



SITE ADDRESS: 416 Selfridge Street

Office Use Only:

DATE SUBMITTED: 5/22/24

HEARING DATE: 6/26/24

PLACARD: _____

FEE: \$500.00

ZONING CLASSIFICATION: RT

LOT SIZE: _____

APPLICATION FOR APPEAL TO THE CITY OF BETHLEHEM ZONING HEARING BOARD,
10 EAST CHURCH STREET, BETHLEHEM, PA 18018

1. Return one (1) original and eight (8) copies of this application and all supporting documentation to the Zoning Officer, along with the filing fee. Include site plans and/or floor plans as necessary.
2. The application is due by 4PM on the 4th Wednesday of the month. The hearing will be held on the 4th Wednesday of the next month.
3. If you are submitting MORE THAN 10 exhibits at the hearing, you MUST place them in an indexed binder and submit at one time.

Appeal/Application to the City of Bethlehem Zoning Hearing Board is hereby made by the undersigned for: (check applicable item(s):

- ☐ Appeal of the determination of the Zoning Officer
- ☐ Appeal from an Enforcement Notice dated _____
- ☒ Variance from the City of Bethlehem Zoning Ordinance
- ☒ Special Exception permitted under the City Zoning Ordinance
- ☐ Other: _____

SECTION 1

APPLICANT:

Name 416 SELFRIDGE STREET LLC

Address [REDACTED]

Phone: [REDACTED]

Email: [REDACTED]

OWNER (if different from Applicant): Note. If Applicant is NOT the owner, attach written authorization from the owner of the property when this application is filed.	
Name	
Address	
Phone:	
Email:	
ATTORNEY (if applicable):	
Name	Michael D. Recchiuti, Esquire
Address	[REDACTED]
	[REDACTED]
Phone:	[REDACTED]
Email:	[REDACTED]

SECTION 2. INFORMATION REGARDING THE REAL ESTATE

1. Attach a site plan, drawn to scale, of the real estate. Include existing and proposed natural and man-made features.
2. Attach architectural plans and elevations depicting proposed alterations or new construction.
3. Attach photographs.
4. If the real estate is presently under Agreement of Sale, attach a copy of the Agreement.
5. If the real estate is presently leased, attached a copy of the present lease.
6. If this real estate has been the object of a prior zoning hearing, attach a copy of the Decision.

SECTION 3.

THE RELIEF SOUGHT:

If the Applicant seeks a dimensional variance for any setback, lot coverage, distance between certain uses, etc., please state the following:

Section of Code	Dimension Required by Code	Dimension Proposed by Applicant	Variance Sought
<u>1302.54(c)</u>	<u>50% of floor below or 278.875 SF</u>	<u>288 SF</u>	<u>9.125 SF (3.2%) or 53.2%</u>
<u> </u>	<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>	<u> </u>

If the Applicant seeks a use or other variance, please state the **specific section(s)** of the Zoning Ordinance applicable and describe the variance sought.

If the Applicant seeks a Special Exception, please state the **specific section (s)** of Zoning Ordinance applicable: 1323.04(a), Total Building Floor Area shall not be increased by greater than 50%, or 625.6 SF

permitted, 288 SF proposed.

If the Applicant seeks an appeal from an interpretation of the Zoning Officer, state the remedy sought in accordance with Sec. 1325.11 (b):


NARRATIVE

A brief statement reflecting why zoning relief is sought and should be granted must be submitted.

CERTIFICATION

I hereby certify that the information contained in and attached to this application is true and correct to the best of my knowledge and belief.

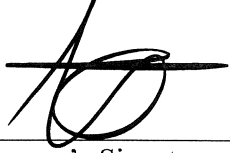
I also certify that I understand that any and all federal, state or local rules and regulations, licenses and approvals shall be obtained if the appeal is granted.



Applicant's Signature

05/21/2024

Date



Property owner's Signature

05/21/2024

Date

Received by

Date

NOTICE: If the Decision of the Zoning Hearing Board is appealed, the appellant is responsible for the cost of the transcript.

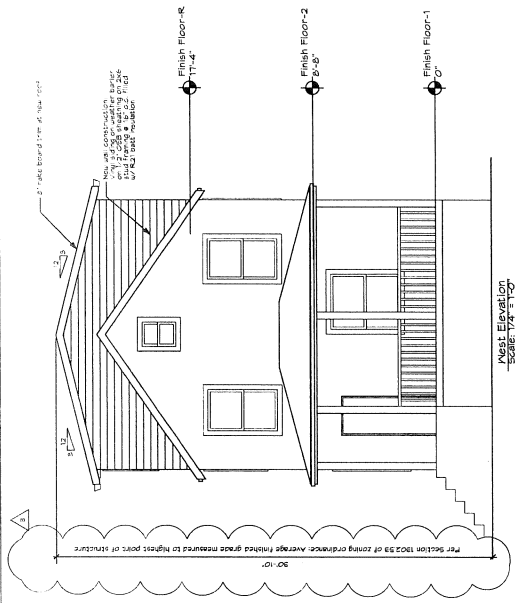
Narrative Statement

Appellant is proposing to add a half-story addition to an existing structure located at 416 Selfridge Street. The current use of the building is that of a student home, and the proposed addition would seek to expand that presently non-conforming use by 288 square feet, or approximately 23%. This is permitted by Special Exception pursuant to 1323.04(a) of the Zoning Code.

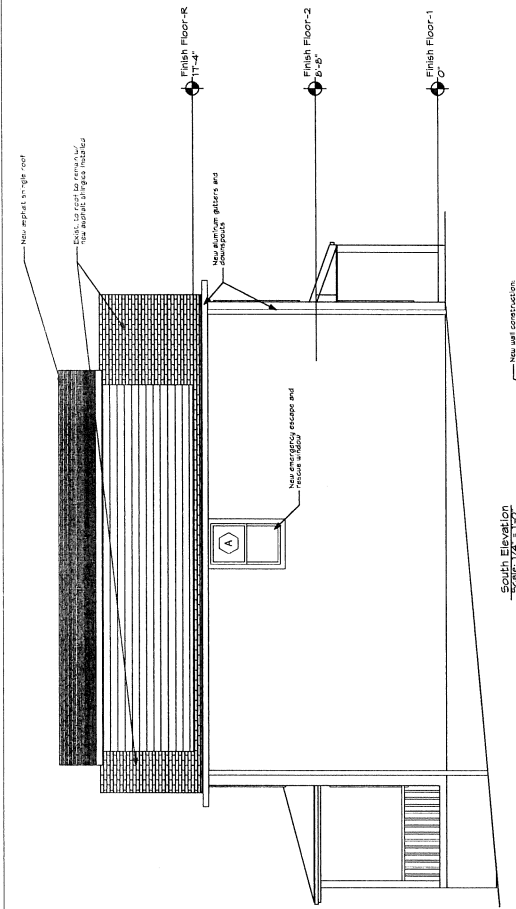
Appellant is also seeking a variance from Section 1302.54(c) of the Zoning Code to permit the proposed addition to exceed the 50% threshold by 3.2%. The proposed addition is 288 square feet, and the allowed expansion of a half story addition is limited to 50% of the floor below, or in this case 278.875 square feet. The request variance is 9.125 square feet, or 3.2%, for a total expansion of 53.2% of the floor below. The variance request in this matter is *de minimis*. It is also necessary to due to the roof and size of the existing structure, which if changed would have required additional variances.

Student Housing Alterations

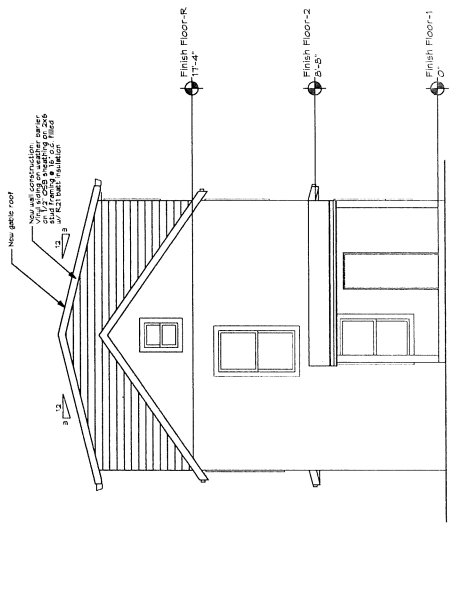
416 Seifridge St
 Bethlehem, PA 18015



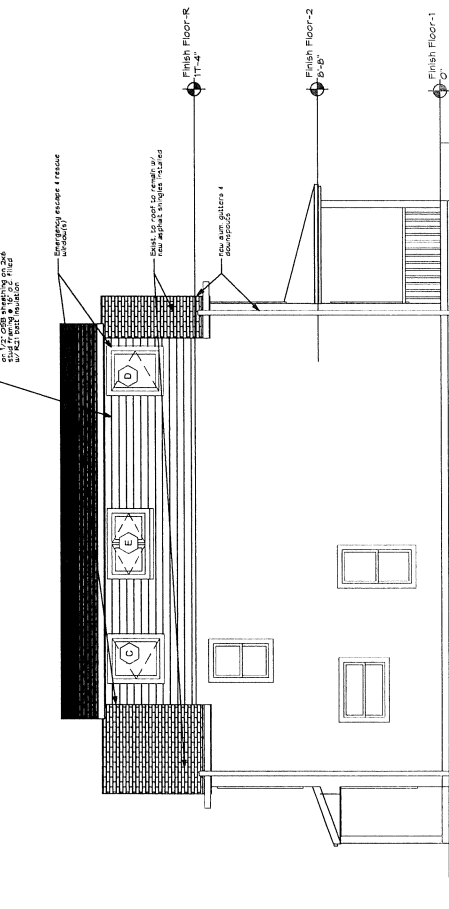
West Elevation
 SCALE 1/4" = 1'-0"



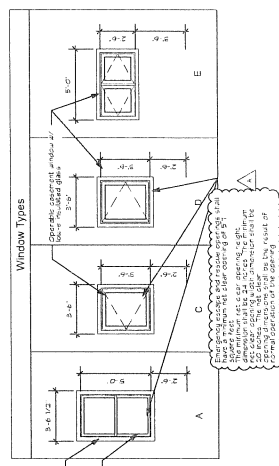
South Elevation
 SCALE 1/4" = 1'-0"



East Elevation
 SCALE 1/4" = 1'-0"



North Elevation
 SCALE 1/4" = 1'-0"



Window Types

NO.	DATE	REVISION
1	07/20/23	FOR PERMIT
2	07/20/23	FOR PERMIT
3	07/20/23	FOR PERMIT
4	07/20/23	FOR PERMIT
5	07/20/23	FOR PERMIT
6	07/20/23	FOR PERMIT
7	07/20/23	FOR PERMIT
8	07/20/23	FOR PERMIT
9	07/20/23	FOR PERMIT
10	07/20/23	FOR PERMIT
11	07/20/23	FOR PERMIT
12	07/20/23	FOR PERMIT
13	07/20/23	FOR PERMIT
14	07/20/23	FOR PERMIT
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16	07/20/23	FOR PERMIT
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98	07/20/23	FOR PERMIT
99	07/20/23	FOR PERMIT
100	07/20/23	FOR PERMIT

Exterior Elevations