- 4. WHERE BITUMINOUS SEALANT RENDERS THE EXTENSION OF PAVEMENT MARKINGS TO THE FACE OF CURB IMPRACTICAL, MARKINGS SHALL EXTEND TO THE EDGE OF SEALANT OR WITHIN 1 FOOT OF THE FACE OF CURB, WHICHEVER IS LESS.



SANITARY SEWER LATERAL DETAIL NO SCALE



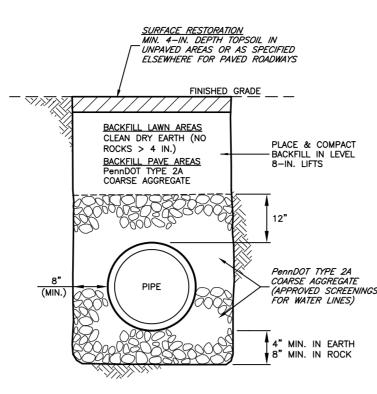
SANITARY SEWER LATERAL CONNECTION DETAIL NO SCALE



TREE PLANTING AND STAKING DETAIL

OPENING IN THE SIDEWALK

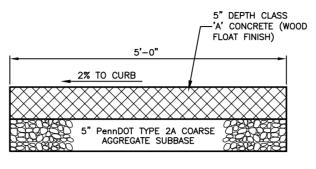
NO SCALE



PIPE BEDDING DETAIL NO SCALE

_1-1/2" DEPTH 9.5 mm SUPERPAVE WEARING COURSE __3" DEPTH 19.0 mm SUPERPAVE BINDER COURSE 6" PennDOT TYPE 2A COARSE AGGREGATE SUBBASE

BITUMINOUS PAVEMENT SECTION DETAIL (PRIVATE PROPERTY - STANDARD-DUTY) NO SCALE

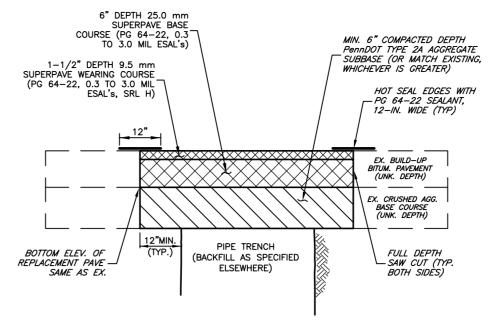


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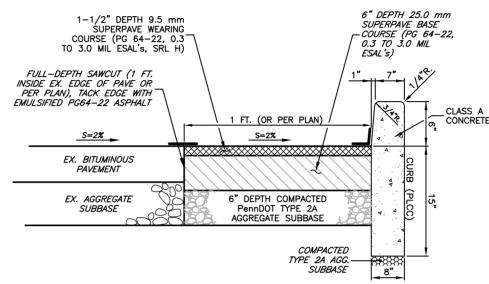
- 1. MATERIALS AND CONSTRUCTION IN ACCORDANCE WITH SECTIONS 704 AND 1001 OF PENNDOT PUBLICATION 408. 2. SIDEWALK SECTIONS SHALL HAVE AN AVERAGE AREA OF W X W
- 3. SIDEWALK SECTIONS SHALL BE FORMED USING MAXIMUM ONE-QUARTER (1/4) INCH THICK DIVISION PLATES OR EXPANSION JOINT MATERIAL THAT EXTENDS THE FULL DEPTH OF THE SLAB.
- 4. NOSING ON ALL EDGES SHALL BE FINISHED TO A RADIUS OF NOT MORE THAN ONE-HALF (1/2) INCH. 5. PLACE 1/2-INCH PREMOULDED BITUM. EXPANSION JOINT MATERIAL AT STRUCTURES (INCLUDING EXISTING SIDEWALK). TRIM MATERIAL TO

CONFORM TO FINISHED SIDEWALK CROSS-SECTION.

CONCRETE SIDEWALK SECTION DETAIL NO SCALE



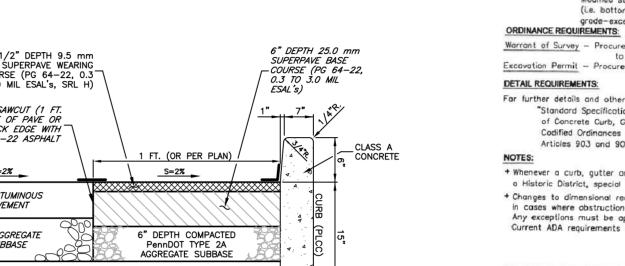
TRENCH RESTORATION DETAIL (MUNICIPAL ROADWAYS) NO SCALE



1. FOR CURB REPLACEMENT, SAW-CUT AND REMOVE EXISTING ROADWAY PAVEMENT 2 FT. INSIDE THE EXISTING CURBLINE. 2. CONSTRUCT AGGREGATE BASE COURSE IN ACCORDANCE WITH SECTION

3. MATERIALS AND CONSTRUCTION FOR ROADWAY WIDENING IN ACCORDANCE WITH CITY OF BETHLEHEM AND PennDOT STANDARDS, AS APPLICABLE. 4. CONSTRUCT PLAIN CEMENT CONCRETE CURB IN ACCORDANCE WITH PennDOT 'STANDARDS FOR ROADWAY CONSTRUCTION', RC-64M, OCT. 29, 2008 EDITION.

CURB INSTALLATION/REPLACEMENT DETAIL NO SCALE



PROPOSED OR EXISTING DRIVEWAY
CONCRETE OR BITUMINOUS -1" EXPANSION MATER CONCRETE CONCRETE MATERIAL -PARKWAY . 2.5' MAX 1.0' MIN DEPRESSED DRIVEWAY-MAXMUM WOTH - 25' - 0" (TWO CAR GARAGE) - 15' - 0" (ONE CAR GARAGE)

1. No driveway allowed within 25 feet of the street line An off street parking area shall be at least 9' wide by 19' deep on private property. deep on private property.

3. One driveway entrance allowed for each 100' feet of property frontage.

4. Maximum slope for driveway behind public right-of-way shall be 10%.

5. A monolithic driveway apron and curb may be permitted.

6. Changes to dimensional requirements may be considered in cases where obstructions or encroachments exist. Any exceptions must be consciously by the Chile Faciliers.

CITY OF BETHLEHEM, PA BUREAU OF ENGINEERING TYPE 1 DRIVEWAY **ENTRANCE AND APRON**

NOTE: Whenever a curb, gutter and/or sidewalk is located in a Historic District, special requirements may apply.

--- Curb Line or Street Line 6"Curb Face 1 Rise at Driveway. ∠5" to 8" Base of modified, gravel or broken stone (thoroughly tomped). —Bottom of curb to be set an firm foundation, modified, gravel or broken stone (thoroughly tamped). GENERAL REQUIREMENTS:

One Course (Monolithic) Construction for all Curb, Gutter and Sidewalk.

Concrete Mix: To be Class A Concrete 3300# 6 Bag Mix — 5.6 Gal. Water per bag throughout; Concrete Mix: 10 be Class A Concrete 3300# 6 Bag Mix — 5.6 Gal. Water per bag throughout; use power batch mixer. No slag.

Curb: 21" Depth with approved finish on top and exposed face.

Gutter: 8" Depth — Slope of Gutter 1/2" rise per foot away from curb.

Sidewalk: Thickness — Residential Area — 5", Business and Industrial Areas — 6"

At Residential Driveways — 6", At Business and Industrial Driveways — 8".

Finish — Use a float and broom finish to produce skid resistant surface.

On Grades of 5% or more, produce a rougher finish.

Slope — Walk and Parkway Areas 1/4" per foot (2%) toward curb.

Expansion and Contraction Joints: See City Construction Standard No.1A.

Handicapped Ramps: Required on all Radii in accordance with current ADA requirements.

Driveways: See City Standard Driveway Entrance and Apron Sketch.

Excavation When excavating in the cortway of a City street, a clean, full depth cut- by jack hammering in Cartway: or sawcutting—shall be made in the street between the affected and the unaffected work greas. Further, final restoration in the affected area of the street shall consist of creating a new clean cut by sawcutting 12" beyond the edge of any affected work areas, backfilling with PennDOT 2A Modified stone, and properly compacting this stone to the elevation of the top of the subbase (i.e. bottom of the base course of the macadam), but no higher than 3-inches below the finish grade-except as rêquired to provide reasonable temporary access at driveways.

Warrant of Survey — Procured from the City Engineer's Office; provides for establishing Line & Grades; Stakes to to be protected by applicant and used within 30 days. Excavation Permit - Procured from the City Engineer's Office; for Sidewalk and driveway construction.

For further details and other requirements see the following documents on file in the Office of the City Engineer: "Standard Specifications for the Construction

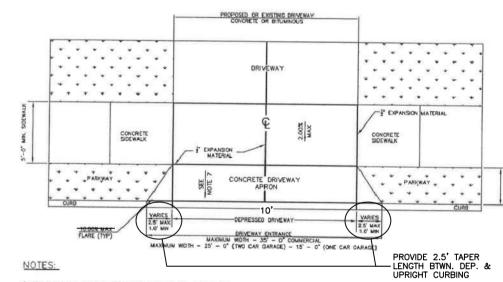
of Concrete Curb, Gutter and Sidewalk" Codified Ordinances of the City of Bethlehem, CITY OF BETHLEHEM, PA BUREAU OF ENGINEERING Articles 903 and 909. CONSTRUCTION

+ Whenever a curb, gutter and/or sidewalk is located in a Historic District, special requirements may apply. STANDARD NO. + Changes to dimensional requirements may be considere in cases where obstructions or encroachments exist. for CONCRETE CURB, GUTTER Any exceptions must be approved by the City Engineer. Current ADA requirements must be met in all cases.

huelem 6/5/13 PER SITE CONDITIONS MAX. SIDEWALK SLOPE 25 SIDEWALK AREA APRON

and SIDEWALK

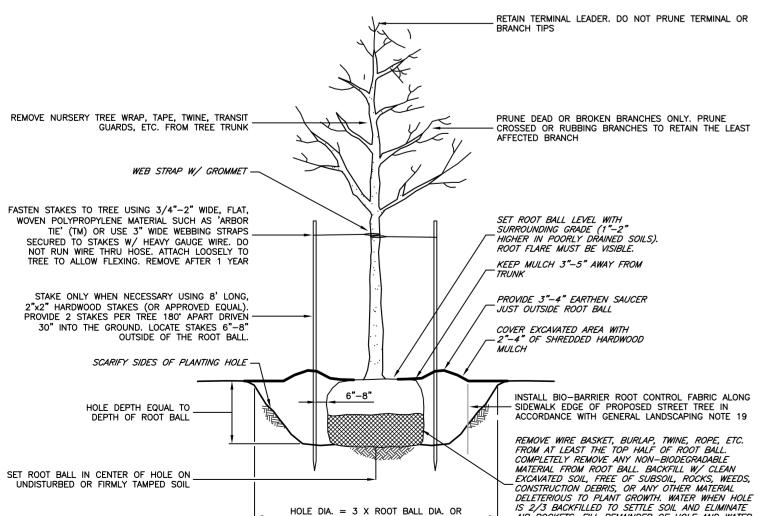
APRON DEPTH = RESIDENTIAL 6", BUSINESS & INDUSTRIAL 8"

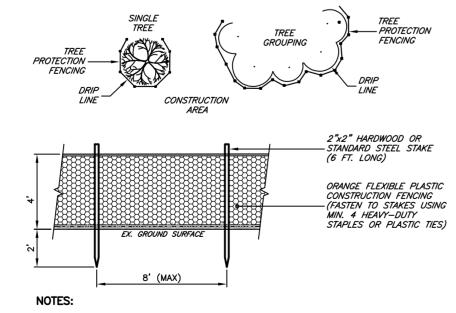


exceptions must be approved by the City Engineer. Current ADA requirements must be met in all cases.

7. Desired 8% max allowable change in grade between road surface and driveway apron. 10% max grade for driveway apron.

Male CHYENGINEER 12/10/14





1. ERECT APPROVED CONSTRUCTION FENCING AROUND EXISTING TREES AND SHRUBS TO REMAIN WITHIN AND ADJACENT TO THE CONSTRUCTION AREA IN ACCORDANCE WITH THIS DETAIL TO PREVENT DAMAGE TO TRUNKS AND COMPACTION OF THE SURROUNDING SOIL BY CONSTRUCTION EQUIPMENT.

2. INSTALL FENCING IN A SECURE AND TAUT FASHION.

3. WHEREVER PRACTICAL, ERECT FENCING TO ENCOMPASS THE TREE DRIPLINE OR AN AREA WITH A RADIAL DIMENSION EQUAL TO ONE FOOT FOR EVERY INCH OF TUNK CALIPER MEASURED FROM THE TREE TRUNK, WHICHEVER IS GREATER.

4. FENCING SHALL REMAIN IN PLACE AND FUNCTIONAL FOR THE ENTIRE DURATION OF THE CONSTRUCTION PROJECT.

TREE PROTECTION FENCING DETAIL NO SCALE



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MAJOR RESIDENTIAL SUBDIVISION 1535 BUTZTOWN ROAD LANDS N/F WILLIAM A. BURKE

CONSTRUCTION DETAILS & SPECIFICATIONS