



SITE ADDRESS: 1949 Main St.

Office Use Only:

DATE SUBMITTED: FEBRUARY 24, 2020

HEARING DATE: MARCH 25, 2020

PLACARD: MARCH 11, 2020

FEE: \$ 250⁰⁰

ZONING CLASSIFICATION: RR

LOT SIZE: .81 ACRES

**APPLICATION FOR APPEAL TO THE CITY OF BETHLEHEM ZONING HEARING BOARD,
10 E. CHURCH STREET, BETHLEHEM, PA 18018**

1. Return one (1) original and seven (7) copies of this application and all supporting documentation to the Zoning Officer, along with the filing fee. Include site plans and/or floor plans as necessary.
2. *The application is due by 4PM the 4th Wednesday of the month. The hearing will be held the 4th Wednesday of the next month.*
3. If you are submitting MORE THAN 10 exhibits at the hearing, you MUST place them in an indexed binder and submit at one time.

Appeal/Application to the City of Bethlehem Zoning Hearing Board is hereby made by the undersigned for: (check applicable item(s):

- Appeal of the determination of the Zoning Officer
- Appeal from an Enforcement Notice dated _____
- Variance from the City of Bethlehem Zoning Ordinance
- Special Exception permitted under the City Zoning Ordinance
- Other: _____

SECTION 1

APPLICANT:	
Name	Christine Ussler
Address	1949 Main Street
	Bethlehem PA 18017
Phone:	[REDACTED]
Email:	[REDACTED]
OWNER (if different from Applicant): Note. If Applicant is NOT the owner, attach written	

authorization from the owner of the property when this application is filed.
Name
Address
Phone:
Email:
ATTORNEY (if applicable):
Name
Address
Phone:
Email:

SECTION 2. INFORMATION REGARDING THE REAL ESTATE

1. Attach a site plan, drawn to scale, of the real estate. Include existing and proposed natural and man-made features.
2. Attach photographs.
3. If the real estate is presently under Agreement of Sale, attach a copy of the Agreement.
4. If the real estate is presently leased, attached a copy of the present lease.
5. If this real estate has been the object of a prior zoning hearing, attach a copy of the Decision.

SECTION 3.

THE RELIEF SOUGHT:

If the Applicant seeks a dimensional variance for any setback, lot coverage, distance between certain uses, etc., please state the following:

Section of Code	Dimension Required by Code	Dimension Proposed by Applicant	Variance Sought
1306.01	15'	8' 2"	Setback
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

If the Applicant seeks a use or other variance, please state the **specific section(s)** of the Zoning Ordinance applicable and describe the variance sought.

If the Applicant seeks a Special Exception, please state the **specific section (s)** of Zoning Ordinance applicable: _____

If the Applicant seeks an appeal from an interpretation of the Zoning Officer, state the remedy sought in accordance with Sec. 1325.11 (b):

NARRATIVE

A brief statement reflecting why zoning relief is sought and should be granted must be submitted.

CERTIFICATION

I hereby certify that the information contained in and attached to this application is true and correct to the best of my knowledge and belief.

I also certify that I understand that any and all federal, state or local rules and regulations, licenses and approvals shall be obtained if the appeal is granted.



Applicant's Signature

2/24/2020
Date



Property owner's Signature

2/24/2020
Date

Received by

Date

NOTICE: If the Decision of the Zoning Hearing Board is appealed, the appellant is responsible for the cost of the transcript.

02/24/2020

RE: 1949 MAIN STREET - Dimensional variance request

Dear Mr. Peiffer and the Zoning Hearing Board:

My husband and I respectfully request a dimensional variance for the side yard setback at our home at 1949 Main St. to permit us to construct a greenhouse attached to the south side of our home. The south side of the house is currently approximately 17' from our southern property line. The abutting property is a large 5.9 acre "L" shaped lot and the house is located at some distance from us at 1841 Main St. The nature of the neighboring property is wooded where it abuts to our property. (See photos and Google Earth views). Our house is located approximately 200' from the street, downhill, and not very noticeable to motorists and even our neighbors except the property at 2101 Main St.

The depth of the greenhouse with foundation will be 8' 6". This depth greenhouse has been recommended to us as the smallest functional standard size. The greenhouse will be slightly over 26' 6" in length. The greenhouse will be 1 story in height. A southern orientation for the greenhouse is required for optimal growing conditions. The east is the front of the house and has a porch, the west has an open deck with overhead trellis and is not a recommended orientation for a greenhouse. The north is, obviously, not viable for lack of sun.

The greenhouse will be entered through a window converted into a door from inside the house. An added benefit of the greenhouse will be its passive solar function. Our home dates from 1802 and has solid stone walls which are quite cold in the winter. The greenhouse will allow the southern stone wall of the house to retain heat from the sun during the day, keeping the interior of wall warmer during the winter and increasing comfort inside the house. Warm air in the greenhouse can also be circulated into the house in winter.

The construction of the greenhouse will reduce our required setback from 15' to 8.2' at the closest point and 8.5' at the furthest point of the greenhouse.

Thank you for your consideration of this request.

Sincerely,



Christine Ussler, AIA



South Facade



West Facade



1949 Main St. view from street



South side of house, front corner



South façade of house

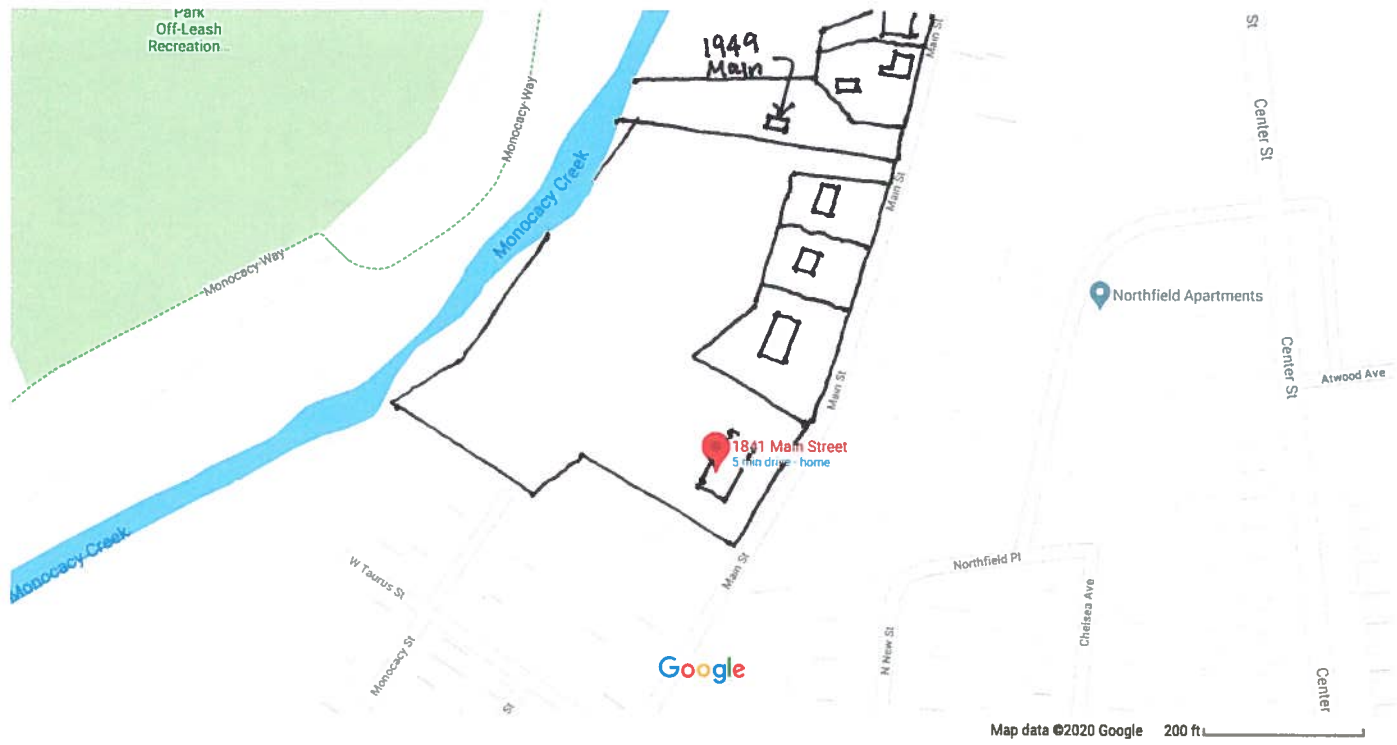


Back of house – west façade



Views to south from house

Google Maps 1841 Main St



Google Maps 1841 Main St

1949 Main St.

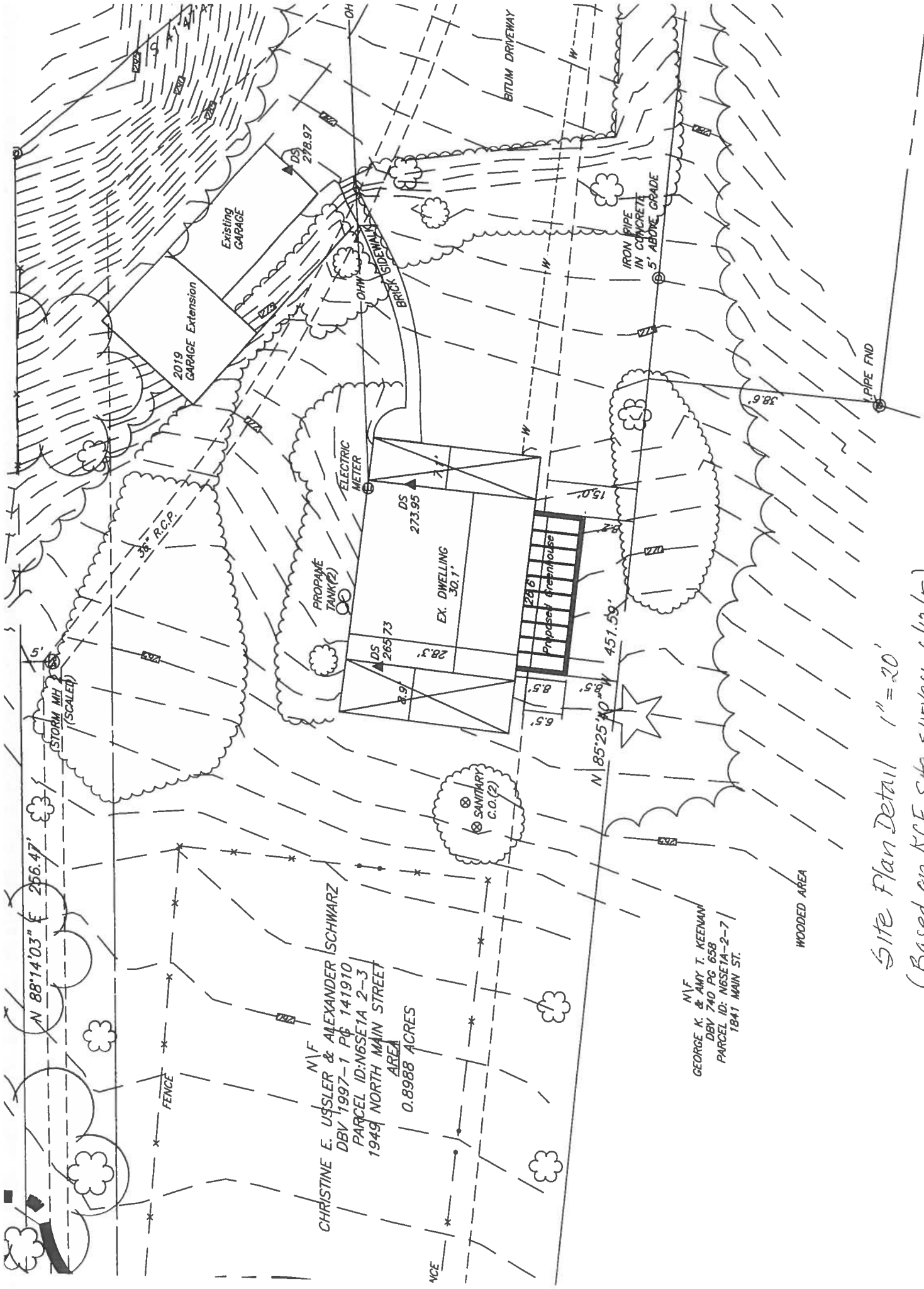


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1949 MAIN STREET

Dimensional variance request - additional data

	Square Feet		Square Feet
Existing Lot Area (.8988 acres)	39,151.73		
Existing Building Coverage			
House	851.93		
Covered Front Porch	200.93		
Garage	794.51		
TOTAL existing	1,847.37		
Proposed Greenhouse	<u>226.10</u>		
TOTAL after construction	2,073.47	Max. Allowable	5,872.76
Existing Total Impervious			
Buildings	1,847.37		
Driveway	3,285.66		
Brick Walk	144.25		
Back concrete patio	251.87		
TOTAL existing	5,529.15		
Proposed Greenhouse	<u>226.10</u>		
TOTAL after construction	5,755.25	Max Allowable	19,575.86



CHRISTINE E. USSLER & ALEXANDER SCHWARZ
 N/F
 DBV 1997-1 PG 141910
 PARCEL ID: N6SE1A 2-3
 1949 NORTH MAIN STREET
 AREA
 0.8988 ACRES

N/F
 GEORGE K. & AMY T. KEENAN
 DBV 740 PG 658
 PARCEL ID: N6SE1A-2-7
 1841 MAIN ST.

Site Plan Detail 1" = 20'
 (Based on KCE site survey 6/12/19)