

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS (COA)

Building address327 Broadway, Bethlehem PA 18015

Owner of buildingLarry Eighmy, Sycamore Hill Farm DevelopmentPhone

Owner's email & mailing address

ApplicantLarry EighmyPhone:

Applicant's email & mailing address

Street and Number301 Broadway, Suite 500CityBethlehemStatePAZip Code18015

**APPLICANT MUST ATTEND MEETING FOR CASE TO BE HEARD.**  
**USE THE CHECKLIST ON THE BACK OF THIS APPLICATION TO ENSURE YOUR SUBMISSION IS COMPLETE.**

**Historic & Architectural Review Board** – Application form, photographs, and drawings must be submitted **2 weeks prior** to the regular scheduled meeting in order to be placed on the agenda for the next meeting.

**South Bethlehem & Mount Airy Historic Conservation Commission** - Application form, photographs, and drawings must be submitted **2 weeks prior** to the regular scheduled meeting in order to be placed on the agenda for the next meeting.

**1. PHOTOGRAPHS** - Photographs of your building and neighboring buildings **must accompany** your application.

**2. TYPE OF WORK PROPOSED** – Check all that apply. Please bring any samples or manufactures specifications for products you will use in this project.

<input type="checkbox"/> Trim and decorative woodwork	<input type="checkbox"/> Skylights
<input checked="" type="checkbox"/> Siding and Masonry	<input checked="" type="checkbox"/> Metal work
<input checked="" type="checkbox"/> Roofing, gutter and downspout	<input type="checkbox"/> Light fixtures
<input checked="" type="checkbox"/> Windows, doors, and associated hardware	<input type="checkbox"/> Signs
<input type="checkbox"/> Storm windows and storm doors	<input type="checkbox"/> Demolition
<input type="checkbox"/> Shutters and associated hardware	<input type="checkbox"/> Other
<input type="checkbox"/> Paint (Submit color chips – HARB only)	

**3. DRAWINGS OF PROPOSED WORK** – Required drawings **must accompany** your application. Please submit **ONE ORIGINAL AND TEN (10) COPIES OF DRAWINGS, PHOTOGRAPHS, APPLICATION FORM, AND ANY SPECIFICATIONS**

☐ Alteration, renovation, restoration (1/4 or 1/8"=1'0" scale drawings required IF walls or openings altered.)

☒ New addition (1/4" or 1/8"=1'0" scale drawings: elevations, floor plans, site plan)

☐ New building or structure (1/4" or 1/8"=1'0" scale drawings: elevations, floor plans, site plan)

☐ Demolition, removal of building features or building (1/4" or 1/8"=1'0" scale drawings: elevation of remaining site and site plan)

☐ A scale drawing, with an elevation view, is required for all sign submittals

**4. DESCRIBE PROJECT** – Describe any work checked in #2 and #3 above. Attach additional sheets as needed.

See attached description

**5. APPLICANT'S SIGNATURE** Larry Eighmy **DATE:** 2/1/21

**6. OWNER'S SIGNATURE** Larry Eighmy **DATE:** 2/1/21

We are respectfully seeking approval for revisions to the design of the Fourth Street facade (previously submitted) and new rooftop elements that build off the Commission's previous feedback. The attached drawings highlight each area in detail. A brief explanation of each area follows:

Biergarten - As previously discussed, the rooftop "biergarten" facing Broadway has been prepped for fit-out, and final design of the space is ongoing. At the July 2020 HCC hearing, feedback about the shade structure was taken into consideration. A permanent steel and glass shade structure is proposed in lieu of the seasonal fabric structure, which was not well received. A detailed guard rail is also shown for approval. These elements will be visible from the southwest on Broadway. The design of these elements is intended to be minimal and transparent, painted a light grey to blend with the sky beyond.

4th Street facade - You may recall the previous submission showed cast stone and glass at the 4th Street ground level. The use of this garage has been reconsidered and it is now intended to be open with no garage door. A ventilated security screening is proposed at the other bays of the facade. Two options are shown for HCC feedback. We seek approval to proceed with the Commission's preferred option.

Lastly, a 3rd floor addition is proposed on the roof facing Fourth Street (north half of roof). This was previously shown as two modular units, now conceived as one site-built addition, as constructability and cost come into focus. The addition is set back from the 4th street parapet to create a balcony and accent the stepped parapet of the historic facade (evidence suggests the stepped parapet was lopped off to create the current roofline). The design of the addition builds off the existing facade's massing, scale, and proportion. It utilizes new materials to distinguish it from the historic brick and cast stone, and ties into the material palette of the ground level garage facade. A rooftop equipment screen is used to provide symmetry.

Thank you for your continued feedback on this project, and we look forward to implementing a design that adds to this building's rich history!



**CONTRACTOR**

Elevate  
Construction  
Partnership

**CLIENT**

The Stone House  
Group  
301 Broadway  
Bethlehem, PA 18015

**PROJECT**

327  
BROADWAY

**DRAWN BY**

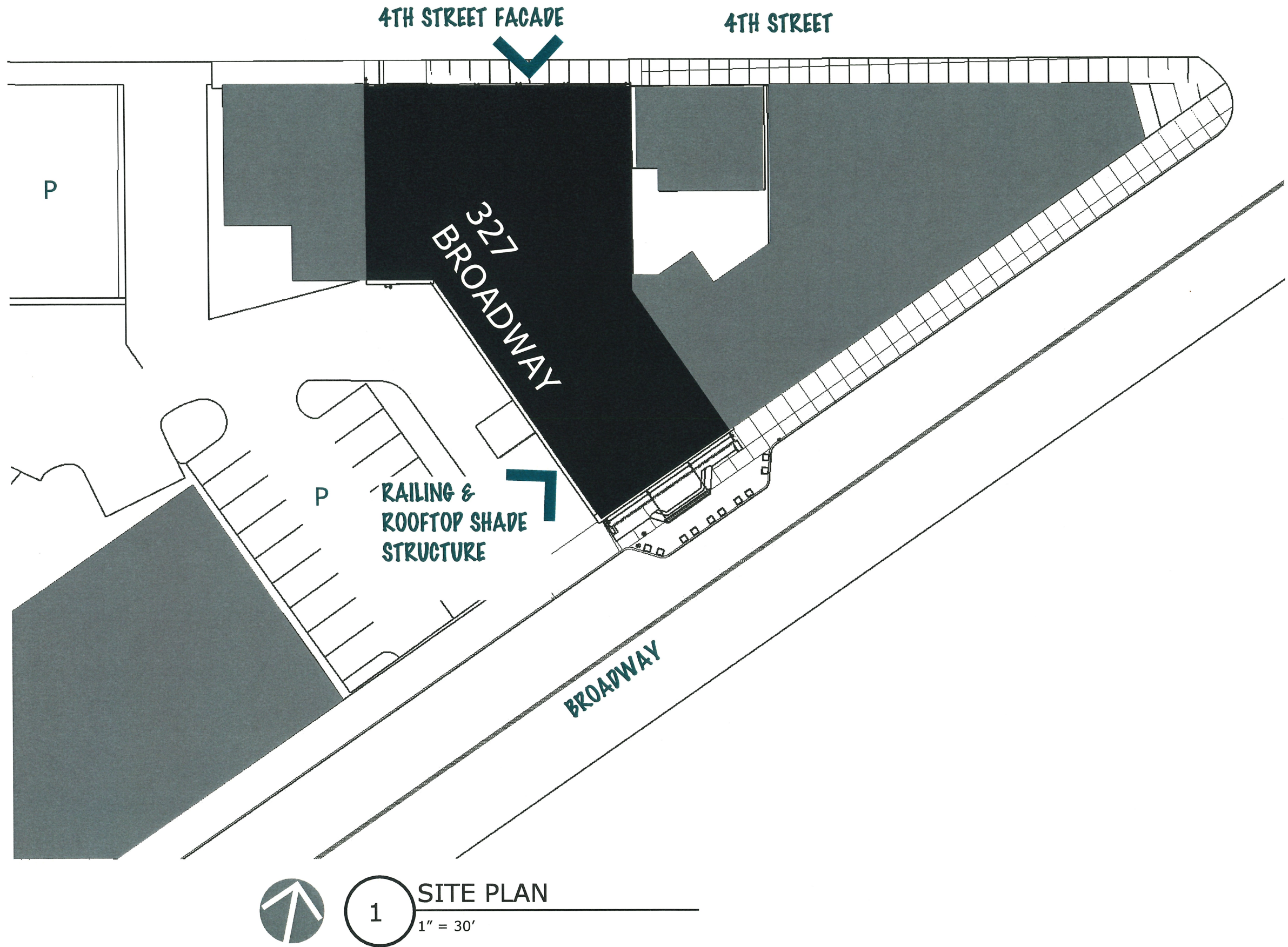
EAN

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FEB. 2021 HCC  
submission

**SITE PLAN**

1





Professional Seal

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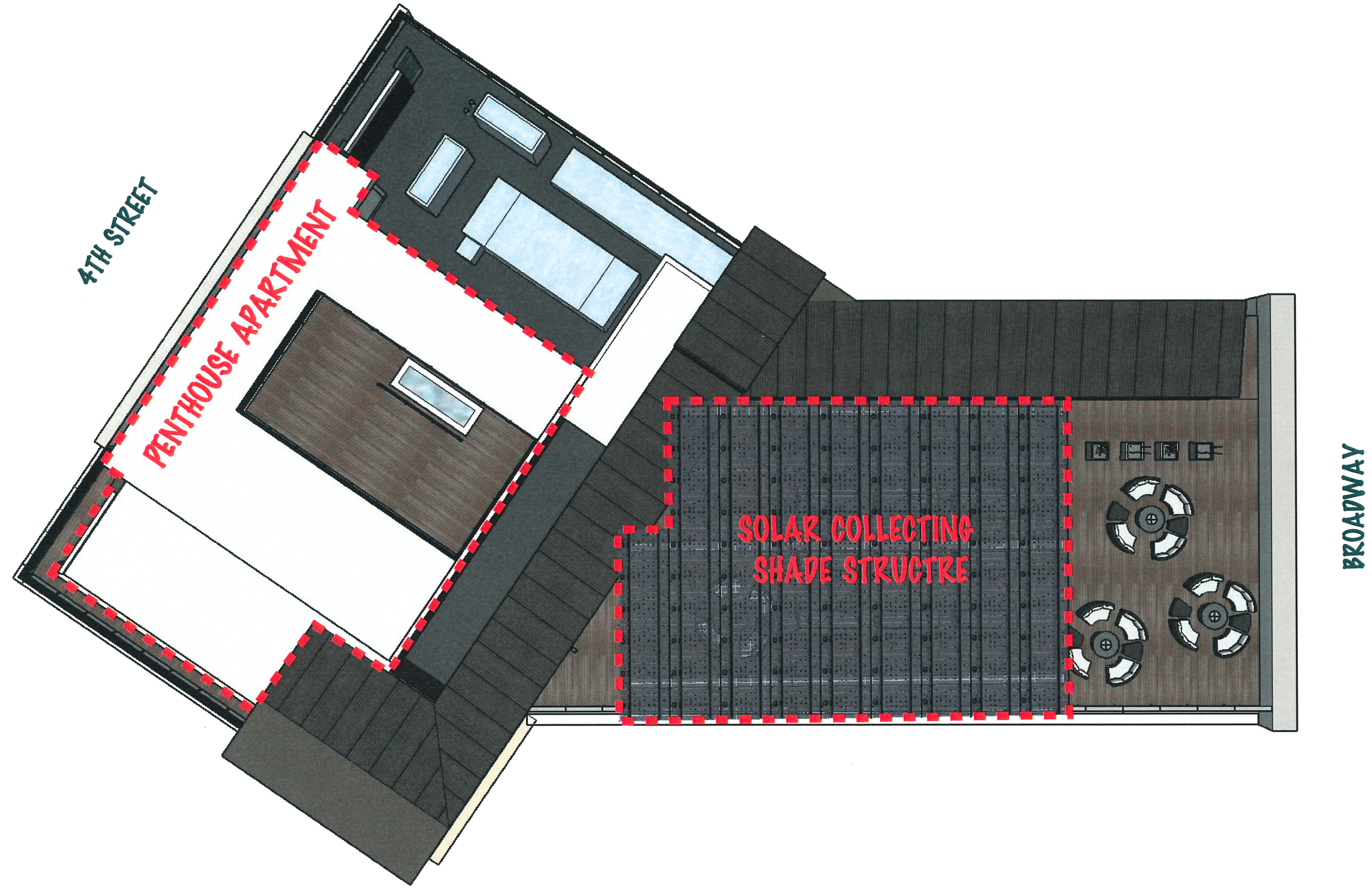
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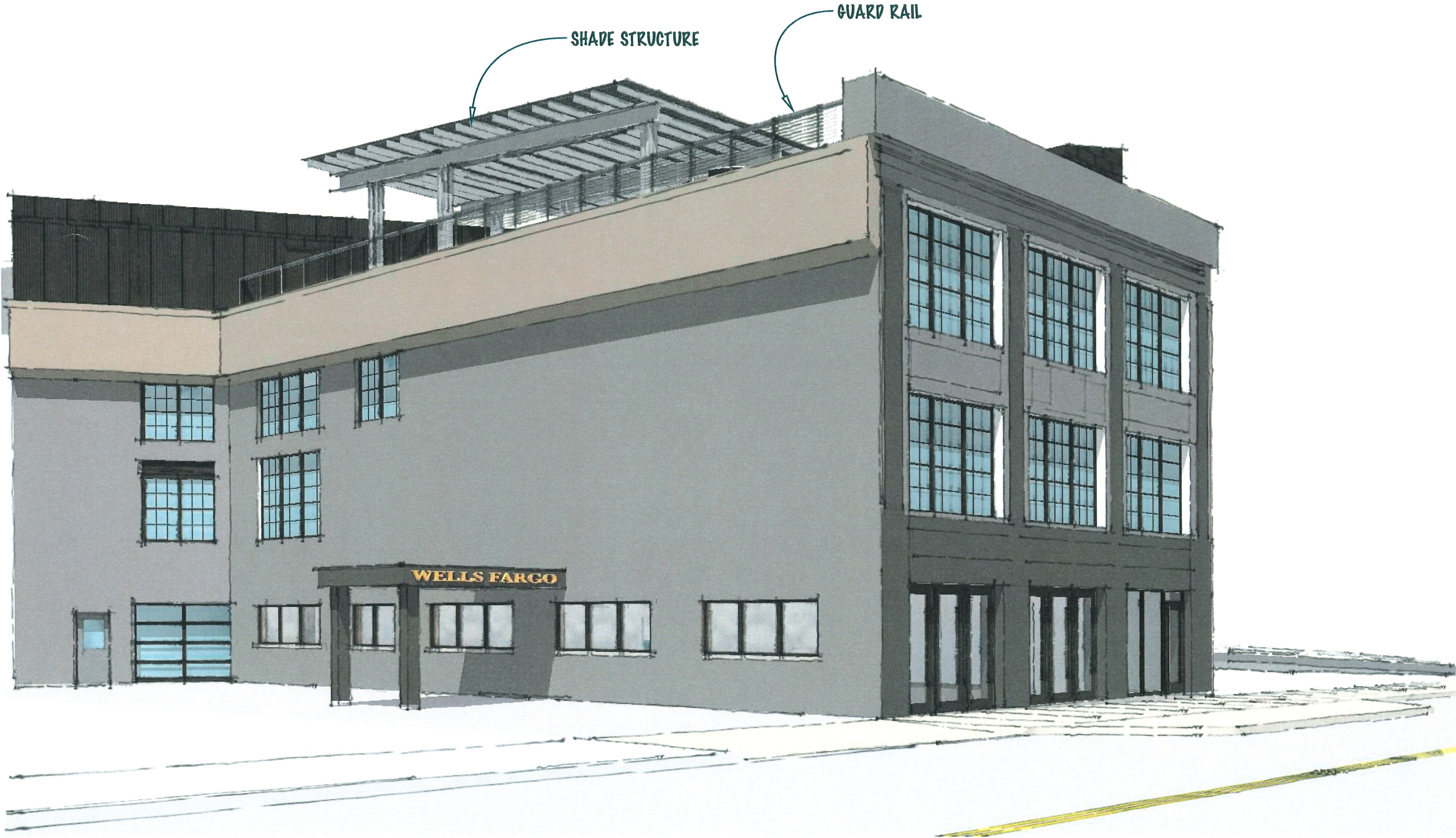
**ROOF PLAN**



1 Proposed Rooftop Elements  
NTS



SEEKING APPROVAL FOR:  
1. STEEL AND GLASS SOLAR COLLECTING SHADE STRUCTURE  
2. GUARD RAIL ALONG WEST EDGE OF ROOF, ATTACH TO INSIDE OF EXISTING PARAPET, SEE DETAIL ON p 9



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**ROOFTOP  
BIERGARTEN**

1 Proposed - Rooftop biergarten improvements (seen from Broadway)  
NTS

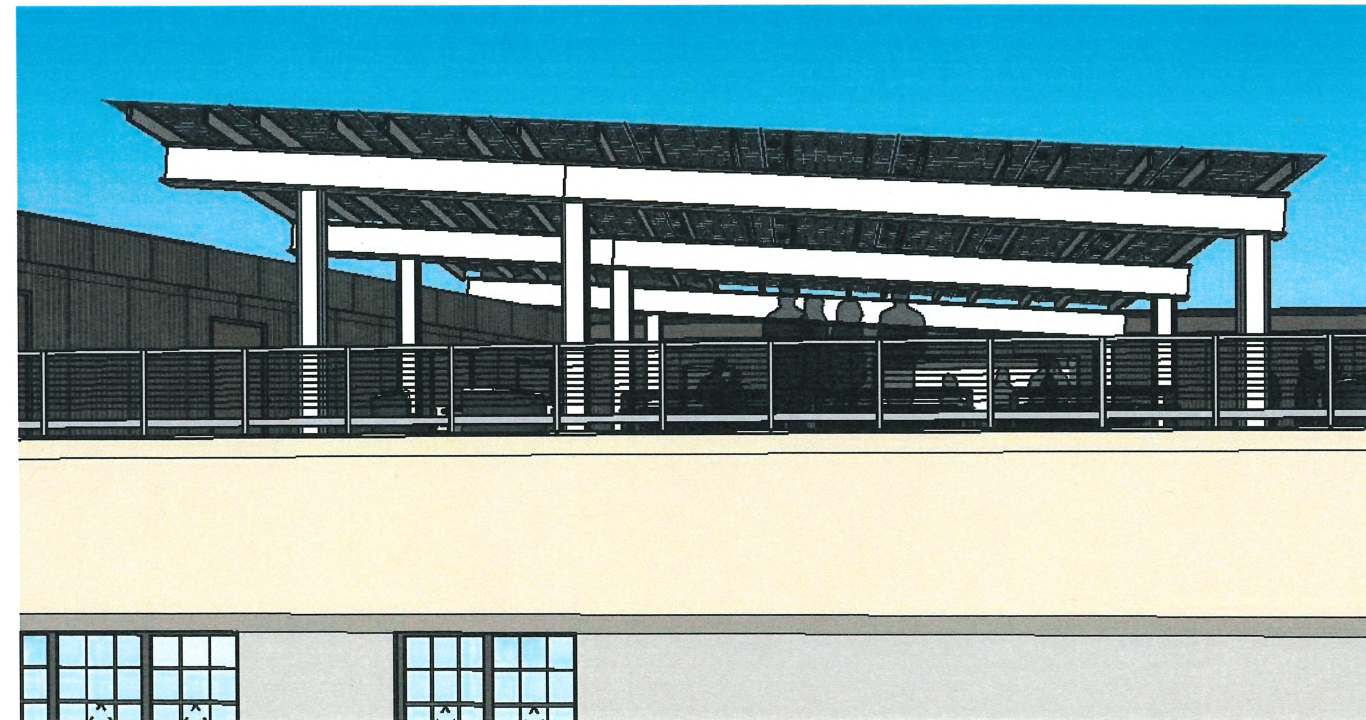




LUMOS LSX SOLAR COLLECTER CANOPY ON STEEL FRAME



ZEST, BETHLEHEM



PROPOSED DESIGN



GUARD RAIL EXAMPLE, ARTSQUEST CENTER @ STEELSTACKS



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**BIERGARTEN  
AESTHETIC**



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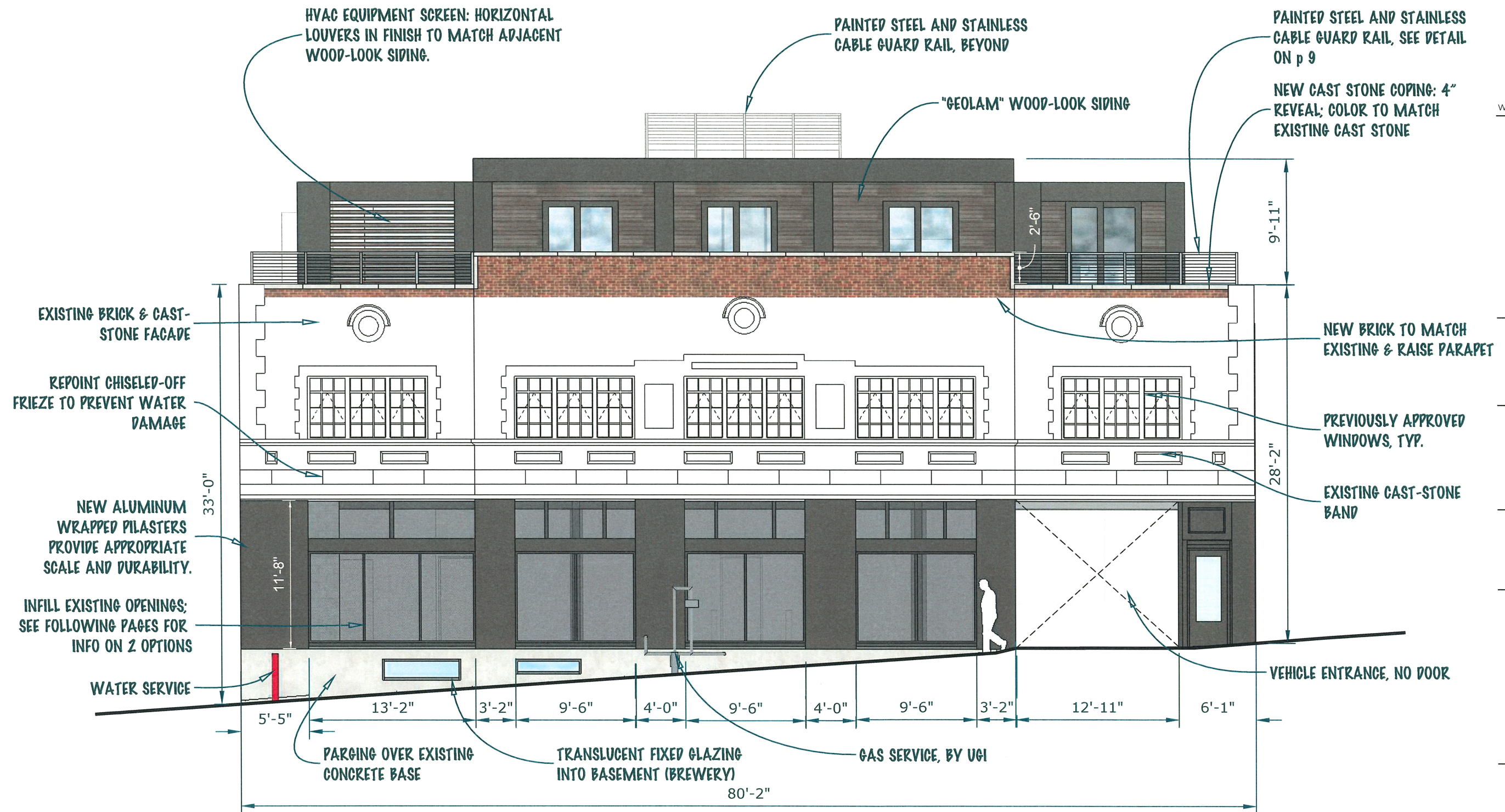
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**UNCOVERED  
FACADE**

**5**







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**PROPOSED  
4TH STREET  
ELEVATION**

**1** Proposed North Elevation (4th Street)  
1/8" = 1'



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**4TH STREET -  
option 1**

**7**



IMAGE ABOVE IS FROM THE NEW STREET PARKING DECK. THE SAME MATERIALS ARE PROPOSED HERE.

STOREFRONT SIZES, LOCATIONS, AND MULLION DESIGN RELATE TO THE ORIGINAL BUILDING'S STOREFRONT GLASS.

ALUMINUM STOREFRONT FRAMING IN DARK BRONZE

PERFORATED METAL SCREEN IN BLACK, AS SEEN ABOVE

NO GARAGE DOOR

1

Infill option 1 - perforated metal screen

NTS



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**4TH STREET -  
option 2**

**8**



GEOLAM EXTRUDED ALUMINUM HORIZONTAL SLATS ARE 5 1/8" X 2 1/8" AND ATTACHED TO A CONCEALED STEEL FRAME

PERFORATED METAL SCREENS IN BLACK, ARE SHOWN IN UPPER PORTION OF OPENING TO MAINTAIN HISTORIC PROPORTIONS (SAME PRODUCTS AS PREVIOUS PAGE)

THIS PRODUCT WAS SELECTED FOR DURABILITY AND AS A VISUAL CONNECTION TO THE SIDING OF THE ROOFTOP ADDITION (SAME MANUFACTURER AND COLORWAY)

NO GARAGE DOOR

1

Infill option 2 - Geolam horizontal slats

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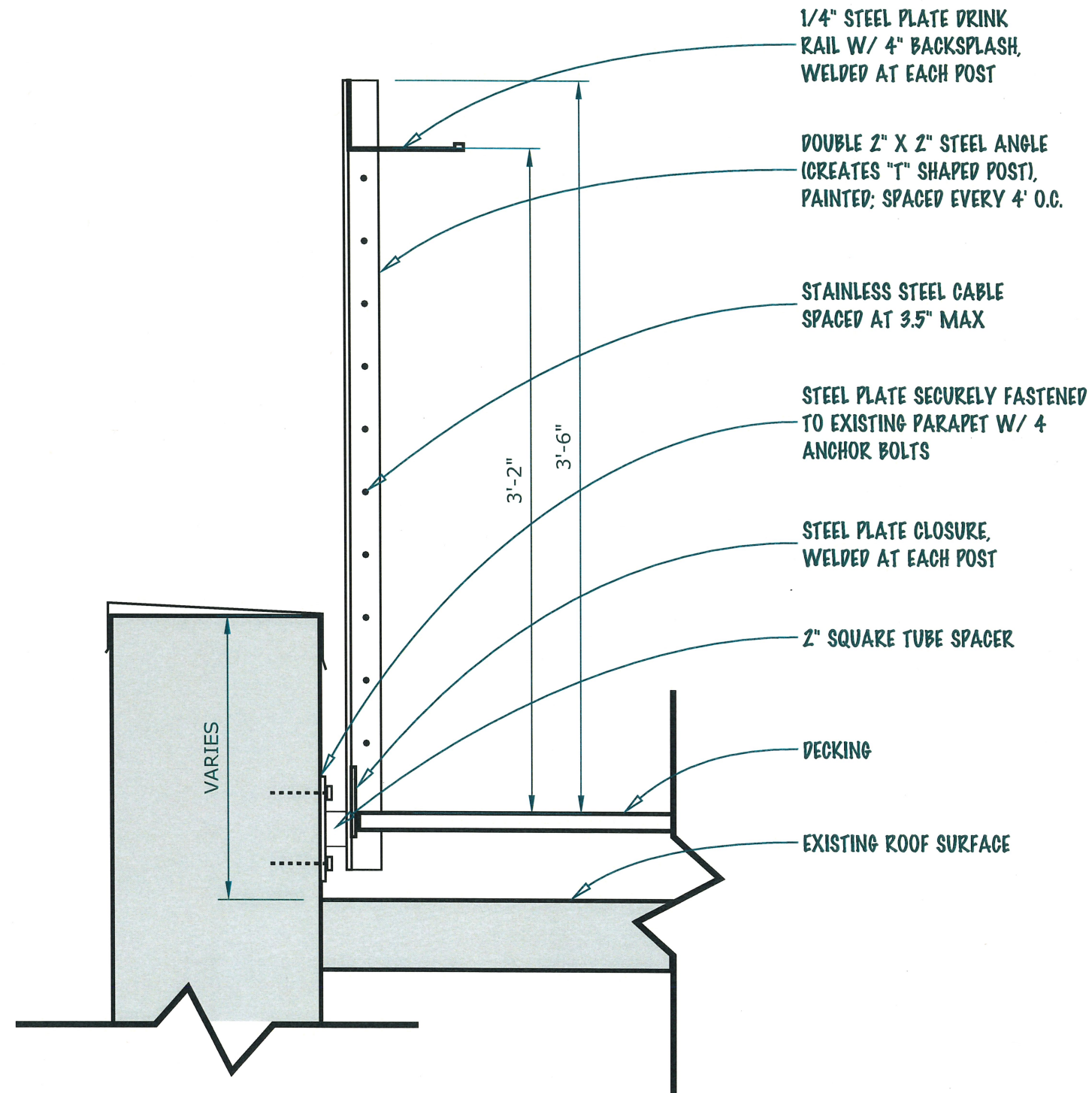
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**RAILING  
DETAIL**



1 Guard rail detail  
NTS