



424 CENTER STREET

HISTORIC ARCHITECTURAL REVIEW BOARD - CONCEPTUAL REVIEW APPLICATION | 06.23.2021

JOSH MCCULLAR ARCHITECTS LLC



EXISTING ENTRY DOOR TO BE REPLACED

VIEW AT THE CORNER OF CENTER & WALL STREETS



VIEW ALONG CENTER STREET



EXISTING GARAGE TO BE DEMOLISHED

VIEW FROM CENTER STREET INTO EXISTING COURTYARD



VIEW AT THE CORNER OF CENTER & WESLEY STREETS



EXISTING GARAGE TO BE REMOVED

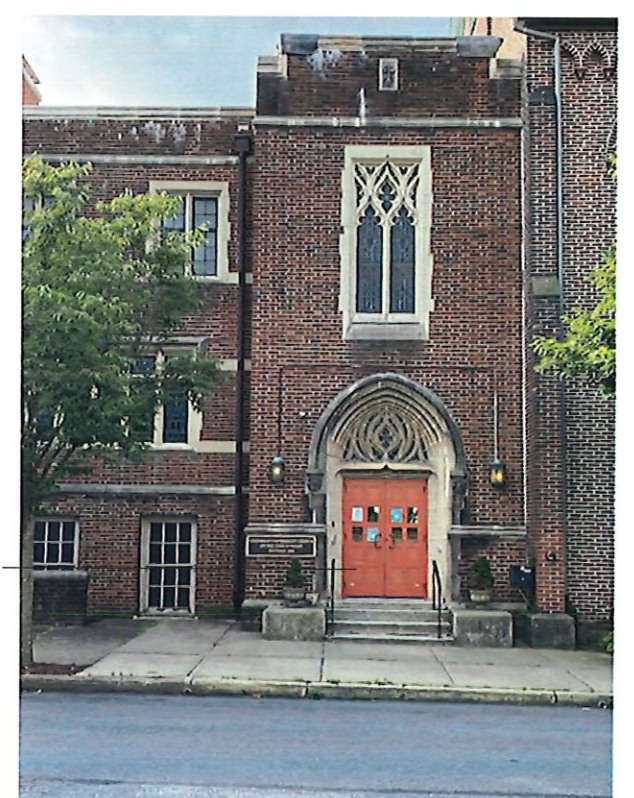
EXISTING GARAGE TO BE DEMOLISHED
EXISTING EXTERIOR DOOR TO LEVEL 01 TO BE REPLACED



VIEW AT THE CORNER OF WESLEY & PINE STREETS



VIEW ALONG WALL STREET



EXISTING EXTERIOR DOOR TO BE REPAINTED

WALL STREET ENTRANCE

PHOTOGRAPHS OF EXISTING BUILDING

PROJECT DESCRIPTION

This application is for the conceptual approval of the proposed project at 424 Center Street, as described below and represented in the images and drawings on the following pages. Upon conceptual approval of the direction, specific decisions regarding details (as noted) and final material selections will be developed and presented for final approval.

Since the 1869, the distinctive church building situated at the corner of Center and Wall Streets has served the Bethlehem Historic District in many ways. A local artist is now giving new life to this building, which will be transformed as a central location for an Artist Management Company, and will house private display galleries, studio work spaces, and private offices.

To ensure the integrity of the building for the coming generations, portions of the exterior masonry are to be repaired. A General Contractor and masonry subcontractor have been engaged, and are currently assessing existing conditions and determining scope and direction for the masonry restoration. Included in this work will be repointing and/or replacement of the existing brick, as well as repair of the existing masonry caps at the Annex.

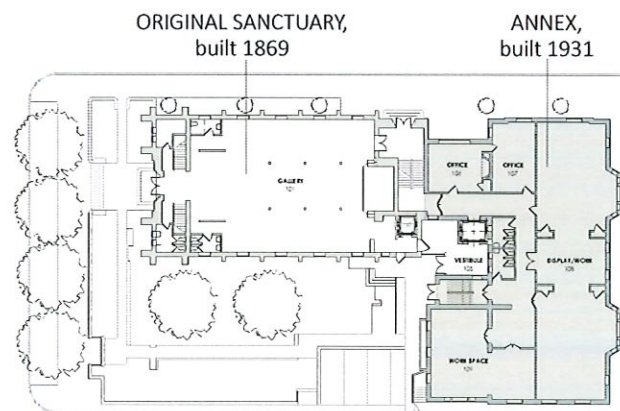
The Original Sanctuary building is proposed to contain private gallery spaces. Currently, this portion of the existing building contains all stained-glass or textured glass windows. To allow more natural light into the space and provide views out, all the existing windows in the new Gallery spaces are proposed to be removed. New, custom windows are proposed to be installed in the original window openings; however, the new windows will have clear glass in order to provide views out and allow the galleries to be filled with natural light.

The Annex contains the original historic steel windows, which also have textured glass. The glass in the existing windows also currently inhibit light from entering into the spaces and prevents clear views out. It is proposed to restore the original steel frames and remove the existing glass, which is to be replaced with clear glass to allow more natural light into the spaces.

As a result of the building being built in two phases, the floor levels between the original Sanctuary and Annex do not align. To assist in navigating between the two portions of the building, a new addition is proposed to house a passenger elevator, which will be located between the Original Building and the Annex. The new addition will also serve as a new main, accessible entry from a new parking area. An existing garage is proposed to be demolished to allow for the new parking area and access to the new accessible entrance. **Conditional approval in advance of final project approval is requested for the removal of the existing garage in order to allow for interior selective demolition work to proceed.**

The materiality of the addition and the courtyard are intended to be sympathetic to each other, while serving as a contrast that highlights the existing building. Additionally, the facades of the addition are comprised mostly of large expanses of glass that create a transparent layer serving to frame views of the walls of the existing building. To achieve this, the courtyard is envisioned to be surrounded by cream-colored limestone walls and sit atop a granite base in a similar color range. Limestone and granite were chosen due to their use locally, and also to act as a distinct, yet complimentary, material against to the existing brick building. Moments of decorative architectural concrete feature walls are placed in select locations. The walkways will be limestone or granite pavers to match the walls. Sunken concrete pools line the edge of the site along Wesley Street, which creates a sculptural expression within the landscape. Decorative metal (bronze or aluminum) handrails, lockable entry gates, and an aluminum sliding gate at the parking complete the exterior material palette.

Discreet signage, such as a building plaque, is envisioned at one of the entry doors. As the design develops, exterior lighting in the Courtyard will also be considered.



AXONOMETRIC VIEW OF SITE





VIEW AT THE CORNER OF CENTER & WESLEY STREETS



INTERIOR OF COURTYARD TOWARD ADDITION



INTERIOR OF COURTYARD TOWARD ADDITION



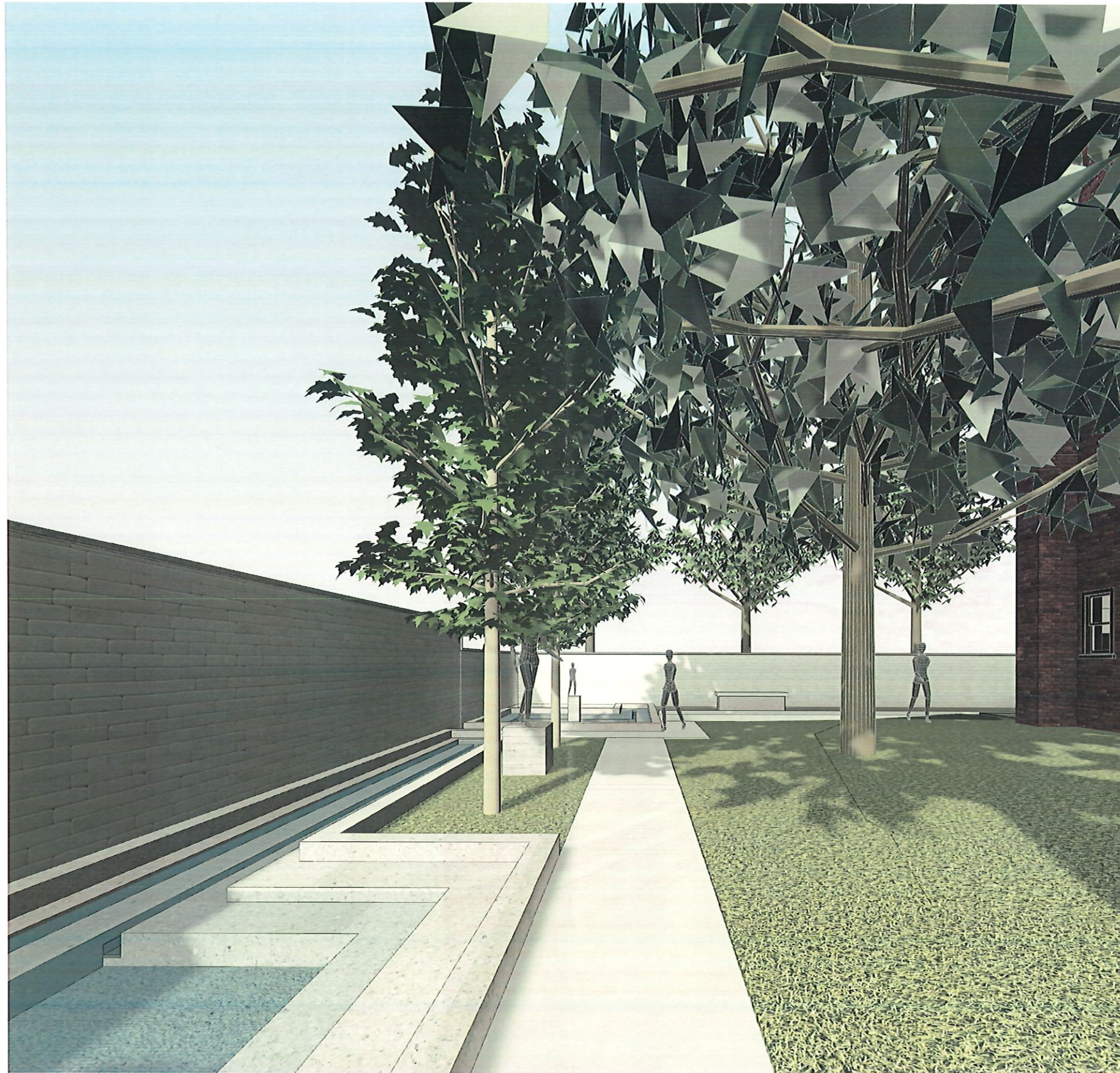
INTERIOR OF COURTYARD TOWARD ADDITION



INTERIOR OF COURTYARD TOWARD ADDITION



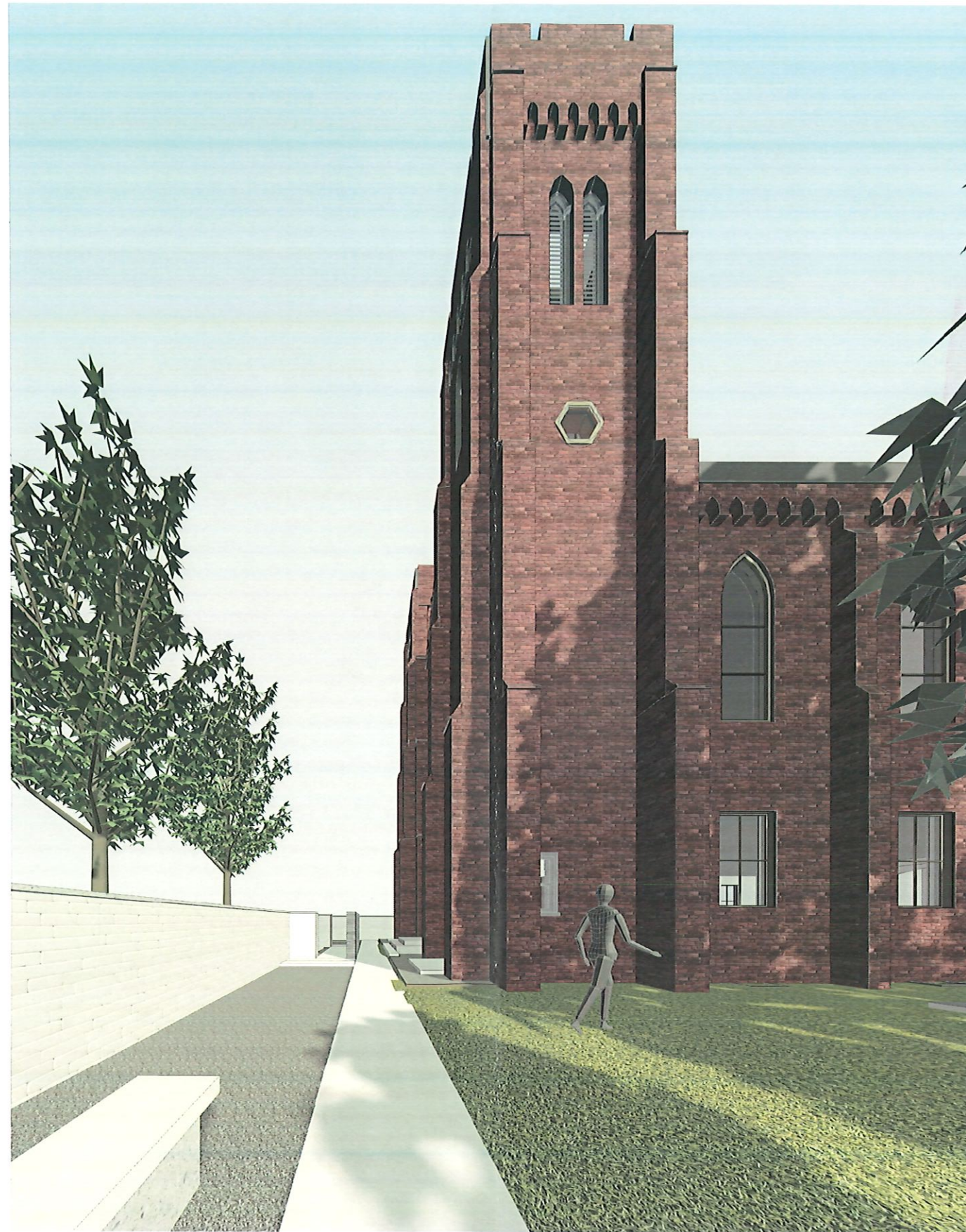
INTERIOR OF COURTYARD TOWARD CENTER STREET



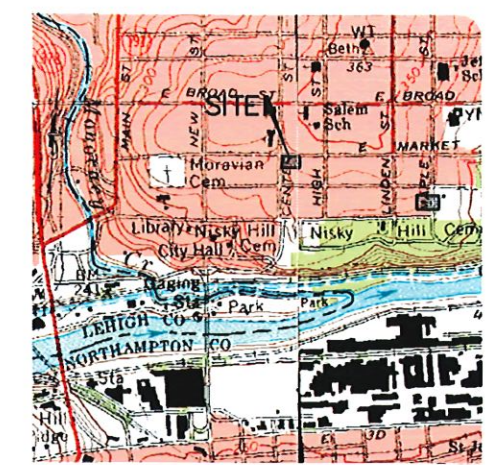
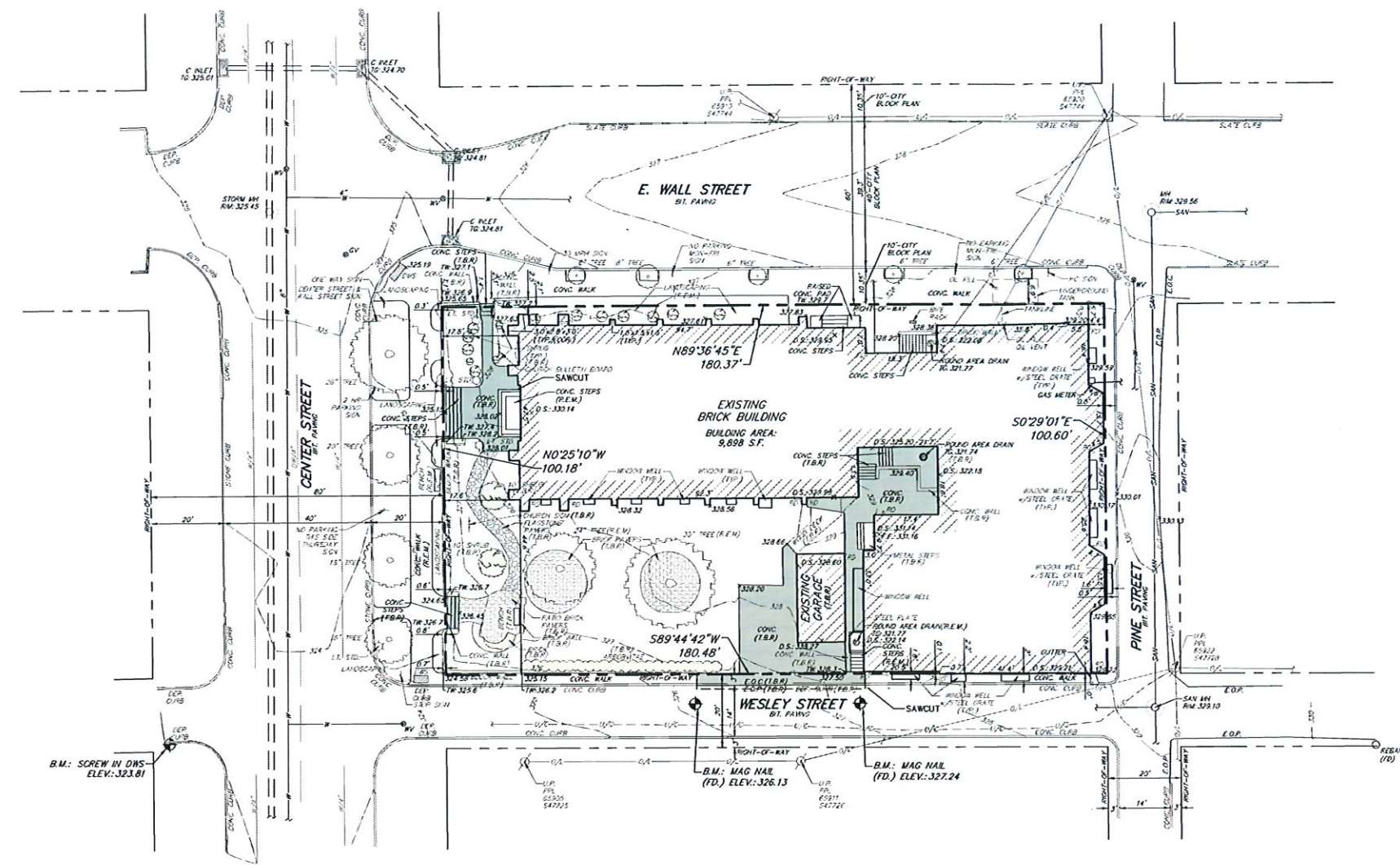
INTERIOR OF COURTYARD TOWARD CENTER STREET



INTERIOR OF COURTYARD TOWARD CENTER STREET



INTERIOR OF COURTYARD TOWARD WALL STREET



LOCATION MAP
SCALE: 1" = 1000'

SITE DATA:
 OWNER: UNITARIAN BAPTIST CHURCH
 SITE ADDRESS: 424 CENTER STREET, BETHLEHEM, PA 18017
 DEED REFERENCE: D.B.V. 1995-1, PG. 1166894
 COUNTY PARCEL: PENAB-2-2-0204E
 TOTAL AREA: 18,113 S.F.
 NUMBER OF LOTS: ONE (1)
 SEWER: MUNICIPAL
 WATER: MUNICIPAL
 DATUM: NGVD 1929

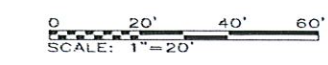
DEMOLITION LEGEND

CONCRETE	
BRICK PAVERS	
FLAGSTONE PAVERS	
WALLS	
SHRUBS/PLANTINGS	
TO BE REMOVED	(TBR)
TO REMAIN	(REM)

LEGEND

PROPERTY BOUNDARY	
LOT LINE	
LEGAL RIGHT-OF-WAY	
CURBING	
BUILDING	
UTILITY POLE	
OVERHEAD WIRES	
OVERHEAD ELECTRIC	
OVERHEAD TELEPHONE	
UNDERGROUND ELECTRIC	
UNDERGROUND TELEPHONE	
WATER MAIN & VALVE	
GAS MAIN & VALVE	
SANITARY LINE, MANHOLE, & CLEANOUT	
STORM LINE, MANHOLE, & INLET	
SIGN	
DECIDUOUS TREE	
CONTOUR	
SPOT ELEVATION	
TOP OF WALL	
EDGE OF PAVEMENT	
EDGE OF CONCRETE	
BITUMINOUS	
TYPICAL	
FINISHED FLOOR	
DOOR SILL	
DETECTABLE WARNING SYSTEM	

NOTE:
 VERTICAL TEXT INDICATES PROPOSED FEATURES
 SLANTED TEXT INDICATES EXISTING FEATURES



NOTE:

- THIS DRAWING HAS BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION. THE SURVEYOR HAS NOT VERIFIED THE ACCURACY OF THE UNDERGROUND UTILITIES AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY BE INCORPORATED HEREIN AS A RESULT. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO ANY FUTURE CONSTRUCTION.
- SURVEY IS TIED INTO CITY OF BETHLEHEM CONTROL MONUMENT STATION 4005, LOCATED AT CITY MUNICIPAL BUILDING PLAZA. STATION IS A BRASS DISK ON S.W. CORNER OF PLATFORM. DISK IS REFERENCED TO NAD 1983 COORDINATE SYSTEM IN INTERNATIONAL FEET AND ELEVATION IS 90.139 METERS = 295.73 FEET (NGVD 1929).
- THE BASIS OF BEARING FOR THE SUBJECT SURVEY IS THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (SOUTH ZONE).
- DATE OF SURVEY: MARCH 3, 2021
- ANY DISCREPANCIES IN RECONCILIATION OF RECORD INFORMATION WITH FIELD MEASUREMENTS SHOWN ON THIS SURVEY ARE DUE TO THE PROFESSIONAL EVALUATION OF SEVERAL FACTORS INCLUDING, BUT NOT LIMITED TO DEED CALLS, LOCATION OF CORNER MONUMENTATION, LOCATIONS OF LONG STANDING POSSESSION LINES OR OTHER BOUNDARY LINE EVIDENCE, CARTWAY LOCATIONS (ROADS), INTENT OF ORIGINAL SURVEY, SENIORITY OF TITLE AND ERROR IN RECORD MEASUREMENTS AND/OR CLOSURES.



Know what's below.
 Call before you dig.

NOTE:

"PURSUANT TO THE REQUIREMENTS OF PA ACT 287, AS AMENDED, ISETT CONTACTED ONE CALL, INC. FOR A DESIGN PHASE LOCATION REQUEST. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE-GROUND EXAMINATIONS OF THE SITE. COMPLETENESS, ACCURACY, LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. THE CONTRACTORS, AT LEAST THREE (3) DAYS PRIOR TO PERFORMING ANY EXCAVATIONS, SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS AND DEPTHS OF ALL UNDERGROUND FACILITIES LOCATED WITHIN THE VICINITY OF THE WORK SITE IN ACCORDANCE WITH ACT 121. (PA ONE CALL SYSTEM, INC. 1-800-242-1776)."

THE SITE SERIAL NUMBER IS 20210562265, 20210562287, 20210562304, 20210562317.

EXISTING FEATURES & DEMOLITION PLAN
 424 CENTER STREET
 UNITARIAN UNIVERSALIST CHURCH
 CITY OF BETHLEHEM
 NORTHAMPTON COUNTY, PA

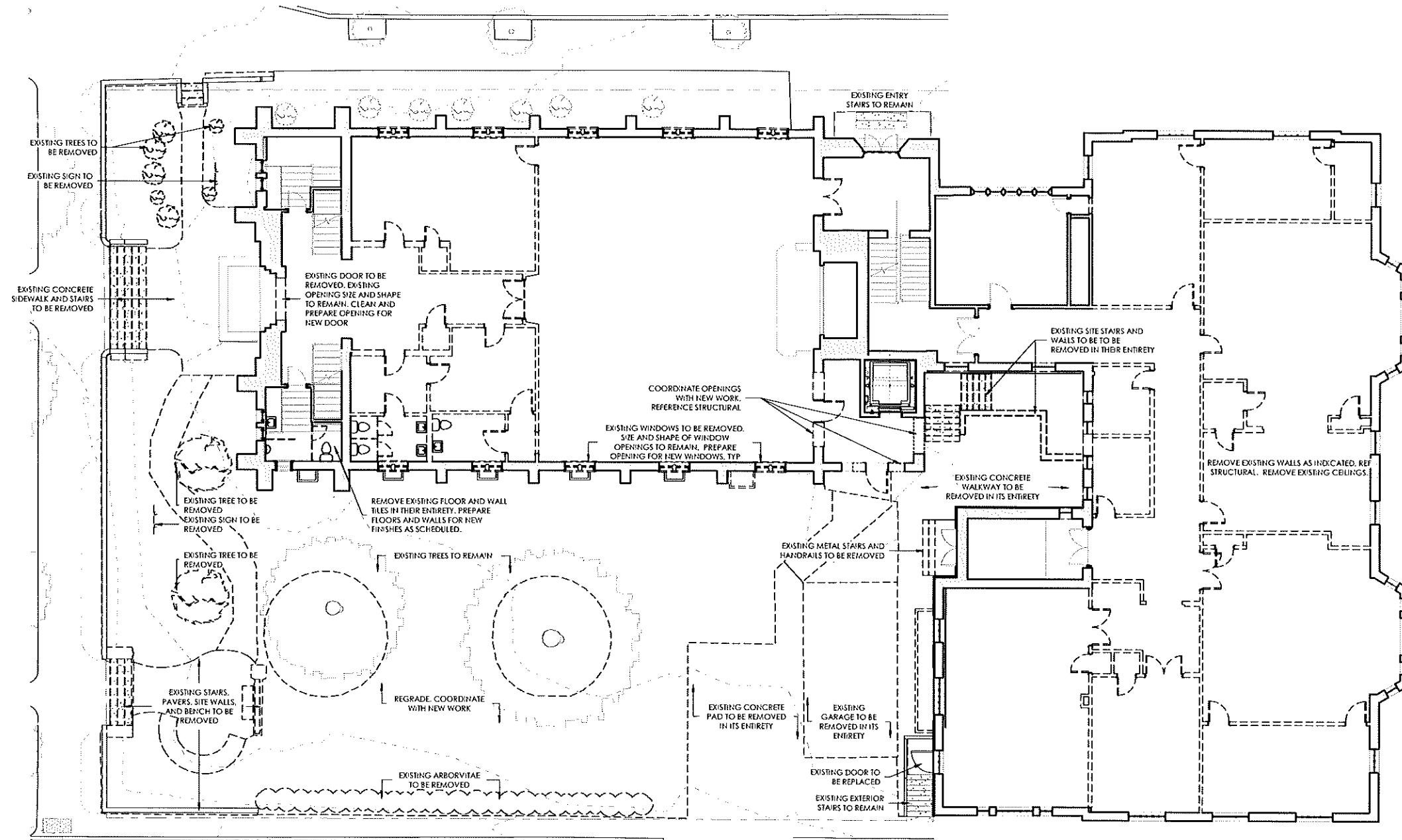
DATE:	6/21/2021	DSGN:	
SCALE:	1" = 20'	CHK:	PTS
DRAWN:	LJA	APPRD:	
JOB:	1069720.000	P MGR:	PTS

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 SHEET: 2 OF 3

EF-1

610.935.2175
 barrysett.com
 1003 Egypt Road
 Phoenixville, PA 19460

BARRY SETT & ASSOCIATES
 MULTI-DISCIPLINE ENGINEERS AND CONSULTANTS



01 SITE, MEZZANINE AND LEVEL 02 DEMOLITION PLAN
1/8" = 1'-0"

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People
Josh McCullar and Kate Conner

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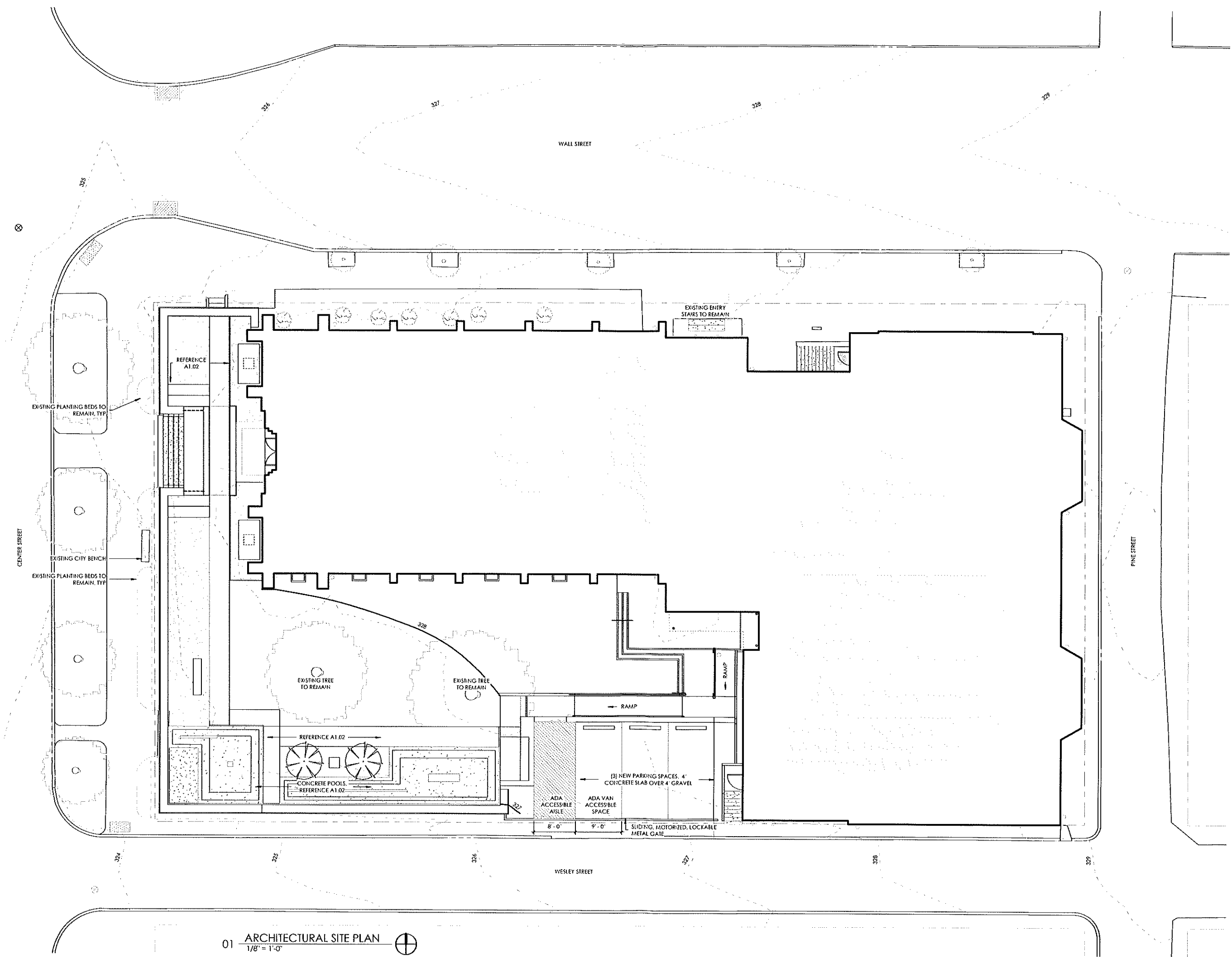
HARB - CONCEPTUAL REVIEW
NOT FOR CONSTRUCTION


424 CENTER STREET
424 CENTER STREET
BETHLEHEM, PA 18018
PROJECT # 2101

ARCHITECTURAL SITE PLAN
06.23.2021

REVISION DATE

AS101



01 ARCHITECTURAL SITE PLAN
1/8" = 1'-0" 

KEYED NOTES - FLOOR PLAN

- 01 WALL: 8" CMU CORE (12 - 15 COURSES), WITH HONED LIMESTONE VENEER OVER A SPUR-FACE GRANITE VENEER BASE AND 2" STONE CAP. REFER TO STRUCTURAL FOR REINFORCING AND FOOTING
- 02 ARCHITECTURAL CONCRETE PRIVACY WALL
- 03 DECORATIVE 305 ARCHITECTURAL BRONZE LOCUSTABLE GRATE
- 04 MORTAR-SET LIMESTONE (OR OTHER NATURAL STONE) PAVERS OVER A CONCRETE BASE
- 05 CUSTOM NEW WINDOWS. REF A4.00 WINDOW SCHEDULE
- 06 EXISTING STEEL WINDOW FRAMES TO BE RESTORED. REF A4.00 WINDOW SCHEDULE
- 07 ELEVATOR BASIS-OF-DESIGN: SCHINDLER TRACTION 3300 XL, 4000 LB CAPACITY, 10'-0" CAB HEIGHT, 9'-0" TALL DOORS. STAINLESS STEEL INTERIOR.
- 08 REMOVE LEADED STAINED GLASS AND REGLAZE IN-PLACE WITH CLEAR GLASS.
- 09 NEW TOILET ROOM: NEW FIXTURES AS INDICATED. PHEOLIC RESIN FLOOR-MOUNTED STALLS WHERE APPLICABLE. PORCELAIN TILE FLOOR. COORD WITH MEP.
- 10 REPAIR EXISTING PLATFORM AND STAIRS AS REQUIRED. REFRESH EXISTING PLATFORM AND STAIRS AS SCHEDULED.

STRUCTURAL, CIVIL AND MEP ENGINEERS
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 610.398.0904

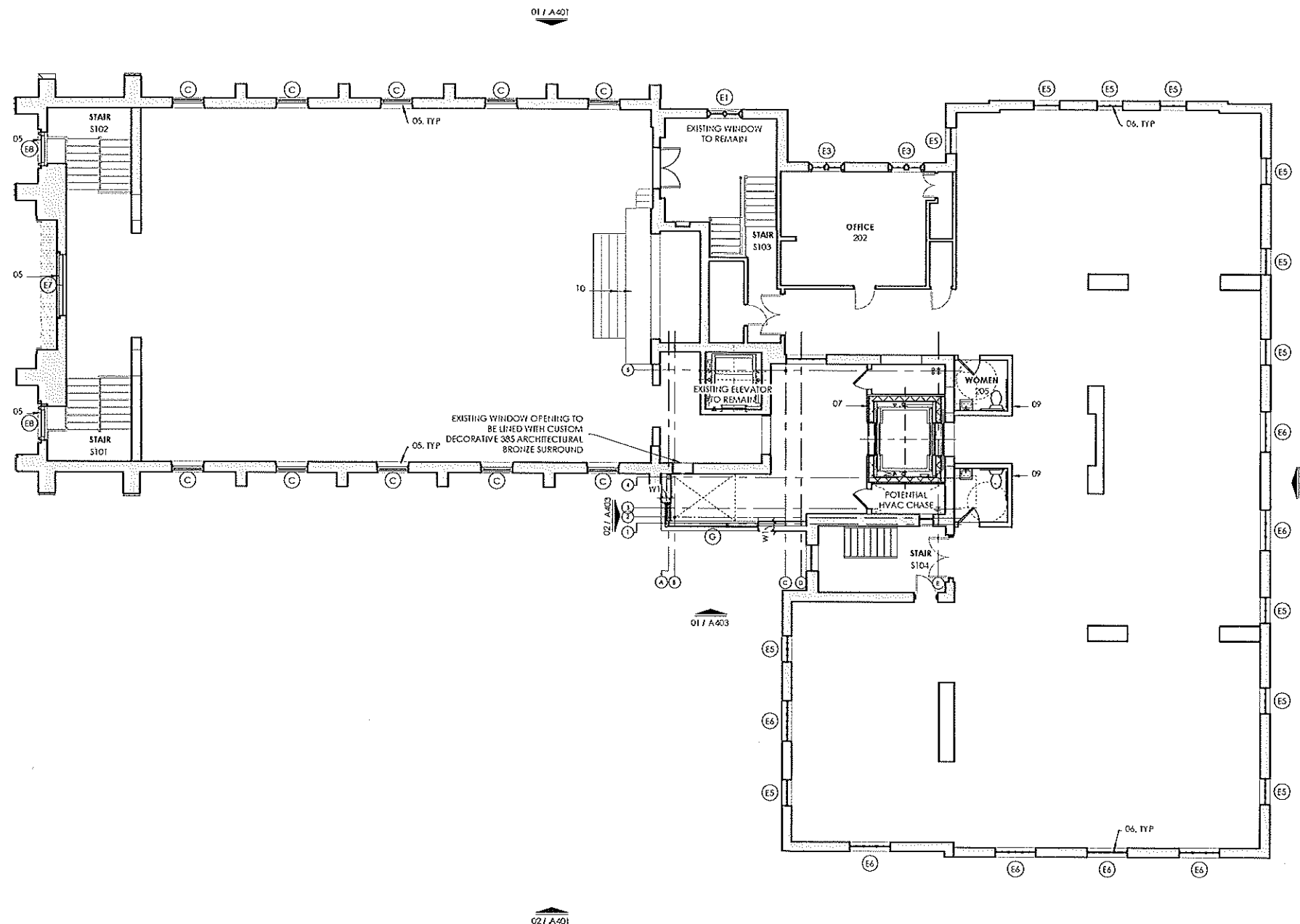
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424 CENTER STREET
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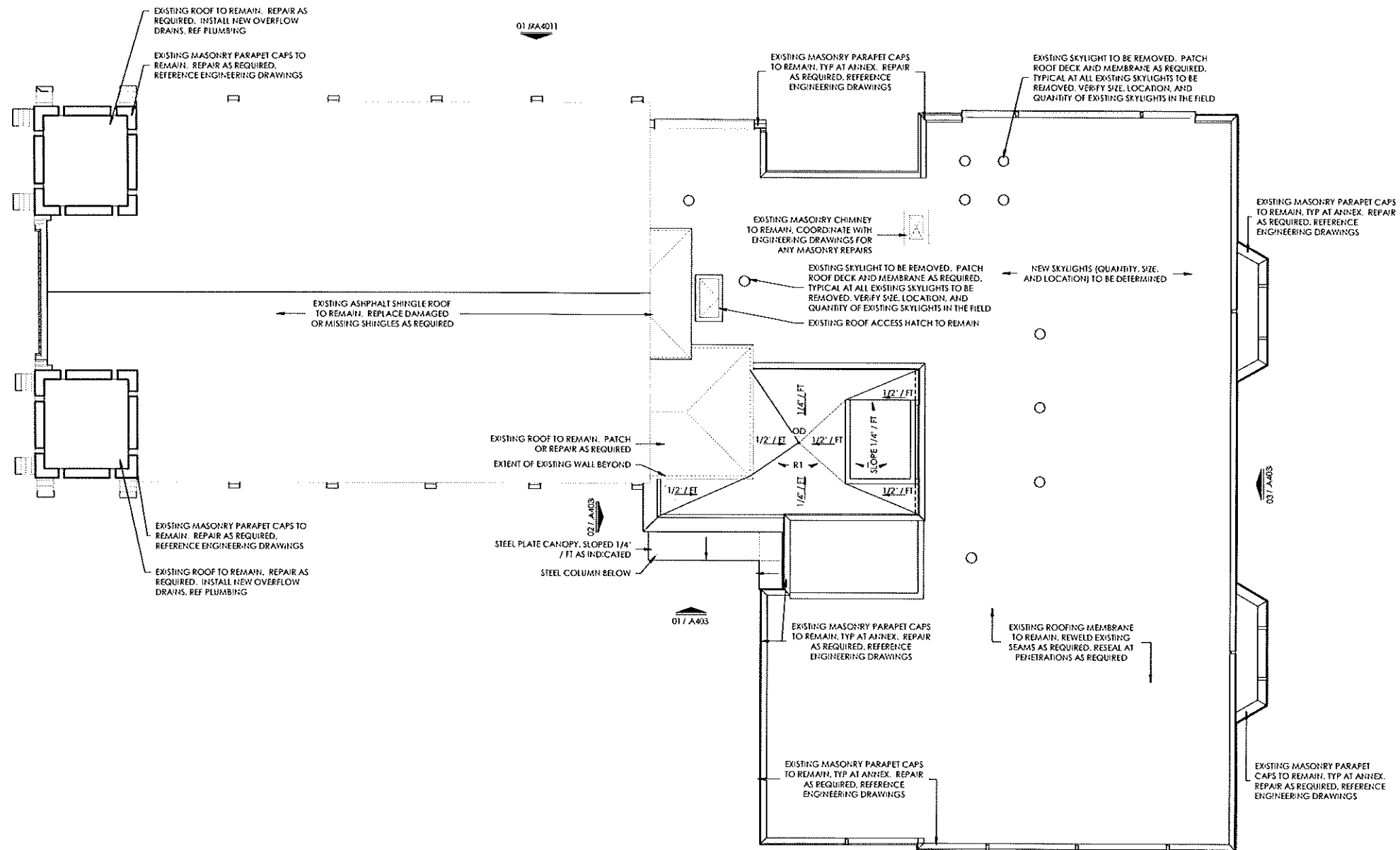
GALLERY AND LEVEL 03 PLAN

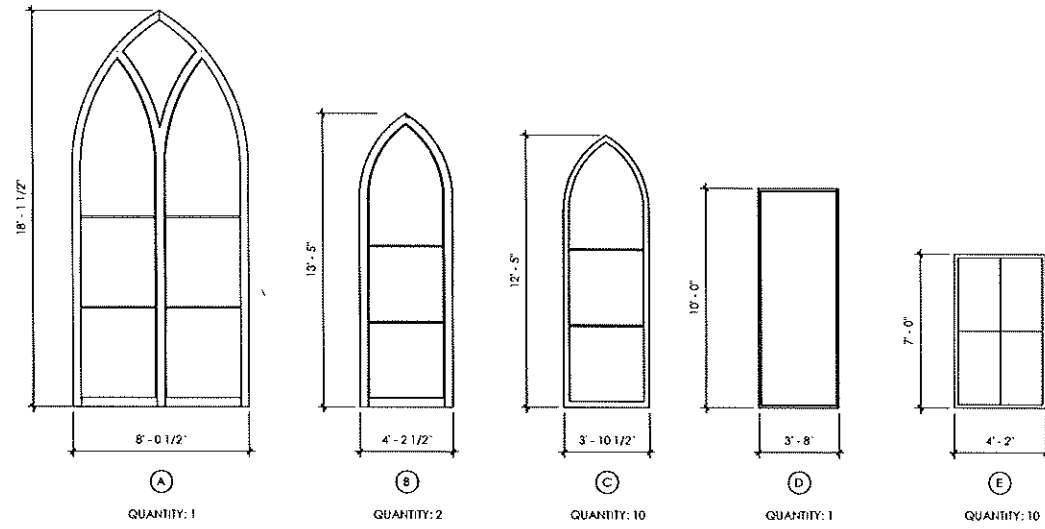
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REVISION DATE



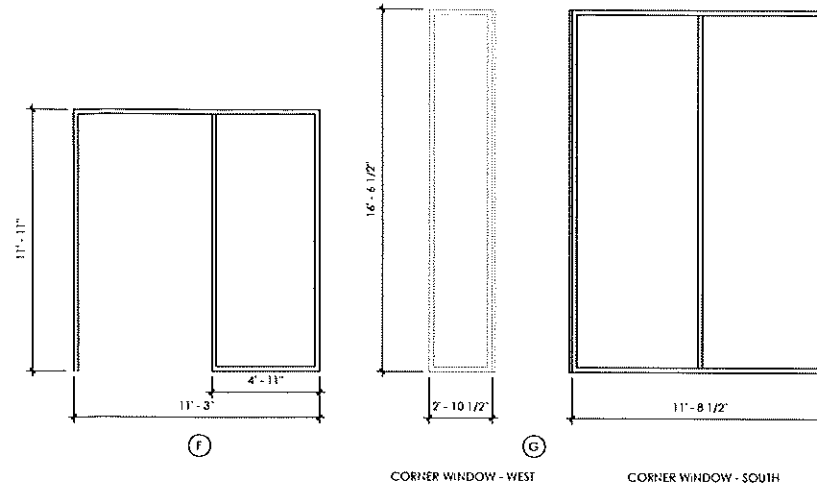
01 GALLERY AND LEVEL 03 PLAN
 1/8" = 1'-0"





FINAL DETAILING AND MULLION PROFILES FOR WINDOW TYPE A TO BE DETERMINED, PENDING APPROVAL OF WINDOW PRODUCT

FINAL DETAILING AND MULLION PROFILES FOR WINDOW TYPE B TO BE DETERMINED, PENDING APPROVAL OF WINDOW PRODUCT



CURTAIN WALL - GENERAL NOTES

- ALL DIMENSIONS ARE NOMINAL. CONTRACTOR SHALL VERIFY ALL OPENINGS OR AS-BUILT CONDITIONS PRIOR TO ORDERING WINDOWS. NOTIFY ARCHITECT OF ANY VARIATIONS FROM DESIGN INTENT.
- KAWNEER 1600 CURTAIN WALL SYSTEM 1 WITH 6" DEPTH AND 1" INFILL
EXTERIOR & INTERIOR FINISH: ANODIZED, MEDIUM BRONZE
- ALL GLASS TO BE:
 - SOLARBAN 72
 - LOW IRON/CLEAR TINT

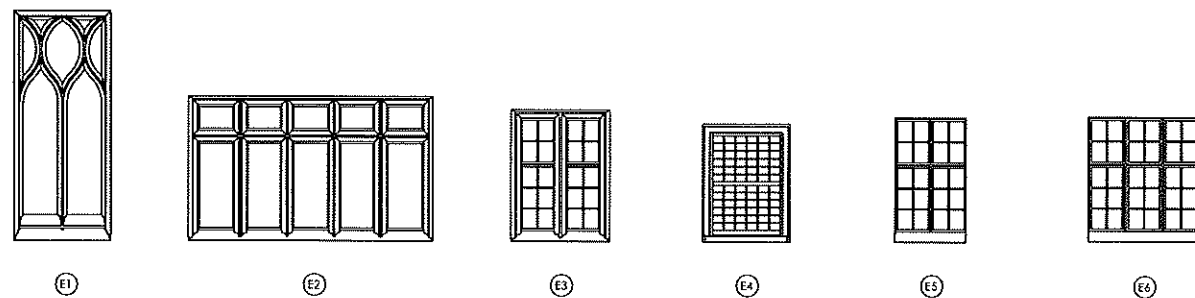
STRUCTURAL, CIVIL AND MEP ENGINEERS
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ALLENTOWN, PA 18106
610.398.0904

CURTAIN WALL WINDOW SCHEDULE

CUSTOM WINDOWS - GENERAL NOTES

- ALL DIMENSIONS ARE NOMINAL. CONTRACTOR SHALL VERIFY ALL OPENINGS OR AS-BUILT CONDITIONS PRIOR TO ORDERING WINDOWS. NOTIFY ARCHITECT OF ANY VARIATIONS FROM DESIGN INTENT. WINDOWS A - C: EXISTING WINDOW OPENING SHAPES AND SIZES TO REMAIN.
- ST. CLOUD THERMALLY BROKEN EXTRUDED ALUMINUM 3060 SERIES WINDOWS
EXTERIOR FINISH: ANODIZED CLASS 1, MEDIUM BRONZE
INTERIOR FINISH: ANODIZED CLASS 1, MEDIUM BRONZE
- ALL WINDOWS TO BE FIXED
- APPLIED MUNTIN BAR 874 (WHERE APPLICABLE)
- ALL GLASS TO BE:
 - INSULATED
 - LOW-E 366 OR EQUAL
 - CLEAR TINT

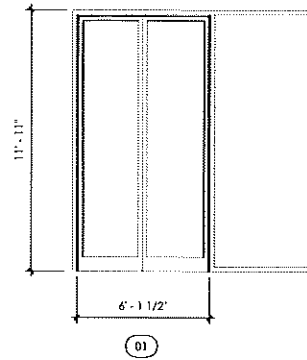
CUSTOM EXTERIOR WINDOW SCHEDULE



EXISTING STEEL WINDOWS - GENERAL NOTES

- THE FOLLOWING NOTES ARE TYPICAL FOR ALL EXISTING WINDOW TYPES AT THE ARCH. UNLESS NOTED OTHERWISE.
- ALL EXISTING STEEL WINDOW FRAMES TO BE RESTORED AND REINSTALLED IN EXISTING WINDOW OPENINGS. EXISTING WINDOW OPENING SIZES TO REMAIN.
- REMOVE LOOSE PAINT AND PREPARE FRAME FOR NEW PAINT.
- REGLAZE WITH CLEAR, TAPERED GLAZING. THICKNESS OF REPLACEMENT GLAZING TO MATCH EXISTING.
- REPAIR OR REPLACE OPERABLE HARDWARE AS NEEDED.

EXISTING HISTORIC STEEL WINDOW SCHEDULE



CURTAIN WALL DOOR - GENERAL NOTES

- ALL DIMENSIONS ARE NOMINAL. CONTRACTOR SHALL VERIFY ALL OPENINGS OR AS-BUILT CONDITIONS PRIOR TO ORDERING WINDOWS. NOTIFY ARCHITECT OF ANY VARIATIONS FROM DESIGN INTENT.
- KAWNEER 1600 CURTAIN WALL 1 SYSTEM WITH 6" DEPTH AND 1" INFILL
EXTERIOR & INTERIOR FINISH: ANODIZED, MEDIUM BRONZE
- ALL GLASS TO BE:
 - SOLARBAN 72
 - LOW IRON
- PROVIDE THE FOLLOWING HARDWARE:
 - PANIC BARS
 - AUTOMATIC CLOSERS
 - PREPARE FOR CORE CYLINDER
 - DOOR ACTUATOR, WALL MOUNT

CURTAIN WALL DOOR SCHEDULE

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NOT FOR CONSTRUCTION

424 CENTER STREET
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BETHLEHEM, PA 18018
PROJECT # 2101

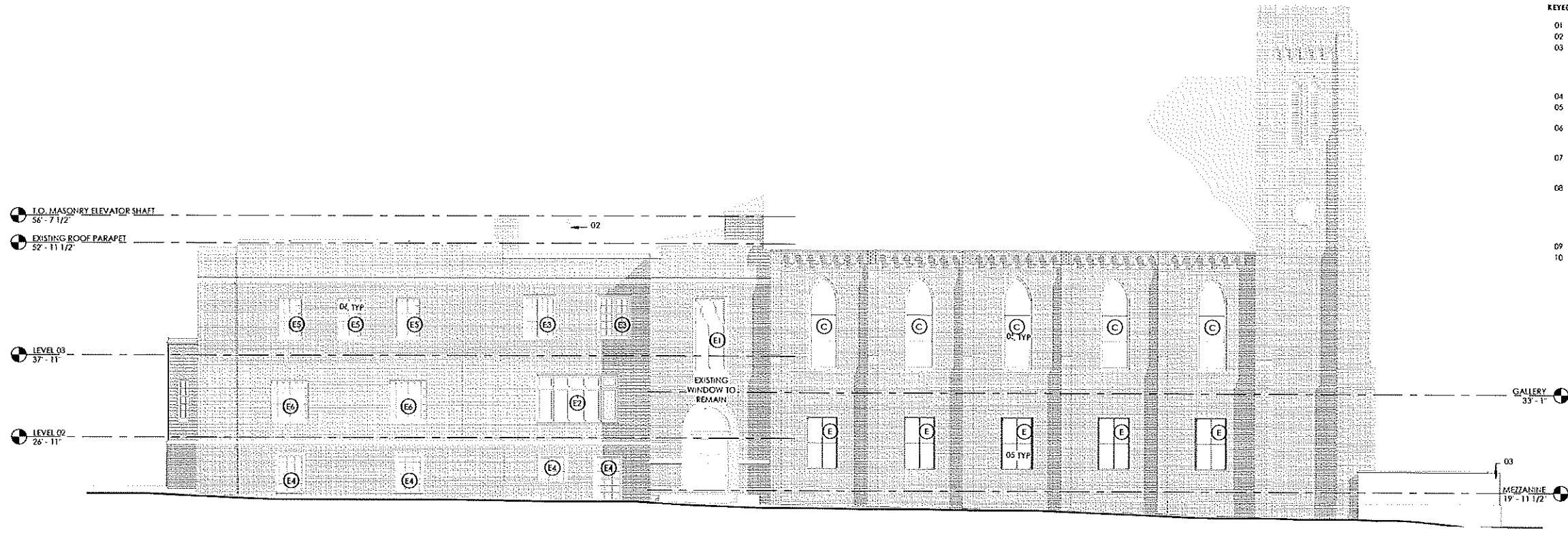
WINDOW SCHEDULE

06.23.2021

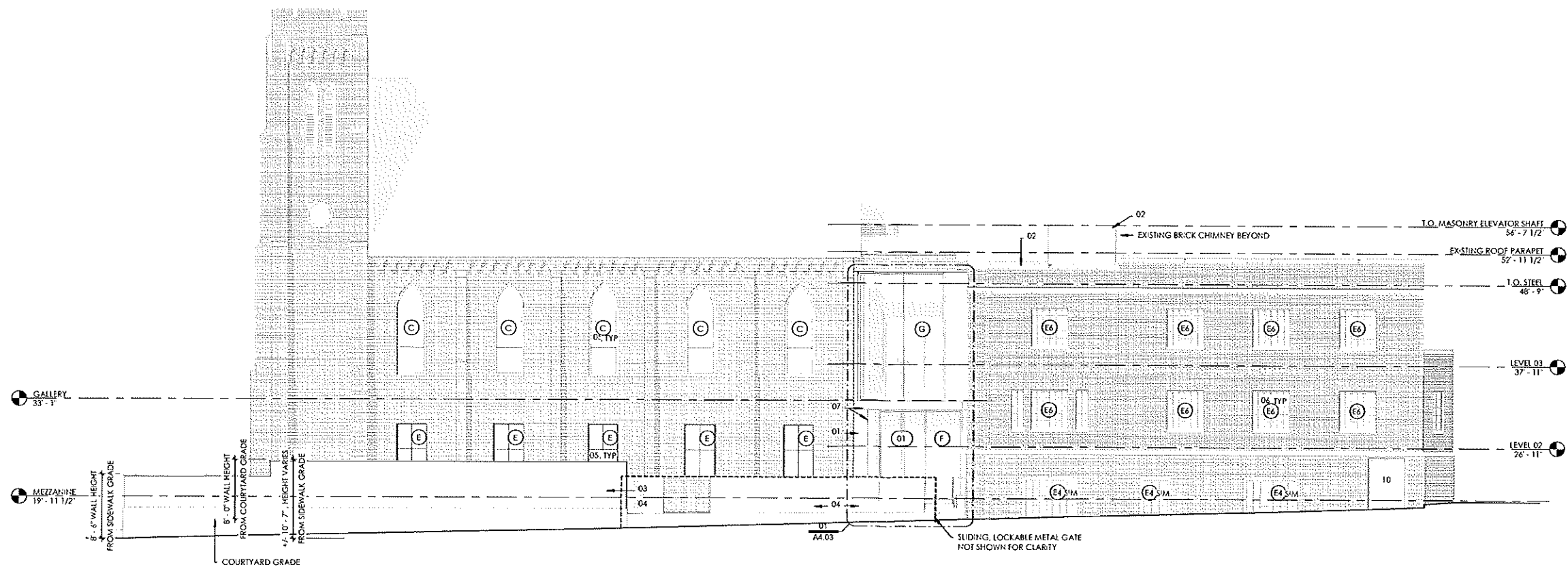
REVISION DATE

KEYED NOTES - BUILDING ELEVATIONS

- 01 W1
- 02 W3
- 03 WALL: 8" CMU CORE (12 - 15 COURSES), WITH HONED LIMESTONE VENEER OVER A SPLIT-FACE GRANITE VENEER BASE AND 2" STONE CAP. REFERENCE STRUCTURAL FOR REINFORCING AND FOOTING.
- 04 ARCHITECTURAL CONCRETE PRIVACY WALL.
- 05 CUSTOM NEW WINDOWS, REF A4.00 WINDOW SCHEDULE
- 06 EXISTING STEEL WINDOW FRAMES TO BE RESTORED, REFERENCE A4.00 WINDOW SCHEDULE.
- 07 METAL CANOPY WITH STEEL PIPE COLUMN, POWDER COATED. SLOPE CANOPY TO DRAIN.
- 08 ARCHITECTURAL CAST CONCRETE POOL WITH MOSAIC TILE AS INDICATED. POOL TO BE SEASONALLY WET (WITH RAIN WATER) OR AN ENGINEERED POOL WITH CONTINUOUSLY RUNNING WATER (TO PREVENT STAGNANT WATER CONDITIONS).
- 09 LIMESTONE OR CAST STONE BENCH
- 10 EXISTING DOOR TO BE REPLACED



01 NORTH ELEVATION
1/8" = 1'-0"



02 SOUTH ELEVATION
1/8" = 1'-0"

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People
Josh McCullar and Kane Corley

KEYED NOTES - BUILDING ELEVATIONS

- 01 W1
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- 04 ARCHITECTURAL CONCRETE PRIVACY WALL.
- 05 CUSTOM NEW WINDOWS, REF A400 WINDOW SCHEDULE
- 06 EXISTING STEEL WINDOW FRAMES TO BE RESTORED, REFERENCE A400 WINDOW SCHEDULE.
- 07 METAL CANOPY WITH STEEL PIPE COLUMN, POWDER COATED. SLOPE CANOPY TO DRAIN
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STRUCTURAL, CIVIL AND MEP ENGINEERS
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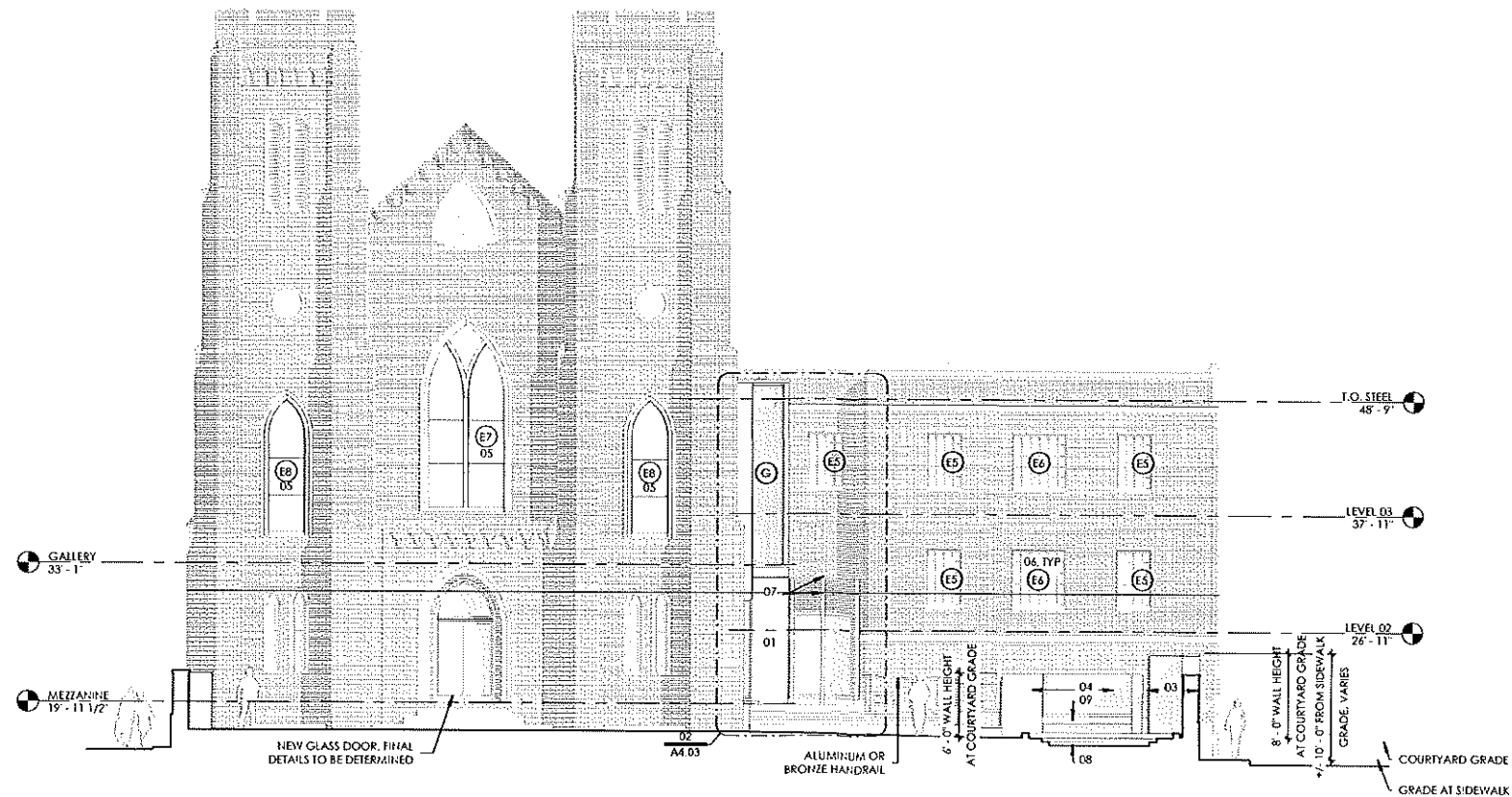
EXTERIOR ELEVATIONS

06.23.2021

REVISION DATE



01 WEST ELEVATION @ CENTER STREET
1/8" = 1'-0"



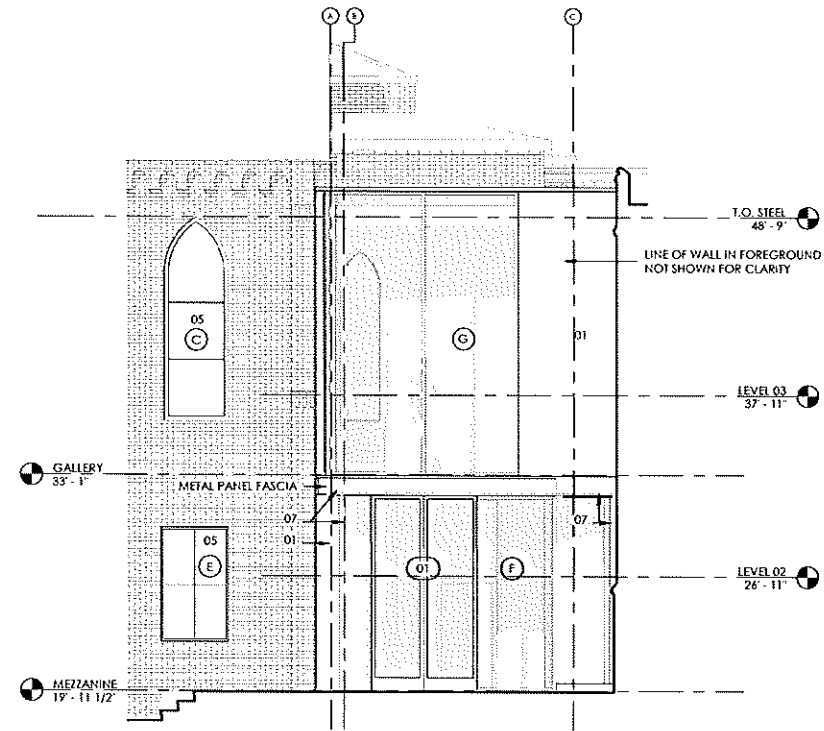
02 WEST ELEVATION @ COURTYARD
1/8" = 1'-0"

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 Phone
 804.305.4500
 Website
 www.joshmccullararchitects.com
 People
 Josh McCullar and Katie Corley

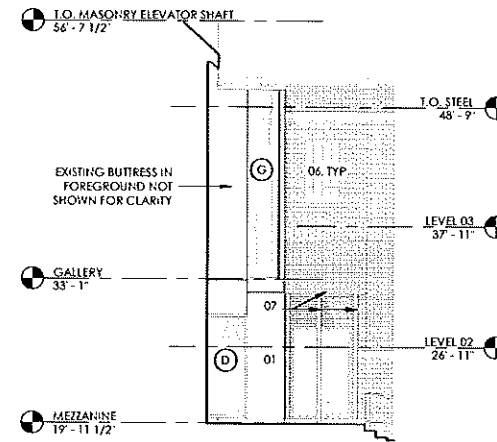
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- 09 LIMESTONE OR CAST STONE BENCH
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 610.398.0904



01 SOUTH ELEVATION @ ADDITION
 3/16" = 1'-0"



02 WEST ELEVATION @ ADDITION
 1/8" = 1'-0"



03 EAST ELEVATION
 1/8" = 1'-0"

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 424 CENTER STREET
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 PROJECT # 2101

EXTERIOR ELEVATIONS

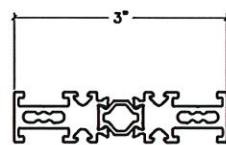
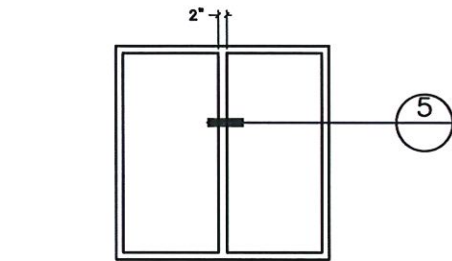
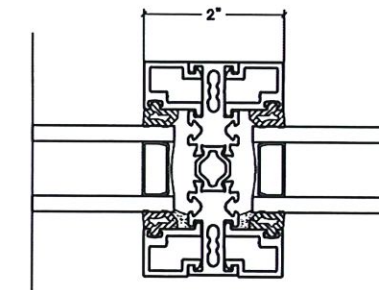
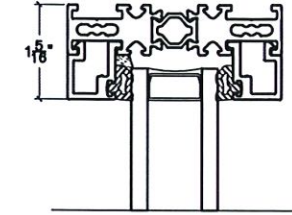
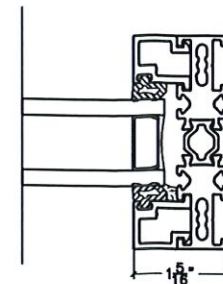
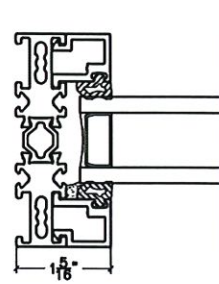
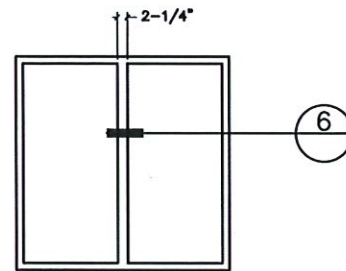
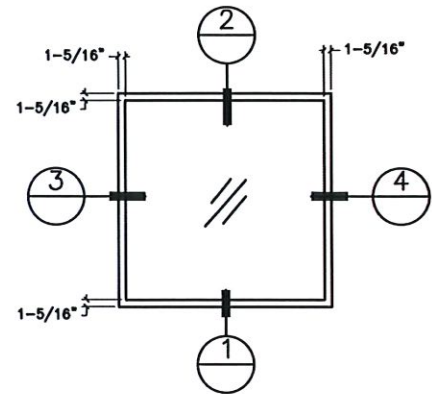
06.23.2021

REVISION DATE

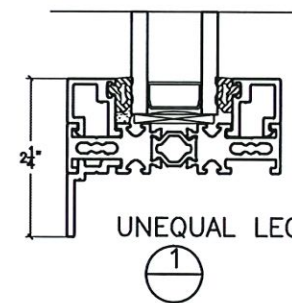
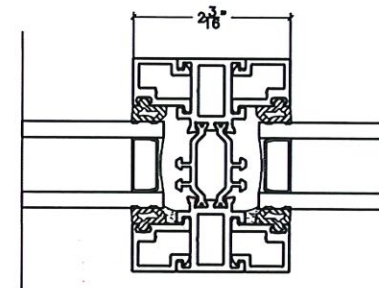
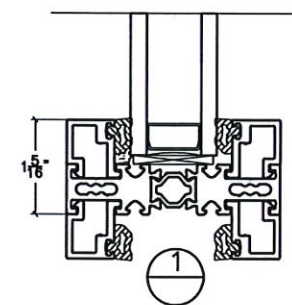
**3000 SERIES
 NARROW FIXED**

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 NARROW FIXED**

**3000 SERIES
 NARROW FIXED**



3000 FIXED FRAME



THE DRAWINGS INCLUDED HERE ARE THE STANDARD DETAILS FOR THE PROPOSED ST. CLOUD SCW 3060 FIXED NARROW SIGHTLINE EXTRUDED ALUMINUM, AND ARE NOT PROJECT-SPECIFIC. FINAL DETAILS, MUNTINPROFILES, GLAZING STOPS, AND COLORS HAVE NOT YET BEEN SELECTED.