



CITY OF BETHLEHEM

BUREAU OF PLANNING AND ZONING

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August 28, 2020

Kevin J. Horvath, P.E.
Keystone Consulting Engineers, Inc.
2870 Emrick Blvd.
Bethlehem, PA 18020

RE: (20-006 LD) - 20050003 – Linford Street Multifamily Development Plan, 2321 Linford Street ,
Ward 14, Zoned RG, plan dated May 20, 2020 and last revised August 10, 2020.

Dear Mr. Horvath:

The above-referenced plan has been reviewed by the appropriate City offices. We offer the following comments:

ENGINEERING

Sanitary

1. In accordance with Ordinance No. 4342, prior to the execution of the developer's agreement, a sanitary sewer tapping fee of \$16,847 will need to be paid.

Miscellaneous Engineering

1. Show the pavement section detail for Linford Street.
2. Submit a revised Public Improvements Construction Plan labeling the proposed sidewalk and indicating curbing is "proposed".
3. More clarification is needed on the site grading and utilities plan to show that down spouts are draining to the stormwater infiltration basin.
4. The record plan shall label the proposed curbing and the proposed widening from Decatur Street to the western end of Linford Street.

Public Works – Lighting

1. The lighting shown for the parking area, adjacent sidewalk and handy cap ramp come from one light that is under a tree. The parking lot area and sidewalk along the building need to be illuminated with no tree interference now or in the future.
2. Please add the foot candle lines for reference.

Forestry

1. Sidewalk and Street trees are located in the same 5' easement on the landscaping plan. Correct the sidewalk location.

ZONING

1. Ordinance 2019-34, changing the parcel from RS to RG, sent to khorvath@kceinc.com on 08/26/2020 for inclusion on Sheet LD1 of 6, Site Data.

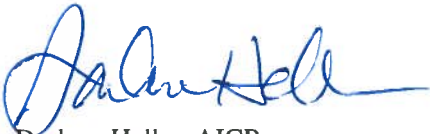
2. Change minimum tract size to 12,000 sf and proposed tract size to 33,047 sf.

GENERAL

1. A recreation fee of \$12,000 shall be paid prior to the execution of a developer's agreement.
2. Clarify the 4' proposed sidewalk in the public right of way and the 5' proposed sidewalk easement on private property on the record plan. If no sidewalk is proposed on private property, the reference to sidewalk easement shall be removed.
3. The following phrase shall be added at the end of the Building Height Restriction note on Sheet 1 of 6: "This deed language must be placed in the deed of record of this lot prior to approval of the subject plan."

This plan will be placed on the September 10, 2020 Planning Commission agenda. Please submit colored elevation drawings and site plans in pdf form for review at the meeting. Applicants are permitted to attend in person in Town Hall when their plan is being reviewed. Colored drawings on boards can also be brought to the meeting for the benefit of the Planning Commission.

Sincerely,

A handwritten signature in blue ink, appearing to read "Darlene Heller", written over a horizontal line.

Darlene Heller, AICP
Director of Planning and Zoning

Cc: M. Dorner
Z. Sayegh
D. Villani
G. Cryder
C. Peiffer