

CITY OF BETHLEHEM, PENNSYLVANIA
ZONING HEARING BOARD - PUBLIC HEARING
Notice is hereby given that the **ZONING HEARING BOARD** will have a meeting

City Hall Rotunda

10 E. Church Street, Bethlehem PA
Wednesday, March 25, 2020 @ 6:00 PM
for the purpose of hearing the following appeals.

APPLICANT MUST APPEAR AT THE MEETING

1. 402 Linden Street (CID 206-003777, PIN P6NE4B 6 10 0204)

Appeal of Bruno Silva on behalf of Bruno's Carpentry, Inc., for a Variance to convert a single-family detached dwelling into three dwelling units; Dimensional Variances for minimum tract size, 9,000 SF required, 2,940 SF proposed, lot area per dwelling unit, 2,500 SF required and 980 SF proposed, and minimum lot width, 90' required, 49' proposed; and Variances to reduce the off-street parking requirement, six required, one proposed, to eliminate the minimum side yard setback for a driveway, 2'-6" required, zero proposed and to waive the screening requirements for parking areas (Sections 1304.01(b)(1), 1306.01(a)(4), 1311.08(e), 1319.01(a)(1)(ii), 1319.02(g)(4), 1325.06 and all associated Variances, Special Exceptions, and Interpretations).

Record Lot: 49' x 60' / 2,940 SF

RT – High Density Residential
Zoning District

2. 1949 Main Street (CID 214-017210, PID N6SE1A 2 3 0204)

Appeal of Christine Ussler to construct an addition to a single family detached dwelling which requires a Dimensional Variance to reduce the side yard setback, 15' required, 8'-2" proposed (Sections 1306.01(a)(1), 1325.06, and all associated Variances, Special Exceptions, and Interpretations).

Record Lot: irregular / .81 acres

RR – Rural Residential
Zoning Districts

3. 129 East Goepp Street (CID 209-006026, PID P6NE1B 3 20 0204)

Appeal of John Jansnicwicz on behalf of Vanessa Estates, LLC, for a Variance to convert a single-family attached dwelling into two dwelling units and a Variance to eliminate the off-street parking requirement, four required, zero proposed (Sections 1304.01(b)(1), 1319.01(a)(1)(ii), 1325.06, and all associated Variances, Special Exceptions, and Interpretations).

Record Lot: 20' x 100' / 2,000 SF

RT – High Density Residential
Zoning District

4. 517 Center Street (CID 207-023452, PID P6NE1C 19 1 0204E)

Appeal of Christ Church United Church of Christ and Bethlehem Emergency Shelter, Inc., to modify a condition of a Use Variance approved by the Zoning Hearing Board, with Decision dated December 29, 2017, which granted the operation of a homeless shelter from 5:00 PM to 7:00 AM from December 1st through March 31st. The modification is to extend the days of operation to November 1st through April 30th; the hours would remain as-is (Sections 1304.01(b)(3), and all associated Variances, Special Exceptions, and Interpretations).

Record Lot: 180' x 233' / .9628 acres

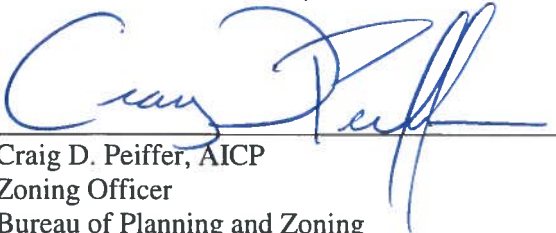
RT – High Density Residential
Zoning District

5. 25 East Market Street (CID 207-004403, PID P6NE1D 16 5 0204)

Appeal of Jay Brew and Dr. Mary Ellen Williams on behalf of 25 East Market Street, LLC, for an Appeal of an Enforcement Notice, dated January 27, 2020, for use of the property, all or in part, as a hotel (Sections 1302.58, 1304.01, and all associated Variances, Special Exceptions, and Interpretations).

Record Lot: 30' x 153' / 4,590 SF

RT – High Density Residential
Zoning District


Craig D. Peiffer, AICP
Zoning Officer
Bureau of Planning and Zoning