

CITY OF BETHLEHEM

HARB CERTIFICATE OF APPROPRIATENESS

DATE: 5 March 2025

APPLICANT MUST ATTEND MEETING FOR CASE TO BE HEARD

Deadline for submittals is by noon, three weeks prior to the next scheduled meeting.

Applications for demolition and new construction must be submitted four weeks prior to the next scheduled meeting.

Submit original plus 10 copies.

HARB MEETING MINUTES AND SUBMISSION

MEMBERS PRESENT

Connie Postupack
Diana Hodgson
Michael Simonson
Joe McGavin
Rodman Young
Nik Nikolov

MEMBERS ABSENT

VISITORS PRESENT

Matthew Deschler, Esquire – City of Bethlehem,
Solicitor
Craig Peiffer, AICP – Deputy Director, City of
Bethlehem, Bureau of Planning & Zoning
Vincent & Abigail Napolitano, 123 East Church
Street
Clint & Sonja Walker 123 East Church Street
Legal Counsel for, Rubel Street II, L.P., 555
Main St.
Todd Chambers, MKSD Architects, 555 Main St.
Shayne Serrano, MKSD Architects, 555 Main St.
Ed Courrier, Bethlehem Press

STAFF PRESENT

H. Joseph Phillips, Historic Officer
E-Mail: jphillips@phillipsdonovanarchitects.com

The 5 March 2025 meeting of HARB was called to order by Chairperson, Connie Postupack at 5:00 PM.

MINUTES

There were no comments on the 5 February 2025 Minutes and upon a Motion by Diana Hodgson and a Second by Rod Young, the Minutes were approved unanimously as submitted.

Chairperson, Connie Postupack, notified all in attendance that Item #2 would be heard first, followed by item #1.

Item #1: The applicant/owner of the property located at 555 Main Street proposes to construct additional stories above the existing building.

Please note that at its meeting on 4 February 2025 Bethlehem City Council unanimously chose to return this matter to HARB for further proceedings at its discretion. In Inter-Departmental Correspondence from Council to HARB dated 5 February 2025, Council stated that, "At a minimum, the proceedings should result in the issuance of a further report to Council setting forth recommendations for changes to the Applicant's plans and specifications that would, in the opinion of the Board, satisfy conditions for protecting the distinctive historical character of the district."

It appears as though the Application and proposed building design have not changed since HARB's most recent review at their meeting on 1/8/25.

Property Location: 555 Main Street
Property Owner: Rubel Street II, L.P.
Applicant: MKSD Architects

Proposed work: The applicant/owner of the property located at 555 Main Street proposes to construct additional stories, for multi-family residential use, above the existing building. Two additional stories (20'-0") will be added and set back from the existing two-story façade that fronts Main Street with a 6'-0" balcony (Plus the width of the front façade). Three additional stories (31'-4") will be added at the rear of the building that fronts Rubel Street. Proposed materials include the following.

Main Street Façade

Brick (primary brick field/surround): To match existing facade

Brick (decorative panel): Belden Face Brick, 8531 Velour in color

Brick Joints & Mortar: Colonial Brown color struck joint to match existing.

Windows (in addition): Pella Lifestyle Aluminum Clad double hung windows, Iron Ore in color

Windows (in existing openings): New Aluminum Clad double hung replacement windows, red in color to match existing windows.

Cornice: New decorative cornice, Charcoal Slate color to match existing cornice.

Rubel Street Façade

Brick (right side at street level): Existing Red Brick

Brick (left side painted brick façade at street level): Color yet to be determined

Brick Joints & Mortar: Existing

New Windows: New Pella Lifestyle Aluminum Clad double hung windows, Fossil in color.

Window Trim: 5-1/2" LP Smartside 440 Series smooth texture trim in Cavern Steel Color.

Siding (in field): LP Smartside smooth texture vertical composite siding in Prairie Clay color with 2-1/2" LP Smartside 440 Series smooth texture trim in Prairie Clay Color.

Siding (panels between windows): LP Smartside smooth texture large format composite panel in Timberland Suede color.

EIFS Panel: Dark Gray Color

Metal Coping Cap: Aluminum to be painted Prairie Clay color.

Character Defining Features: The existing two-story Main Street façade is distinguished by its street level storefront façade consisting of storefront glass, painted tile façade, and oversized letters spelling out "555 WOOLWORTH BLDG." The storefront is topped by a second-floor brick façade of varying brick patterns and stylized brick keystones over the one over one lite double hung windows. The existing two-story Rubel Street façade is comprised of yellow and red flat brick facades with little distinguishing characteristics. This façade faces a parking structure on the other side of Rubel Street, which is a relatively utilitarian service street to the back of buildings that front on Main Street. On the rear side of, and well below, the above-mentioned parking structure lies the colonial Industrial Quarter.

Discussion (from 4 December 2024 HARB Meeting): The Historic Officer, Joe Phillips, gave an overview of the project. The Applicant advised that two additional stories would present themselves from Main Street, but one of these stories would be partially screened by the existing parapet wall. The Applicant further stated that the proposed height of the new addition is consistent with the adjacent Main Street Commons building and other buildings to the South, the rhythm and pattern of windows is consistent with Main Street, and the materials are consistent with Main Street & Historic Bethlehem. Mr. Phillips brought attention to the proposed Main Street Facade window grouping, comprised of 3 differently oriented units, and their differentiation from the existing windows in the same façade. Joe McGavin asked why the proposed new windows are more contemporary and grouped as they are and why they are not more similar to the existing windows. The Applicant replied that the new window groupings are meant to distinguish themselves from the existing building as outlined in the Secretary of Interior's Standards. Joe McGavin stated that the new windows are not compatible with the Historic District and the Applicant respectfully disagreed and feels that there is enough variety of windows on Main Street that the new windows are compatible. Diana Hodgson questioned the color of the brick and the Applicant advised that they would provide brick samples for review by HARB. Rod Young asked if any windows would be located on the South Façade of the addition and the Applicant responded that there will not be any new windows on the South Façade. Diana Hodgson asked for clarification of the location of the terrace and the Applicant advised that the Terrace will be located on the roof above the Main Street Façade containing the "Woolworth" letters. Ms. Hodgson further questioned the location of utilities and related equipment and the Applicant advised that mechanical units and other equipment would not be visible from a public right of way. Ms. Hodgson asked where the parking for the 27 residential units would be located and the Applicant advised that parking is not required by the Zoning Ordinance in the Historic District. Mike Simonson asked what the proposed height of the addition will be as it relates to the existing parapet and the Applicant advised that the addition would be approximately 11 to 12 feet above the parapet on the Main Street Façade. Nik Nikolov stated that he likes the pattern of the brick between the third and fourth floor windows, but the façade could take on more texture and be set back deeper at the windows to create depth and shadows. Mr. Nikolov also questioned why red was chosen for the new window color. The Applicant responded that

the red would match the color of the existing wood windows on the second floor and on the Main Street Commons Building Façade. Mr. Nikolov responded by asking if this would be too much red in one small section of Main Street. The Applicant agreed to consider a different color for the windows and come back to HARB. Connie Postupack asked if there was another way to differentiate the new windows and if the color of the new brick could speak more to the existing building. Nik Nikolov suggested that perhaps the transom window could be eliminated from the grouping of 3 windows and simplify the grouping to a combination of 2 vertically oriented window components. Mr. Nikolov also stated that he feels the new brick texture and color should be differentiated from the existing brick.

Public Comment

Dana Grubb, a Bethlehem resident, stated that the proposed design raised many issues with an existing building that is so important to Main Street and that the Secretary of Interior's Standards should apply both District wide and in a specific context such as this building and property. Mr. Grubb asked if the approval of this project, as presented, would open the door to compromising the historic character of Bethlehem. Mr. Grubb is concerned with the scope of the project and the impact it will have on this building and the Historic District.

Marsha Fritz, a Bethlehem resident, stated that setting the new Main Street Façade back from the existing façade does not make it disappear and that the rear of the proposed building addition will be visible from the Broad Street Bridge. She advised that historically, buildings were designed with a base, shaft, and capital as can be witnessed in the composition of many of the buildings on Main Street. This is what distinguishes the character of Main Street. Ms. Fritz feels that the proposed addition's shaft is not compatible with the existing building's base and the new addition does not have a capital or top. The existing building represents its time in history and represents the merchandising concepts of the time of the Five & Dime Store. Furthermore, Ms. Fritz does not feel that the red window color is appropriate in the Historic District.

AJ Jordan, Chairperson of the Allentown Historic Architectural Review Board, stated that he sees a diversity in the type of windows in buildings located in Bethlehem's Historic District, but does not see diversity in the organization, groupings, and patterns of windows in Bethlehem's Historic District.

At the completion of the Public Comment outlined above, HARB continued their deliberation. Connie Postupack asked the Applicant what they thought of the comments received thus far. The Applicant stated that no one wants to bastardize the architecture of Main Street, they appreciate HARB's comments, and they are willing to review their proposal and come back next month with a revised design. Diana Hodgson asked if the project could be done with one less floor and the Applicant stated that the economics of the project do not work with one less floor. Nik Nikolov stated that work in the Historic District is guided by the Secretary of Interior's Standards as a framework, but styles do not abruptly begin and end, they overlay, mix, and blend with each other. So, the question is how do we apply neoclassical style across various other styles in history, such as Art Deco. Is the proposed addition not different enough or is it too different? Mr. Nikolov would like the design to celebrate newness and difference, and not repetition. Mr. Nikolov asked if the first-floor storefront windows are original and the Applicant responded in the affirmative. The Applicant asked if HARB would consider a change to the color of the original first floor Woolworth façade. Connie Postupack responded that a change in the existing first-floor façade color would likely not be looked at in a positive light.

Based on the Discussion outlined above and with the consent of the Applicant, HARB agreed to table a decision on this Application and the Applicant agreed to come back to HARB with a revised Application.

Motion: Connie Postupack made a motion to table a decision on this Application, in accordance with the discussion outlined above and the Guideline Citations outlined below.

Second: Joe McGavin

Result of vote: The vote was unanimous to table a decision on this Application, as per the motion, and with the following conditions.

1. The Applicant will come back to HARB with a revised Application.

Discussion (from 8 January 2025 HARB Meeting): The Historic Officer, Joe Phillips, gave an overview of the project. The Applicant advised that they have addressed the discussion items regarding materiality, form, mass, and scale from the December 2024 HARB Meeting and they have revised the window grouping on the Main Street Façade to be more traditional and have setback the center portion of the building an additional 18 to 24 inches. The Applicant further reviewed the new rendering for the Rubel Street Façade and the new materiality proposed for that façade. Connie Postupack asked how far the Main Street façade is set back. The Applicant advised the main façade of the Main Street Addition remains 6 feet back from the existing building façade and the center of the new Main Street façade is held back an additional 18 to 24 inches. Ms. Postupack asked if the windows on the second floor of the existing Main Street façade are being replaced. The Applicant responded in the affirmative and noted that the existing wood sash need replacement and will be replaced with Pella Clad windows. Mike Simonson asked if there are any changes proposed to the first floor Woolworth façade and the Applicant confirmed that there will not be any changes to the first floor Woolworth façade. Connie Postupack expressed her concern with the height of the proposed addition and stated that the variation in height of building facades contributes to the character of the City of Bethlehem and Main Street. Joe McGavin stated that this proposed addition and change to the character of Main Street will be a detriment and he is concerned with this proposed major change. Mike Simonson asked, what is the pattern on Main Street? Mr. Simonson further stated that the pattern and character of Main Street varies greatly and that there is no consistency. New additions are not supposed to match existing buildings and facades per the Secretary of Interior's Standards. The Applicant advised that the height of the building is within the zoning guidelines, they have addressed HARB comments from the December 2024 meeting, and the new design is more compatible with the surroundings. Mike Simonson stated that he prefers the brick panel design option that is presented on page 14 of the submission.

Public Comment

Connie Postupack read a letter submitted by Mary Toulouse. This letter has been attached to these Minutes.

Marsha Fritz stated her opposition to this Application stating that it violates Standards #1, #2, #3, #9, and #10 of the Secretary of Interior's Standards for Rehabilitation. (See attachment to these Minutes.) Ms. Fritz expressed her agreement with the letter submitted by

Mary Toulouse. She feels that the basic premise of the proposed addition is wrong, so she will not even comment on the materials or details of the Application. Ms. Fritz stated that originally colonial buildings were given priority, but we have now recognized the importance of other subsequent building styles, such as the Woolworth Building. Our buildings and neighborhoods are a product of time, place, and use. What does Main Street tell us about the history of the city? The Woolworth building represents an important retail period in our history. Ms. Fritz requested that HARB deny this Application.

Chris Carson stated his opposition to this Application. A written copy of his comments has been attached to these minutes.

The HARB agreed to recommend that Bethlehem City Council deny a Certificate of Appropriateness to construct two additional stories set back from the existing two-story façade that fronts Main Street and three additional stories at the rear of the building that fronts Rubel Street.

Motion:

Connie Postupack made a motion to deny construction of two additional stories set back from the existing two-story façade that fronts Main Street and three additional stories at the rear of the building that fronts Rubel Street, in accordance with the discussion outlined above, the Guideline Citations outlined below, and the following citations.

1. Bethlehem Historic District Design Guidelines, page 16, Compatible Design Principles for Additions & New Building Construction, including but not limited to the following:
(1) Scale: Height & Width - Proportions and size of the addition/new building compared with existing building/neighboring buildings.
(2) Building Form & Massing - Three-dimensional relationship and configuration of the addition/new building footprint, its walls and roof compared with existing building/neighboring buildings.
2. Secretary of Interior's Standards for Rehabilitation
#1 A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
#3 Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties will not be undertaken.
#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with historic materials, features, size, scale and proportion, and massing to protect the integrity of the historic property and its environment.

#10 New additions and adjacent or related new construction will be undertaken in such manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Second:

Joseph McGavin

**Additional Comment/
Discussion:**

Michael Simonson stated that the Applicant has made the revisions requested by HARB at the December 2024 Meeting and asked why HARB did not bring up the Secretary of Interior's Standards citations at the December Meeting. Connie Postupack responded that the setback of the addition was discussed at the December Meeting. Diana Hodgson reminded the Applicant that, at the December Meeting, she asked if the building addition could be reduced by one story and she was told by the Applicant that this was not feasible. The Applicant stated that HARB has had multiple opportunities for the building massing to be mentioned and it has not been brought up until this time.

Result of vote:

The vote was 3 yes to 1 no to deny construction of two additional stories set back from the existing two-story façade that fronts Main Street and three additional stories at the rear of the building that fronts Rubel Street, as per the motion.

Result of roll call vote to deny this Application.

Connie Postupack: Yes

Diana Hodgson: Yes

Joseph McGavin: Yes

Michael Simonson: No

Discussion 3/5/25: The Historic Officer, Joe Phillips, gave an overview of the project. Mr. Phillips reminded HARB that, at its meeting on 4 February 2025 Bethlehem City Council unanimously chose to return this matter to HARB for further proceedings at its discretion. In Inter-Departmental Correspondence from Council to HARB dated 5 February 2025, Council stated that, "At a minimum, the proceedings should result in the issuance of a further report to Council setting forth recommendations for changes to the Applicant's plans and specifications that would, in the opinion of the Board, satisfy conditions for protecting the distinctive historical character of the district." Mr. Phillips further advised HARB that it appears as though the Application and proposed building design have not changed since HARB's most recent review at their meeting on 1/8/25. The Applicant confirmed that the building design has not changed and that they were before HARB to discuss changes that would satisfy conditions for protecting the distinctive historical character of the district. Diana Hodgson asked if HARB could extend the review and discussion and have additional meetings related to this Application. Matthew Deschler advised that review and discussion could be extended to future meetings as long as the Applicant agrees. The Applicant's attorney stated that she felt that all HARB's previously

requested revisions had been met and they are asking HARB to reconsider their previous denial. Joe McGavin disagreed with this stating that HARB had previously raised issue with the window pattern and placement, as well as bringing up and requesting that the Applicant reduce the number of floors/stories. Mr. Phillips advised the Applicant's attorney that HARB's denial was also based on much more basic design issues of mass, form, and proportion, rather than just the materials and finishes she was referencing. The Applicant's attorney stated that the building size/height is permitted. Mr. Phillips clarified that the size/height is permitted by zoning, but that doesn't mean that it is what is best for the Historic District. Connie Postupack stated that this proposal is important to the character of the Historic District and HARB wants to be sure that all parties work together to get it right.

Joe McGavin thanked the administration for providing the documents that were provided to HARB Members before the meeting and stated his thoughts on the current Application. He stated that HARB is to consider the architectural appropriateness of an Application as stated in Article 1713, section 173.11 of the City's Codified Ordinances. He further stated that he would be referencing Preservation Brief 14 published by the National Park Service, U.S. Department of the Interior, Technical Preservation Services. A copy of his comments and supporting documents in total are attached to these Minutes. In general, his comments were as follows.

- Chapter 14, page 4 states that the goal of a new addition is to preserve the existing building's historic character
- The historic character of each building may be different
- These points must be kept in mind as the Application is reviewed
- Chapter 14, page 12 specifically discusses rooftop additions. Page 13, Figure 24 illustrates how to evaluate sight line studies for a rooftop addition
- Based on this guideline, the addition should be limited to one story in the front and the setback would need to be increased due to the roofline of the adjoining building
- Chapter 14, page 14, Designing a New Exterior Addition to a Historic Building – This guidance should be applied to help in designing a compatible new addition that will meet the Secretary of Interior's Standards for Rehabilitation.
- Chapter 14, pages 7 & 8 – The pattern of the windows on the addition does not tie into the base, rhythm, and alignment of the window and door openings of the historic building.
- Article 1713.02, page 2 – provides the definition of what buildings must comply with the Historic District regulations/guidelines as further outlined in Article 1712.11 (b) as follows. "The appropriateness of exterior architectural features which can be seen from a public street or way."
- The Broad Street bridge is a public street that is located in the Historic District. Therefore, the rear of the building addition is viewable from the Broad Street Bridge and Old York Road in the Colonial Industrial Quarter and should be setback adequately so that it would not be viewed from the Broad Street Bridge or Old York Road.
- The materials proposed for the rear of the building are not acceptable. The materials in this location should be similar to the historic structure and compatible with the adjacent buildings as referenced in Chapter 14 and Article 1713.11 (c).
- Mr. McGavin noted that HARB did make an exception for a small residential addition on West Street, however, the rear of that property was only viewable from a small alley behind the property and at a distance.

- Mr. McGavin asked for guidance on the text included in Preservation Brief 14 that called for new rooftop additions to be set back from the existing building façade by a minimum of one full bay.

Matthew Deschler stated that the fact that the addition is viewable from a public way in the Historic District is not sufficient reason for denial of the Application.

Connie Postupack cited page 7 of Preservation Brief 14 stating that proposals should avoid designs that combine new and existing buildings into a single whole. She further stated that she feels that the materials on the rear of the building are not appropriate and they should be compatible with the materials on the adjacent buildings. The Applicant asked how to define a setback of one full bay. Mr. Phillips acknowledged that this is unclear in the Preservation Brief and he would recommend setting the rooftop addition back as illustrated in Figure 24 on Page 13. Mr. McGavin suggested that the Applicant could locate flags identifying the location of the addition and then photograph them to show how visible the addition would be from the street. Mr. McGavin advised that the Secretary of the Interior's Standards state that a rooftop addition should be a maximum of one story for a building such as the existing building. Rod Young directed HARB to pages 159-160 of the Secretary of Interior's Standards. (attached to these Minutes) Joe McGavin reiterated that the materials proposed for the rear of the building are unacceptable. The Applicant clarified that they proposed the siding material on the rear of the building because the Secretary of Interior's Standards look favorably on contrasting the new materials with the existing materials. Nik Nikolov stated that HARB's duty is not to save money for the Applicant/Developer and that there should be an overall strategy developed for the building's façade materials. The building does not need to be different on all sides, but should be more homogenous. Mr. Nikolov advised that HARB can give guidelines and recommendations, but cannot design the building. Mr. Deschler read text from Historic District Law and a general, spirited discussion followed. The Applicant's attorney stated that the Applicant would like to work in good faith with HARB to reach a solution. Connie Postupack suggested the Applicant work creatively with materials. Mr. Phillips warned that focusing only on the building's exterior materials would be putting the cart before the horse and there are more basic design issues of size, scale, massing, etc. that must be explored and addressed first. Mr. Nikolov asked rhetorically, how do we break a big building down to an acceptable scale and suggested the Applicant undertake a volumetric study. The Applicant responded that he didn't think a volumetric study would be easily understood and that preparing revised exterior views with materials identified would be more easily understood. Connie Postupack asked what façade material the Woolworth letters are attached to. The Applicant is unsure of the exact makeup of the material, but they are 16-inch x 16-inch panels. Mike Simonson asked HARB to give the Applicant good, comprehensive input on a direction to move forward. Mr. Simonson cited the height of the addition, the façade materials, sight lines from the street, and the height of the addition at the rear of the building. Diana Hodgson advised that she has no opinion on the South and West Elevations. Mr. Phillips asked for HARB's input on the setback of the South facing façade and advised that the guidelines recommend setbacks and delineation of old and new on all facades. HARB agreed that all new facades should be setback from the existing facades. Diana Hodgson stated that she feels no addition to the roof of the building is the best solution. The Applicant's attorney asked if HARB felt that a two-story addition could be disguised to look like a one-story addition. Mr. Phillips responded he feels that if the design can meet the height/setback and view suggestions shown in Preservation Brief 14,

Figure 24, then an addition of more than one story may be something that could be considered. Rod Young stated that the guidelines say no addition, but he could support a one-story addition and is open to creative solutions. Joe McGavin recommended flagging the proposed addition and photographing the flags to determine the view of the proposed addition from the street. The Applicant's attorney stated that she feels an alternative/revised design could be prepared and asked how quickly they could come back before HARB. She was advised that the next HARB meeting is on Wednesday 2 April 2025.

During the forming of the Motion Mr. Nikolov noted differences/discrepancies in the layout of the plans and elevations that were included in the Application. The Applicant agreed that the renderings did not completely match the floor plans and agreed to update the information for the next meeting. Mr. Nikolov added that he feels the addition could perhaps be more contemporary in style and could incorporate shading devices on the façade(s) to provide more depth. Mr. Nikolov also suggested that stepping the addition back from the existing building's façades could provide roof terrace spaces that are accessible to the tenants.

Based on the Discussion outlined above and with the consent of the Applicant, HARB agreed to table a decision on this Application and the Applicant agreed to come back to HARB with a revised Application.

Motion: Michael Simonson made a motion to table a decision on this Application, in accordance with the discussion outlined above and the Guideline Citations outlined below.

Second: Diana Hodgson

Result of vote: The vote was unanimous to table a decision on this Application, as per the motion, and with the following conditions.

The Applicant will come back to HARB with a revised Application. The changes to be explored in an attempt to meet the conditions for protecting the distinctive historical character of the Historic District are as follows.

1. Investigate the height of the proposed addition. HARB prefers a one-story addition, but is open to solutions that comply with Figure 24 found in Preservation Brief 14 with and emphasis on the primary elevation of the addition that faces Main Street.
2. Explore setbacks of the rooftop addition on the West and South Elevations that will clearly distinguish the addition from the existing building.
3. Explore materiality on the facades of the addition. The materials on rear façade should be more compatible with, but distinguishable from the materials on the existing and adjacent buildings.

Guideline Citation: Secretary of Interior Standards No.(s)

#1 A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

#2 The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

#3 Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties will not be undertaken.

#5 Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

#6 Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with historic materials, features, size, scale and proportion, and massing to protect the integrity of the historic property and its environment.

#10 New additions and adjacent or related new construction will be undertaken in such manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Bethlehem Ordinance 1714.03 Purposes of Historic Conservation District – It is the purpose and intent of the City of Bethlehem to promote, protect, enhance, and preserve historical resources and traditional community character for the educational, cultural, economic, and general welfare of the public through the preservation, protection, and regulation of buildings and areas of historical interest or importance within the City.

Bethlehem Historic District Design Guidelines

Page 16: Compatible Design Principles for Additions & New Building Construction, including, but not limited to, the following:

(1) Scale: Height & Width - Proportions and size of the addition/new building compared with existing building/neighbor buildings.

(2) Building Form & Massing - Three-dimensional relationship and configuration of the addition/new building footprint, its walls and roof compared with existing building/neighbor buildings.

(3) Setback: Yards (Front, Side, and Rear) - Distance of the addition/new building to the street and property lines when compared with the existing building or other buildings on the block.

(4) Site Coverage - Percentage of the site that is covered by addition/new building compared to comparable nearby sites.

(5) Orientation - The location of the addition/new building and its principal entrance relative to other buildings on the block.

(6) Architectural Elements and Projections - The size, shape, proportions, and location of doors, porches, balconies, chimneys, dormers, parapets, and elements that contribute to an overall building's shape and silhouette relative to neighbor buildings.

(7) Alignment, Rhythm, and Spacing - The effect the addition/new building will have on the existing street patterns.

(8) Façade Proportions: Window and Door Patterns - The relationship of the size, shape, and location of the addition/new building façade and building elements to each other, as well as to other buildings on the existing building/block.

(9) Trim and Detail - The moldings, decorative elements, and features of a building that are secondary to major surfaces such as walls and roofs and how they related to the existing and neighboring buildings.

(10) Materials - The products with which something is composed or constructed and how they related to the existing and neighboring buildings.

Together with the Secretary of Interior's Standards, these Design Guidelines establish a framework of encouraging additions to existing buildings and new construction that are sensitive to neighboring spatial relationships, forms, and materials while differentiating new construction from historical building fabric.

Page 8: Exterior Woodwork & Siding

The HARB encourages,

- Regularly maintaining and repainting exterior woodwork including repainting, and addressing potential areas of moisture including clogged gutters and downspouts, groundwater, leaky pipes, and interior condensation
- Retaining decorative woodwork since it is a character defining element that can be difficult to replace
- Repairing smaller areas of deterioration by reinforcing or patching – small cracks and checks can be repaired with an exterior wood filler, glue, or epoxy – Loose elements can be refastened with nailing or drilling and screwing
- Selectively replacing deteriorated wood elements that are beyond repair with wood pieces that match the size, profile, exposure and pattern, and character of the historic wood element – Wood filler in the joints between the new and old wood will help provide a smooth finish
- Large scale or significant replacement of exterior wood siding with paintable material that match the size, profile, exposure, pattern, and character of the historic wood

The HARB discourages,

- Removing or encapsulating with vinyl or aluminum siding, trim, decorative features, and trim elements such as brackets, spindles, cornices, columns, posts, etc.
- Vinyl or aluminum siding over wood, brick, stone, or stucco
- Wood grained, wavy edged, vertical, and textured plywood simulated siding
- Installing non-wood trim

Page 9: Masonry & Stucco

Exterior masonry, including stone, brick, terra cotta, and stucco, provides a strong, durable, and attractive appearance with relatively low maintenance. Historic masonry walls tend to protect a building's interior from weather and act as the principal load bearing system. Aesthetically it acts as an important design feature, helping to define a building's style and add visual interest to the streetscape.

Mortar: Mortar, which bonds masonry units, was generally composed of a few ingredients: sand, lime, and water, and possibly additives such as animal hair or oyster shells. Starting in the mid-19th century, a small amount of Portland cement was added into the mix to

improve the workability and hasten the setting time. In the early 20th century, Portland cement in mortar was increased, corresponding with the manufacture of harder bricks.

The HARB encourages,

- Regular maintenance, repair and selectively repointing deteriorated areas with compatible mortar in material, hardness, composition, color, joint style. Incompatible mortar is often too hard and can lead to spalling or chipping of the bricks or stones, it can also be visually mismatched.
- Installing fasteners for signs and other devices into mortar joints rather than brick or stone faces
- Installing local stone and pointing with ribbon joints

The HARB discourages,

- Using Portland cement-based mortar for repointing – it is typically too hard for most historic masonry and can result in damage, including spalling

Stucco: Stucco is a relatively inexpensive material that can provide a more finished appearance to brick, stone, or wood framed buildings. In some cases, the surface was scored to look like stone. It acts as a weather repellent coating, protecting the building from the elements including rain, sunlight, and wind, and can moderately increase its fire resistance. Stucco can also provide an insulating layer to a wall, reducing the passage of air to the interior.

The HARB encourages,

- Matching the color and texture of historic stucco when repairing or applying stucco to new construction

The HARB discourages,

- Installing stucco over brick, stone, or terra cotta walls
- Installing artificial stucco (EIFS Exterior Insulation and Finish Systems) which can trap moisture within the thickness of a wall and cause long-term damage

Masonry & Stucco Cleaning: Appropriate masonry and stucco cleaning can enhance the character and overall appearance of a building. However, improper cleaning of historic masonry can cause damage to the historic surfaces and cause more harm than good both physically and aesthetically.

The HARB encourages,

- Cleaning masonry and stucco with the gentlest means possible, typically low-pressure water, with the possible use of a gentle detergent and brushing

The HARB discourages,

- Masonry cleaning unless a building is heavily soiled
- Masonry and stucco cleaning with harsh chemicals, sand blasting, power washing over 400 psi, grinders, or metal brushes

Masonry Coatings & Paint: Water repellent and waterproof coatings, which include paint, are generally applied to prevent water from entering a masonry and stucco wall, but tend to be unnecessary on weather-tight historic buildings. Water tends to enter masonry buildings through open mortar joints, surface cracks and areas of poor or deferred maintenance. In instances where the surface of the masonry has been severely compromised, such as at sandblasted brick, the use of water repellent coatings might be appropriate.

The HARB discourages,

- Applying water repellent or waterproof coatings
- Painting of previously unpainted masonry or stucco

Page 10: Windows

The HARB encourages,

- If the applicant can demonstrate evidence of window deterioration requiring replacement, installing true divided lite replacement windows with an exterior painted finish that match the material, historic size, shape, operation, muntin pattern, profiles, and detailing to the greatest extent possible

The HARB discourages,

- Decreasing, increasing, or altering window size, shape, or operation to allow for installation of stock window sizes or picture windows
- Encasing or capping window surrounds with aluminum or vinyl
- New window openings at publicly visible elevations
- Installing tinted or colored glazing
- Installing vinyl or aluminum-clad replacement windows at window openings that are visible from a public right-of-way

Page 8: Paint

The HARB encourages,

- Hand washing with mild detergent and bristle brush, hand scraping, and hand sanding

The HARB discourages,

- Rotary tools – disks can leave circular marks and wires can tear into the surface
- Heat guns and heat plate – can ignite paint or underlying surface if left in one location too long
- Chemical paint removers – can raise grains, be expensive, and potentially volatile; runoff can be hazardous
- Flame tools, blow torches to soften paint – smoldering sparks can potentially start a fire; lead components in paint can vaporize and create highly toxic fumes
- Sandblasting – can be abrasive to surface, wear away protective exterior coating, and raise the wood grain
- High-pressure water wash – forces water into open joints affecting interior finishes and structural framing; can be abrasive to exterior surface and raise the grain

Item #2: The applicant/owner of the property located at 123 East Church Street proposes to replace an existing pine fence with a red cedar fence along the Pine Street side and Wesley Street/rear of the property.

Property Location: 123 East Church Street

Property Owner: Vincent & Abigail Napolitano/Sonja Walker & Vincent Napolitano

Applicant: Vincent & Abigail Napolitano/Sonja Walker & Vincent Napolitano

Proposed work: The applicant/owner of the property located at 123 East Church Street proposes to replace an existing pine fence with a red cedar fence along the Pine Street side and Wesley Street/rear of the property. There is a 6'-0" gate proposed to be located in a 9'-

0" section of angled fence that attaches to the northwest corner of the rear of the home. The fence will then extend 72'-0" along the Pine Street/West Property line, turn East and extend 40'-0" inches along the Wesley Street/North property line. A separate 17'-0" sections of fence with a 4'-0" gate will be installed toward the rear of the home and extend from the home to the East property line.

Character Defining Features: This three bay, one and one half-story residence with horizontally sided walls is topped with a cross gabled roof fronting Church Street. The slate roof is punctuated by three gable-roofed, horizontally sided, wall dormers with 6 over 6 lite double hung windows. There is an exposed, painted brick chimney on the right end of the home. There is hip roofed porch, punctuated with a centered triangular pediment, running the full length of the first floor Church Street façade. The first floor of the Church Street facing façade is punctuated by two 8 over 12 lite double hung windows fitted with shutters. The front door is centered in the façade.

Discussion: The Historic Officer, Joe Phillips, gave an overview of the project. Mr. Phillips noted that the existing fence has been completely removed and that the lawn area at the rear of the home has been cleared and graded. The Applicant stated that while clearing the back yard the existing fence was falling down so they removed it. Mr. Phillips inquired as to why the easterly property line has a bend/angle in it. The Applicant advised that this was to accommodate an existing driveway. Diana Hodgson asked if the photo included in the Application was of the actual fence to be used and the Applicant advised that the photo was just an example of a similar fence. Rod Young asked if the black hardware shown on the photo would be used on the proposed fence and the Applicant responded in the affirmative. Ms. Hodgson asked if the proposed fence would be 6'-0" high and be scalloped at the top like the photo and the Applicant responded in the affirmative. Michael Simonson advised the Applicant to take the required sight lines for the street/intersection into account when locating the fence on the site and the Applicant agreed to do so. Mr. Simonson asked if the gates on the angled portion of the westerly portion of the fence would be two 6'-0" gates and the Applicant advised that the gate will be comprised of two 3'-0" panels for a total opening of 6'-0". Diana questioned whether the Applicant was going to seal or paint the fence. The Applicant advised that they will seal the red cedar fence after it has had sufficient time to age/weather. Mr. Phillips asked if the fence posts would have a flat or sculpted top. The Applicant advised that they will install sloped, real copper caps on the top of the fence posts.

The HARB agreed to recommend that the Bethlehem City Council issue a Certificate of Appropriateness to replace an existing pine fence with a red cedar fence along the Pine Street side and Wesley Street/rear of the property, as well as a 17'-0" section of fence on the East side of the home as shown on the diagram included in the Application.

Motion: Diana Hodgson made a motion to approve replacement of an existing pine fence with a red cedar fence along the Pine Street side and Wesley Street/rear of the property, as well as a 17'-0" section of fence on the East side of the home as shown on the diagram included in the Application, in accordance with the discussion outlined above and the Guideline Citations outlined below.

Second: Connie Postupack

Result of vote: The vote was unanimous to approve replacement of an existing pine fence with a red cedar fence along the Pine Street side and Wesley Street/rear of the property, as well as a 17'-0" section of fence on the East side of the home as shown on the diagram included in the Application, as per the motion, and with the following conditions.

1. The Applicant must submit for and secure a Permit from the City of Bethlehem.
2. The location of the fence is subject to zoning regulations, including but not limited sight lines for the adjacent streets.
3. Sloped, real copper caps will be installed on the top of all fence posts.
4. All fence and gate hardware will be black in color.

Guideline Citation: Secretary of Interior Standards No.(s)

#2 The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

#5 Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with historic materials, features, size, scale and proportion, and massing to protect the integrity of the historic property and its environment.

#10 New additions and adjacent or related new construction will be undertaken in such manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Bethlehem Historic District Design Guidelines

Page 13: Site Elements

Site elements frame the architecture along a streetscape. In some areas, **established features such as, sidewalks, street trees, walls, fences, gates, walkways, patios, and driveways** provide a consistent setting that is unique to a neighborhood. It is encouraged that property owners develop an understanding of the environmental characteristics of their immediate surroundings and allow that understanding to direct their design. This will allow a more compatible relationship between a property and its neighborhood.

Modern landscape features, equipment and small structures include pergolas, arbors, gazebos, fountains, sculptures, pools, play equipment, air conditioner condensers, generators, ground mounted solar collectors, electric and gas meters, cable hook-ups, satellite dishes, trash collection bins, garages, tool and garden sheds, play houses, dog houses, and wall mounted awnings.

The HARB encourages,

- Keeping views of historic buildings open to the street, rather than obscuring views with new structures
- Front yard development with traditional, simple arrangements, similar to neighboring properties
- Screening landscape features, play equipment, small structures, and ground mounted equipment that might be visible from the public way with either dense planting, a wall or solid fencing
- Retaining, repairing, and maintaining historic paving materials such as, brick and slate sidewalks and walkways
- Minimizing the amount of paving on a site, including installing narrow parking strips instead of full-width driveways
- Installing brick or stone patios instead of raised decks
- Designing small structures, including garages and sheds, that are visible from the public right-of-way to be compatible with the design and historic materials (walls and roof) of the existing main building
- Maintaining historic fences, walls, and gates, including regular repainting of wood and metal elements
- Installing fences and gates with a painted finish that compliments the property, with posts facing towards the interior of a property
- Installing natural stone walls or piers with either a stone or cast stone cap that compliments the property

The HARB discourages,

- Pre-manufactured sheds, particularly those with metal or vinyl wall cladding
- Placing parking areas in the front yards of residences
- Installing asphalt at walkways
- Installing colored or stamped concrete
- Installing cast stone pavers or walls
- Blocking views to principal elevations of historic buildings and settings with tall, solid fences; solid walls; or dense plantings and foliage
- Installing non-traditional fencing materials such as vinyl
- Installing stockade fencing
- Installing chain link fencing
- Cast stone walls in lieu of natural stone

Evaluation, Effect on Historic District, Recommendations: The proposed work conforms with the intent of the Secretary of the Interior's Standards for Rehabilitation and the Bethlehem Historic District Design Guidelines and will have no negative impact to the historic district.

There being no further business, upon a Motion by Michael Simonson, a Second by Diana Hodgson, and a unanimous vote, the meeting was adjourned at 6:57 PM.

Respectfully Submitted,



H. Joseph Phillips, AIA
Historic Officer

1st I would like to thank the administration for providing all the documents prior to this meeting

Our board is to consider architectural appropriateness as stated in Article 1713 - Read section 1713.11 the 3 points

I will be referencing Chapter 14 at times. Chapter 14 is 14

Preservation Briefs, National Park Service, US Department of the Interior Technical Preservation Services

Chapter 14 Page 4- the goal, of course, is a new addition that preserves the building's historic character. The historic character of each building may be different.

My point - we must keep this in mind as we move forward.

Chapter 14 Page 12 specifically discusses Rooftop Additions

I am not going to read the entire page, however there are parts that I want to read.

Chapter 14 Page 13 Figure 24 which is a graphic to illustrate how to evaluate sight line studies for a rooftop addition. Based on this guideline the addition needs to be limited to 1 story in the front

and the setback would need to be increase due to the roofline of the adjoining building.

Chapter 14, Page 14

Designing a New Exterior Addition to a Historic Building - This guidance should be applied to help in designing a compatible new addition that will meet the Secretary of the Interior's Standards for Rehabilitation. **Read the highlighted areas**

At this point we need to again discuss windows

Chapter 14, pages 7 & 8

The pattern under the windows on the addition does not tie into the base, rhythm, and alignment of the window and door openings the historic building.

The next point that I would like to address is the definition of the district. From Article 1713.02 from line 6 on page 2

Read from Line 6

This means when referencing Article 1712.11 which I discussed earlier, (b) The appropriateness of exterior architectural features which can be seen from public street or way.

The Broad Street Bridge is a public street that is in the Historic District.,

The rear of the building is viewable from the Broad St Bridge and from Old York Rd in the Colonial Industrail Quarter.

The rear of the building would need to be set back adequately that it would not be view from Old York Rd in the Colonial Industrial Quater and so that it would not be viewed from the Broad Street Bridge.

Also, if there was an exception to the Broad Street Bridge, and I am not supporting that exception, then the materials as proposed for the rear of the building would not be acceptable. The materials on the rear of the building would need to materials that are similar to the historic structure as referenced in Chapter 14 and Article 1713.11 (c).

I would like to note that we had an exception for a small residential addition on West St, however, the rear of that property was only viewable from a small alley behind the property at a distance.

One full bay

In architectural terms, "one full bay" refers to a single, complete space between two structural elements like columns or piers, essentially a single "compartment" within a larger building facade or interior space, where a full bay would encompass the entire width of that space between the supporting elements.

Key points about "one full bay":

Visualizing it:

Imagine a wall with two columns supporting it. The area between those two columns, from one side to the other, would be considered "one full bay."

Application:

This term is often used when discussing building plans, describing the size and layout of windows, doors, or other features within a specific bay area.

Example:

"The living room has a large window spanning one full bay on the south side."

following: painting; sandblasting; stucco or other applied textures; replacement or major repair of windows, cornices, trim and other nonstructural elements; and other work affecting the visual appearance of the structure as defined in this section. (Ord. 2532 §4. Passed 10/5/1976.)

1713.09 APPLICATION FOR BUILDING PERMIT.

Upon receipt of an application for a building permit for work to be done in the historic district, the Building Inspector shall act in accordance with the procedures presently being followed in that office, except as those procedures are necessarily modified by the following requirements:

- (a) He shall forward to the office of the Board of Historical Architectural Review a copy of the application for a building permit, together with a copy of the plot plan and the building plans and specifications filed by the applicant.
- (b) He shall maintain in his office a record of all such applications and of his handling and final disposition of them, which shall be in addition to and appropriately cross referenced to his other records.
- (c) He shall require applicants to submit a sufficient number of additional copies of material required to be attached to an application for a building permit to permit compliance with the foregoing. (Ord. 1728 §7. Passed 12/27/61; Ord. 2532 §5. Passed 10/5/1976.)

1713.10 MEETING TO CONSIDER APPLICATION.

Upon receipt by the Board of a notice that an application for a building permit for the erection, reconstruction, alteration, restoration, demolition or razing of a building or buildings in the historic district has been filed in the office of the Building Inspector, the Board shall schedule a meeting to consider the counsel which the Board will give to Council. The person applying for the permit shall be advised of the time and place of the meeting and invited to appear to explain his reasons therefor. The Board may invite such other persons as it desires to attend its meeting. Ord. 1728 §8. Passed 12/27/1961; Ord. 2532 §5. Passed 10/5/1976.)

1713.11 BOARD TO CONSIDER ARCHITECTURAL APPROPRIATENESS.

In determining the counsel to be present to Council concerning the issuing of a certificate of appropriateness of authorizing a permit for the erection, reconstruction, alteration, restoration, demolition or razing of all or a part of any building within the historic district, the Board shall consider the following matters:

- (a) The effect of the proposed change upon the general historic and architectural nature of the district.
- (b) The appropriateness of exterior architectural features which can be seen from a public street or way only.

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- (c) The general design, arrangement, texture, material and color of the building or structure and the relation of such factors to similar features of buildings or structures in the district.

(Ord. 1728 §9. Passed 12/27/1961; Ord. 2532 §5. Passed 10/5/1976.)

1713.12 BOARD MAY SUGGEST PLAN CHANGES TO CONFORM.

If the Board, on the basis of the information received at the meeting and from its general background and knowledge, decides to counsel against the granting of a certificate of appropriateness, it shall indicate to the applicant for a building permit the changes in plans and specifications, if any, which, in the opinion of the Board, would protect the distinctive historical character of the historic district. The Board shall withhold its report to Council for a period of five days following its decision to allow the applicant to decide whether or not to make the suggested changes in his plans and specifications. If the applicant determines that he will make the suggested changes, he shall so advise the Board which shall counsel Council accordingly. (Ord. 1728 §10. Passed 12/27/1961; Ord. 2532 §5. Passed 10/5/1976.)

1713.13 REPORT BY BOARD TO COUNCIL; RECOMMENDATIONS.

The Board, after the hearing provided for in Section 1713.10, and after the making of any changes in the plans and specifications as provided in Section 1713.12, shall submit to Council, in writing, its counsel concerning the issuance of a certificate of appropriateness of authorizing a permit for the erection, reconstruction, alteration, restoration, demolition or razing of all or a part of any building within the historic district. The written report shall set out the following matters:

- (a) The exact location of the area in which the work is to be done.
- (b) The exterior changes to be made or the exterior character of the structure to be erected.
- (c) A list of the surrounding structures with their general exterior characteristics.
- (d) The effect of the proposed change upon the general historic and architectural nature of the district.
- (e) The appropriateness of exterior architectural features which can be seen from a public street or way only.
- (f) The general design, arrangement, texture, material and color of the building or structure and the relation of such factors to similar features of buildings or structures in the district.
- (g) The opinion of the Board (including any dissent) as to the appropriateness of the work proposed as it will preserve or destroy the historic aspect and nature of the district.
- (h) The specific counsel of the Board as to the issuance by Council or its refusal to issue a certificate of appropriateness.

simply to repeat the historic form, material, features and detailing in a new addition. However, when the new work is highly replicative and indistinguishable from the old in appearance, it may no longer be possible to identify the "real" historic building. Conversely, the treatment of the addition should not be so different that it becomes the primary focus. The difference may be subtle, but it must be clear. A new addition to a historic building should protect those visual qualities that make the building eligible for listing in the National Register of Historic Places.

The National Park Service policy concerning new additions to historic buildings, which was adopted in 1967, is not unique. It is an outgrowth and continuation of a general philosophical approach to change first expressed by John Ruskin in England in the 1850s, formalized by William Morris in the founding of the Society for the Protection of Ancient Buildings in 1877, expanded by the Society in 1924 and, finally, reiterated in the 1964 Venice Charter—a document that continues to be followed by the national committees of the International Council on Monuments and Sites (ICOMOS). The 1967 *Administrative Policies for Historical Areas of the National Park System* direct that "...a modern addition should be readily distinguishable from the older work; however, the new work should be harmonious with the old in scale, proportion, materials, and color. Such additions should be as inconspicuous as

possible from the public view." As a logical evolution from these Policies specifically for National Park Service-owned historic structures, the 1977 *Secretary of the Interior's Standards for Rehabilitation*, which may be applied to **all** historic buildings listed in, or eligible for listing in the National Register, also state that "the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment."

Preserve Historic Character

The goal, of course, is a new addition that preserves the building's historic character. The historic character of each building may be different, but the methodology of establishing it remains the same. Knowing the uses and functions a building has served over time will assist in making what is essentially a physical evaluation. But, while written and pictorial documentation can provide a framework for establishing the building's history, to a large extent the historic character is embodied in the physical aspects of the historic building itself—shape, materials, features, craftsmanship, window arrangements, colors, setting and interiors. Thus, it is important to identify the historic character before making decisions about the extent—or limitations—of change that can be made.



Figure 5. This addition (a) is constructed of matching brick and attached by a recessed connector (b) to the 1914 apartment building (c). The design is compatible and the addition is smaller and subordinate to the historic building (d).



Rooftop Additions

The guidance provided on designing a compatible new addition to a historic building applies equally to new rooftop additions. A rooftop addition should preserve the character of a historic building by preserving historic materials, features and form; and it should be compatible but differentiated from the historic building.

However, there are several other design principles that apply specifically to rooftop additions. Generally, a rooftop addition should not be more than one story in height to minimize its visibility and its impact on the proportion and profile of the historic building. A rooftop addition should almost always be set back at least one full bay from the primary elevation of the building, as well as from the other elevations if the building is free-standing or highly visible.

It is difficult, if not impossible, to minimize the impact of adding an entire new floor to relatively low buildings, such as small-scale residential or commercial structures, even if the new addition is set back from the plane of the façade. Constructing another floor on top of a small, one, two or three-story building is seldom appropriate for buildings of this size as it would measurably alter the building's proportions and profile, and negatively impact its historic character. On the other hand, a rooftop addition on an eight-story building, for example, in a historic district consisting primarily of tall buildings might not affect the historic character because the new construction may blend in with the surrounding buildings and be only minimally visible within the district. A rooftop addition in a densely-built urban area is more likely to be compatible on a building that is adjacent to similarly-sized or taller buildings.

A number of methods may be used to help evaluate the effect of a proposed rooftop addition on a historic building and district, including pedestrian sight lines, three-dimensional schematics and computer-generated design. However, drawings generally do not provide a true "picture" of the appearance and visibility of a proposed rooftop addition. For this reason, it is often necessary to construct a rough, temporary, full-size or skeletal mock up of a portion of the proposed addition, which can then be photographed and evaluated from critical vantage points on surrounding streets.



Figure 23. Colored flags marking the location of a proposed penthouse addition (a) were placed on the roof to help evaluate the impact and visibility of an addition planned for this historic furniture store (b). Based on this evaluation, the addition was constructed as proposed. It is minimally visible and compatible with the 1912 structure (c). The tall parapet wall conceals the addition from the street below (d).

in width; thence westwardly, along said northerly street line of Spring Street, to a point in West Street at the intersection of said northerly street line of Spring Street and the extension southwardly of the easterly street line of Mitman Street, a street twenty feet in width; thence northwardly in West Street, along said extension southwardly of said easterly street line of Mitman Street and along said easterly street line of Mitman Street and its extension northwardly to the southerly street line of West Broad Street; thence eastwardly, along said southerly street line of West Broad Street and along the southerly line of the Broad Street Bridge and again along the southerly line of West Broad Street, to the westerly street line of Guetter Street, a street twenty feet in width; thence southwardly, along said westerly street line of Guetter Street, to the southerly street line of West Walnut Street; thence eastwardly, along said southerly street line of West Walnut Street, to a point 150 feet, more or less, measured westwardly from and perpendicular to the westerly street line of North New Street; thence southwardly, parallel to and 150 feet, more or less, measured westwardly from said westerly street line of North New Street, twenty-four feet, more or less, to the northerly line of a tract of land now or formerly of the Bell Telephone Company of Pennsylvania; thence eastwardly, along the northerly line of said last-mentioned tract of land and its extension eastwardly, to the easterly street line of said North New Street; thence northwardly, along said easterly street line of North New Street, twenty-four feet, more or less, to the southerly line of East Walnut Street, a street twenty feet in width; thence eastwardly, along said southerly street line of East Walnut Street, to the westerly street line of Linden Street, a street seventy feet in width; thence southwardly, along said westerly street line of Linden Street and its extension southwardly, to said center line of the Lehigh River; thence westwardly, along said center line of the Lehigh River, to the point or place of beginning. (Ord. 1728 §2. Passed 12/27/1961.)

6 LINES

1713.03 CERTIFICATION; RECORDING.

The Pennsylvania Historical and Museum Commission has certified by resolution to the historical significance of the district within the limits defined in Section 1713.02, and the Mayor of the City has received such certification and placed it among the municipal records of the City. (Ord. 1728 §3. Passed 12/27/1961.)

1713.04 BOARD OF HISTORICAL ARCHITECTURAL REVIEW.

A Board of Historical Architectural Review is hereby established to be composed of nine members appointed by Council, one of whom shall be a registered architect, one a licensed real estate broker, one a building inspector of the City of Bethlehem, and six additional persons with a knowledge of and interest in the preservation of the historic district. At least three members of the Board shall reside within the historic district. Each appointee, with the exception of the appointed building inspector, must be residents of the City during the term of appointment. In the event any appointee fails to reside within the City or an appointee fails to maintain his/her status as a registered architect, a licensed real estate broker, or building inspector, the position held by such person shall automatically be considered vacant. An appointment to fill a vacancy shall only last for the unexpired portion of the term. The initial terms of the first nine members of the Board shall be as follows: three shall serve until the first Monday of January, 1963; three until the first Monday of January, 1964; and three until the first Monday of January, 1965. Their successors shall serve for a term of five years. (Ord. 2532 §1. Passed 10/5/1976 Ord 2021-15. Passed 6/15/2021.)

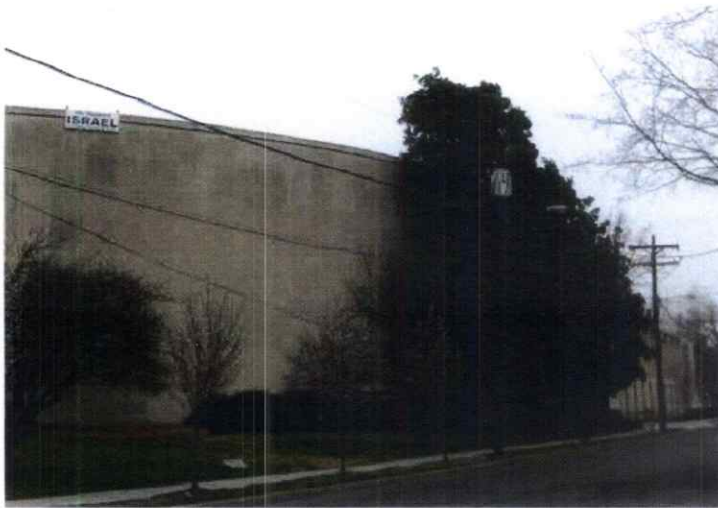


Figure 12. This 1954 synagogue (left) is accessed through a monumental entrance to the right. The new education wing (far right) added to it features the same vertical elements and color and, even though it is quite large, its smaller scale and height ensure that it is secondary to the historic resource.



Figure 13. A glass and metal structure was constructed in the courtyard as a restaurant when this 1839 building was converted to a hotel. Although such an addition might not be appropriate in a more public location, it is compatible here in the courtyard of this historic building.



Figure 14. This glass addition was erected at the back of an 1895 former brewery during rehabilitation to provide another entrance. The addition is compatible with the plain character of this secondary elevation.

- Use building materials in the same color range or value as those of the historic building. The materials need not be the same as those on the historic building, but they should be harmonious; they should not be so different that they stand out or distract from the historic building. (Even clear glass can be as prominent as a less transparent material. Generally, glass may be most appropriate for small-scale additions, such as an entrance on a secondary elevation or a connector between an addition and the historic building.)
- Base the size, rhythm and alignment of the new addition's window and door openings on those of the historic building.
- Respect the architectural expression of the historic building type. For example, an addition to an institutional building should maintain the architectural character associated with this building type rather than using details and elements typical of residential or other building types.

These techniques are merely examples of ways to differentiate a new addition from the historic building while ensuring that the addition is compatible with it. Other ways of differentiating a new addition from the historic building may be used as long as they maintain the primacy of the historic building. Working within these basic principles still allows for a broad range of architectural expression that can range from stylistic similarity to contemporary distinction. The recommended design approach for an addition is one that neither copies the historic building exactly nor stands in stark contrast to it.

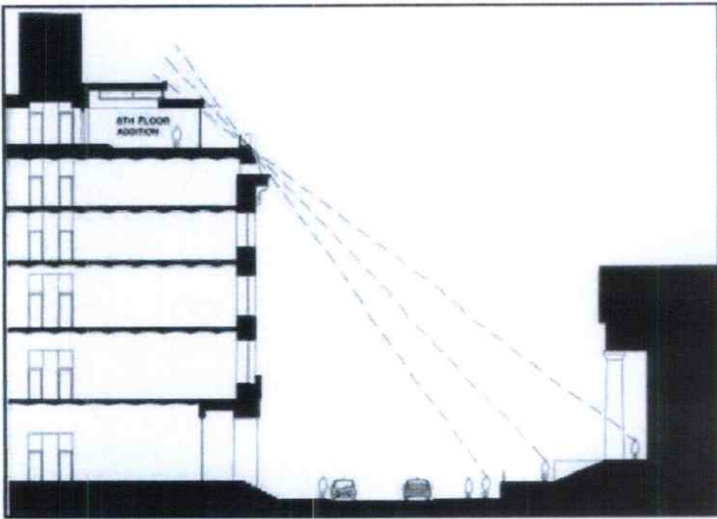


Figure 24. How to Evaluate a Proposed Rooftop Addition.
A sight-line study (above) only factors in views from directly across the street, which can be very restrictive and does not illustrate the full effect of an addition from other public rights of way. A mock up (above, right) or a mock up enhanced by a computer-generated rendering (below, right) is essential to evaluate the impact of a proposed rooftop addition on the historic building.

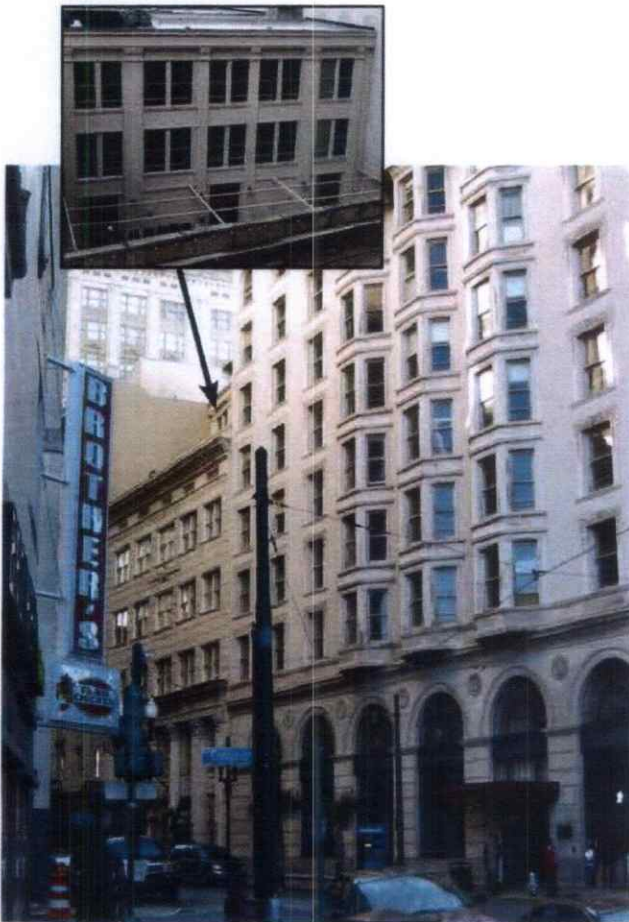


Figure 25. It was possible to add a compatible, three-story, penthouse addition to the roof of this five-story, historic bank building because the addition is set far back, it is surrounded by taller buildings and a deep parapet conceals almost all of the addition from below.

Figure 26. A rooftop addition would have negatively impacted the character of the primary facade (right) of this mid-19th century, four-story structure and the low-rise historic district. However, a third floor was successfully added on the two-story rear portion (below) of the same building with little impact to the building or the district because it blends in with the height of the adjacent building.





Figure 27. Although the new brick stair/elevator tower (left) is not visible from the front (right), it is on a prominent side elevation of this 1890 stone bank. The compatible addition is set back and does not compete with the historic building. Photos: Chadd Gossmann, Aurora Photography, LLC.

Designing a New Exterior Addition to a Historic Building

This guidance should be applied to help in designing a compatible new addition that will meet the *Secretary of the Interior's Standards for Rehabilitation*:

- A new addition should be simple and unobtrusive in design, and should be distinguished from the historic building—a recessed connector can help to differentiate the new from the old.
- A new addition should not be highly visible from the public right of way; a rear or other secondary elevation is usually the best location for a new addition.
- The construction materials and the color of the new addition should be harmonious with the historic building materials.
- The new addition should be smaller than the historic building—it should be subordinate in both size and design to the historic building.

The same guidance should be applied when designing a compatible **rooftop** addition, plus the following:

- A rooftop addition is generally not appropriate for a one, two or three-story building—and often is not appropriate for taller buildings.
- A rooftop addition should be minimally visible.
- Generally, a rooftop addition must be set back at least one full bay from the primary elevation of the building, as well as from the other elevations if the building is freestanding or highly visible.
- Generally, a rooftop addition should not be more than one story in height.
- Generally, a rooftop addition is more likely to be compatible on a building that is adjacent to similarly-sized or taller buildings.

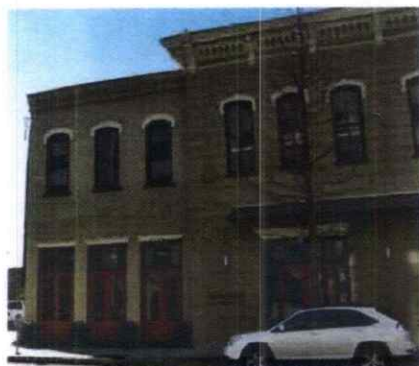


Figure 28. A small addition (left) was constructed when this 1880s train station was converted for office use. The paired doors with transoms and arched windows on the compatible addition reflect, but do not replicate, the historic building (right).



Figure 11. The addition to this early-20th century Gothic Revival-style church provides space for offices, a great hall for gatherings and an accessible entrance (left). The stucco finish, metal roof, narrow gables and the Gothic-arched entrance complement the architecture of the historic church. Placing the addition in back where the ground slopes away ensures that it is subordinate and minimizes its impact on the church (below).

Design Guidance for Compatible New Additions to Historic Buildings

There is no formula or prescription for designing a new addition that meets the Standards. A new addition to a historic building that meets the Standards can be any architectural style—traditional, contemporary or a simplified version of the historic building. However, there must be a balance between differentiation and compatibility in order to maintain the historic character and the identity of the building being enlarged. New additions that too closely resemble the historic building or are in extreme contrast to it fall short of this balance. *Inherent in all of the guidance is the concept that an addition needs to be subordinate to the historic building.*

A new addition **must preserve significant historic materials, features and form**, and it **must be compatible but differentiated from the historic building**. To achieve this, it is necessary to carefully consider the **placement or location** of the new addition, and its **size, scale and massing** when planning a new addition. To preserve a property's historic character, a new addition must be visually distinguishable from the historic building. This does not mean that the addition and the historic building should be glaringly different in terms of design, materials and other visual qualities. Instead, the new addition should take its design cues from, but not copy, the historic building.



A variety of design techniques can be effective ways to differentiate the new construction from the old, while respecting the architectural qualities and vocabulary of the historic building, including the following:

- Incorporate a simple, recessed, small-scale hyphen to physically separate the old and the new volumes or set the addition back from the wall plane(s) of the historic building.
- Avoid designs that unify the two volumes into a single architectural whole. The new addition may include simplified architectural features that reflect, but do not duplicate, similar features on the historic building. This approach will not impair the existing building's historic character as long as the new structure is subordinate in size and clearly differentiated and distinguishable so that the identity of the historic structure is not lost in a new and larger composition. The historic building must be clearly identifiable and its physical integrity must not be compromised by the new addition.



THE SECRETARY
OF THE INTERIOR'S
STANDARDS FOR
THE TREATMENT
OF HISTORIC
PROPERTIES

WITH
GUIDELINES FOR
PRESERVING,
REHABILITATING,
RESTORING &
RECONSTRUCTING
HISTORIC
BUILDINGS



U.S. Department of the Interior
National Park Service
Technical Preservation Services

NEW EXTERIOR ADDITIONS TO HISTORIC BUILDINGS AND
RELATED NEW CONSTRUCTION

RECOMMENDED

NOT RECOMMENDED

Rooftop Additions

Designing a compatible rooftop addition for a multi-story building, when required for a new use, that is set back at least one full bay from the primary and other highly-visible elevations and that is inconspicuous when viewed from surrounding streets.

Constructing a rooftop addition that is highly visible, which negatively impacts the character of the historic building, its site, setting, or district.

[63] (a) A mockup should be erected to demonstrate the visibility of a proposed rooftop addition and its potential impact on the historic building. Based on review of this mockup (orange marker), it was determined that the rooftop addition would meet the Standards (b). The addition is unobtrusive and blends in with the building behind it.



New addition

NEW EXTERIOR ADDITIONS TO HISTORIC BUILDINGS AND
RELATED NEW CONSTRUCTION

RECOMMENDED	NOT RECOMMENDED
Limiting a rooftop addition to one story in height to minimize its visibility and its impact on the historic character of the building.	Constructing a highly-visible, multi-story rooftop addition that alters the building's historic character. Constructing a rooftop addition on low-rise, one- to three-story historic buildings that is highly visible, overwhelms the building, and negatively impacts the historic district. Constructing a rooftop addition with amenities (such as a raised pool deck with plantings, HVAC equipment, or screening) that is highly visible and negatively impacts the historic character of the building.



[64] **Not Recommended:**
It is generally not appropriate to construct a rooftop addition on a low-rise, two- to three-story building such as this, because it negatively affects its historic character.