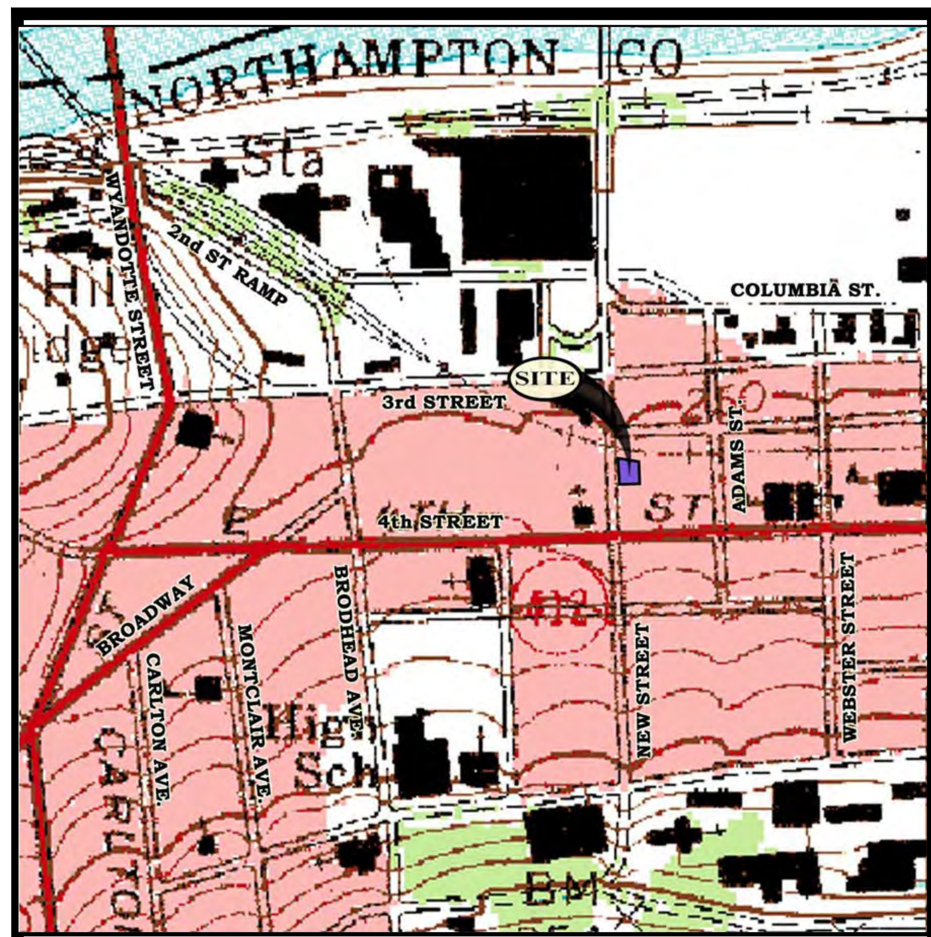


Location Map 1" = 1000'

ZONING DATA

CITY OF BETHLEHEM, NORTHAMPTON COUNTY INFORMATION
ZONING DISTRICT: CB – CENTRAL BUSINESS DISTRICT

1) LOT REQUIREMENTS: REQUIRED

	REQUIRED
MINIMUM LOT AREA:	0 S.F.
MINIMUM LOT WIDTH:	0 S.F.
MAXIMUM LOT COVERAGE:	100%

2) MINIMUM YARD REQUIREMENTS:

	REQUIRED
FRONT YARD:	0'
SIDE YARD:	0'
REAR YARD:	0'

SITE DATA

1) OWNER/PROPERTY INFORMATION:
SOUTH NEW STREET AND EAST GRAHAM PLACE, BETHLEHEM, PA 18015
LOT AREA = 19,259.32 S.F.

NECO HOLDINGS, LLC
PARCEL ID: P6SE1A–20–13 D.B.V. 2015–1, PG. 241598
319–23 S. NEW ST.

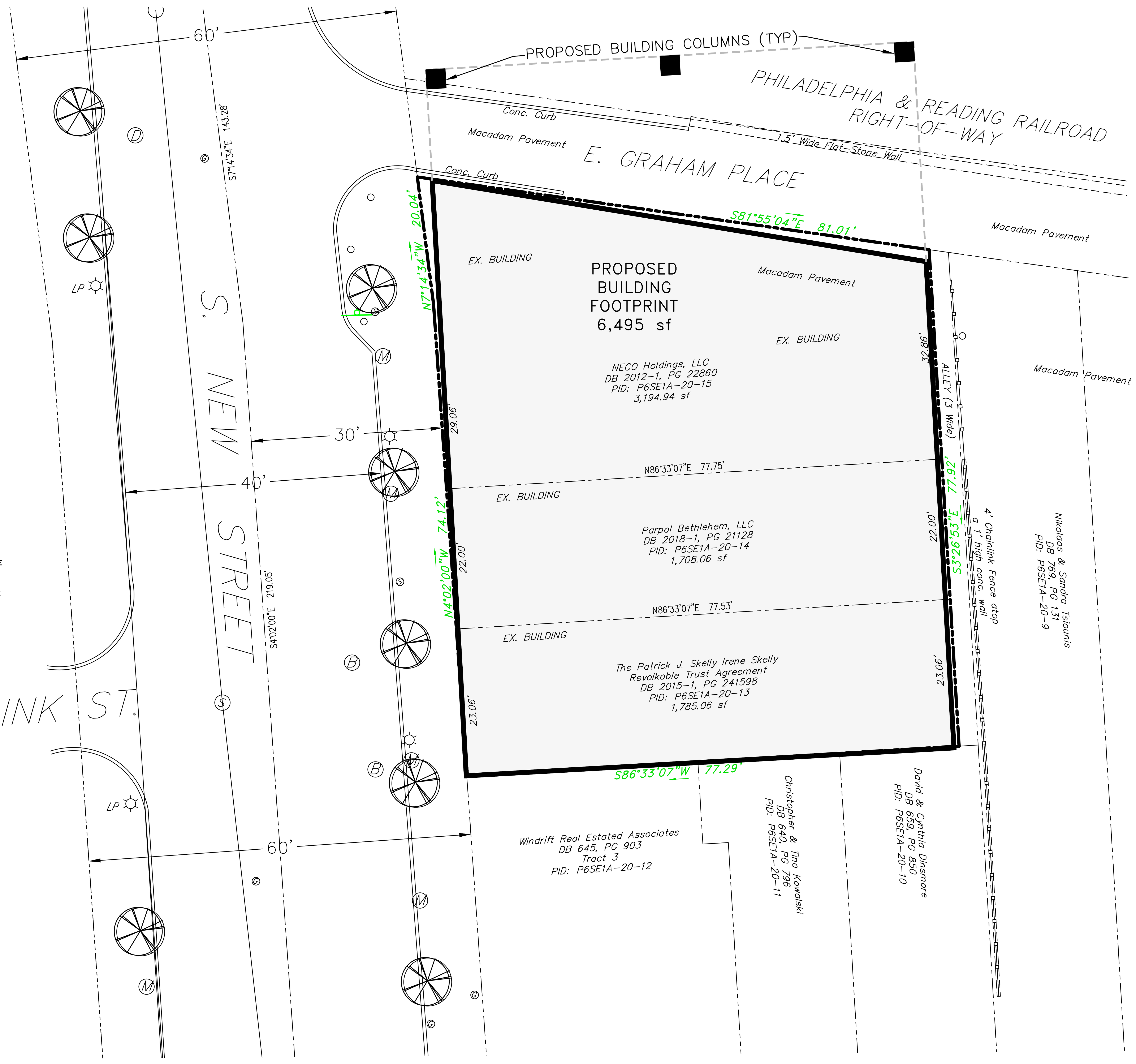
PARPAL BETHLEHEM, LLC
PARCEL ID: P6SE1A–20–14 D.B.V. 2018–1, PG. 21128
325 S. NEW ST.

THE PATRICK J. SKELLY & IRENE SKELLY REVOCABLE TRUST AGREEMENT
PARCEL ID: P6SE1A–20–15 D.B.V. 2012–1, PG. 22860
327 S. NEW ST.

2) THE EXISTING LOTS UTILIZE PUBLIC WATER AND PUBLIC SEWER, AND THE NEW BUILDING WILL ALSO UTILIZE PUBLIC WATER AND PUBLIC SEWER.

PROJECT NOTES

1. TEXT IN A SLANTED FONT REPRESENTS EXISTING FEATURES.
2. TITLE LINE INFORMATION TAKEN FROM EXISTING DEEDS, PLANS OF RECORD, AND ACTUAL FIELD MEASUREMENTS PERFORMED IN 2020 BY LEHIGH ENGINEERING ASSOCIATES, INC.
3. ALL CONTOURS AND ELEVATIONS SHOWN ARE TAKEN FROM A FIELD SURVEY PERFORMED IN 2020 BY LEHIGH ENGINEERING ASSOCIATES, INC.
4. ALL IRON PINS MUST BE SET FOR PROPERTY MONUMENTATION.
5. THE FINAL STREETSCAPE DESIGN OF NEW STREET SHALL BE COORDINATED WITH THE CITY OF BETHLEHEM.
6. THE DEVELOPER SHALL WORK WITH THE PLANNING AND PARKS BUREAUS TO PREPARE A DESIGN AND IMPLEMENT A LANDSCAPING PLAN FOR THE ABUTTING GREENWAY.
7. THE GREENWAY LANDSCAPE DESIGN AND THE PRIVATE PROPERTY LANDSCAPING SHALL BE COORDINATED.
8. A SITE MEETING WITH THE CONTRACTOR IS REQUIRED PRIOR TO ANY CONSTRUCTION WITH THE TRAFFIC, PARKS, PLANNING, AND ENGINEERING BUREAUS TO DISCUSS HOW CONSTRUCTION WILL TAKE PLACE.
9. A KNOX BOX MUST BE INSTALLED WITH THE PROPOSED BUILDING FOR THE CITY OF BETHLEHEM FIRE DEPARTMENT.
10. TEMPORARY EASEMENTS MAY BE REQUIRED DURING CONSTRUCTION FOR ANY WORK TAKING PLACE ON CITY OWNED PARCELS.
11. PARKING FOR THIS BUILDING WILL BE LEASED FROM THE PARKING GARAGE DIRECTLY ACROSS NEW STREET.



WE, THE OWNERS OF THE PROPERTY SHOWN HEREON, DULY SWORN ACCORDING TO LAW, AND ACTING IN OUR CAPACITY AS OWNERS DEPOSE AND SAY THAT WE ARE THE TRUE AND LAWFUL OWNERS OF PROPERTY KNOWN AS PARCEL ID: P6SE1A–20–15, P6SE1A–20–14, P6SE1A–20–13 IN BETHLEHEM, PA, THAT THE ABOVE DESCRIBED PROPERTY IS IN PEACEFUL POSSESSION OF SAID CORPORATION AND THAT THERE ARE NO SUITS OR LIENS PENDING AFFECTING THE TITLE THEREOF.

OWNER DATE

Sworn and Subscribed before me this _________ day
of ______________________________, A.D. 20 ___

Notary Public
My Commission Expires:

County NORTHAMPTON Zoning CB – CENTRAL BUSINESS
Ward 3 City Block
Scale 1" = 10 '
Original Subdivision
Plan Title SOUTH NEW STREET APARTMENTS
Applicant Phone
Date of Plan October 29, 2020 Revision
Revision Revision
Revision Revision

REVIEWED ____________________ BY THE LEHIGH VALLEY PLANNING COMMISSION.

PLANNER

APPROVED ________________ BY THE CITY OF BETHLEHEM PLANNING COMMISSION

CHAIRMAN
CITY PLANNING COMMISSION
BETHLEHEM, PENNSYLVANIA

SECRETARY
CITY PLANNING COMMISSION
BETHLEHEM, PENNSYLVANIA

PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF NORTHAMPTON COUNTY, PA, IN MAP BOOK VOLUME _______
PAGE ______ ON THE ______ DAY OF ______ 2016

RECORDER OF DEEDS

BEFORE YOU
DIG – DRILL – BLAST
Call 1–800–242–1776
(TOLL FREE)

PENNSYLVANIA ONE CALL SYSTEM, INC.
In compliance with Act 38, it shall be the Contractors responsibility to contact individual companies to have utility locations marked in the field and to otherwise locate underground objects as may be necessary prior to the start of construction. Pennsylvania Law requires 3 working days notice for the construction phase and 10 working days in design stage

UTILITIES LIST

LEHIGH COUNTY
CITY OF BETHLEHEM

UTILITY	CONTACT PERSON	ADDRESS	PHONE NO.
City of Bethlehem, Utilities	Water Control	10 East Church Street Bethlehem PA 18018	(610) 865–7077
PPL Electric Utilities	Liz Mease	827 Hausaman Road Allentown PA 18104	(484) 634–3268
R C N	Bob Roe	2124 Avenue C Bethlehem PA 18017	(610) 443–2956
Service Electric Cablevision, Inc.	Fran Swirble	2260 Aveune A, LVIP # 1 Bethlehem PA 18017	(610) 868–0902
U G I Corporation	Taylor Bet	2121 City Line Road Bethlehem PA 18001	(610) 866–0951
Verizon Communications	Mike Ciamaco	1800 E. Race Street Catasauqua PA 18032	(610) 264–2039
ZAYO Bandwidth	Joe Nuzzo	400 Centennial Parkway Suite 200 Louisville CO 80027	(610) 628–9365

SURVEY NOTES

1. Boundary survey infield was performed using GPS Datum. Vertical datum (North American Vertical Datum of 1988––NAVD 88) and the Horizontal datum (The United States National Space Reference System NAD 83).

2. The right–of–way line of S. New Street was determined from the calculated centerline by the curb points in the field.

MAP LEGEND

I. PIN / PIPE FND.	EXISTING PROPERTY LINE
I. PIN TO BE SET	EXISTING RIGHT–OF–WAY
CON MON TO BE SET	PROPOSED LOT LINE
DEC./CON. TREE	FUTURE RIGHT–OF–WAY
SANITARY MANHOLE	EXISTING EASEMENT LINE
WATER VALVE	ROADWAY CENTERLINE
FIRE HYDRANT	BUILDING SETBACK LINE
WATER SHUTOFF	EDGE OF ROADWAY
	ADJACENT PROP. LINE
	EXISTING FENCE LINE
	TWP. CLEAR SIGHT TRI.
	PADOT SIGHT DIST.
	SANITARY LATERAL
	SANITARY SEWER MAIN
	EXISTING WATER LATERAL
	EXISTING WATER MAIN
	EXISTING SHRUB ROW

Benchmark USGS Allentown East Quardangle NAVD 88

STATEMENT OF INTENT

IT IS THE INTENT OF THE LANDOWNERS TO REMOVE ALL OF THE EXISTING STRUCTURES ON THE PROPERTIES IDENTIFIED AS 319–323, 325, AND 327 S. NEW STREET AND CONSTRUCT A MULTI–STORY BUILDING FOR APARTMENT USE. THE GROUND FLOOR OF BUILDING WILL BE DESIGNATED FOR RETAIL USE. THE UPPER FLOORS WILL EXTEND OUT OVER GRAHAM ST. WITH COLUMNS EXTENDING INTO THE GREENWAY FOR SUPPORT.

PENNSYLVANIA OPEN RECORDS LAW

ALL PLANS AND DOCUMENTS FILED WITH A MUNICIPALITY, AND WHICH BECOME PUBLIC RECORD, MAY BE REPRODUCED FOR INFORMATIONAL PURPOSES **ONLY** AND MAY NOT BE ALTERED WITHOUT THE WRITTEN CONSENT OF LEHIGH ENGINEERING ASSOCIATES, INC.

GRAPHIC SCALE
10 0 5 10 20 40
(IN FEET)
1 inch = 10 ft.

COMMONWEALTH OF PENNSYLVANIA – REGISTERED PROFESSIONAL – LARRY S. TUROSCY – ENGINEER – No.16705-E
COMMONWEALTH OF PENNSYLVANIA – REGISTERED – LARRY S. TUROSCY – SURVEYOR – No.14112-E

ENGINEER / SURVEYOR CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND, WHERE APPLICABLE, THE LOTS, BUILDINGS, PARKING AREAS, WALKWAYS, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN HEREON.

DATE
LARRY S. TUROSCY, P.E. 16705–E R.S. 14112–E
499 RIVERVIEW DRIVE, P.O. BOX 68
WALNUTPORT, PA 18088
(610) 767–8545

REQUIRED NOTES ON SITE PLANS - 7/20/2010

NPDES NOTE
By submission of these plans the engineer on record certifies that these plans are in complete conformance with the City of Bethlehem Storm Water Management Ordinance. (Per S. W. DeSalva 9-19-06)

INLET MARKER NOTE
All public inlets should have inlet markers. The design of the inlet markers shall be approved by the City Engineer.

STORM WATER NOTES
The maintenance of storm water facilities shall be the owner's responsibility. The owner's deed, and the deed to any subsequent owner, shall note that the owner shall accept the maintenance responsibilities. The City of Bethlehem shall be permitted to inspect the storm water facilities on at least an annual schedule to ensure that any necessary corrective work is performed in a timely manner.

The drainage easement provides for the flow of storm water across lots, and may not be altered without the written permission of the City Engineer. No obstructions such as planting berms or fences may be installed in the drainage easements areas without sufficient provision for the passage of storm water, and any such proposed provision shall be approved in writing by the City Engineer.

REVISIONS NOTE
In order to maintain continuity between plan revisions, any changes to a previous plan submission shall be flagged with a triangle. Any changes not flagged may be considered not approved. Flagged changes shall be referenced to the appropriate revision date in the revision block.

AS-BUILT NOTE
Accurate as-built plans shall be kept up to date during the construction process. At the completion of the project record drawings shall be developed from the as-built plans and submitted to the City Engineer's Office. All final drawings shall show North American Datum (NAD) 1983 State Plane Coordinates in feet (Pennsylvania South, FIPS Zone 3702) and the digital file shall be in State Plane Feet Coordinates as applicable. The hard copy of the record drawings shall be in the form of a Mylar copy. The engineer of record shall certify (i.e. P.E. stamped and signed) that the record drawings comply substantially with the approved plan and that they conform to industry standards. All digital files shall reside on PC compatible CD Rom containing the digital representation of the final plan as presented on the twenty-four (24) inch by thirty-six (36) inch sheets. The digital map shall be AutoCAD compatible. All layers included in the digital maps shall be the standardized layers prepared and utilized by the City of Bethlehem to ensure compatibility with the City's existing CAD standards and as described in Appendix A of the City's Subdivision and Land Development Ordinance.

ENGINEERING PERMITS NOTE
Prior to any work within the Right-of-Way, permits must be obtained from City Engineering Office.

RETAINING WALL NOTE
Detail of retaining wall is required. A note shall be added to the plan stating the design and details of the retaining walls, certified by an Engineer experienced in the design of retaining walls and licensed in the State of Pennsylvania, will be submitted to the City for review and approval.

MISCELLANEOUS INFORMATION/ DESIGN STANDARDS

SANITARY SEWER LOCATION DESIGN STANDARD
North & South = 5' West of centerline
East & West = 5' South of centerline (Per J. Mari 7-5-06)

ROAD CONSTRUCTION OR OVERLAY
Super pave is required and must meet Penn DOT specifications Pub.408 (Per L. Mika 10-5-05)

IMPERVIOUS SURFACE FEE
If on-lot detention no fee is charged. Impervious surfaces - additions, decks, patios, garages, driveways, sheds, similar structures, roof, parking areas, driveways areas, new streets, new sidewalk.
EXEMPT - existing gravel crushed stone, hard packed soil.
Square feet of new impervious surface x 0.1 = $ cost only if no detention is proposed.

LVPC REVIEWS
Note that the LVPC reviews **all** site plans that it is required to sign prior to being recorded in the courthouse of either Northampton or Lehigh County, regardless of the size of the site or the net amount of impervious surfaces. The LVPC is not required to review a Storm Water Management Plan for a site that does not result in an increase of 10,000 square feet of impervious surfaces. (Per S. W. DeSalva 09-19-06)

EROSION & SEDIMENTATION CONTROL PLAN
A plan is required for earth disturbance activity of 5,000 square feet or more. City requires County Conservation (LCCD or NCCD) review of 1 acre (43,560 square feet) or more.

TAPPING FEE
In accordance with Ordinance No. 4342, at the time of a request for a building permit or at the execution of the developer's agreement, a sanitary sewer tapping fee of $2,527 per EDU will need to be paid. The total amount will be determined when a sanitary sewer facilities planning module application is submitted. Please include a cover letter describing the project in the planning module submittal.

GENERAL NOTES

1. The maintenance of the storm water facilities shall be the owner's responsibility. The owner's deed, and the deeds to any subsequent owner, shall note that the owner shall accept the maintenance responsibilities. The City of Bethlehem shall be permitted to inspect the storm water facilities on at least an annual schedule to ensure that any necessary corrective work is performed in a timely manner. All public inlets should have inlet markers. The design of the inlets shall be approved by the City Engineer. The drainage easement provides for the flow of stormwater across lots, and may not be altered without the written permission of the City Engineer. No obstructions shuch as planting berms or fences may be installed in the drainage easement areas without sufficient provision for the passage of stormwater, any such proposed provision shall be approved by the City Engineer.
2. All driveways shall be a minimum of 2' off of the property line.
3. Accurate as–built plans shall be kept up to date during the construction process. At the completion of the project record drawings shall be developed from the as–built plans and submitted to the City Engineer's Office. All final drawings shall show North American Datum (NAD) 1983 State Plane Coordinates in feet (Pennsylvania South, FIPS Zone 3702) and the digital file shall be in State Plane Coordinates as applicable. The hard copy of the record drawing shall be in the form of a Mylar copy. The engineer of record shall certify (i.e. P.E. stamped and signed) that the record drawings comply substantially with the approved plan and that they conform to industry standards. All digital files shall reside on PC compatible CD Rom containing the digital representation of hte final plan as presented on the twenty–four (24) inch by thirty–six (36) inch sheets. The digital map shall be AutoCAD compatible. All layers included in the digital maps shall be the standardized layers prepared and utilized by the City od Bethlehem to ensure compatiblity with the City's existing CADD standards and as described in Appendix A of the City's Subdivision and Land Development Ordinance.
4. NPDES NOTE – By submission of these plans the engineer of record certifies that these plans are in complete conformance with the City of Bethlehem Storm Water Management Ordinance.
5. REVISION NOTE – In order to maintain continuity between plan revisions, any changes to a previous plan submission shall be flagged with a triangle. Any changes not flagged may be considered not approved. Flagged changes shall be referenced to the appropriate date in the revision block.
6. ENGINEERING PERMITS NOTE – Prior to any work within the Right–of–way, permits must be obtained from the City Engineering Office.
7. By submission of these plans the engineer on record certifies these plans are in complete conformance with the City of Bethlehem Storm Water Management Ordinace.
8. The drainge easement provides for the flow of stormwater across lots, and may not be altered without written permission of the City Engineer. No obstruction such as planting berms of fences may be installed in the drainge easements areas without sufficient provision for the passage of stormwaterm and any such proposed provision shall be approved in writing by the City Engineer.

PLAN SHEET INDEX

PLAN TITLE	SHEET NUMBER
Record Plan	1 OF 5
Existing Features Plan	2 OF 5
Grading & Utility Plan	3 OF 5
Landscaping Plan	4 OF 5
Detail Plan	5 OF 5

OUTSIDE AGENCY REVISION BLOCK
REVISION DATE | CORRESPONDENCE DATE | AGENCY

MUNICIPAL REVISION BLOCK
REVISION DATE | CORRESPONDENCE DATE | AGENCY

LEHIGH ENGINEERING ASSOCIATES, INC.
499 RIVERVIEW DRIVE, P.O. BOX 68
WALNUTPORT, PA 18088
610 767 8545 FAX 610 767 5798

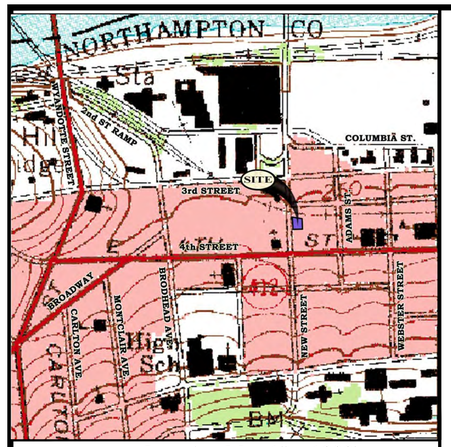
LOCATED IN:
CITY OF BETHLEHEM
COUNTY OF NORTHAMPTON
COMMONWEALTH OF
PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT RECORD PLAN FOR:

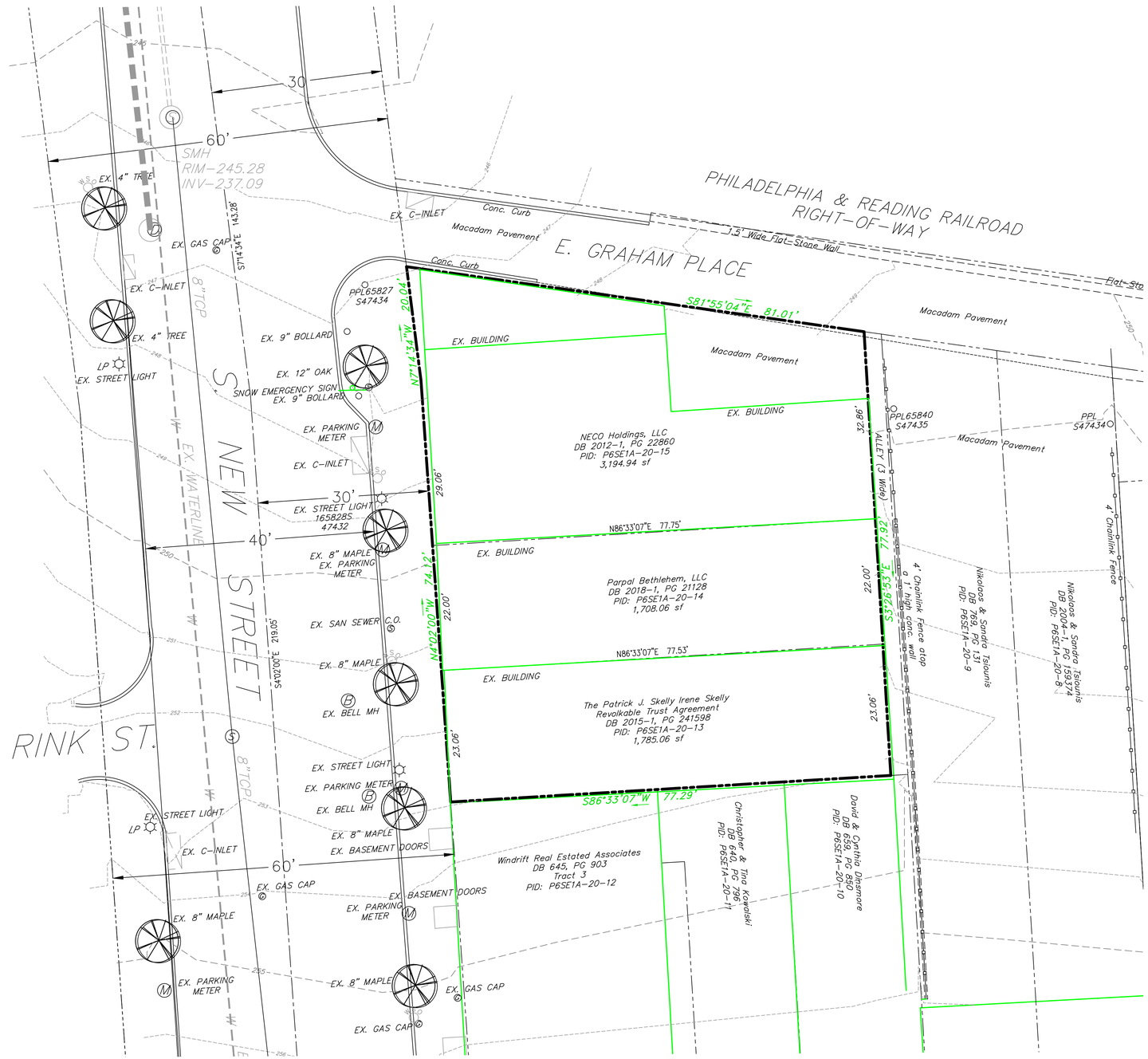
South New Street Apartments

DATE: 10/29/20
SCALE : 1" = 10'
DRAWN BY: BG
JOB: 6533

6533_South_NewSt_Apartments_base3D.dwg



Location Map 1" = 1000'



BEFORE YOU
DIG – DRILL – BLAST
Call 1-800-242-1776
(TOLL FREE)

PENNSYLVANIA ONE CALL SYSTEM, INC.

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CITY OF BETHLEHEM

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Service Electric Cablevision, Inc.	Fran Swirble	2260 Aveune A, LVIP # 1 Bethlehem PA 18017	(610) 868-0902
U G I Corporation	Taylor Bet	2121 City Line Road Bethlehem PA 18001	(610) 866-0951
Verizon Communications	Mike Clamoco	1800 E. Race Street Catasauqua PA 18032	(610) 264-2039
ZAYO Bandwidth	Joe Nuzzo	400 Centennial Parkway Suite 200 Louisville CO 80027	(610) 628-9365

MAP LEGEND

- I. PIN / PIPE FND.
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- CON MON TO BE SET
- DEC./CON. TREE
- SANITARY MANHOLE
- WATER VALVE
- FIRE HYDRANT
- WATER SHUTOFF
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- EXISTING RIGHT-OF-WAY
- PROPOSED LOT LINE
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- EXISTING EASEMENT LINE
- ROADWAY CENTERLINE
- BUILDING SETBACK LINE
- EDGE OF ROADWAY
- ADJACENT PROP. LINE
- EXISTING FENCE LINE
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- PADOT SIGHT DIST.
- SANITARY LATERAL
- SANITARY SEWER MAIN
- EXISTING WATER LATERAL
- EXISTING WATER MAIN
- EXISTING SHRUB ROW

Benchmark USGS Allentown East Quardangle NAVD 88

SITE DATA

1) OWNER INFORMATION:
THE PATRICK J. SKELLY & IRENE SKELLY REVOCABLE TRUST AGREEMENT
PARPAL BETHLEHEM, LLC
NECO HOLDINGS, LLC

2) PROPERTY INFORMATION:
SOUTH NEW STREET AND EAST GRAHAM PLACE, BETHLEHEM, PA 18015
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PARCEL ID: P6SE1A-20-13 D.B.V. 2015-1, PG. 241598
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PARCEL ID: P6SE1A-20-15 D.B.V. 2012-1, PG. 22860

3) THE EXISTING LOTS UTILIZE PUBLIC WATER AND PUBLIC SEWER.

ZONING DATA

CITY OF BETHLEHEM, NORTHAMPTON COUNTY INFORMATION
ZONING DISTRICT: CB – CENTRAL BUSINESS DISTRICT

1) LOT REQUIREMENTS:

	REQUIRED	PROVIDED
MINIMUM LOT AREA:	0 S.F.	
MINIMUM LOT WIDTH:	0 S.F.	

2) MINIMUM YARD REQUIREMENTS:

	REQUIRED
FRONT YARD:	0'
SIDE YARD:	0'
REAR YARD:	0'

PROJECT NOTES

1. TEXT IN A SLANTED FONT REPRESENTS EXISTING FEATURES.
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GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)
1 inch = 10 ft.

SURVEY NOTES

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2. The right-of-way line of S. New Street was determined from the calculated centerline by the curb points in the field.

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PLAN SHEET INDEX

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OUTSIDE AGENCY REVISION BLOCK
REVISION | RESPONSIBLE AGENCY
DATE | DATE

MUNICIPAL REVISION BLOCK
REVISION | RESPONSIBLE AGENCY
DATE | DATE

LEHIGH ENGINEERING ASSOCIATES, INC.
499 RIVERVIEW DRIVE, P.O. BOX 68
WALNUTPORT, PA 18088
610 767 8545 FAX 610 767 5798

LOCATED IN:
CITY OF BETHLEHEM
COUNTY OF NORTHAMPTON
COMMONWEALTH OF PENNSYLVANIA

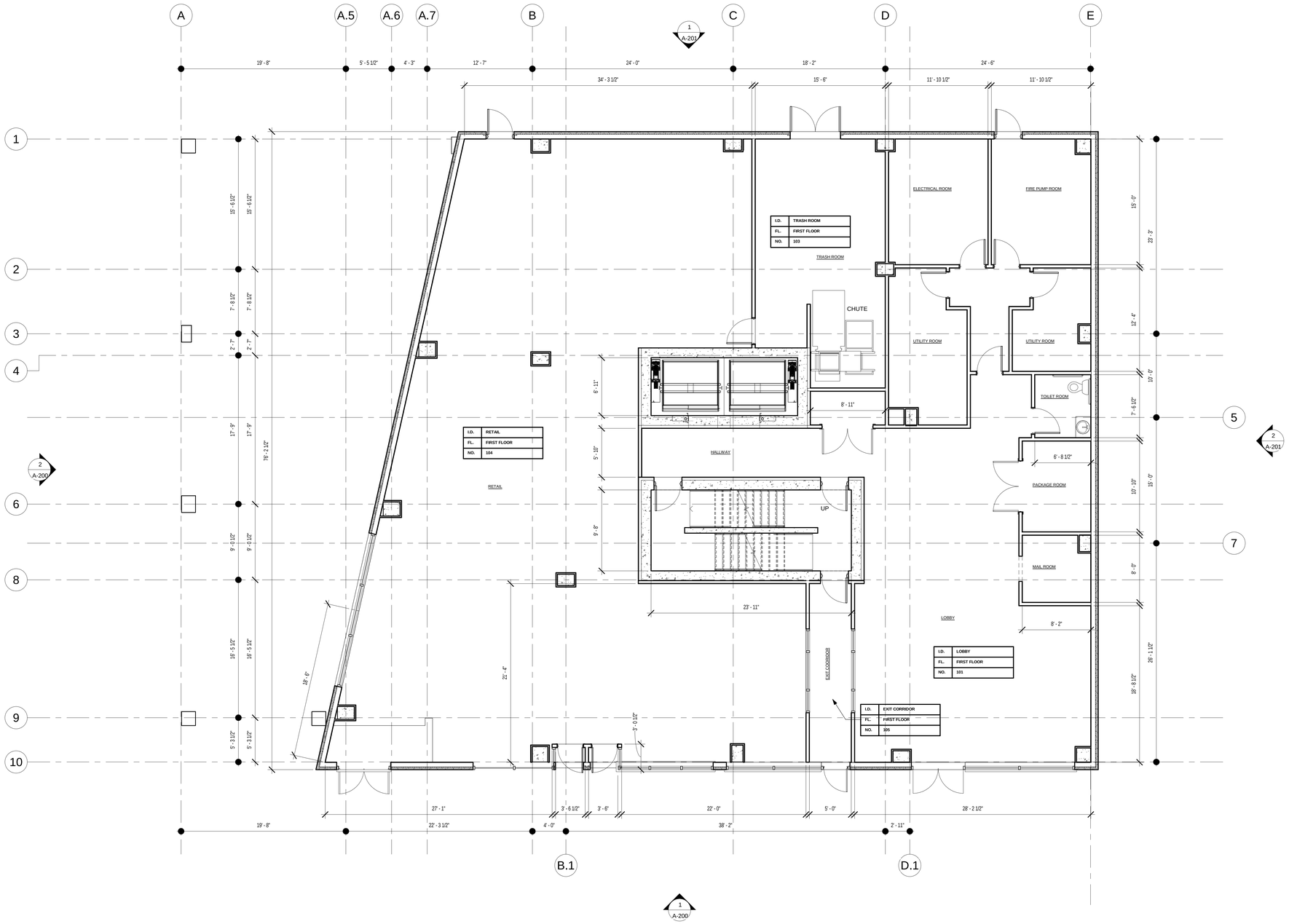
PRELIMINARY/FINAL EXISTING FEATURES PLAN FOR:

South New Street Apartments

DATE: 10/29/20
SCALE : 1" = 10'
DRAWN BY: BG
JOB: 6533

SHEET
2 of 5

6533_South_NewSt_Apartments_base3D.dwg



1 A-101 GROUND FLOOR PLAN

SCALE: 3/16" = 1'-0"

NORTH

FLOOR PLAN NOTES:

1. SEE WALL SECTIONS, DETAILS AND PRODUCT SPECIFICATIONS FOR INSTALLATION OF MATERIALS.
2. WALLS ARE DIMENSIONED TO FINISHED FACE, DOORS AND WINDOWS TO CENTERLINE.
3. STEEL DIMENSIONS ARE TO FACE OF STEEL OR CENTERLINE OF STEEL AS DENOTED BY STEEL GRID LINES.
4. PLUMBING FIXTURE DIMENSIONS ARE FROM CENTERLINE OF FIXTURE TO FINISHED FACE OF PARTITION.
5. PROVIDE IN WALL 2X WOOD BLOCKING FOR ALL MILLWORK, CASEWORK, COUNTERS, BATHROOM ACCESSORIES, RAILINGS AND MECHANICAL EQUIPMENT AS REQUIRED.
6. TRADES TO COORDINATE LOCATION OF ALL SUBGRADE UTILITY PENETRATIONS AND SLEEVES PRIOR TO CONTRACTOR POURING FOOTINGS AND FOUNDATION WALLS.
7. REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION, SLAB AND STRUCTURAL STEEL LOCATIONS AND DETAILS.
8. REFER TO FIRE PROTECTION DRAWINGS FOR ALL SPRINKLER HEAD AND PIPING SIZES AND LOCATIONS.
9. REFER TO PLUMBING DRAWINGS FOR ALL PIPING LAYOUT, SIZES AND FIXTURE SCHEDULE.
10. REFER TO MECHANICAL DRAWINGS FOR ALL HVAC LOCATIONS AND DETAILS. NOTE THIS SYSTEM IS A PARTIAL PLENUM RETURN.
11. REFER TO ELECTRICAL DRAWINGS FOR ALL EMERGENCY LIGHTING, POWER, DATA, TELEPHONE OUTLET QUANTITIES AND LOCATIONS.

THIS DRAWING IS THE PROPERTY OF BALLINA GROUP, LLC AND HAS BEEN PREPARED SPECIFICALLY FOR THE OWNER FOR THIS PROJECT AT THIS SITE, AND IS NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION, OR OWNER WITHOUT WRITTEN CONSENT OF BALLINA.GROUP.

PRIVATE APARTMENTS

317-327 S. NEW STREET
BETHLEHEM, PA

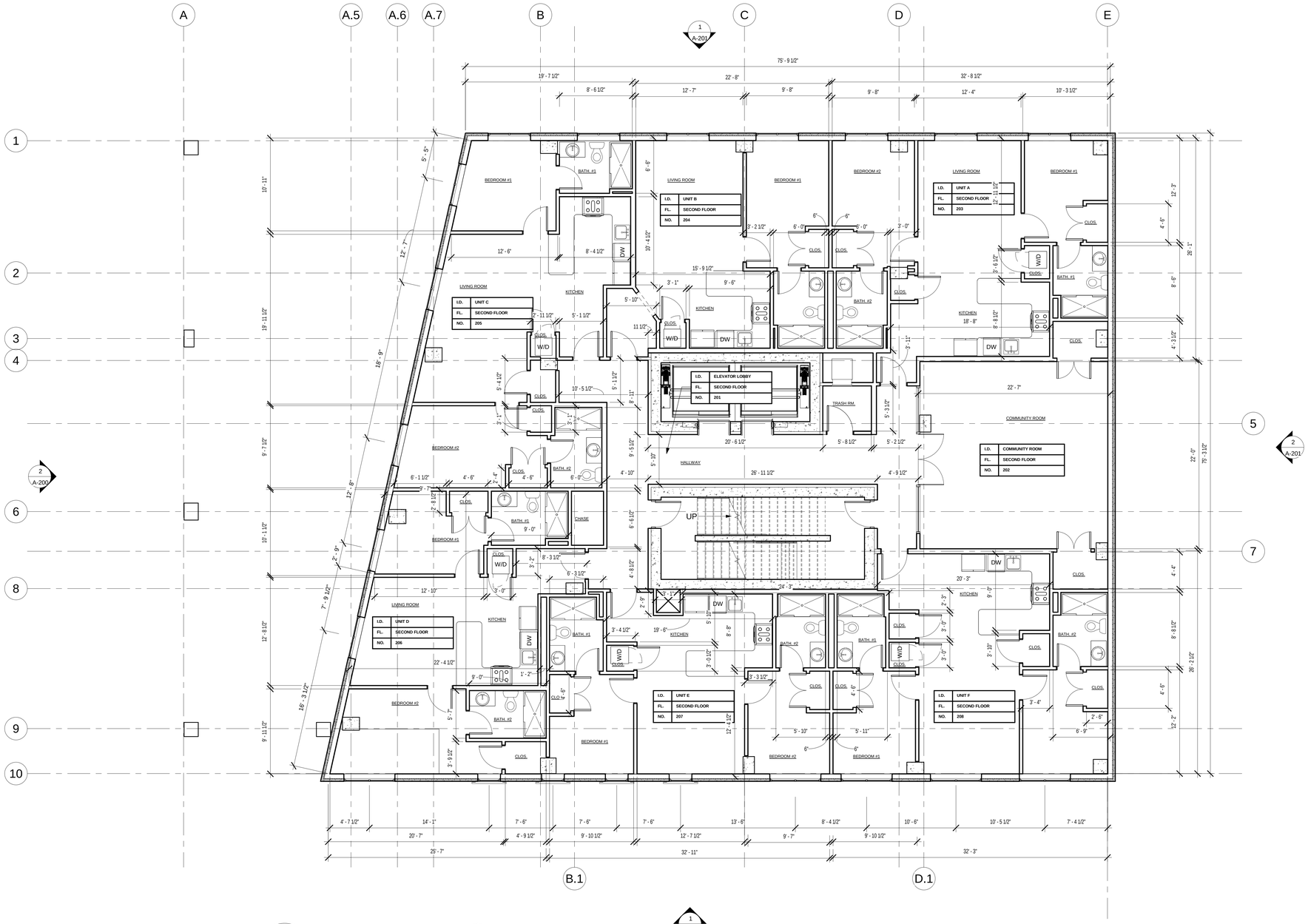
Bällina GROUP, LLC
1439 Monroe Ave., Ste. 1, Dunmore, Pennsylvania 18509
Tel. 570 207 0195 www.ballinagroup.com

No.	Description	Date

FIRST FLOOR PLAN

Project Number	2020-21
Date	3/4/2021
Drawn By	CA
Checked By	JC
Scale	3/16" = 1'-0"

A-101



1 A-102 SECOND FLOOR

SCALE: 3/16" = 1'-0"

NORTH

FLOOR PLAN NOTES:

1. SEE WALL SECTIONS, DETAILS AND PRODUCT SPECIFICATIONS FOR INSTALLATION OF MATERIALS.
2. WALLS ARE DIMENSIONED TO FINISHED FACE. DOORS AND WINDOWS TO CENTERLINE.
3. STEEL DIMENSIONS ARE TO FACE OF STEEL OR CENTERLINE OF STEEL AS DENOTED BY STEEL GRID LINES.
4. PLUMBING FIXTURE DIMENSIONS ARE FROM CENTERLINE OF FIXTURE TO FINISHED FACE OF PARTITION.
5. PROVIDE IN WALL 2X WOOD BLOCKING FOR ALL MILLWORK, CASEWORK, COUNTERS, BATHROOM ACCESSORIES, RAILINGS AND MECHANICAL EQUIPMENT AS REQUIRED.
6. TRADES TO COORDINATE LOCATION OF ALL SUBGRADE UTILITY PENETRATIONS AND SLEEVES PRIOR TO CONTRACTOR POURING FOOTINGS AND FOUNDATION WALLS.
7. REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION, SLAB AND STRUCTURAL STEEL LOCATIONS AND DETAILS.
8. REFER TO FIRE PROTECTION DRAWINGS FOR ALL SPRINKLER HEAD AND PIPING SIZES AND LOCATIONS.
9. REFER TO PLUMBING DRAWINGS FOR ALL PIPING LAYOUT, SIZES AND FIXTURE SCHEDULE.
10. REFER TO MECHANICAL DRAWINGS FOR ALL HVAC LOCATIONS AND DETAILS. NOTE THIS SYSTEM IS A PARTIAL PLENUM RETURN.
11. REFER TO ELECTRICAL DRAWINGS FOR ALL EMERGENCY LIGHTING, POWER, DATA, TELEPHONE OUTLET QUANTITIES AND LOCATIONS.

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317-327 S. NEW STREET
BETHLEHEM, PA

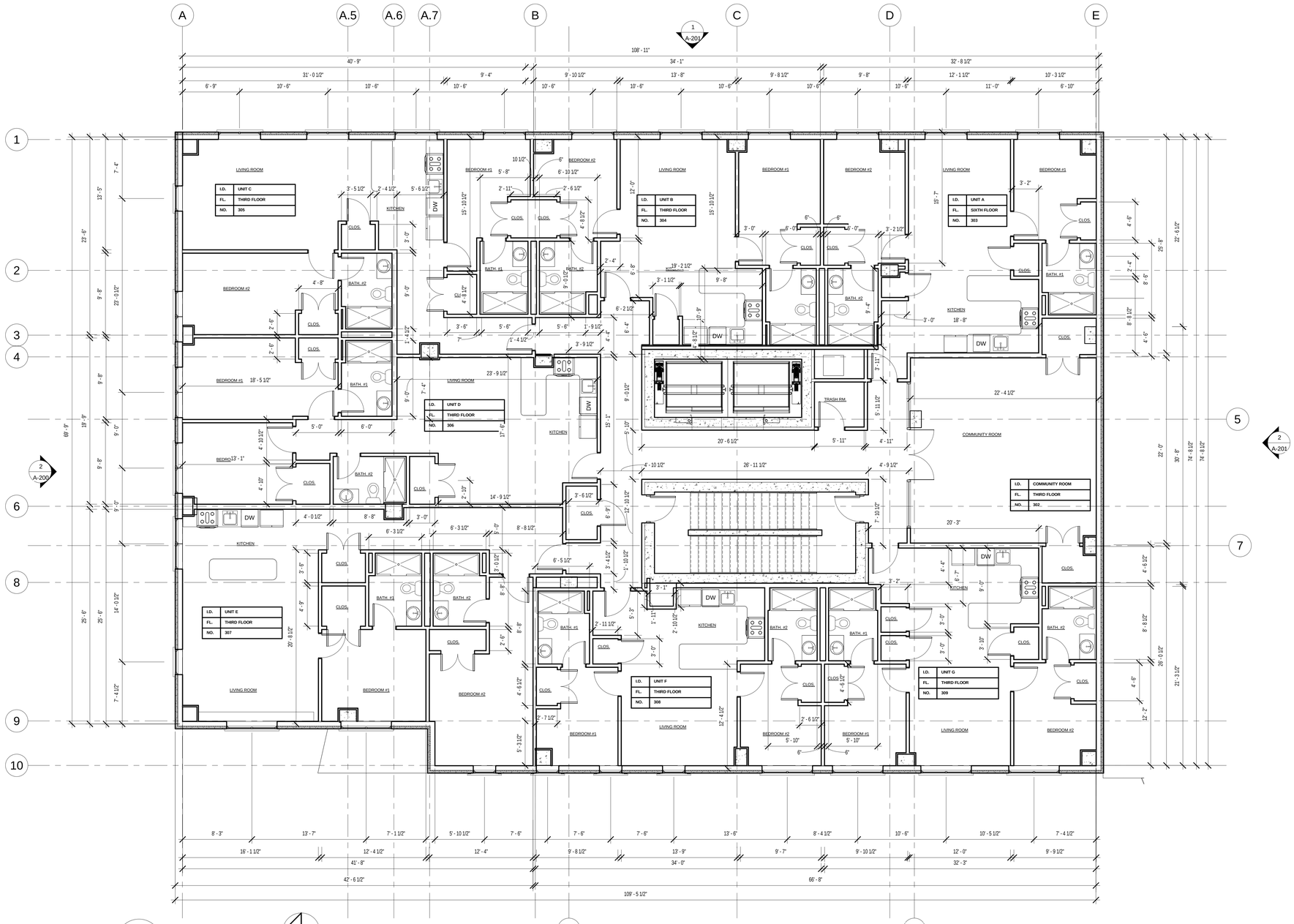
Bällina GROUP, LLC
1439 Monroe Ave., Ste. 1, Dunmore, Pennsylvania 18509
Tel.: 570.207.0195 www.ballinagroup.com

No.	Description	Date

SECOND FLOOR PLAN

Project Number	2020-21
Date	3/4/2021
Drawn By	CA
Checked By	JC
Scale	3/16" = 1'-0"

A-102



1
A-103

THIRD FLOOR

SCALE: 3/16" = 1'-0"

NORTH

FLOOR PLAN NOTES:

1. SEE WALL SECTIONS, DETAILS AND PRODUCT SPECIFICATIONS FOR INSTALLATION OF MATERIALS.
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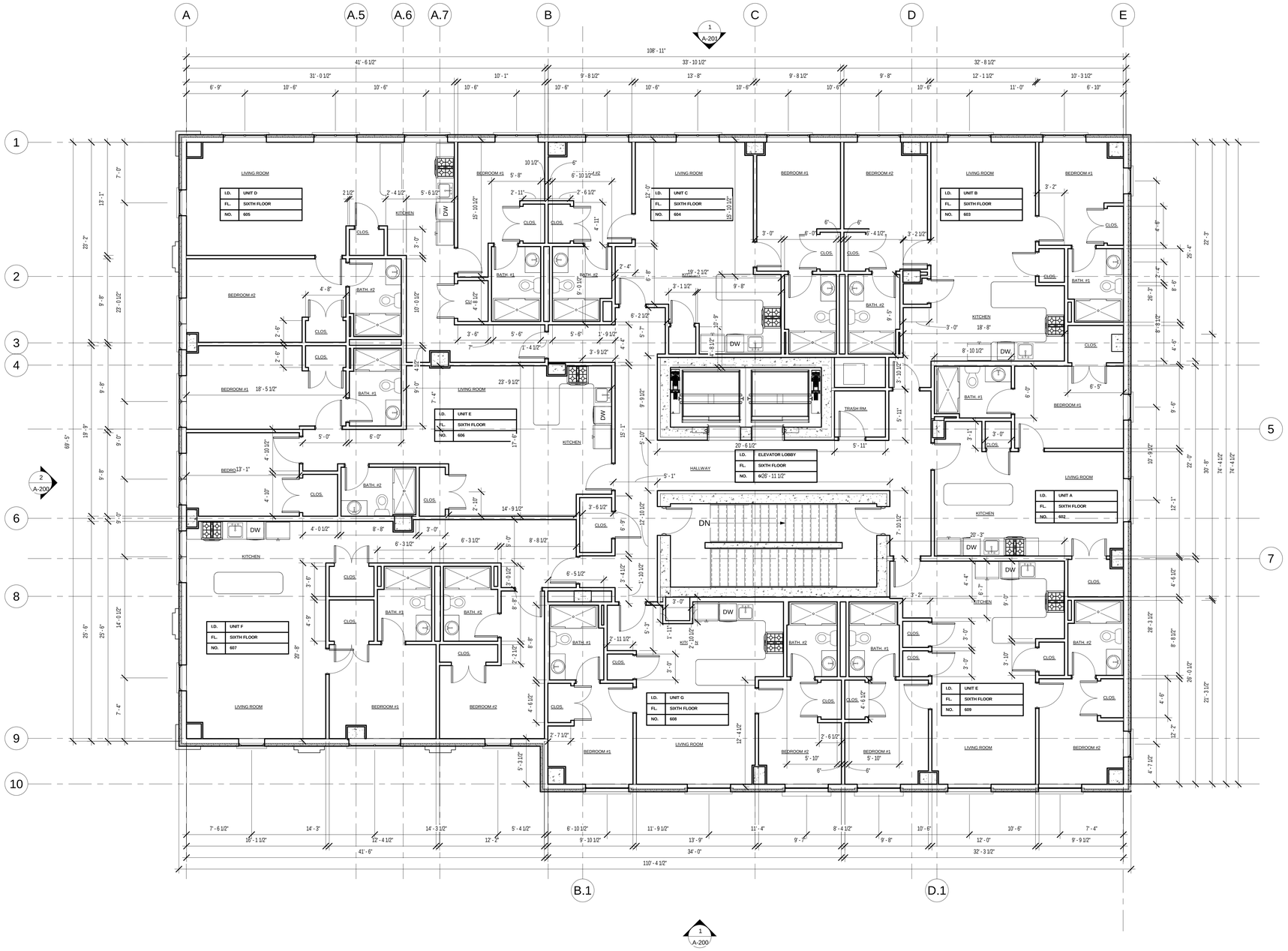
No.	Description	Date

THIRD FLOOR PLAN

Project Number	2020-21
Date	3/4/2021
Drawn By	CA
Checked By	JC
Scale	3/16" = 1'-0"

A-103



1 A-104 COMMON FLOORS 4-9

SCALE: 3/16" = 1'-0"

NORTH

FLOOR PLAN NOTES:

1. SEE WALL SECTIONS, DETAILS AND PRODUCT SPECIFICATIONS FOR INSTALLATION OF MATERIALS.
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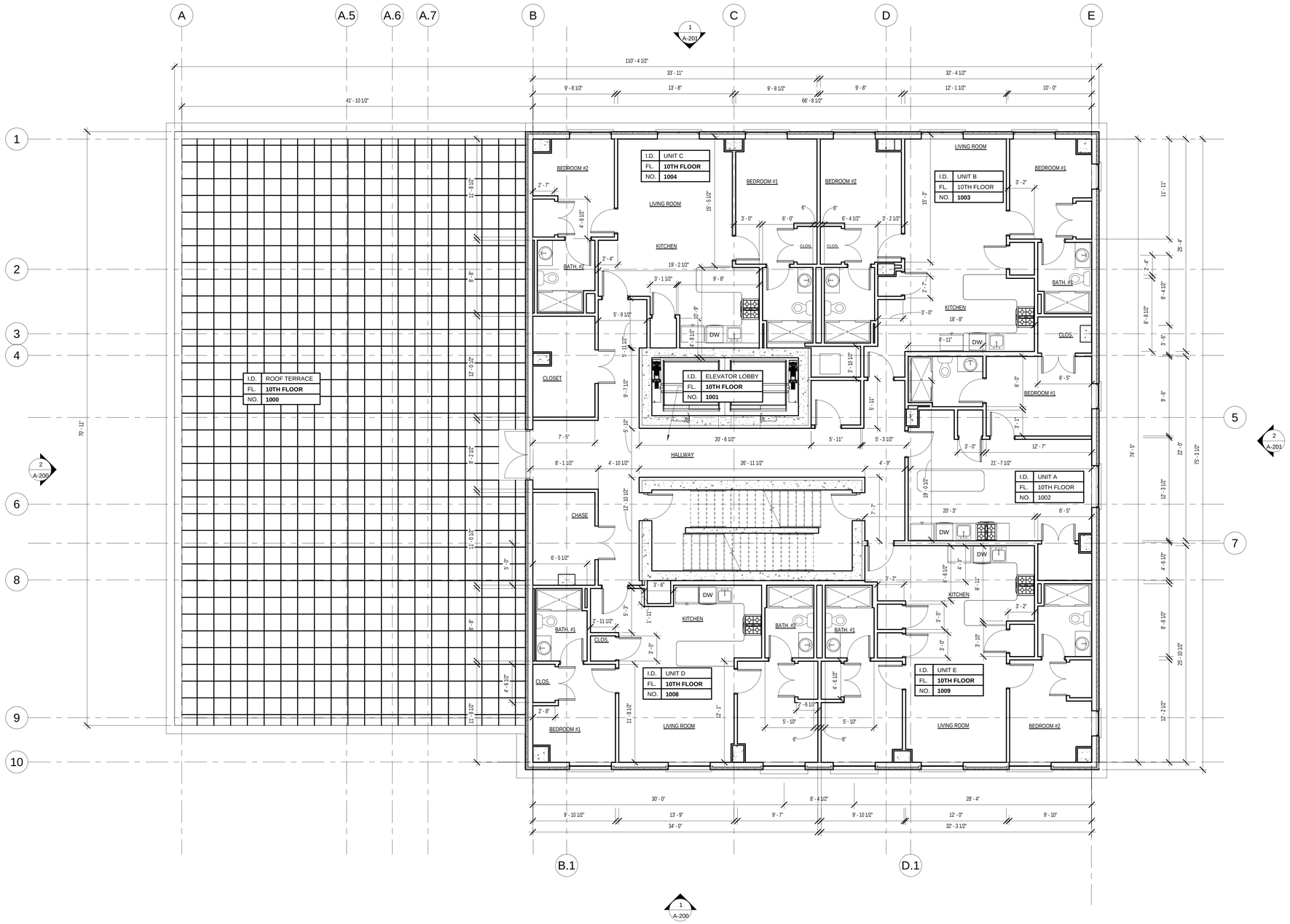
No.	Description	Date

COMMON FLOORS 4-9

Project Number	2020-21
Date	3/4/2021
Drawn By	CA
Checked By	JC
Scale	3/16" = 1'-0"

A-104



1 A-105 TENTH FLOOR
SCALE: 3/16" = 1'-0"

NORTH

FLOOR PLAN NOTES:

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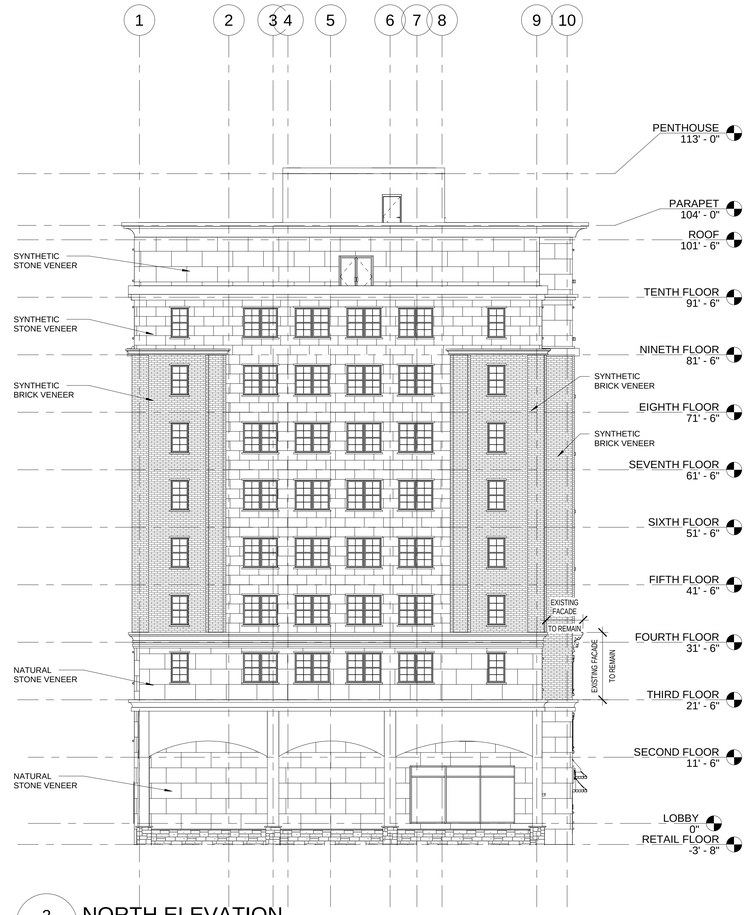
No.	Description	Date

TENTH FLOOR PLAN

Project Number	2020-21
Date	3/4/2021
Drawn By	CA
Checked By	JC
Scale	3/16" = 1'-0"

A-105

1 / A-200 WEST ELEVATION
SCALE: 3/32" = 1'-0"



2 / A-200 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

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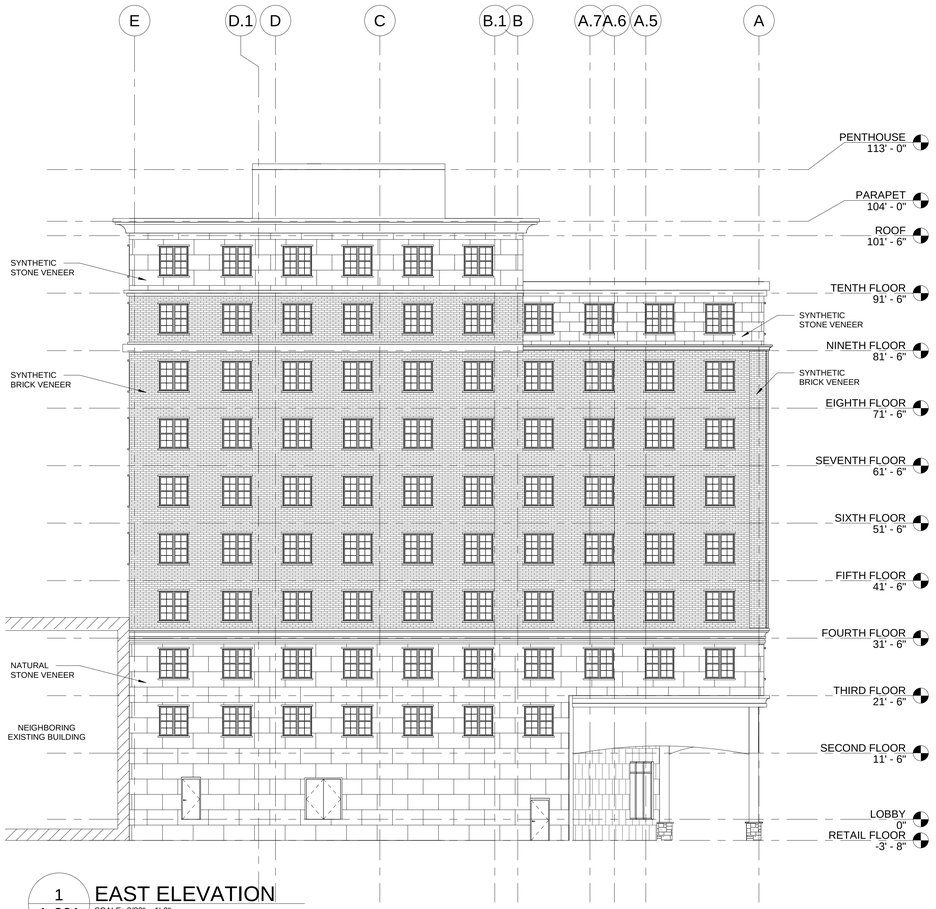
No.	Description	Date

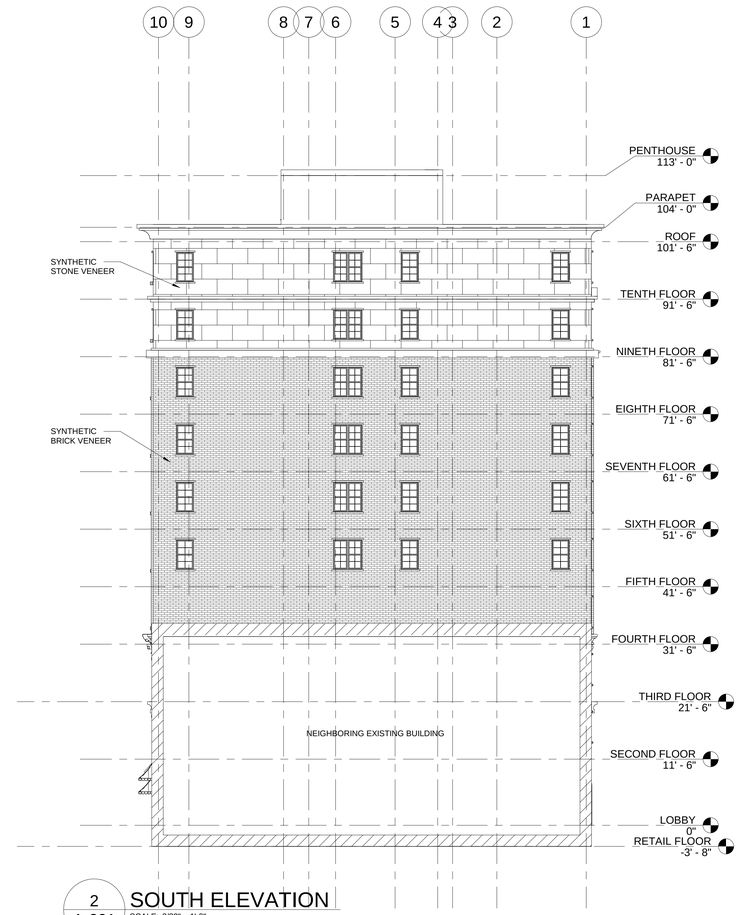
BUILDING ELEVATIONS

Project Number	2020-21
Date	3/4/2021
Drawn By	CA
Checked By	JC
Scale	3/32" = 1'-0"

A-200



1
A-201
EAST ELEVATION
SCALE: 3/32" = 1'-0"



2
A-201
SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

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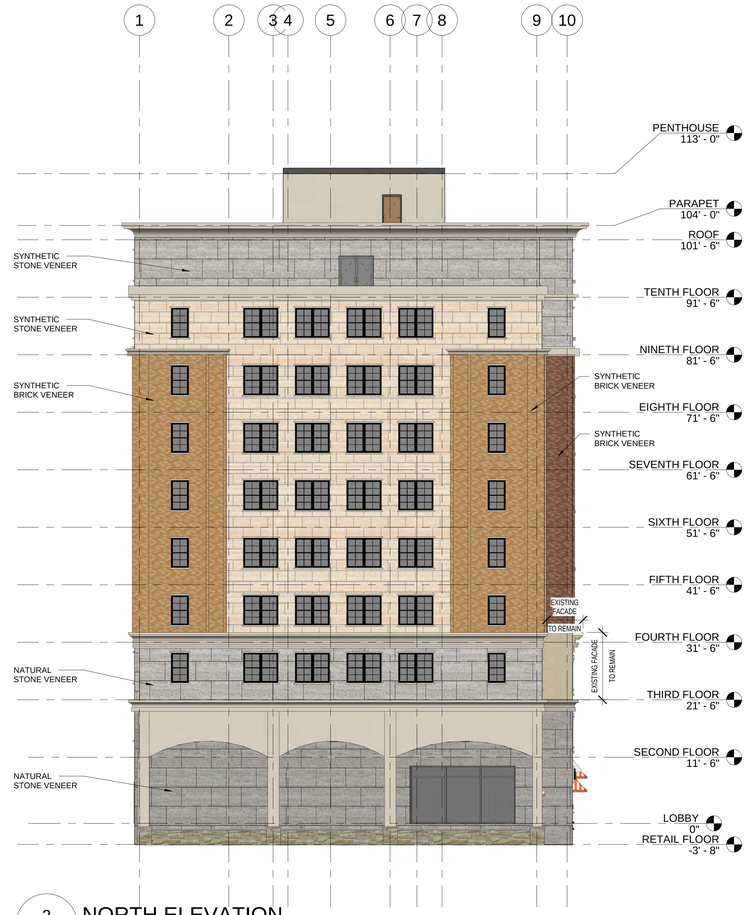
No.	Description	Date

BUILDING ELEVATIONS

Project Number	2020-21
Date	3/4/2021
Drawn By	CA
Checked By	JC
Scale	3/32" = 1'-0"

A-201

1
A-202
WEST ELEVATION
SCALE: 3/32" = 1'-0"



2
A-202
NORTH ELEVATION
SCALE: 3/32" = 1'-0"

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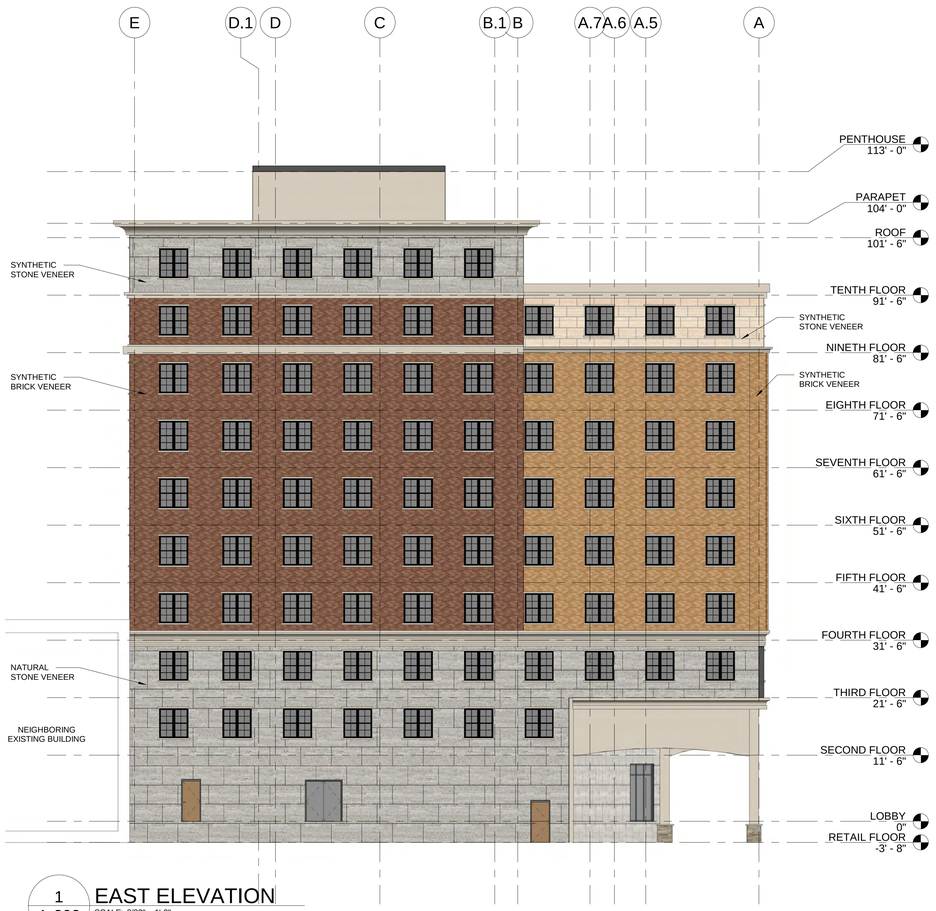
No.	Description	Date

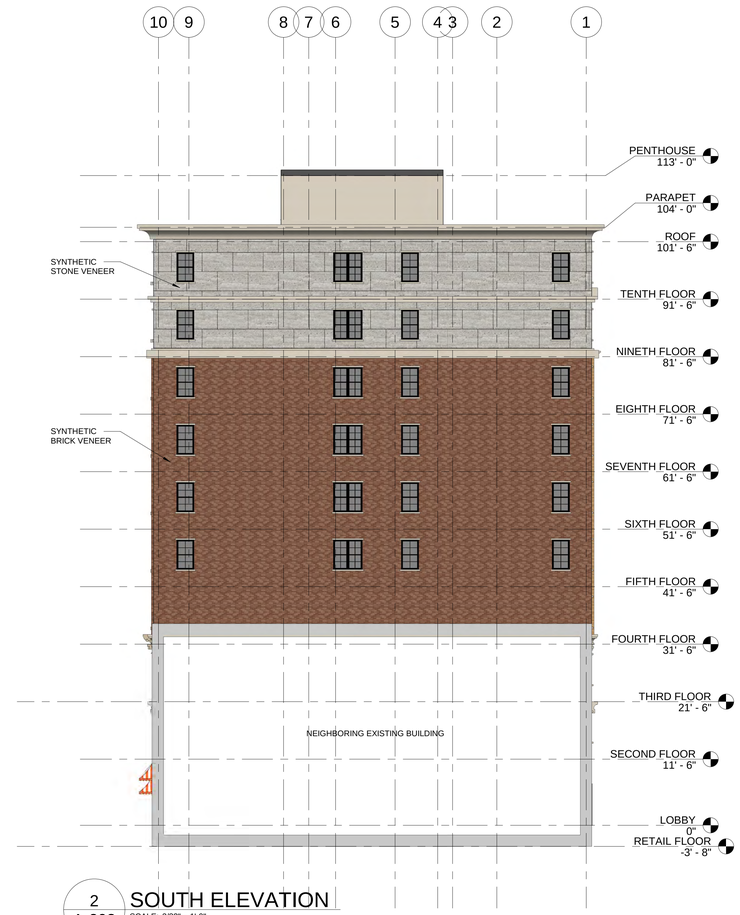
BUILDING ELEVATIONS

Project Number	2020-21
Date	3/4/2021
Drawn By	CA
Checked By	JC
Scale	3/32" = 1'-0"

A-202



1
A-203
EAST ELEVATION
SCALE: 3/32" = 1'-0"



2
A-203
SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

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No.	Description	Date

BUILDING ELEVATIONS

Project Number	2020-21
Date	3/4/2021
Drawn By	CA
Checked By	JC
Scale	3/32" = 1'-0"

A-203

CURRENT STREETSCAPE

CURRENT STREETSCAPE

PROPSOED STREETSCAPE

PROPSOED STREETSCAPE

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No.	Description	Date

STREETSCAPE

Project Number	2020-21
Date	3/4/2021
Drawn By	CA
Checked By	JC
Scale	

A-800

OVERALL BUILDING

STREET VIEW LOOKING SOUTH ON S. NEW STREET

STREET VIEW LOOKING SOUTH ON S. NEW STREET

STREET VIEW LOOKING SOUTH ON S. NEW STREET

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No.	Description	Date

3D RENDERINGS

Project Number	2020-21
Date	3/4/2020
Drawn By	CA
Checked By	JC
Scale	

A-801

STREET VIEW LOOKING SOUTH ON S. NEW STREET

STREET VIEW LOOKING TOWARD GRAHAM PLACE

STREET VIEW LOOKING SOUTH ON S. NEW STREET

STREET VIEW LOOKING EAST FROM RINK

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No.	Description	Date

3D RENDERINGS

Project Number	2020-21
Date	3/4/2020
Drawn By	CA
Checked By	JC
Scale	

A-802

STREET VIEW LOOKING NORTH ON S. NEW STREET

STREET VIEW LOOKING NORTH ON S. NEW STREET

ROOFTOP TERRACE

ROOFTOP TERRACE

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No.	Description	Date

3D RENDERINGS

Project Number	2020-21
Date	3/4/2020
Drawn By	CA
Checked By	JC
Scale	

A-803