

SITE LOCATION MAP
SCALE: 1" = 2,000'

ZONING INFORMATION

ZONING DISTRICT: C-B (CENTRAL BUSINESS DISTRICT)
A RETAIL STORE IS A PERMITTED USE WITHIN THIS ZONING DISTRICT.

ZONING INFORMATION WAS OBTAINED FROM: CITY OF BETHLEHEM ZONING DEPARTMENT
10 EAST CHURCH STREET
BETHLEHEM, PA 18108
610-865-7000
CRAIG PEIFFER, ZONING OFFICER

DESCRIPTION	REQUIRED	PROPOSED
MINIMUM LOT AREA	NONE REQUIRED	25,506.66 SF
MINIMUM LOT WIDTH	NONE REQUIRED	177.32'
MINIMUM FRONT YARD SETBACK (BROADWAY) (SHEETS STREET) (WYANDOTTE STREET)	NONE REQUIRED	2'-0" 12'-0" 22'-0"
MINIMUM SIDE YARD SETBACK	NONE REQUIRED; 20' WHEN NEXT TO RESIDENTIAL	69'-11"
MINIMUM REAR YARD SETBACK	NONE REQUIRED	N/A
MAXIMUM BUILDING HEIGHT	150'-0"	21'-0"
MAXIMUM BUILDING COVERAGE	100%	23.5%
MAXIMUM IMPERVIOUS COVERAGE	100%	71.7%
OFF-STREET LOADING SPACE	12x35'	12x35'

PARKING REQUIREMENTS

PARKING REQUIREMENTS FOR RETAIL STORE:
PARKING STALL SIZE: 9' x 19' REQUIRED; 9' x 19' PROPOSED.

OFF-STREET PARKING NOT REQUIRED IN CB DISTRICT.
21 STALLS PROPOSED

BICYCLE PARKING REQUIREMENTS:
5% OF THE VEHICLE PARKING REQUIREMENTS, WITH A MINIMUM OF TWO (2) BICYCLE SPACES.

TWO (2) BICYCLE SPACES PROPOSED

Contents:

CS	COVER SHEET (TO BE RECORDED)
1 of 2	ALTA/NSPS LAND TITLE SURVEY
2 of 2	ALTA/NSPS LAND TITLE SURVEY
1 of 1	LOT CONSOLIDATION PLAN (TO BE RECORDED)
C1.0	SITE PLAN (TO BE RECORDED)
C1.A	SITE DETAILS
C1.B	CITY SITE DETAILS
C1.1	GRADING PLAN
C1.2	STORMWATER DETAILS
C1.2A	STORMWATER DETAILS
C1.3	EROSION & SEDIMENTATION CONTROL PLAN
C1.4	EROSION & SEDIMENTATION CONTROL DETAILS
C1.5	EROSION & SEDIMENTATION CONTROL DETAILS
D1.0	DEMOLITION PLAN
L1.0	LANDSCAPE PLAN
PH1.0	PHOTOMETRIC LIGHTING PLAN
TR1.0	TRUCK TURNING PLAN
U1.0	SITE UTILITY PLAN

UTILITY SERVICE INFORMATION

ELECTRIC SERVICE
PPL ELECTRIC
503 NEW MARKET STREET
WILKES BARRE, PA 18702
877-220-6016
MR. MARK SANTAYANA

GAS SERVICE
UGI LANCASTER
2121 CITY LINE ROAD
BETHLEHEM, PA 18017
877-220-6016
TAREK SAYEGH

SANITARY & STORM SEWER
CITY OF BETHLEHEM
10 EAST CHURCH STREET
BETHLEHEM, PA 18018
610-865-7063
MR. PETER KOSTYK

TELEPHONE SERVICE
VERIZON
877-246-9977

WATER SERVICE
CITY OF BETHLEHEM
10 EAST CHURCH STREET
BETHLEHEM, PA 18018
610-997-7947
MR. ROBERT TAYLOR

WAIVERS GRANTED

AT ITS JANUARY 14, 2021 MEETING, THE PLANNING COMMISSION APPROVED THE FIVE WAIVERS TO SECTION 1311 LISTED BELOW:

- 1311.10(m). ONE STORY BUILDINGS SHALL BE AVOIDED ON BLOCKS WHERE EXISTING STRUCTURES ARE 2 STORIES OR HIGHER. WHERE AN APPLICANT FINDS THAT A 2 STORY BUILDING IS NOT POSSIBLE, THEY ARE REQUIRED TO CONSTRUCT A BUILDING THAT HAS THE APPEARANCE OF A 2 STORY BUILDING WHEN VIEWED FROM THE STREET (SUCH AS USING DECORATIVE DORMERS). SUCH AN ALTERNATIVE SHALL BE REVIEWED AND APPROVED BY THE PLANNING BUREAU IF THE BUILDING IS NOT LOCATED IN AN EXISTING LOCAL ORDINANCE HISTORIC DISTRICT.
- 1311.10(h). OUTWARD STREET ORIENTATION WITH STOREFRONTS, ENTRANCES AND WINDOWS RELATING TO THE STREET, RATHER THAN AN INWARD FOCUS AWAY FROM THE STREET, SHALL BE EMPHASIZED IN NEW BUILDINGS.
- 1311.05(e). BLANK WALLS WITHOUT AT LEAST ONE DOOR AND ONE WINDOW SHALL NOT FACE AN ARTERIAL STREET. RETAIL STORES SHALL HAVE DISPLAY WINDOWS FACING ONTO A STREET. SUCH DISPLAY WINDOWS DO NOT NECESSARILY HAVE TO BE OPEN TO THE INSIDE OF THE STORE, IF THERE ARE SECURITY ISSUES. THE WINDOWS SHOULD HAVE SUFFICIENT VISIBILITY FROM THE STREET FOR SECURITY PURPOSES AND BE INVITING TO CUSTOMERS.
- 1311.05(f). TRACTOR-TRAILER TRUCK LOADING DOCKS AND SERVICE AREAS SHALL NOT BE VISIBLE FROM ANY STREET FRONTAGE.
- 1311.08(b). NO NEW VEHICLE DRIVEWAY SHALL ENTER OR EXIT ONTO AN ARTERIAL STREET, UNLESS THE APPLICANT PROVES THAT NO FEASIBLE ALTERNATIVE EXISTS, SUCH AS USE OF ALLEYS OR A SIDE STREET.

APPLICANT/DEVELOPER:

AZ BETHLEHEM, LLC
20 SOUTH OLIVE STREET, SUITE 203
MEDIA, PA 19063
(610) 566-0270
MR. WILLIAM ROUNTREE, PE

SURVEYOR/ENGINEER:

MDM SURVEYORS & ENGINEERS, LLC
375 NORTHGATE DRIVE
WARRENDALE, PA 15086
(724) 934-2810
HOWARD G. McILVRIED, PLS, PA LIC. No. 049396-R
CHRISTOPHER M. PETERS, PE, PA LIC. No. PE060187

Applicant / Developer:

AZ Bethlehem, LLC
20 South Olive Street, Suite 203
Media, Pennsylvania 19063

Architect:

AutoZone Development, LLC
c/o: Lew Ellis
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103

Civil Engineer:



Surveyors • Engineers • Site Planners
375 Northgate Drive
Warrendale, PA 15086
Ph: (724) 934-2810 Fax: (724) 934-2811
mdmccadd@mdmllc.com
www.mdmllc.com



Preliminary / Final Land Development Plans
For

Proposed

AutoZone Store #1400

501 Wyandotte Street

City of Bethlehem, County of Northampton
Commonwealth of Pennsylvania

FLOOD ZONE NOTE

By graphic plotting only, this site is located in Zone X of the Flood Insurance Rate Map 42095C0307E, Community No. 420718, Panel 0307, Suffix E, bearing an effective date of 7-16-14 and is not in a special flood hazard area.

SITE DATA INFORMATION

DEVELOPER/OWNER: AZ BETHLEHEM, LLC
20 SOUTH OLIVE STREET, SUITE 203
MEDIA, PA 19063
MR. WILLIAM ROUNTREE, PE
(610) 566-0270
bill@wrightltd.com

SURVEYOR/ENGINEER: MDM - SURVEYORS AND ENGINEERS, LLC
375 NORTHGATE DRIVE
WARRENDALE, PA 15086
(724) 934-2810
MR. HOWARD McILVRIED, PLS
hmcilvried@mdmllc.com
MR. CHRISTOPHER PETERS, PE
cpeters@mdmllc.com

TOTAL EXISTING ACREAGE: 0.585 ACRES (25,507.14 SF)

TOTAL PROPOSED DEVELOPMENT ACREAGE: 0.585 ACRES (25,507.14 SF)

PROPERTY LOCATION: WARD 2 BLOCK 7

EXISTING USE: VACANT AUTO SERVICE GARAGE, (3) DWELLINGS, (2) ACCESSORY BUILDINGS

PROPOSED USE: RETAIL SALE OF AUTO PARTS, NO SERVICE WORK

EXISTING BUILDING COVERAGE: 7,374 SF

PROPOSED BUILDING COVERAGE: 6,000 SF

EXISTING IMPERVIOUS COVER: 17,051 SF

PROPOSED IMPERVIOUS COVER: 17,521 SF

DIFFERENCE: 470 SF INCREASE IN IMPERVIOUS COVER

NOTES:

- A KNOX BOX FOR THE CITY OF BETHLEHEM ACCESS MUST BE INSTALLED ON BUILDING FRONTAGE.
- THIS BUILDING DOES NOT REQUIRE A FIRE SPRINKLER SYSTEM, IN ACCORDANCE WITH THE IBC FIRE CODE, BASED ON PROPOSED CONSTRUCTION TYPE, SQUARE FOOTAGE AND USE.
- A LOT CONSOLIDATION PLAN WILL BE REQUIRED FOR LAND DEVELOPMENT APPROVAL, AND IS TO BE INCLUDED WITH FORMAL PLANNING COMMISSION SUBMITTAL.
- IN ORDER TO MAINTAIN CONTINUITY BETWEEN PLAN REVISIONS, ANY CHANGES TO A PREVIOUS PLAN SUBMISSION SHALL BE FLAGGED WITH A TRIANGLE. ANY CHANGES NOT FLAGGED MAY BE CONSIDERED NOT APPROVED. FLAGGED CHANGES SHALL BE REFERENCED TO THE APPROPRIATE REVISION DATE IN THE REVISION BLOCK.
- PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY, PERMITS MUST BE OBTAINED FROM CITY ENGINEERING OFFICE.
- THE MAINTENANCE OF STORM WATER FACILITIES SHALL BE THE OWNER'S RESPONSIBILITY. THE OWNER'S DEED, AND THE DEED TO ANY SUBSEQUENT OWNER, SHALL NOTE THAT THE OWNER SHALL ACCEPT THE MAINTENANCE RESPONSIBILITIES. THE CITY OF BETHLEHEM SHALL BE PERMITTED TO INSPECT THE STORM WATER FACILITIES ON AT LEAST AN ANNUAL SCHEDULE TO ENSURE THAT ANY NECESSARY CORRECTIVE WORK IS PERFORMED IN A TIMELY MANNER.

CERTIFICATE OF OWNERSHIP

I, _____, BEING DULY AFFIRMED ACCORDING TO LAW, HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THIS PLAN WAS PREPARED AT MY DIRECTION, THAT I DESIRE THE SAME TO BE RECORDED, AND THAT ALL STREETS, IMPROVEMENTS AND OTHER PROPERTY IDENTIFIED AS 'TO BE DEDICATED' ARE, HEREBY, UPON THE RECORDING OF THIS PLAN, DEDICATED TO THE PUBLIC USE.

SIGNATURE _____ DATE _____

SWORN AND SUBSCRIBED BEFORE ME THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

(SEAL)

SURVEYOR'S CERTIFICATE:

I, HOWARD G. McILVRIED, A PROFESSIONAL LAND SURVEYOR OF THE STATE OF PENNSYLVANIA, DO HEREBY CERTIFY TO THE OWNER THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS, STREETS, ALLEYS, AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME.

HOWARD G. McILVRIED, PLS, PA LIC. No. 049396-R

DATE _____

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS CORRECTLY AND ACCURATELY REPRESENTS THE LANDS OF THE OWNER AND WHERE APPLICABLE, THE LOTS, BUILDINGS, STREETS, PARKING AREAS, WALKWAYS, AND OTHER STRUCTURES AND IMPROVEMENTS SHOWN THEREON.

CHRISTOPHER M. PETERS, P.E.
PA LICENSE No.: PE060187

CITY OF BETHLEHEM PLANNING COMMISSION

APPROVED BY THE CITY OF BETHLEHEM PLANNING COMMISSION AT ITS MEETING ON _____

PLANNING DIRECTOR _____ PLANNING COMMISSION CHAIRMAN _____

REVIEWED BY THE LEHIGH VALLEY PLANNING COMMISSION

PLANNER _____ DATE _____

RECORDING INFORMATION

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS, NORTHAMPTON COUNTY, PENNSYLVANIA

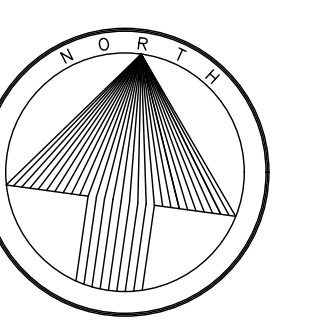
IN VOL. NO. _____, PAGE NO. _____, ON _____, 20____.

GENERAL NOTES

- Bearings shown hereon are based upon the bearing of the southerly right-of-way line of Broadway Avenue, noted as being N 60°45'00" E in the deed of record for Premises "A" of the subject premises, recorded in Record Book 2016-1, Page 88532.
- The underground utilities shown on this survey have been located from field survey information, markings provided by the utility companies and existing drawings obtained from utility companies. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated, although he does certify that they are located as accurately as possible from available information.
- Contour Interval = 1'. Elevations shown hereon are based upon GPS observation taken on January 14, 2020, and are to the North American Vertical Datum of 1988 (NAVD88)(GEOID12a).
- There was no observed evidence of current earth moving work, building construction or building additions.
- The surveyor knows of no known recent or proposed changes in street right-of-way lines, street or sidewalk construction or repairs.
- There is no observed evidence of this site being used as a solid waste dump, sump, or sanitary landfill.
- There are no delineated wetland areas located on the subject premises.
- Iron pins with cap set are 5/8"Ø rebar, 30" in length with a yellow plastic I.D. cap that bears the inscription "MDM 724-934-2810".
- The legal right-of-way line of Wyandotte Street is based upon Drawings for Construction and Condemnation of Right-of-Way, Route 297, Section 10a, Sheet 7 of 12, approved October 15, 1953.
- Since this site has frontage along a state maintained highway (Wyandotte Street), a Highway Occupancy Permit (H.O.P.) is required for access to the state route. The Pennsylvania Department of Transportation (PennDOT) District 5.0 office should be contacted in regards to the permit. Their information is as follows:

PennDOT District 5-0
Engineering Office
1002 Hamilton Street
Allentown, PA 18101
(610) 871-4167
Permit Office

Owner / Developer: AZ Bethlehem, LLC
P.O. BOX 1908
MEDIA, PA 19063



Prepared For: AutoZone
Store No.: 1400
501 WYANDOTTE STREET
CITY OF BETHLEHEM, COUNTY OF NORTHAMPTON
COMMONWEALTH OF PENNSYLVANIA

SCALE: AS NOTED

REVISIONS

- 02/24/2021 PER CITY COMMENTS
- 04/15/2021 PER CITY COMMENTS

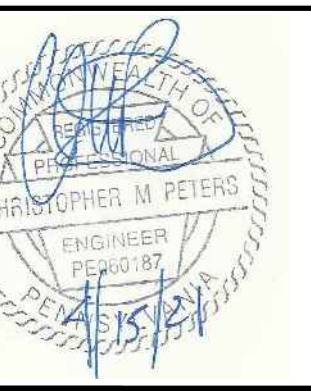
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ARCHITECT: LE

DRAFTSMAN: CWT

CHECKED BY: CAD

DATE: 10-23-2020
PROTOTYPE SIZE: 6w2



CS

ALTA/NSPS LAND TITLE SURVEY

PREPARED FOR

AZ BETHLEHEM, LLC

501-07 WYANDOTTE STREET & 414, 418 & 420 BROADWAY 2ND WARD, CITY OF BETHLEHEM, COUNTY OF NORTHAMPTON COMMONWEALTH OF PENNSYLVANIA

TILE COMMITMENT LEGAL DESCRIPTION

PREMISES "A"
ALL THOSE CERTAIN PARCELS OF land and benefits appurtenant thereto in the second ward of Bethlehem, Northampton County, Pennsylvania, described as:

PARCEL NO. 1:
BEGINNING at a point in the Southerly property line of Broadway, said point being distant 55.95 feet on a course North 60 degrees 45 minutes East from the intersection of the Easterly property line of Wyandotte Street with the Southerly property line of Broadway; thence along the Southerly property line of Broadway North 60 degrees 45 minutes East 39.36 feet to a drill mark; thence along the Westerly line of land now or late of Frank Hoch South 02 degrees 06 minutes West 44.44 feet to a point; thence continuing partly along said land of Frank Hoch and partly along land now or late of Karl L. F. Kuebler and Mildred, his wife, South 89 degrees 18 minutes West 34.30 feet to a drill mark in the concrete; thence continuing along land of Karl L. F. Kuebler and Mildred, his wife, North 3 degrees 36 minutes East 25.64 feet to the place of beginning.

PARCEL NO. 2:
BEGINNING at a point on the North side of Sheetz Alley at the South East corner of a two and one-half story brick building; thence along the North side of Sheetz Alley (14 feet wide) North 87 degrees 03 minutes West 98.01 feet to the Easterly curb line of Wyandotte Street; thence along said curb line North 03 degrees 40 minutes East 109.79 feet to the intersection of said curb line and the curb line on the South side of Broadway; thence along the Southerly curb line of Broadway North 60 degrees 45 minutes East 67.84 feet to a point; thence along the Westerly line of land now or late of Howard A. Hoch, Sr. and Nellie, his wife, South 03 degrees 36 minutes West 39.93 feet to a drill mark in the concrete; thence along the Southerly line of same North 89 degrees 18 minutes East 32.20 feet to a point; thence along the Westerly line of land now or late of Frank Hoch South 02 degrees 40 minutes 25 seconds East 62.18 feet to the Northeast corner of the first mentioned brick building; thence along the Easterly line of said brick building South 01 degrees 08 minutes 10 seconds West, 46.21 feet to the place of beginning.

EXCEPTING from Parcel 2 above those 2 pieces of land, one of which the Atlantic refining Company conveyed to the City of Bethlehem by Deed dated August 4, 1954 and left for recording in the public records of said Northampton County, and the other of which was taken by the Commonwealth of Pennsylvania by Declaration of taking No. 16, filed in the April, 1973 term in the Court of Common Pleas of Northampton County, Pennsylvania.

BEING known as 501-07 Wyandotte Street.

BEING Tax Parcel No.: P6SW2C/9/1 0204.

PREMISES "B"
TRACT NO. 1
ALL THAT CERTAIN message, tenement and lot or piece of land situate on the South side of Broadway and currently known as 420 Broadway in the City of Bethlehem, County of Northampton and Commonwealth of Pennsylvania, more particularly bounded and described as follows, to wit:

BEGINNING at a point in the Southerly property line of Broadway, said point being distant 95.14 feet on a course N 60° 45' E from the intersection of the Easterly property line of Wyandotte Street with the Southerly property line of Broadway, thence along the Southerly property line of Broadway, N 60° 45' E 35.36 feet to a point in line of lot of Grier Sheetz, deceased; thence along lot of Grier Sheetz, deceased, S 3° 20' W 118.75 feet to a corner of a frame stable, the property of Frank G. Hoch and Howard A. Hoch, Sr., thence along said stable N 86° 56' W 25.00 feet to a point in line of lot of Karl F. Kuebler Est.; thence along lot of Karl F. Kuebler Est., N 2° 42' W 55.62 feet to a point in line of other lot of the said Franklin G. Hoch; thence along other lot of the said Franklin G. Hoch, N 89° 18' E 1.95 feet to a point and N 2° 08' E 44.33 feet to the point or place of beginning.

UTILITY SERVICE INFORMATION

Sanitary Sewer
City of Bethlehem
2121 E. Church Street
Bethlehem, PA 18018
Robert Taylor
rtaylor@bethlehem-pa.gov

Storm Sewer
City of Bethlehem
10 E. Church Street
Bethlehem, PA 18018
Robert Taylor
rtaylor@bethlehem-pa.gov

Water Service
City of Bethlehem
10 E. Church Street
Bethlehem, PA 18018
Robert Taylor
rtaylor@bethlehem-pa.gov

Gas Service
UGI Lancaster
2121 City Line Road
Bethlehem, PA 18017
Tarek Sayegh
tsayegh1@ugi.com

Electric Service
PPL Electric
503 New Market Street
Wilkes Barre, PA 18702
Mark Santayana
mcsantayana@pplweb.com

Telephone Service
Company Name
Address
City, State, Zip
Phone Number
Contact Name

TILE COMMITMENT LEGAL DESCRIPTION (CONT.)

TRACT NO. 2
ALL THAT CERTAIN message, and lot or piece of land currently numbered Sheetz Street, in the City of Bethlehem, County of Northampton and Commonwealth of Pennsylvania, more particularly bounded and described as follows:

BEGINNING at a point on the North side of Sheetz Alley (now Street) at a corner of land of Aaron Seigfried; thence running Eastwardly along the North side of the said Sheetz Alley (now Street) twenty two feet three inches more or less to a point at another lot of Aaron Seigfried; thence along the same Northwardly fifty three feet six inches more or less, to a point of land of the said Henry C. Bachman; thence along the same Westwardly twenty five feet and four inches to a point in lands of the said Aaron Seigfried; thence Southward along the same fifty three feet six inches to Sheetz Alley (now Street) the point the place of beginning.

BEING known as 420 Broadway.

BEING Tax Parcel No.: P6SW2C/9/2 0204.

PREMISES "C"
ALL THAT CERTAIN dwelling and lot or piece of ground situate at No. 418 Broadway (formerly Broad Street) in the City of Bethlehem, County of Northampton and Commonwealth of Pennsylvania, Numbered 42 Carpenter Street, now Broadway, according to the plan of Charles Brodhead, Esq., in the Southern addition to the Borough of Bethlehem, in Saucon Township, Northampton County, Pennsylvania 1858 containing in front on said Carpenter Street, now Broadway 48 feet, more or less, and extending the width of 40 feet Southwardly 180 feet to a 15 feet wide alley.

BOUNDING on the North by Broadway, on the East by property of Isalah Schwenker, on the South by Sheetz Alley, and on the West by property of Cyrus L. Hock.

BEING known as 418 Broadway.

BEING Tax Parcel No.: P6SW2G/9/3 0204.

PREMISES "D"
ALL THAT CERTAIN message, tenement and lot or piece of ground situate on the Southerly side of Broadway, known as 414 Broadway in the City of Bethlehem, County of Northampton, Commonwealth of Pennsylvania, as shown on a Plan prepared by Kenneth R. Hahn, R.S. Drawing No. 81-268, dated November 19, 1981, bounded and described as follows:

BEGINNING at a point on the Southerly right of way line of Broadway (70 feet wide), said point being located South 58 degrees, 37 minutes West 139.81 feet of the West right of way line of Carlton Avenue;

THENCE extending along the Southerly right of way line of Broadway South 58 degrees, 37 minutes West 26.49 feet to a point; thence extending along the Easterly property line of House No. 418 Broadway, South 1 degree, 00 minutes West 117.20 feet to a point; thence extending along the Northerly property line of House No. 404 Hess Street, South 89 degrees, 00 minutes East 22.37 feet to a point; thence extending along the Westerly property line of House No. 412 Broadway, North 1 degree, 00 minutes East 131.39 feet to the place of beginning.

CONTAINING 2,780.45 square feet, more or less.

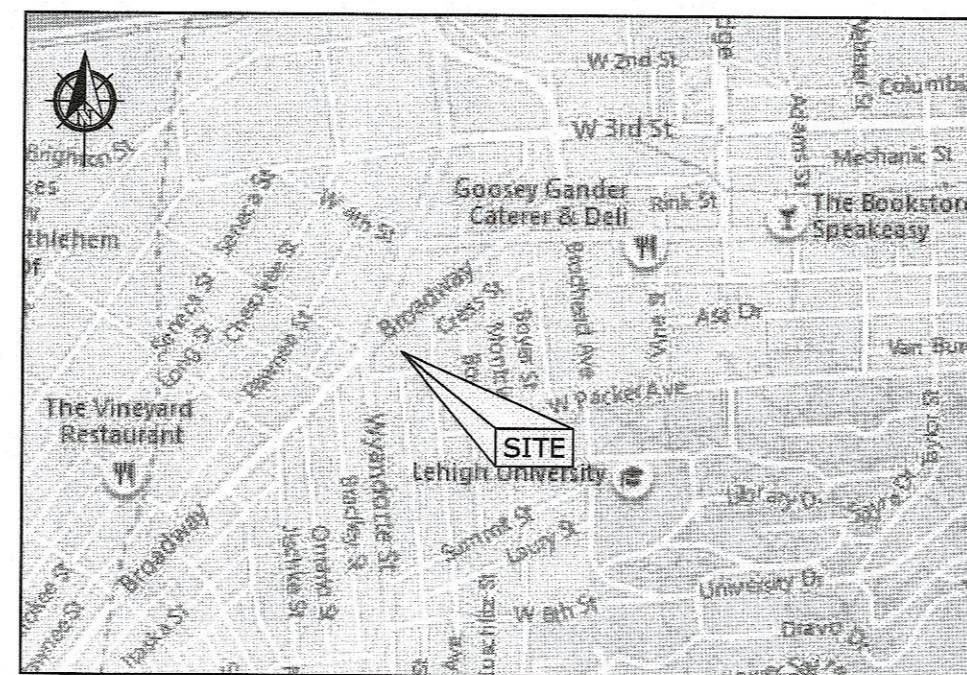
BEING known as 414 Broadway.

BEING Tax Parcel No.: P6W2C/9/7 0204.

PA ONE-CALL INFORMATION

Serial Number: 20200092076 (Design) 20200092063 (Dig)
Date of Inquiry: 01/08/2020
How Contacted: Web Ticket Entry

Company Name	Response			
	All Clear	Has Facilities	Plans	No Field Markings
PPL Electric Utilities Corporation	X			
Bethlehem City				X
Service Cable Electric TV Inc.	X			
UGI Utilities				X
Verizon				X



SITE LOCATION MAP

SCALE: 1"=1,000'

AS-SURVEYED LEGAL DESCRIPTION

ALL THAT CERTAIN parcel or tract of land situate in the 2nd Ward of the City of Bethlehem, County of Northampton and Commonwealth of Pennsylvania, located at the southeast intersection of Wyandotte Street and Broadway and being more particularly bounded and described as follows:

BEGINNING at a mag nail set at the intersection of the easterly right-of-way line of Wyandotte Street (60' right-of-way width) with the northerly right-of-way line of Sheetz Street (15' right-of-way width);

THENCE from said POINT OF BEGINNING, following the easterly right-of-way line of Wyandotte Street for the following three (3) courses and distances:

- 1) N 05°25'28" E, a distance of 35.11 feet to a point;
- 2) By the arc of a circle curving to the right having a radius of 376.30 feet, an arc length of 42.30 feet and a chord that bears N 08°38'40" E for a distance of 42.27 feet to a point;
- 3) By the arc of a circle curving to the right having a radius of 67.00 feet, an arc length of 57.17 feet and a chord that bears N 36°18'26" E for a distance of 55.45 feet to a point on the southeasterly right-of-way line of Broadway;

THENCE following the southeasterly right-of-way line of Broadway, N 60°45'00" E, a distance of 167.59 feet to a mag nail set at the dividing line between the herein described property and property now or formerly of John S. & Stamata Mamounas, recorded in Deed Book 812, Page 121 of the Northampton County Recorder of Deeds Office;

THENCE leaving the southeasterly right-of-way line of Broadway and following said dividing line, S 03°08'06" W, a distance of 131.39 feet to an iron pin with cap set on the dividing line between the herein described property and property now or formerly of Yu Huan Lin, recorded in Record Book 2017-1, Page 167231;

THENCE following said dividing line, N 86°51'54" W, a distance of 22.37 feet to an iron pin with cap set;

THENCE continuing along said dividing line and also the dividing line between the herein described property and property now or formerly of Joseph M. & Helena I. Richie, recorded in Record Book 1998-1, Page 17015 and property now or formerly of Mary Ann O'Reilly & Guy T. Schoenberger, recorded in Deed Book 639, Page 712, S 03°08'06" W, a distance of 81.45 feet to an iron pin with cap set on the northerly right-of-way line of Sheetz Street, aforesaid;

THENCE following the northerly right-of-way line of Sheetz Street, N 87°03'00" W, a distance of 154.95 feet to the POINT OF BEGINNING.

CONTAINING within said bounds a total of 0.585 acres (25,507.14 square feet).

GENERAL NOTES

1. Bearings shown hereon are based upon the bearing of the southerly right-of-way line of Broadway Avenue, noted as being N 60°45'00" E in the deed of record for Premises "A" of the subject premises, recorded in Record Book 2016-1, Page 88532.

2. The underground utilities shown on this survey have been located from field survey information, markings provided by the utility companies and existing drawings obtained from utility companies. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated, although he does certify that they are located as accurately as possible from available information.

3. Contour Interval = 1'. Elevations shown hereon are based upon GPS observation taken on January 14, 2020, and are to the North American Vertical Datum of 1988 (NAVD88)(GEOID12a).

4. There was no observed evidence of current earth moving work, building construction or building additions.

5. The surveyor knows of no known recent or proposed changes in street right-of-way lines, street or sidewalk construction or repairs.

6. There is no observed evidence of this site being used as a solid waste dump, sump, or sanitary landfill.

7. There are no delineated wetland areas located on the subject premises.

8. Iron pins with cap set are 5/8" rebar, 30" in length with a yellow plastic I.D. cap that bears the inscription "MDM 724-934-2810".

9. The legal right-of-way line of Wyandotte Street is based upon Drawings for Construction and Condemnation of Right-of-Way, Route 297, Section 10a, Sheet 7 of 12, approved October 15, 1953.

10. Since this site has frontage along a state maintained highway (Wyandotte Street), a Highway Occupancy Permit (H.O.P.) is required for access to the state route. The Pennsylvania Department of Transportation (PennDOT) District 5.0 office should be contacted in regards to the permit. Their information is as follows:

PennDOT District 5-0
Engineering Office
1002 Hamilton Street
Allentown, PA 18101
(610) 871-4167
Permit Office

11. Some underground utilities and information is shown based on a Geophysical Investigation performed by Sweeteum Environmental and provided by AutoZone. These utilities are noted by an marker.

ZONING INFORMATION

Zoning District - CB (Central Business District)
The retail sale of auto parts is a permitted use within this zoning district.

Minimum Lot Size - none required
Minimum Front Yard Setback - none required
Minimum Side Yard Setback - none required (20 feet when next to residential)
Minimum Rear Yard Setback - none required (20 feet when next to residential)
Maximum Building Height - 150 feet
Maximum Impervious Coverage - 100%

Signage Restrictions
Minimum Front Yard Setback - none required
Minimum Side Yard Setback - none required
Minimum Rear Yard Setback - none required

Parking Requirements
Minimum Front Yard Setback - none required
Minimum Side Yard Setback - none required
Minimum Rear Yard Setback - none required
Parking Formula - 1 space for every 150 square feet of area accessible to customers, or two parking spaces for each employee, whichever is greater

Zoning information was obtained from:

City of Bethlehem Zoning Department
10 East Church Street
Bethlehem, PA 18108
Craig Peffer - Zoning Officer
610-865-7000

Zoning Notes:

1. A subdivision or replat is not necessary to convey the property but will be needed to construct new improvements on the site.
2. There are no striped parking spaces on this site.

VISIBLE ENCROACHMENTS

There are no noticeable observations at the time of the field survey.

FLOOD ZONE NOTE

By graphic plotting only, this site is located in Zone X of the Flood Insurance Rate Map 42095C0307E, Community No. 420718, Panel 0307, Suffix E, bearing an effective date of 7-16-14 and is not in a special flood hazard area.

SCHEDULE B - SECTION 2 ITEMS

Per Fidelity National Title Insurance Company Title Commitment No. PAFN19-5782 MM, bearing an effective date of 11/14/2019:

There are no survey related matters contained in the current title commitment.

SURVEYOR'S CERTIFICATION

AZ Bethlehem, LLC
501-07 Wyandotte Street & 414, 418 & 420 Broadway
2nd Ward, City of Bethlehem, County of Northampton
Commonwealth of Pennsylvania

Certified To: AZ Bethlehem, LLC
Fidelity National Title Insurance Company

The undersigned certifies that to the best of his professional knowledge, information and belief, this map or plat and the survey on which it is based was made on the date shown below and was made (i) in accordance with "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys" jointly established and adopted by ALTA and NSPS in 2016; (ii) in accordance with the "Boundary and Topographical Survey Requirements" for Wright Partners, and includes Items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 8, 9, 10, 11, 13 and 16-19 of Table A as specifically defined therein and (iii) pursuant to the Accuracy Standards (as adopted by ALTA and NSPS and in effect on the date of this certification) of an urban survey.

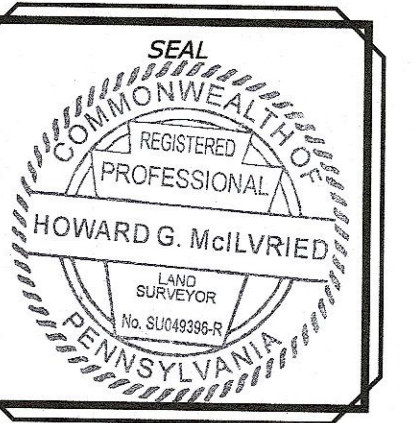
Howard G. McIlvried
Registered Land Surveyor No. 049396-R
In The Commonwealth of Pennsylvania
Date of Field Survey: January 14, 2020
Date of Last Revision: March 2, 2021

NO.	DATE	DESCRIPTION	BY
1	1/27/2020	ORIGINAL SUBMITTAL	WJM
2	2/18/2020	GENERAL REVISIONS	WJM
3	2/27/2020	REvised OWNERSHIP NAME	CMT
4	3/12/2020	UNDERGROUND UTILITIES ADDED PER GEOPHYSICAL INVESTIGATION	LRB
5	7/21/2020	REvised STREET R/W	HGM
6	03/02/21	ADDED TREE SIZES & STORM INFO	WJM

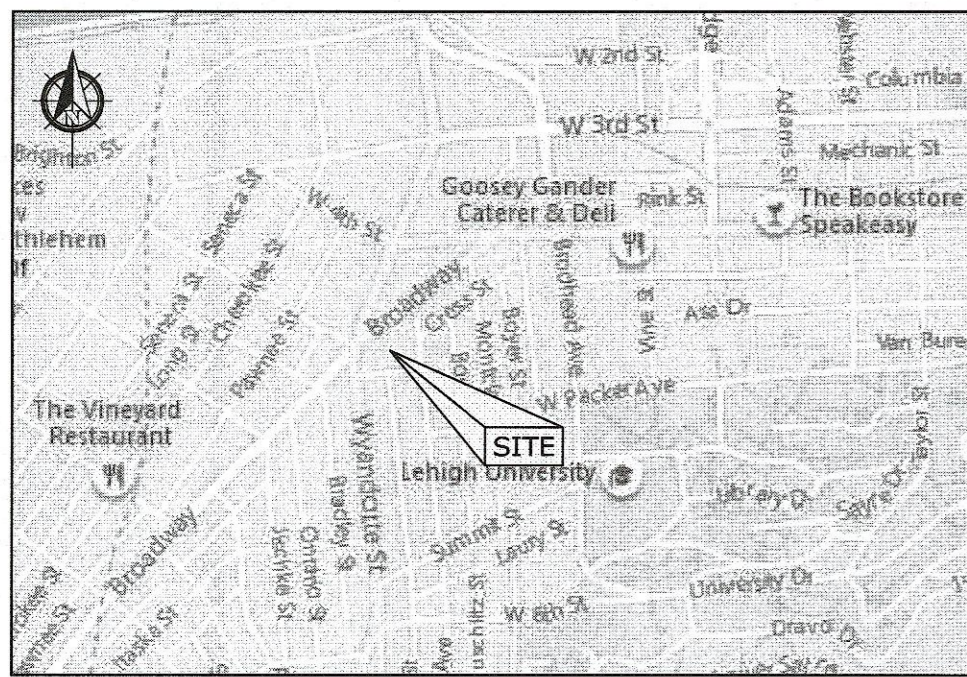
THIS PLAN OR PLAT OF SURVEY IS ONLY VALID TO THE PARTIES CERTIFIED HEREON.
THIS PLAN OR PLAT OF SURVEY IS ONLY VALID IF ACCOMPANIED BY SEAL AND SIGNATURE OF THE LICENSED PROFESSIONAL OF RECORD.
ANY ALTERATIONS TO THIS PLAN OR PLAT OF SURVEY MADE AFTER BEING SIGNED AND SEALED BY SAID LICENSED PROFESSIONAL REVOIDS THIS PLAN OR PLAT OF SURVEY NULL AND VOID.

MDM
SURVEYORS & ENGINEERS, LLC
Surveyors & Engineers, P.C. Site Planners
1000 N. 2nd St., Suite 100
Warrendale, PA 15086
PH: (724) 934-2810 Fax: (724) 934-2811
mmasurvey@mdmic.com
www.mdm.com

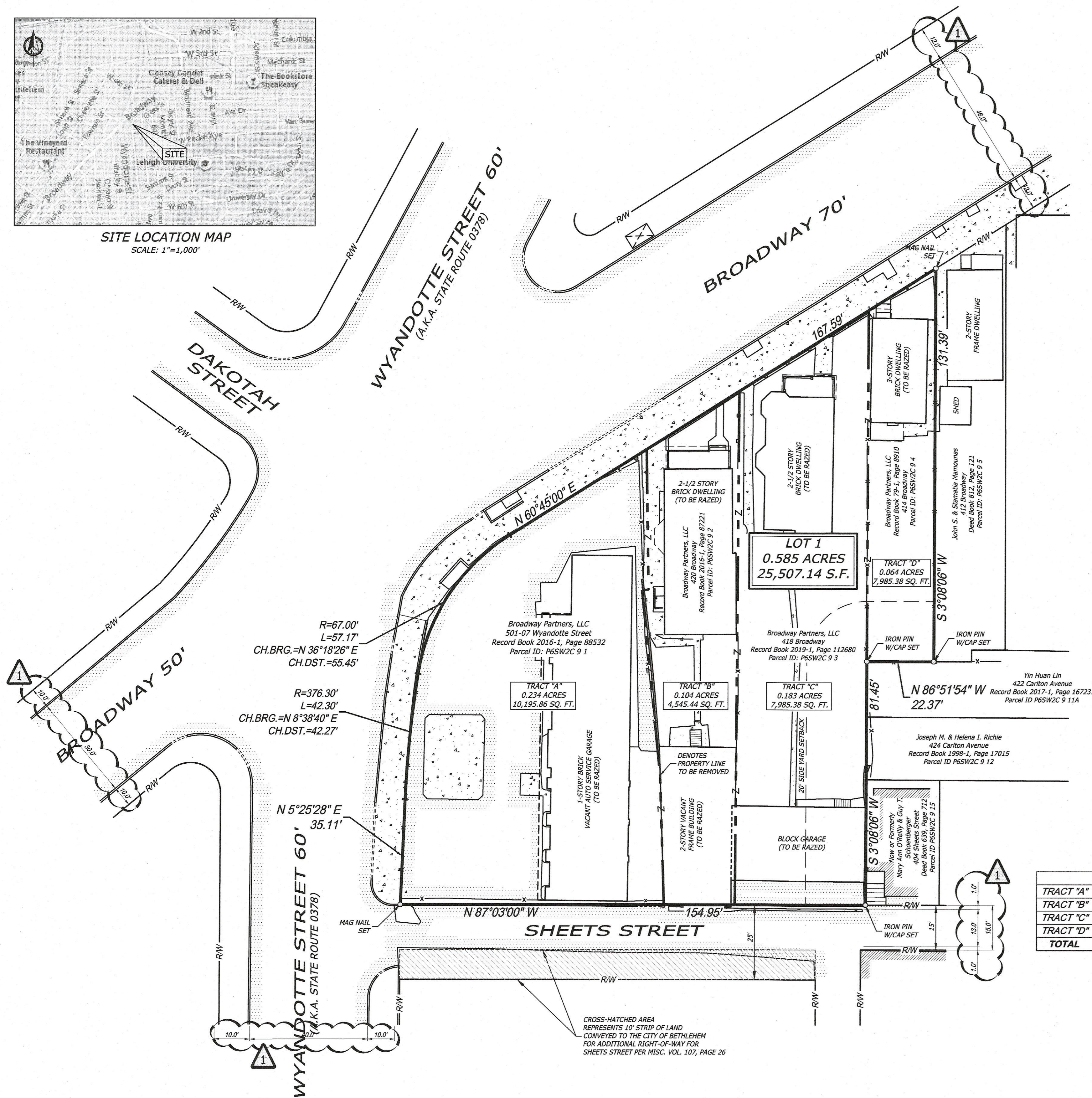
AZ Bethlehem, LLC
501-07 Wyandotte Street & 414, 418 & 420 Broadway
2nd Ward, City of Bethlehem, County of Northampton
Commonwealth of Pennsylvania
ALTA/NSPS LAND TITLE SURVEY



SCALE:	N/A
DATE:	03/02/21
DRAWN BY:	WJM
CHK'D BY:	HGM



SITE LOCATION MAP
SCALE: 1"=1,000'



AREA TABLE

	ACRES	SQUARE FEET
TRACT "A"	0.234	10,195.86
TRACT "B"	0.104	4,545.44
TRACT "C"	0.183	7,985.38
TRACT "D"	0.064	2,780.46
TOTAL	0.585	25,507.14

CERTIFICATE OF OWNERSHIP (CORPORATION)

I, _____ of Wright Partners being duly sworn according to law, and acting in my capacity as _____ (Title) depose and say that the above named corporation is the true and lawful owner, or equitable owner, of property known as 501-07 Wyandotte Street and 414, 418 & 420 Broadway, being Tax Parcel Nos. P6SW2C 9 1, P6SW2C 9 2, P6SW2C 9 3, and P6SW2C 9 4; that the above described property is in peaceful possession of said corporation and that there are no suits or liens pending affecting the title thereof.

Wright Partners
Corporation
By: _____
Corporation Official

NOTARY STATEMENT

Before me, the undersigned Notary Public in and for the State of _____ and County of _____ personally appeared _____ of Wright Partners, who stated that he/she is authorized to execute the above adoption and dedication on behalf of the corporation and was present at the meeting at which the action of the corporation was taken to adopt the plan and dedicate public property contained therein to the City of Bethlehem.

Witness my hand and notarial seal this _____ day of _____, 20____.

My commission expires the _____ day of _____, 20____.

ATTEST:

(Seal) _____
Notary Public

SURVEYOR'S CERTIFICATION

I hereby certify that this plan correctly and accurately represents the lands of the owner and, where applicable, the lots, buildings, streets, parking areas, walkways, and other structures and improvements shown thereon.

Howard G. McIlvried 4/15/21
Howard G. McIlvried
Registration No. 049396-R



CITY OF BETHLEHEM PLANNING COMMISSION

Approved by the City of Bethlehem Planning Commission at its meeting on _____

Planning Director _____ Planning Commissions Chairman _____

LEHIGH VALLEY PLANNING COMMISSION

Reviewed by the Lehigh Valley Planning Commission this _____ day of _____, 20____.

Reviewer _____

RECORDER OF DEEDS

Recorded in the office of the Recorder of Deeds in and for the County of Northampton, Pennsylvania in Plan Book _____, Page _____.

(Seal) _____
Recorder of Deeds

GENERAL NOTES:

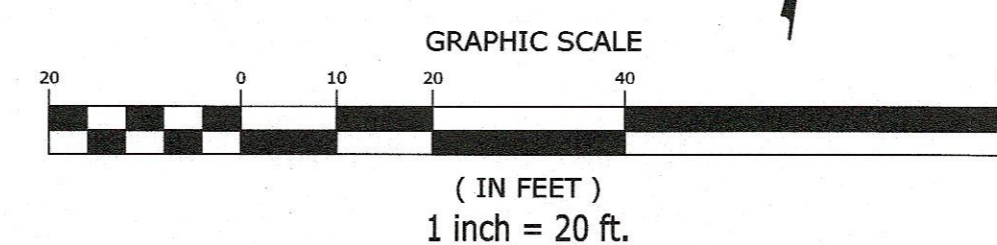
- The addresses of the properties to be consolidated are:
501-07 Wyandotte Street
Bethlehem, PA 18015
414, 418, & 420 Broadway
Bethlehem, PA 18015
- The name and address of the owner of the properties to be consolidated is:
Broadway Partners, LLC
811 Woodland Drive
Lakewood, NJ 08701-3038
- The name and address of the developer and equitable owner of the properties to be consolidated is:
Wright Partners
20 South Olive St., Suite 203
Media, PA 19063
- The purpose of this plan is to combine Tax Parcel Nos. P6SW2C 9 1, P6SW2C 9 2, P6SW2C 9 3 & P6SW2C 9 4 into one lot. The resulting lot, designated as Lot 1 on this consolidation plan, has an area of 0.585 acres (25,507.14 square feet).
- This consolidation plan is located within the Central Business (CB) Zoning District. Setback requirements for this district are as follows:
Front Yard: none required
Rear Yard: none required (20 feet when next to residential)
Side Yard: none required (20 feet when next to residential)
- The existing structures located on the consolidated lot are to be razed.
- By graphic plotting only, this site is located in Zone X of the Flood Insurance Rate Map 4205C0307E, Community No. 420718, Panel 0307, Suffix E, bearing an effective date of 7-16-14 and is not in a special flood hazard area.

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	04/15/2021	REVISED PER CITY COMMENTS	BDB

MDM
SURVEYORS & ENGINEERS, LLC
Surveyors • Engineers • Site Planners
375 Northgate Drive
Warrandale, PA 15086
Ph: (724) 934-2810 Fax: (724) 934-2811
mdmsurvey@mdmlc.com
www.mdmlc.com

SCALE: 1" = 20'
DATE: 12/01/20
DRAWN BY: LRB
CHK'D BY: HGM

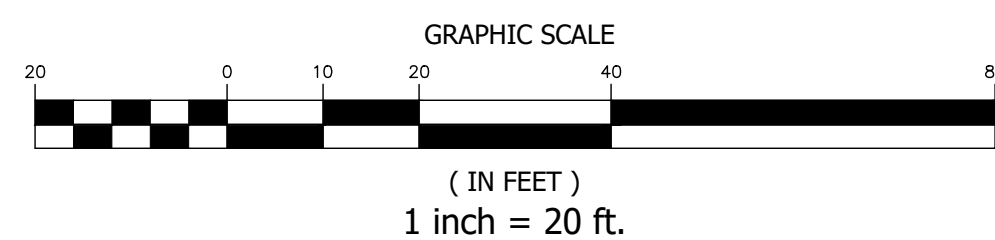
SHEET
1 of 1
Project No. 8527



A CONSOLIDATION OF TAX PARCEL NOS. P6SW2C 9 1, P6SW2C 9 2, P6SW2C 9 3, P6SW2C 9 4
PROPERTIES OF BROADWAY PARTNERS, LLC
501-07 Wyandotte Street, Bethlehem, PA 18015
414, 418, & 420 Broadway, Bethlehem, PA 18015
December 1, 2020 MDM PROJECT NO. 8527-Consolidation



SITE LOCATION MAP
SCALE: 1" = 2,000'



GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH LOCAL MUNICIPALITY AND COUNTY CODES AND STANDARDS. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED TO PERFORM ALL THE WORK. THE CONTRACTOR SHALL POST ALL BONDS, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE OWNER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION. ANY CONFLICT BETWEEN DRAWINGS AND THE SPECIFICATIONS SHALL BE CONFIRMED WITH THE CONSTRUCTION MANAGER PRIOR TO BIDDING.
- SHOULD ANY UNCHARTED, OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER AND THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
- DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER, LOCAL MUNICIPALITY AND/OR UTILITY COMPANY. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY OR PERMANENT SERVICE HAS BEEN PROVIDED.
- THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
- THE CONTRACTOR SHALL RESTORE ANY STRUCTURES, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. WITHIN THE SITE OR ADJOINING PROPERTIES DISTURBED DURING DEMOLITION OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AND TO THE SATISFACTION OF THE OWNER AND LOCAL MUNICIPALITY. ALL COSTS TO COMPLETE THIS WORK SHALL BE INCLUDED IN THE BASE BID FOR THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF PEDESTRIANS AND VEHICLES CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORM TRAFFIC CONTROLLERS IN ACCORDANCE WITH THE STATE DEPARTMENT OF TRANSPORTATION OR AS REQUIRED OR DIRECTED BY THE SITE ENGINEER OR CONSTRUCTION MANAGER OR LOCAL GOVERNING AUTHORITIES. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE DEPARTMENT OF TRANSPORTATION, LOCAL MUNICIPALITY, COUNTY, OR OTHER GOVERNING AUTHORITY IS RECEIVED.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER SHOULD ANY DISCREPANCY REGARDING THE PROPOSED WORK OR UNFORESEEN CONDITIONS ARISE PRIOR TO PROCEEDING FURTHER WITH THE AFFECTED WORK.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AND THE ARCHITECT FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES.
- REFER TO DETAIL SHEETS FOR EROSION AND SEDIMENT CONTROL, STORM DRAINAGE, UTILITY, PAVING, CURBING, SIGNAGE, AND RETAINING WALL DETAILS AS APPLICABLE.
- PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH DEPARTMENT OF TRANSPORTATION GUIDELINES AND SHALL BE EITHER COLD LAID THERMOPLASTIC TAPE OR PAINTED AS DESIGNATED ON THE PLANS OR PAVEMENT MARKING DETAILS.
- SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE UNLESS OTHERWISE NOTED.
- ALL PAVING MATERIALS FURNISHED AND WORK COMPLETED SHALL BE IN STRICT ACCORDANCE WITH THE STATE DEPARTMENT OF TRANSPORTATION GUIDELINES UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LAWFUL MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS FOR BUILDING, WALLS, CONCRETE SLABS, AND UTILITY SERVICE POINT CONNECTIONS AND NOTIFYING THE OWNER AND ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REFERENCE BUILDING CONSTRUCTION PLANS FOR EXACT LOCATIONS OF ALL UTILITY CONNECTIONS TO BUILDINGS AND DOOR STEP LOCATIONS.
- PIPE BOLLARDS SHALL BE INSTALLED IN TRAFFIC AND LOADING AREAS AS REQUIRED TO PROTECT BUILDING CORNERS, RECEIVING AREAS, HYDRANTS, TRANSFORMERS, METERS, GENERATORS, COMPACTORS, STEPS, AND RAILINGS, AS NECESSARY.
- THE OWNER, AT THEIR DISCRETION, RESERVES THE RIGHT TO MODIFY THE DETAILS AND STANDARDS OF CONSTRUCTION FOR ALL PRIVATE UTILITIES FROM THAT INDICATED ON THE APPROVED PLAN, PROVIDED THAT THE ALTERNATE STANDARD COMPLIES WITH LOCAL CODE AND/OR UTILITY COMPANY REQUIREMENTS AND THE GENERAL DESIGN INTENT OF THE PROJECT IS NOT COMPROMISED.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AS REQUIRED FOR REVIEW AND APPROVAL, PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
- THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF THE BUILDING, ROOF DRAINS, AND CONCRETE SIDEWALKS.
- TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DEPARTMENT OF TRANSPORTATION STANDARD DETAIL SHEETS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB.
- INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE PA ONE CALL SYSTEM WITHIN THREE (3) WORKING DAYS BEFORE COMMENCEMENT OF WORK AT 1-800-242-1776 AND VERIFY ALL LOCATIONS.
- NO PART OF THE LOT IS LOCATED WITHIN ANY FLOODPLAIN AREAS.
- FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY AND LOCAL FIRE DEPARTMENT REQUIREMENTS.

SITE DATA INFORMATION

DEVELOPER/OWNER: AZ BETHLEHEM, LLC
20 SOUTH OLIVE STREET, SUITE 203
MEDIA, PA 19063
MR. WILLIAM ROUNTREE, PE
(610) 566-0270
wrountree@azb.com

SURVEYOR/ENGINEER: HENI - SURVEYORS AND ENGINEERS, LLC
375 NORTHGATE DRIVE
WARRENDALE, PA 15086
(724) 934-2810
MR. HOWARD MCVIRED, PLS
hmcvired@hendi.com
MR. CHRISTOPHER PETERS, PE
cpeters@hendi.com

TOTAL EXISTING ACREAGE: 0.585 ACRES (25,507.14 SF)
TOTAL PROPOSED DEVELOPMENT ACREAGE: 0.585 ACRES (25,507.14 SF)
PROPERTY LOCATION: WARD 2 BLOCK 7

EXISTING USE: VACANT AUTO SERVICE GARAGE, (3)
DWELLINGS, (2) ACCESSORY BUILDINGS

PROPOSED USE: RETAIL SALE OF AUTO PARTS,
NO SERVICE WORK

EXISTING BUILDING COVERAGE: 7,374 SF
PROPOSED BUILDING COVERAGE: 6,000 SF
EXISTING IMPERVIOUS COVER: 17,051 SF
PROPOSED IMPERVIOUS COVER: 17,521 SF
DIFFERENCE: 470 SF INCREASE IN IMPERVIOUS COVER

- NOTES:**
- A KNOX BOX FOR THE CITY OF BETHLEHEM ACCESS MUST BE INSTALLED ON BUILDING FRONTAGE.
 - THIS BUILDING DOES NOT REQUIRE A FIRE SPRINKLER SYSTEM, IN ACCORDANCE WITH THE IBC FIRE CODE, BASED ON PROPOSED CONSTRUCTION TYPE, SQUARE FOOTAGE AND USE.
 - A LOT CONSOLIDATION PLAN WILL BE REQUIRED FOR LAND DEVELOPMENT APPROVAL, AND IS TO BE INCLUDED WITH FORMAL PLANNING COMMISSION SUBMITTAL.
 - IN ORDER TO MAINTAIN CONTINUITY BETWEEN PLAN REVISIONS, ANY CHANGES TO A PREVIOUS PLAN SUBMISSION SHALL BE FLAGGED WITH A TRIANGLE. ANY CHANGES NOT FLAGGED MAY BE CONSIDERED NOT APPROVED. FLAGGED CHANGES SHALL BE REFERENCED TO THE APPROPRIATE REVISION DATE IN THE REVISION BLOCK.
 - PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY, PERMITS MUST BE OBTAINED FROM CITY ENGINEERING OFFICE.
 - THE MAINTENANCE OF STORM WATER FACILITIES SHALL BE THE OWNER'S RESPONSIBILITY. THE OWNER'S DEED, AND THE DEED TO ANY SUBSEQUENT OWNER, SHALL NOTE THAT THE OWNER SHALL ACCEPT THE MAINTENANCE RESPONSIBILITIES. THE CITY OF BETHLEHEM SHALL BE PERMITTED TO INSPECT THE STORM WATER FACILITIES ON AT LEAST AN ANNUAL SCHEDULE TO ENSURE THAT ANY NECESSARY CORRECTIVE WORK IS PERFORMED IN A TIMELY MANNER.

ZONING INFORMATION

DESCRIPTION	REQUIRED	PROPOSED
MINIMUM LOT AREA	NONE REQUIRED	25,506.66 SF
MINIMUM LOT WIDTH	NONE REQUIRED	177.32'
MINIMUM FRONT YARD SETBACK (BROADWAY)	NONE REQUIRED	2'-0"
(SHEETS STREET)		12'-0"
(WYANDOTTE STREET)		22'-0"
MINIMUM SIDE YARD SETBACK	NONE REQUIRED; 20' WHEN NEXT TO RESIDENTIAL	69'-11"
MINIMUM REAR YARD SETBACK	NONE REQUIRED	N/A
MAXIMUM BUILDING HEIGHT	150'-0"	21'-0"
MAXIMUM BUILDING COVERAGE	100%	23.5%
MAXIMUM IMPERVIOUS COVERAGE	100%	69%
OFF-STREET LOADING SPACE	12'x35'	12'x35'
BUFFERYARD	15' OR 8' OR 2'	8' & 2'

ZONING DISTRICT: C-B
(CENTRAL BUSINESS DISTRICT)
A RETAIL STORE IS A PERMITTED USE WITHIN THIS ZONING DISTRICT.

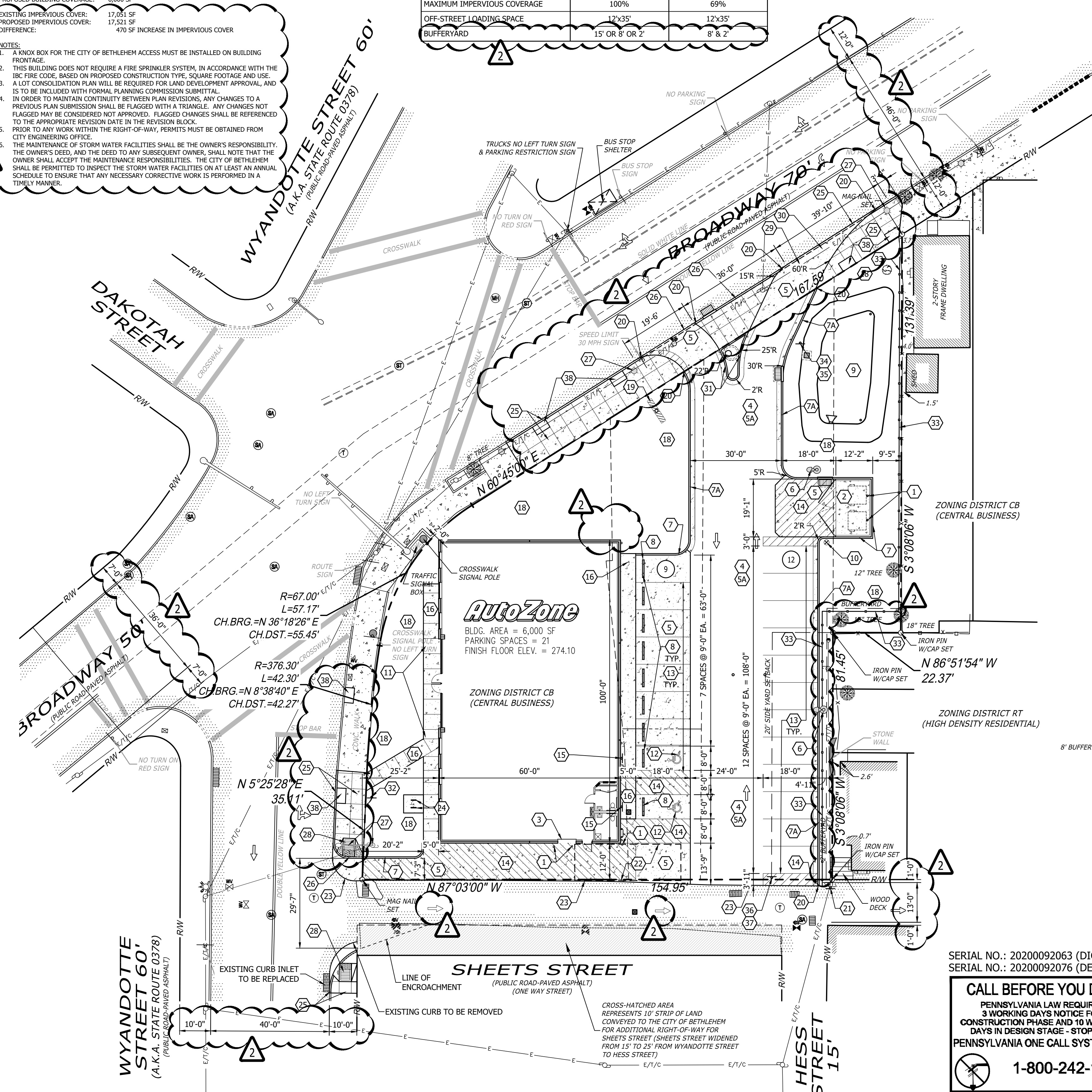
ZONING INFORMATION WAS OBTAINED FROM: CITY OF BETHLEHEM ZONING DEPARTMENT
10 EAST CHURCH STREET
BETHLEHEM, PA 18108
610-865-7000
CRAIG PEIFFER, ZONING OFFICER

GENERAL NOTES

- PROOF ROLL BUILDING AND ALL PARKING AREAS. NOTIFY THE ARCHITECT OF ANY UNACCEPTABLE AREAS.
- EDGE OF NEW PAVEMENT TO BE FLUSH WITH EXISTING PAVEMENT.
- ALL SIDEWALK CURB AND GUTTER STREET PAVING, CURB CUTS, DRIVEWAY APPROACHES, HANDICAP RAMP, ETC. CONSTRUCTED OUTSIDE THE PROPERTY LINE IN THE RIGHT-OF-WAY SHALL CONFORM TO ALL MUNICIPAL AND/OR STATE SPECIFICATIONS AND REQUIREMENTS.
- FOR AREAS OUTSIDE THE PROPERTY LINES, REPAIR AND/OR REPLACE ALL DAMAGE DONE TO EXISTING ELEMENTS (SIDEWALKS, PAVING, LANDSCAPING, ETC.) AS REQUIRED BY OWNER AND/OR GOVERNING AUTHORITY.
- FOR PROPOSED UTILITY LOCATIONS, SEE THE SITE UTILITY PLAN.
- PROPOSED USE: RETAIL SALE OF AUTO PARTS.

KEYNOTES

- PIPE GUARD - SEE DETAIL 11/C1.A.
- DUMPSTER LAYOUT - SEE DETAILS 13, 14, 15 & 16/C1.A.
- SERVICE DOOR - SEE DETAIL 10/C1.A.
- ASPHALT PAVING - SEE DETAILS 2 & 4/C1.A.
- CONCRETE PAVING - SEE DETAIL 3/C1.A. EXPANSION AND CONTROL JOINTS - SEE DETAILS 21 & 22/C1.A. MAXIMUM SPACING FOR CONTROL JOINTS IS 15' O.C. EACH WAY.
- G.C. TO PROVIDE ALTERNATE BID FOR CONCRETE PAVING, WHERE NOTED.
- CONCRETE LIGHT POLE BASE - SEE DETAIL 12/C1.A. AIM LIGHT FIXTURE IN DIRECTION AS INDICATED.
- ROLL-OVER CURB @ CONCRETE PAVING - SEE DETAIL 1/C1.A.
- ROLL-OVER CURB @ ASPHALT PAVING - SEE DETAIL 2/C1.A.
- WHEEL STOP. SEE DETAIL 23/C1.A.
- RAIN GARDEN AREAS. SEE STORMWATER MANAGEMENT DETAILS.
- FROST-PROOF HOSE BIBB - SEE DETAIL 6, SHEET M2.
- BOLLARD PLAN - SEE DETAIL 9/C1.A.
- BARRIER-FREE PARKING SYMBOL - SEE DETAIL 7/C1.A.
- 4" WIDE PARKING STRIPE PAINTED WHITE (TYP.).
- 4" WIDE DIAGONAL STRIPES PAINTED WHITE AT 2 FT. O.C. STRIPES AT ACCESSIBLE PARKING TO BE BLUE - SEE DETAIL 6/C1.A.
- ACCESSIBLE PARKING SIGN - SEE DETAIL 8/C1.A. G.C. TO PROVIDE ONE VAN ACCESSIBLE SIGN.
- CONCRETE SIDEWALK - SEE DETAILS 20 & 25/ C1.A FOR SIDEWALKS AROUND BUILDING.
- ACCESSIBLE RAMP - SEE DETAILS 5 & 6/C1.A - MAX. SLOPE 1:12 (8.33%), MAX. CROSS SLOPE 1:50 (2.00%), TRUNCATED DOME TO BE A CONTRASTING COLOR.
- NEW LANDSCAPE AREA - PROVIDE 3" TOPSOIL & SOD. SEE SHEET L1.0 FOR ADDITIONAL INFORMATION.
- 5'x8'x25' OAH PYLON SIGN. (UNDER SEPARATE PERMIT). ALL SIGNS SHALL BE PERMITTED IN ACCORDANCE WITH CITY OF BETHLEHEM REGULATIONS.
- SLOPE CURB FLUSH TO PAVEMENT AT 4:1 SLOPE.
- RELOCATED 'ONE WAY' SIGN ON EXISTING UTILITY POLE. CONFIRM LOCATION WITH CITY OF BETHLEHEM.
- 12'x35' OFF-STREET LOADING SPACE.
- LIMIT OF NEW PAVEMENT. SEAL ALL EDGES WITH AC-20.
- TWO (2) 'U' BIKE RACKS - SEE DETAIL 27/C1.A.
- NEW CONCRETE CURB & SIDEWALK. SEE DETAILS ON SHEET C1.B, PER CITY OF BETHLEHEM SPECIFICATIONS. MATCH EXISTING.
- NEW DEPRESSED CURB. SEE DETAILS ON SHEET C1.B, PER CITY OF BETHLEHEM SPECIFICATIONS.
- RELOCATED STREET LIGHT. MATCH EXISTING FOUNDATION BASE. RE-CIRCUIT AS REQUIRED. CONFIRM LOCATION WITH CITY OF BETHLEHEM PRIOR TO CONSTRUCTION.
- ACCESSIBLE CURB RAMP, TYPE 1, PER PennDOT SPECIFICATIONS.
- RELOCATED UTILITY POLE BY UTILITY COMPANY. COORDINATE RELOCATION WITH NECESSARY UTILITY COMPANIES. SEE SITE UTILITY PLAN.
- RELOCATED ELECTRIC PEDESTAL BY POWER COMPANY. MAKE NEW PEDESTAL LOCATION FLUSH WITH NEW CONCRETE SIDEWALK. SEE SITE UTILITY PLAN.
- CONCRETE MOUNTABLE MEDIAN, PER PennDOT SPECIFICATIONS.
- RELOCATED 'ROUTE 412' DIRECTIONAL SIGN. CONFIRM LOCATION WITH CITY OF BETHLEHEM AND PADOT.
- SIX-FOOT HIGH SIGHT TIGHT VINYL FENCING, PAINTED WHITE. SEE DETAIL ON SHEET C1.A.
- NEW 'STOP' (R1-1) SIGN (30"x30"), MOUNTED ON GALVANIZED POLE, PER PennDOT SPECIFICATIONS.
- NEW 'NO LEFT TURN' SIGN (R3-2).
- NEW 'NO RIGHT TURN' SIGN (R3-1).
- NEW 'ONE WAY' SIGN (R6-2), MOUNTED ON GALVANIZED POLE, PER PennDOT SPECIFICATIONS.
- NEW STREET WELL FOR STREET TREES PER CITY OF BETHLEHEM SPECIFICATIONS.



ACCURATE AS-BUILT PLANS SHALL BE KEPT UP TO DATE DURING THE CONSTRUCTION PROCESS. AT THE COMPLETION OF THE PROJECT RECORD DRAWINGS SHALL BE DEVELOPED FROM THE AS-BUILT PLAN AND SUBMITTED TO THE CITY ENGINEER'S OFFICE. ALL FINAL DRAWINGS SHALL SHOW NORTH AMERICAN (NAD) 1983 STATE PLANE COORDINATES IN FEET (PENNSYLVANIA SOUTH, FIPS ZONE 3702) AND THE DIGITAL FILE SHALL BE IN STATE PLANE FEET COORDINATED AS APPLICABLE. THE HARD COPY OF THE RECORD DRAWINGS SHALL BE IN THE FORM OF A MYLAR COPY. THE ENGINEER OF RECORD SHALL CERTIFY (I.E. P.E. STAMPED AND SIGNED) THAT THE RECORD DRAWINGS COMPLY SUBSTANTIALLY WITH THE APPROVED PLAN AND THAT THEY CONFORM TO INDUSTRY STANDARDS. ALL DIGITAL FILES SHALL RESIDE ON PC COMPATIBLE CD ROM CONTAINING THE DIGITAL REPRESENTATION OF THE FINAL PLAN AS PRESENTED ON THE TWENTY-FOUR (24) INCH BY THIRTY-SIX (36) INCH SHEETS. THE DIGITAL MAP SHALL BE AUTOCAD COMPATIBLE. ALL LAYERS INCLUDED SHALL BE THE STANDARDIZED LAYERS PREPARED AND UTILIZED BY THE CITY OF BETHLEHEM TO ENSURE COMPATIBILITY WITH THE CITY'S EXISTING CAD STANDARDS AND AS DESCRIBED IN APPENDIX A OF THE CITY'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

LEGEND OF SYMBOLS

Overhead Electric, Telephone & Cable Line	E/T/C	Traffic Light	TL
Overhead Electric Line	E	Trees	T
Depressed Curb	DC	Turn Arrow	TA
Chain Link Fence	CLF	Gas Valve	GV
Wooden/Vinyl Fence	WF	Water Valve	WV
Traffic Signal Pole	TSP	Electric Meter	EM
Street Light	SL	Fire Hydrant	FH
Iron pin w/cap set (Unless otherwise noted)	IP	Utility Pole	UP
Traffic Flow Arrow	TFA	Guy Wire	GW
Storm Manhole	SM	Elec. Pedestal	EP
Sanitary Manhole	SMH	Asphalt	ASP
Cleanout	CO	High Density Polyethylene	HDP
Telephone Manhole	TMH	Polyvinyl Chloride	PVC
Sign	S	Reinforced Concrete Pipe	ACP
Right-of-Way	R/W		
Bollard	B		
Finished Floor Elevation	F.F.E.		
High Density Polyethylene	HDP		
Polyvinyl Chloride	PVC		
Reinforced Concrete Pipe	ACP		

SERIAL NO.: 2020092063 (DIG)
SERIAL NO.: 2020092076 (DESIGN)

CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL PENNSYLVANIA ONE CALL SYSTEM, INC.

1-800-242-1776

© COPYRIGHT 2020

Owner / Developer:
AZ Bethlehem, LLC
P.O. BOX 1908
MEDIA, PA 19063

Prepared For:
AutoZone
Store No.: 1400
501 WYANDOTTE STREET
CITY OF BETHLEHEM, COUNTY OF NORTHAMPTON
COMMONWEALTH OF PENNSYLVANIA

SITE PLAN

SCALE: 1" = 20'-0"

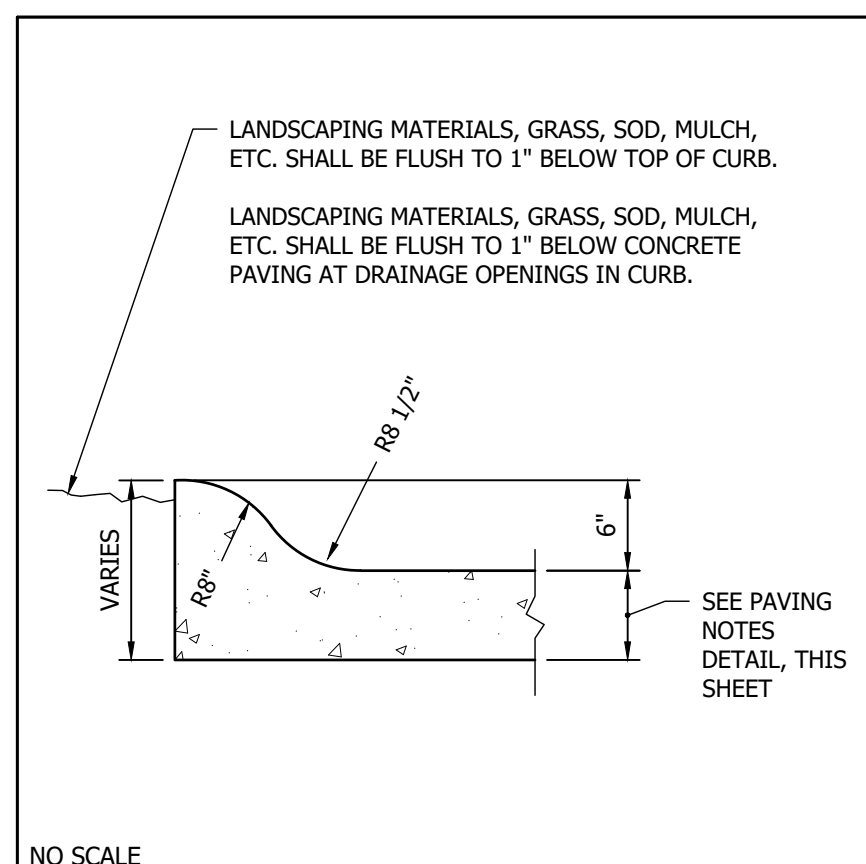
REVISIONS

02/24/2021	1. PER CITY COMMENTS
04/15/2021	2. PER CITY COMMENTS
3.	
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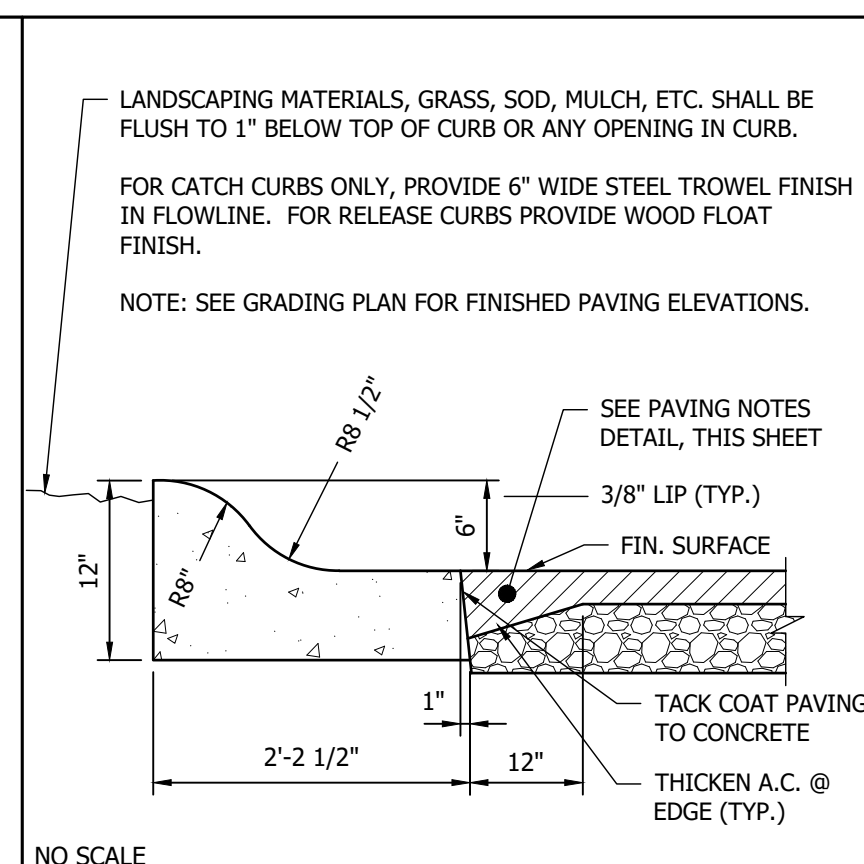
ARCHITECT: LE
DRAFTSMAN: CWT
CHECKED BY: CAD

DATE: 10-23-2020
PROTOTYPE SIZE: 6w2

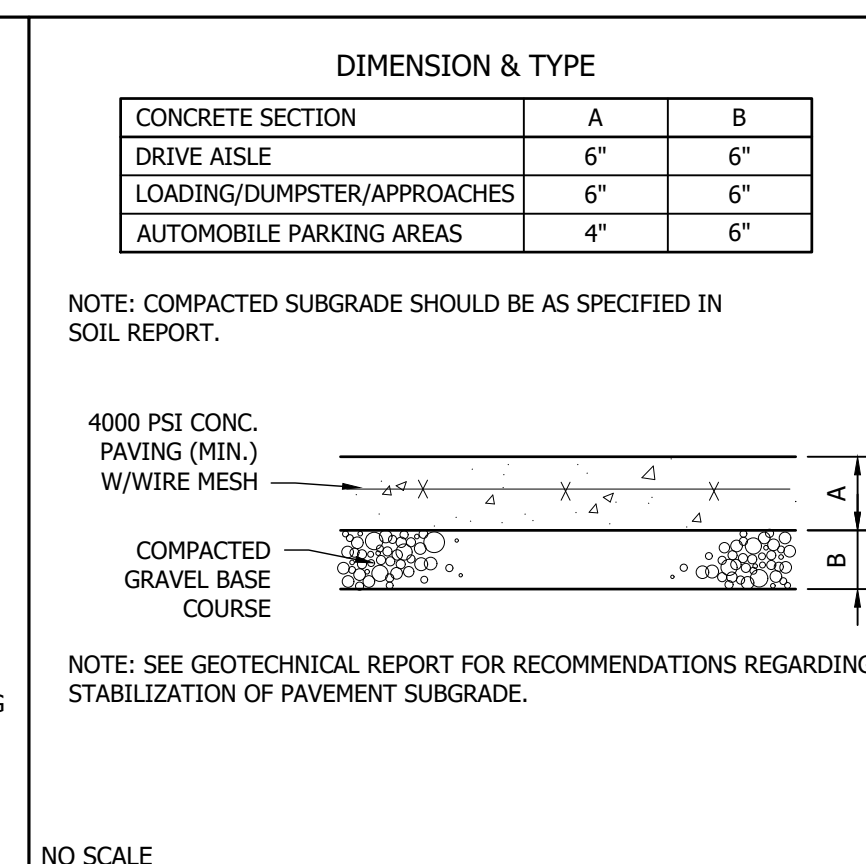
C1.0



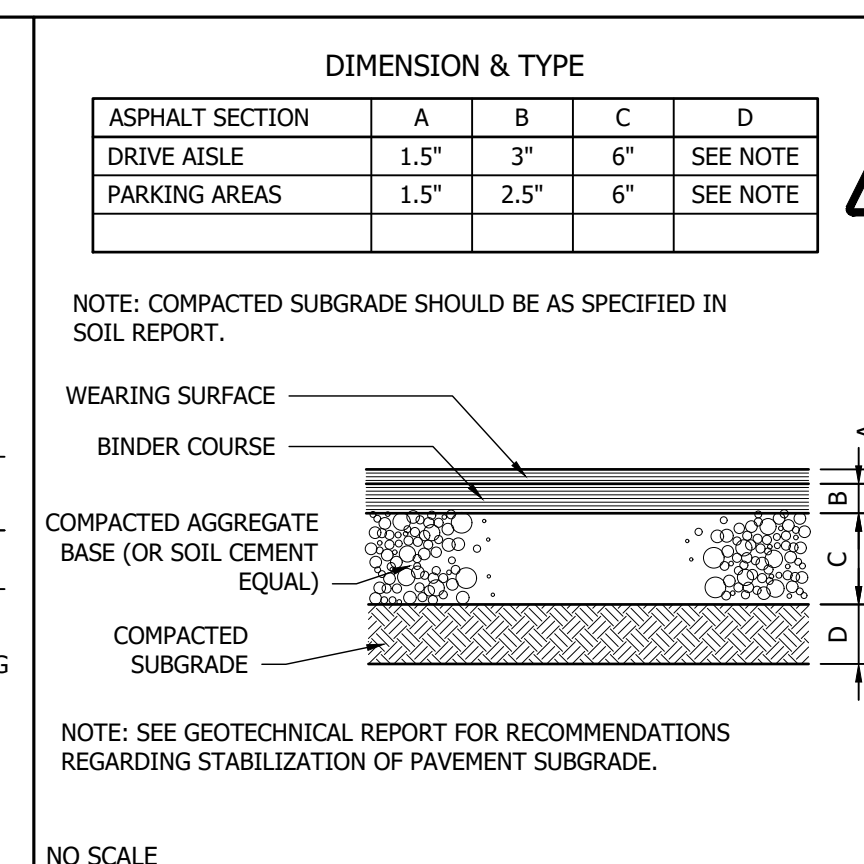
1 TYPICAL ROLL-OVER CURB



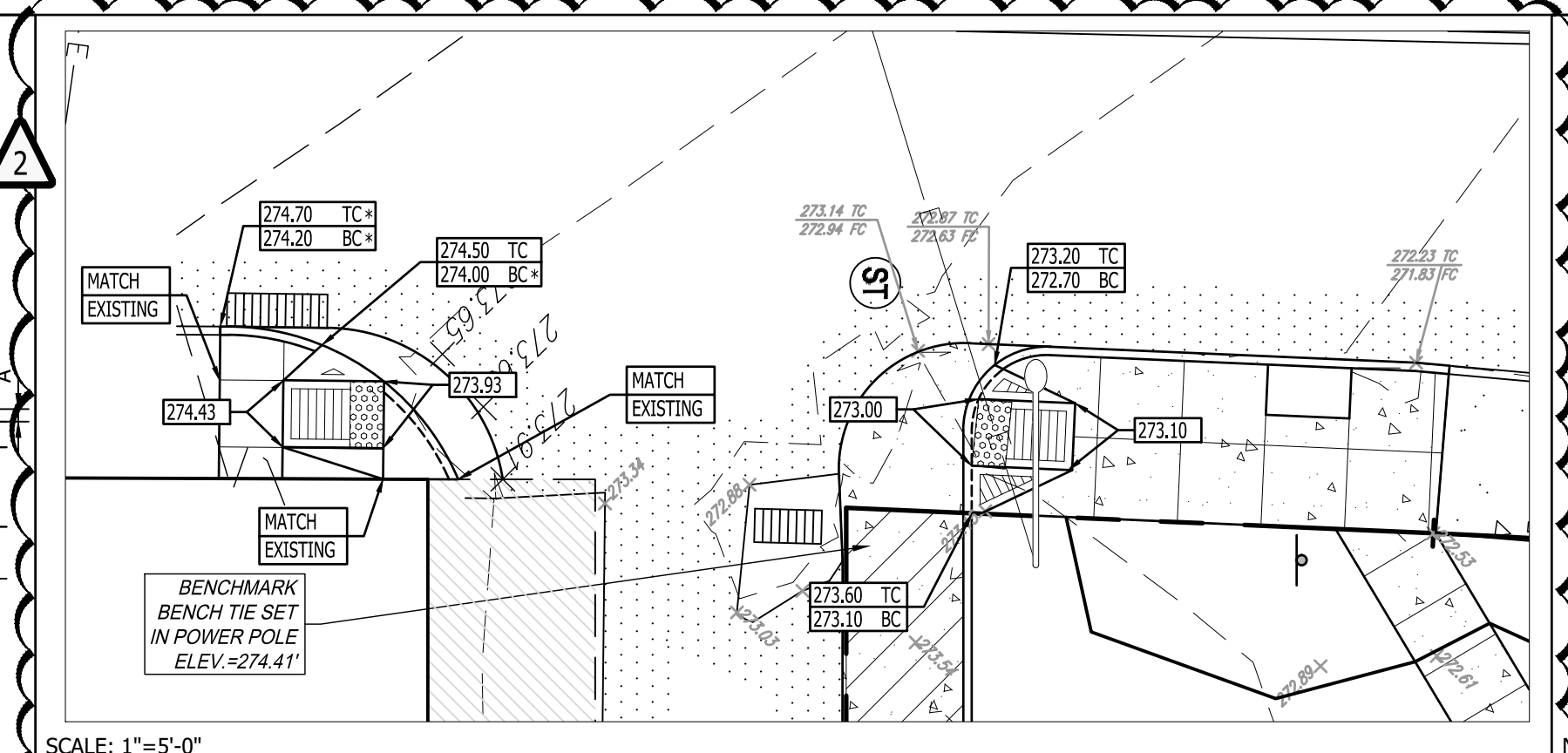
2 ROLL-OVER CURB at ASPHALT PAVING



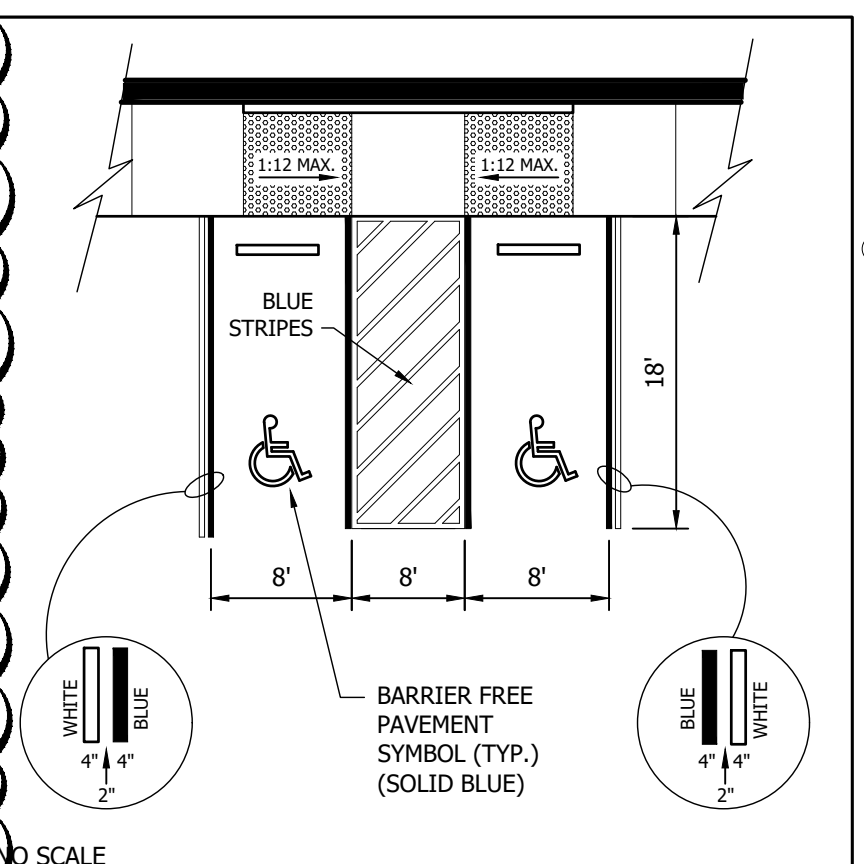
3 CONCRETE PAVING SECTION



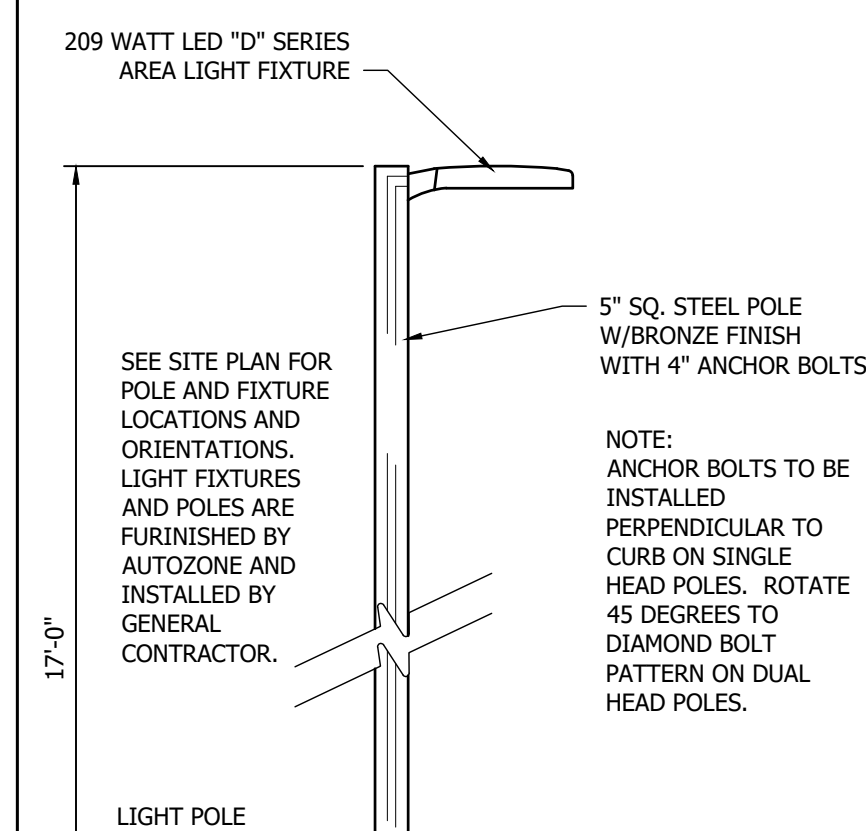
4 ASPHALT PAVING SECTION



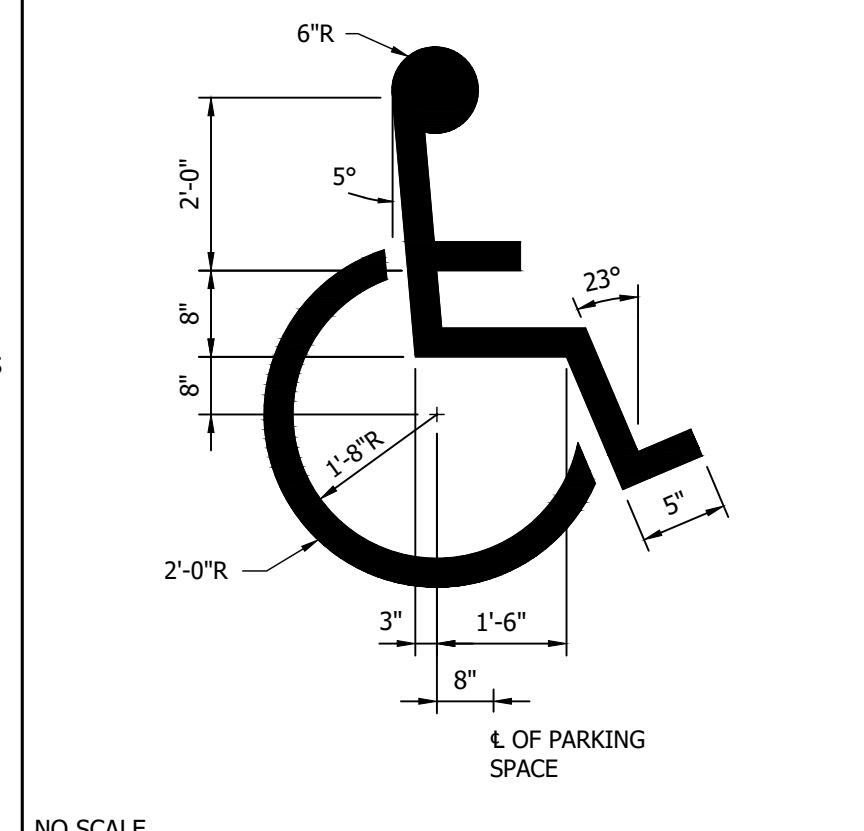
5 ACCESSIBLE SIDEWALK RAMPS AT SHEETS STREET AND WYANDOTTE STREET



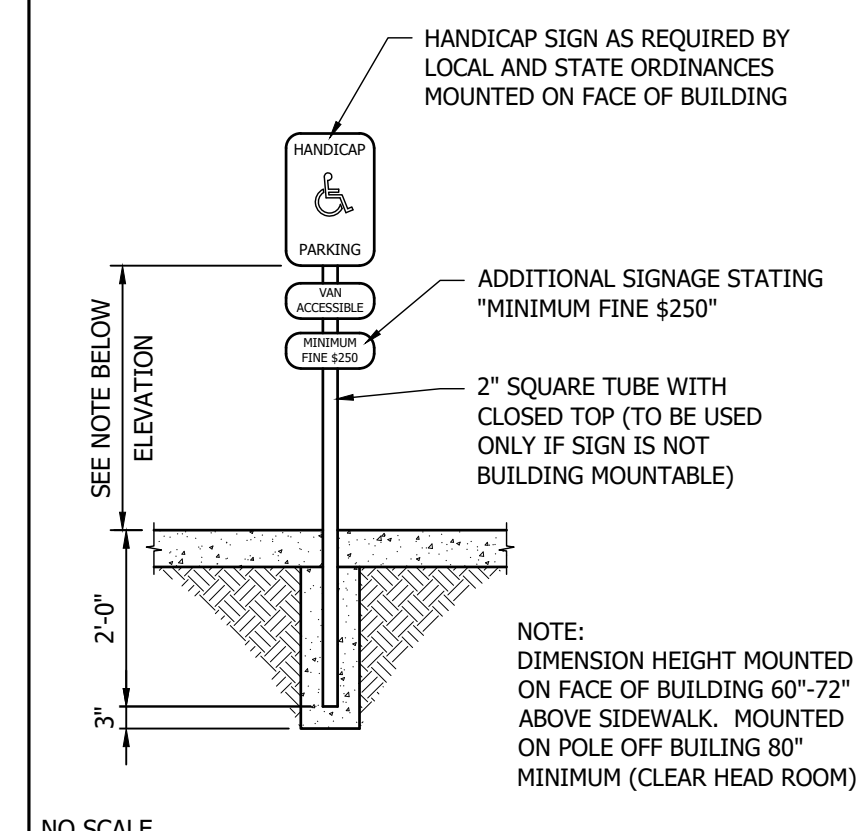
6 ACCESSIBLE PARKING DETAIL



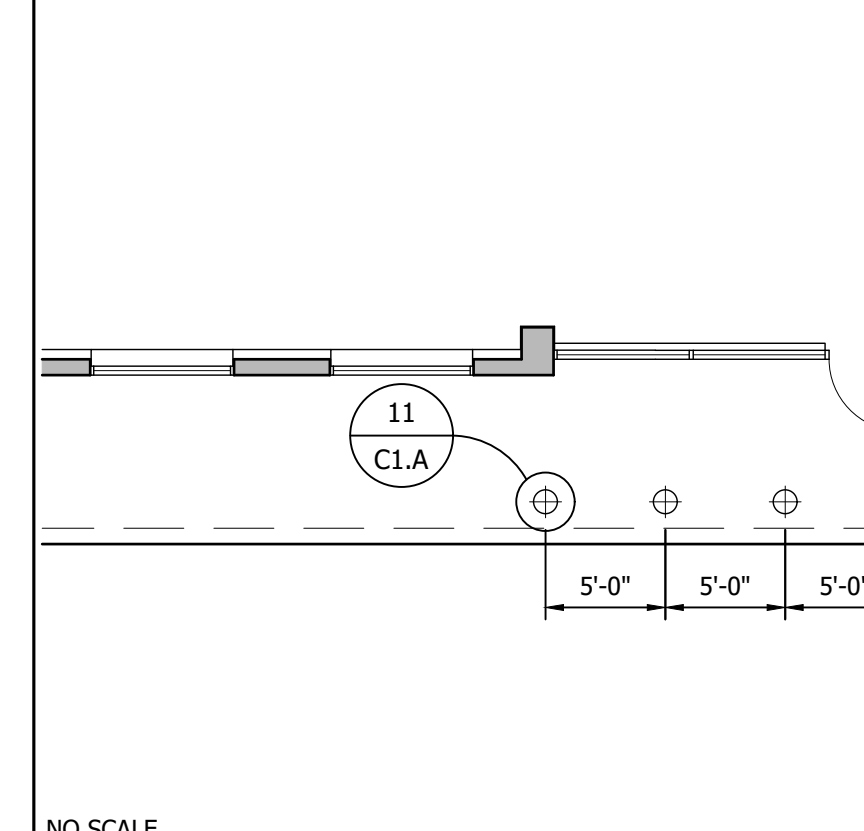
7 INT'L BARRIER FREE SYMBOL



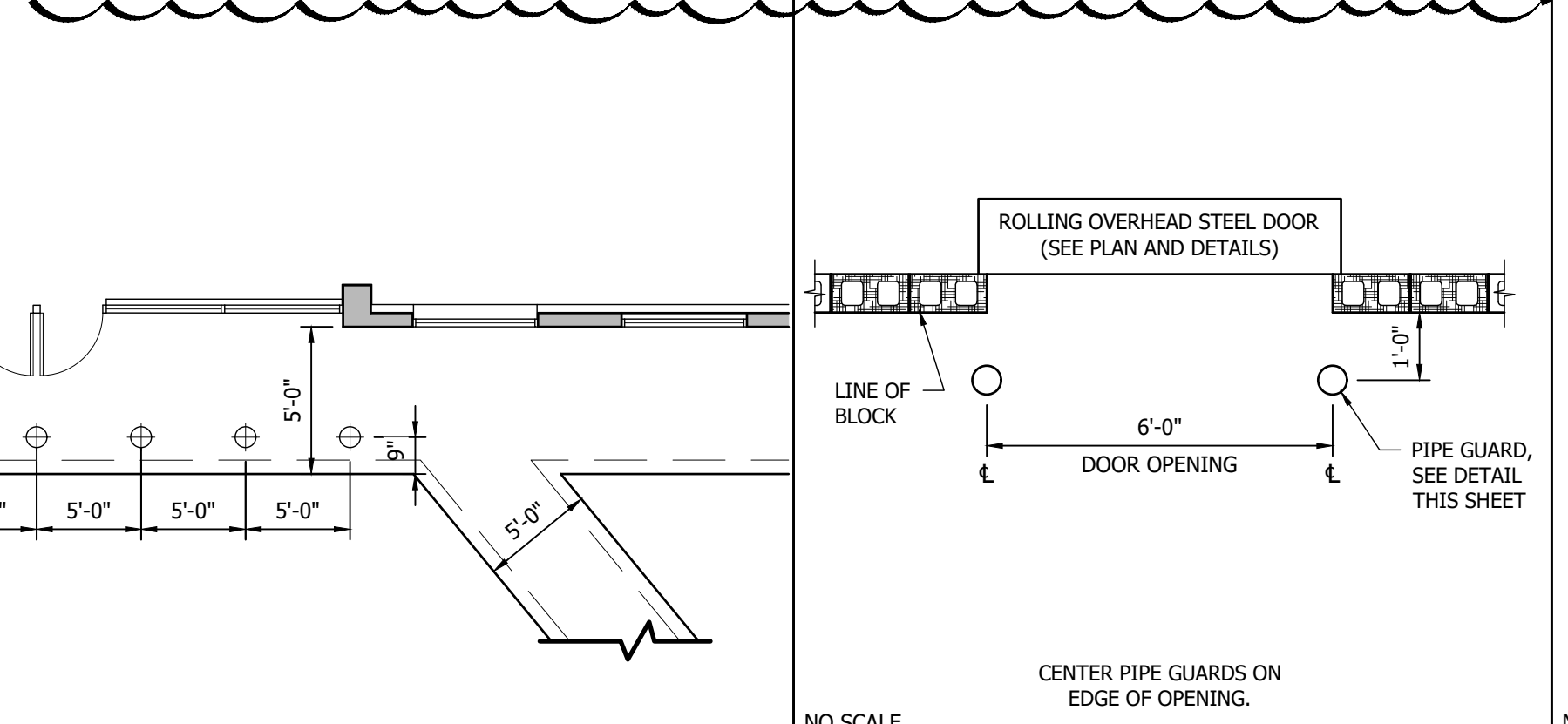
8 TYPICAL ACCESSIBLE PARKING SIGN



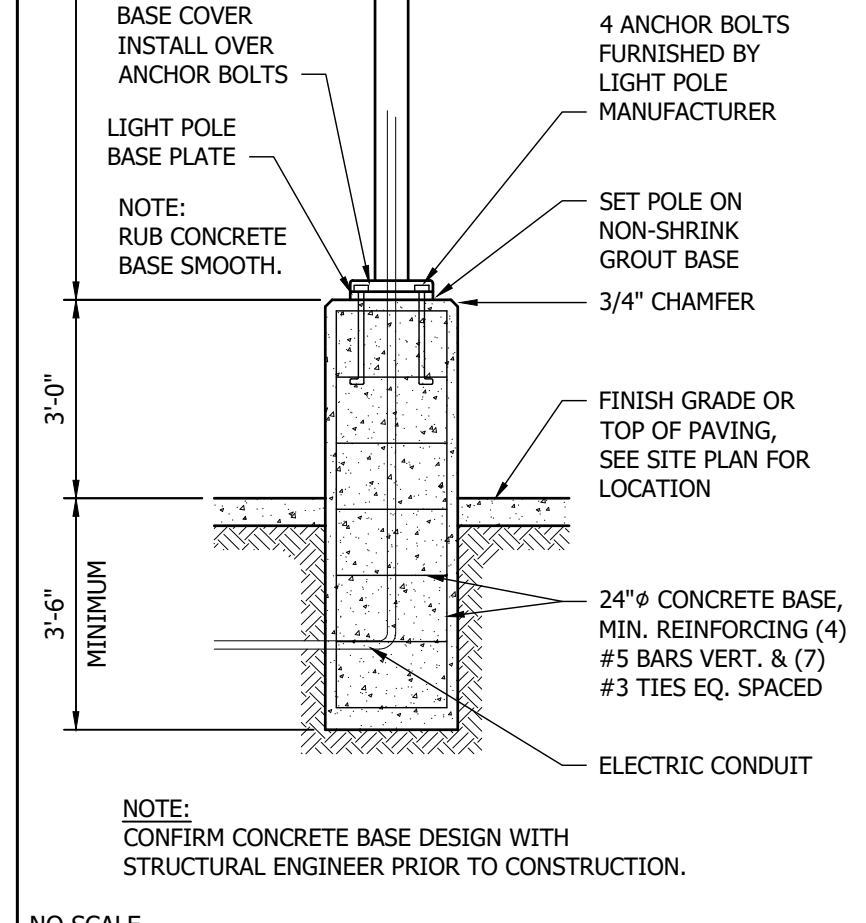
9 BOLLARD LAYOUT PLAN - 6w2



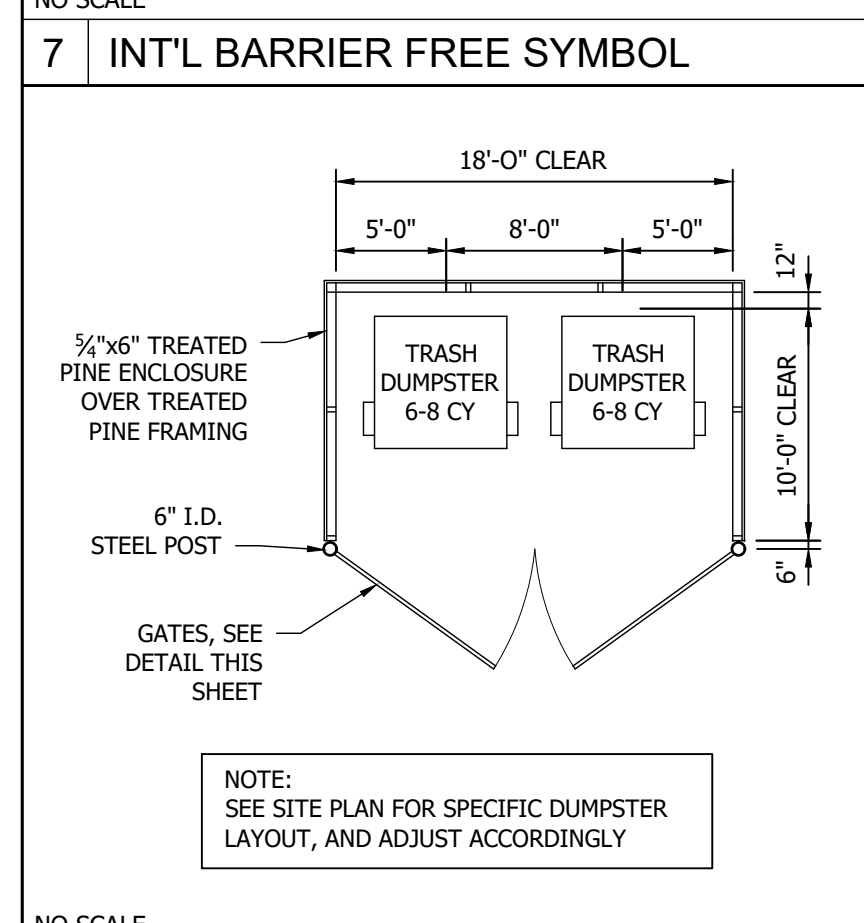
10 PIPE GUARD @ SERVICE DOOR



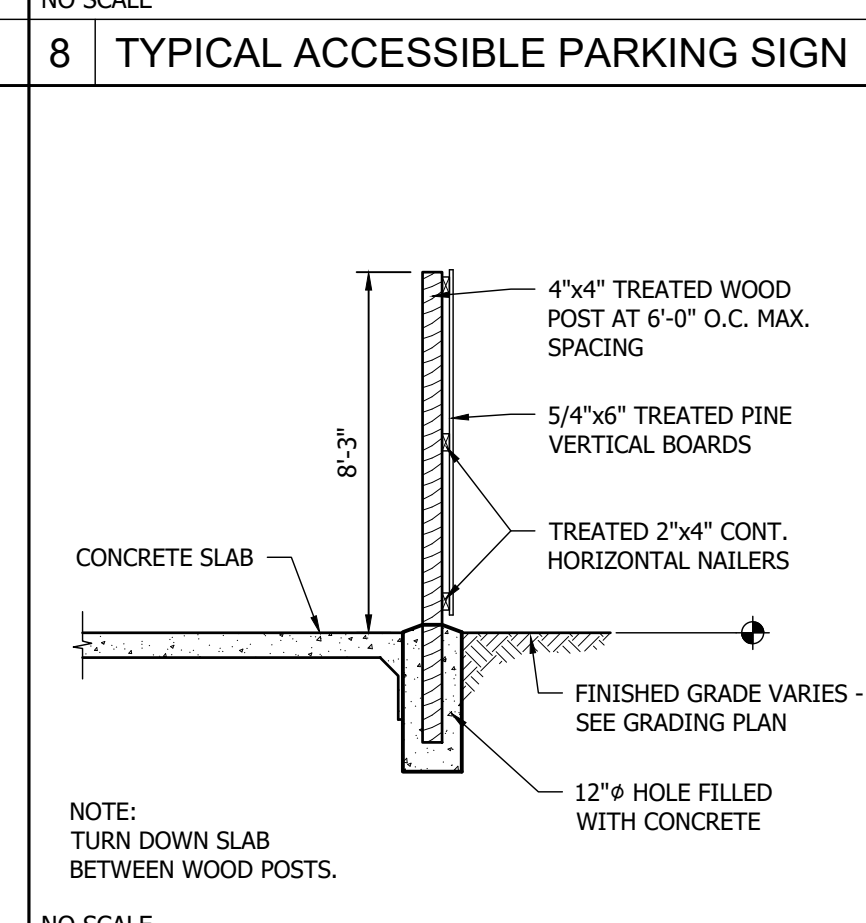
11 TYPICAL PIPE GUARD/BOLLARD SECTION



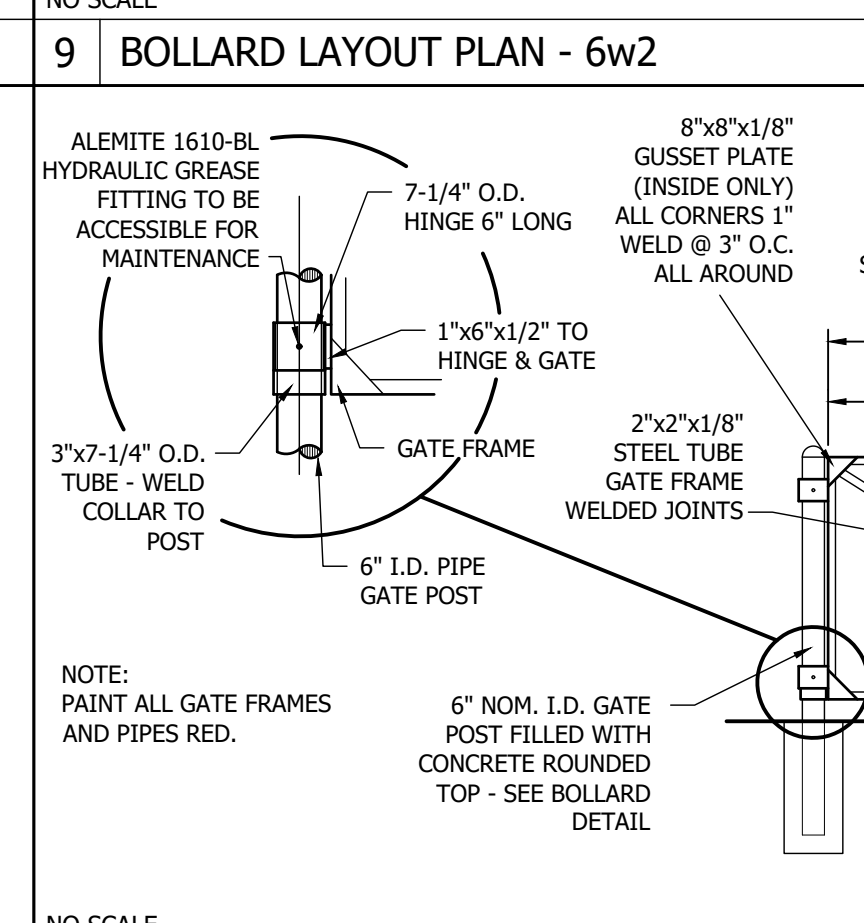
12 TYPICAL LIGHT POLE



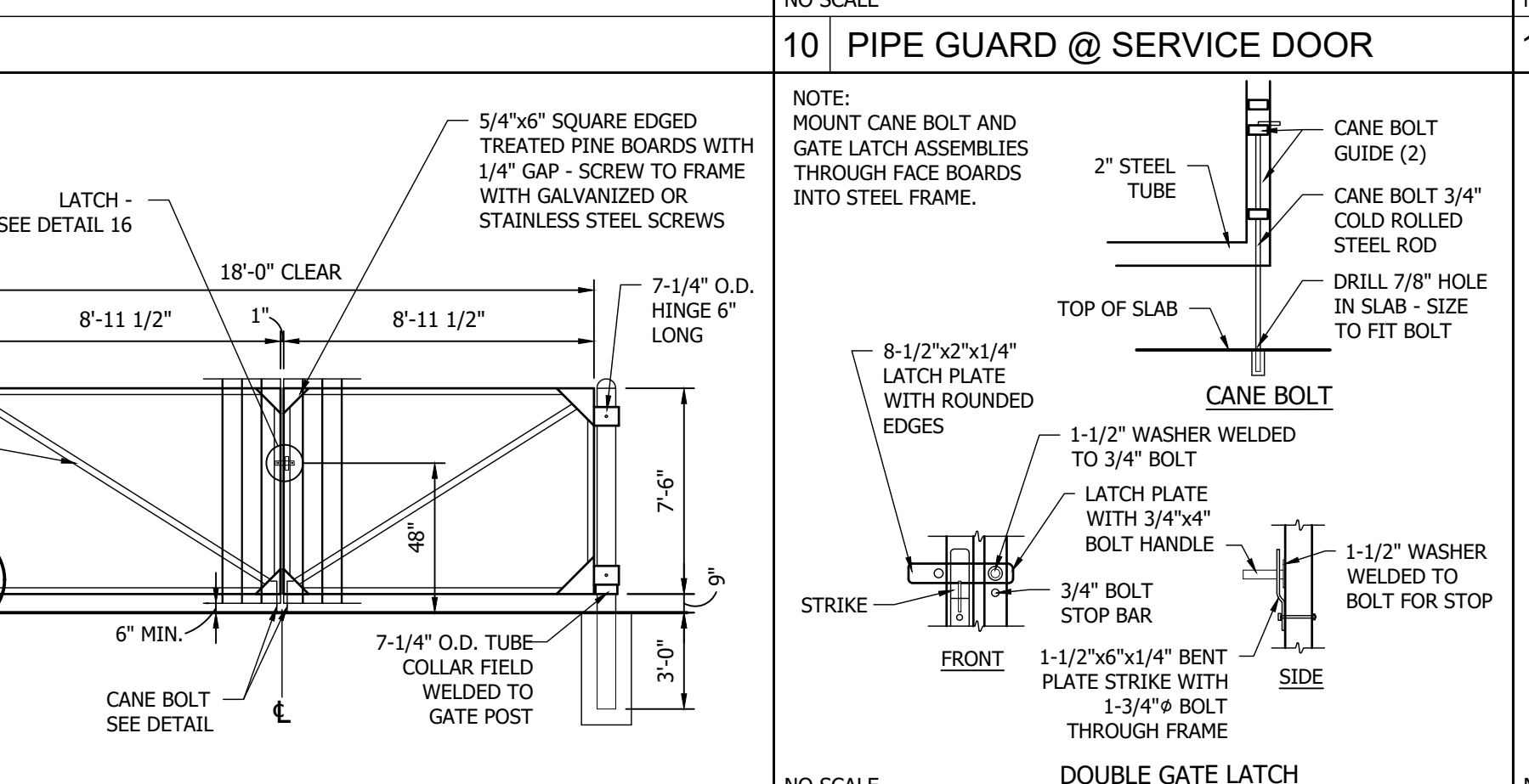
13 DUMPSTER LAYOUT



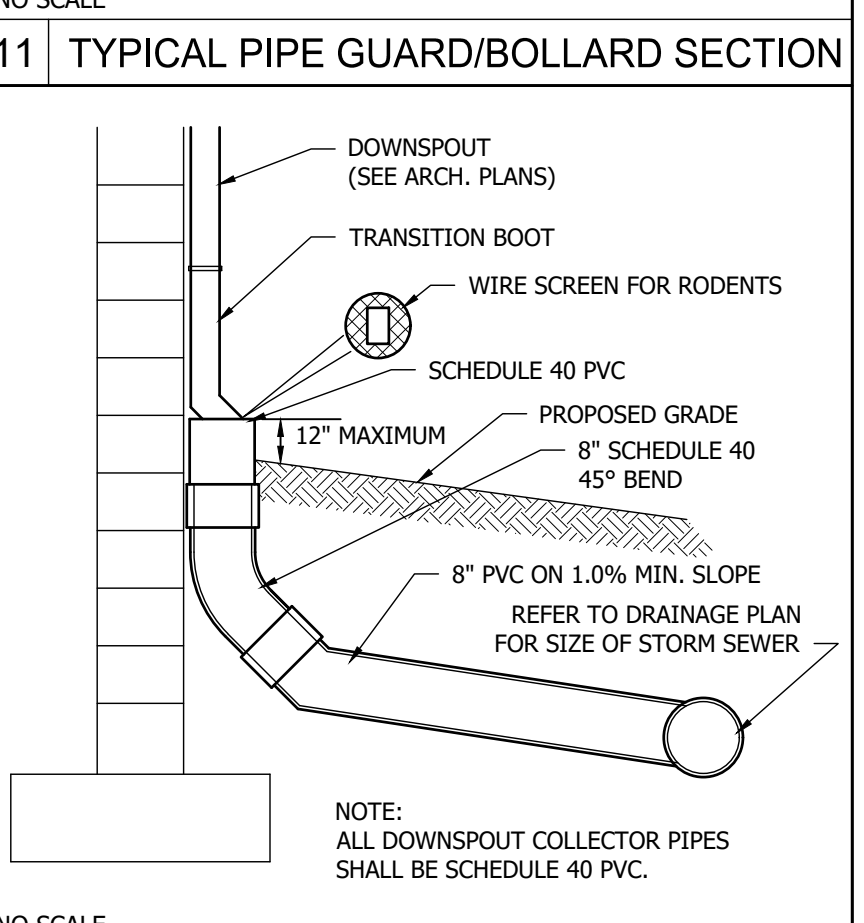
14 WOOD DUMPSTER SECTION



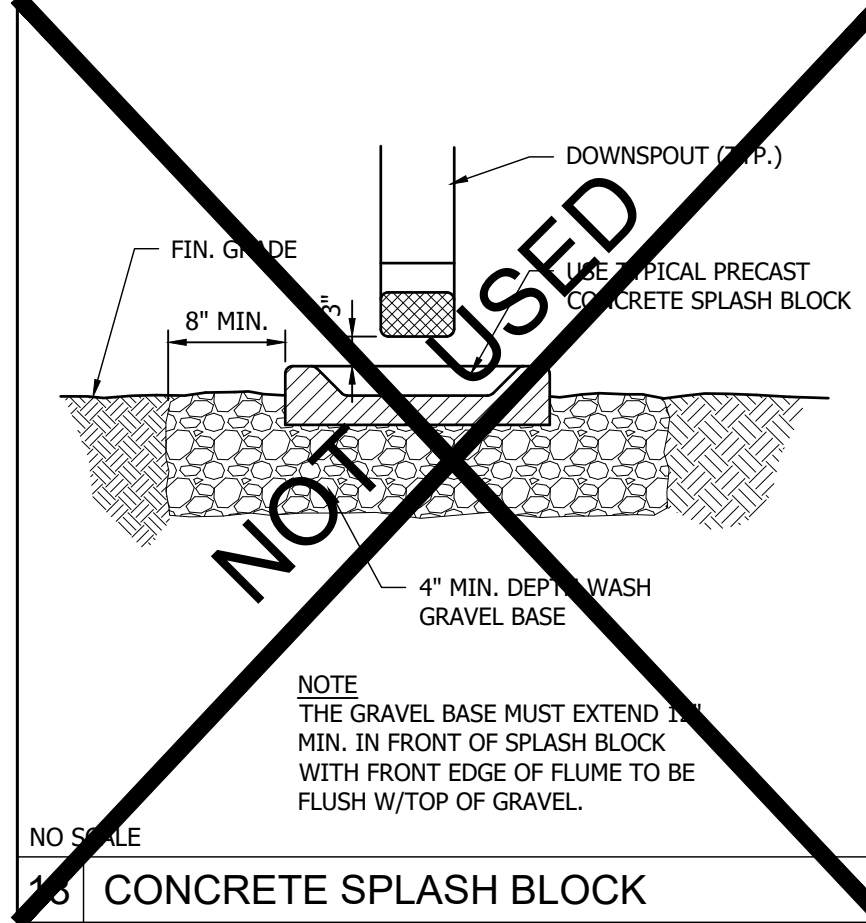
15 GATE DETAIL FOR DUMPSTER ENCLOSURE



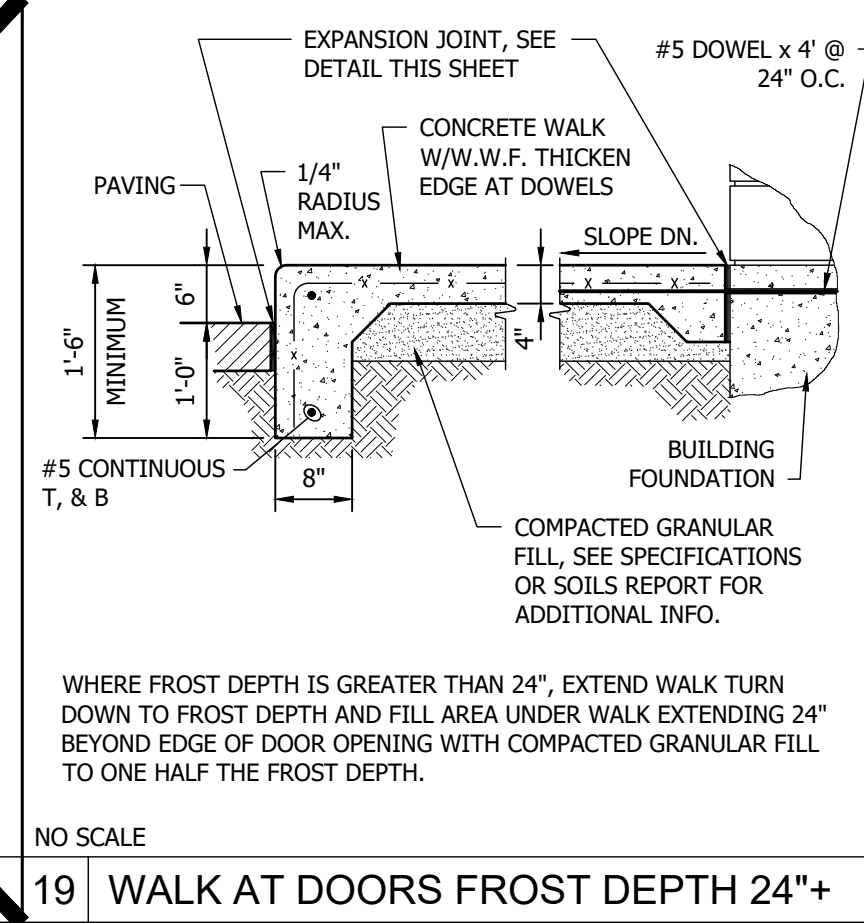
16 GATE LATCH/BOLT DETAILS



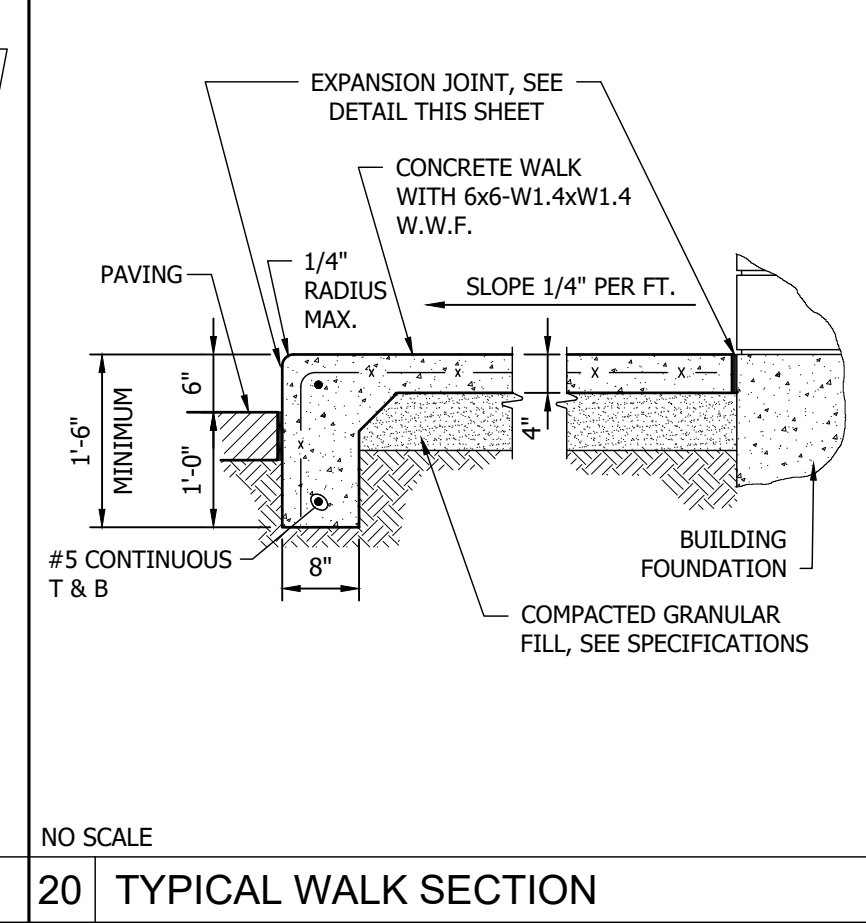
17 DOWNSPOUT DETAIL



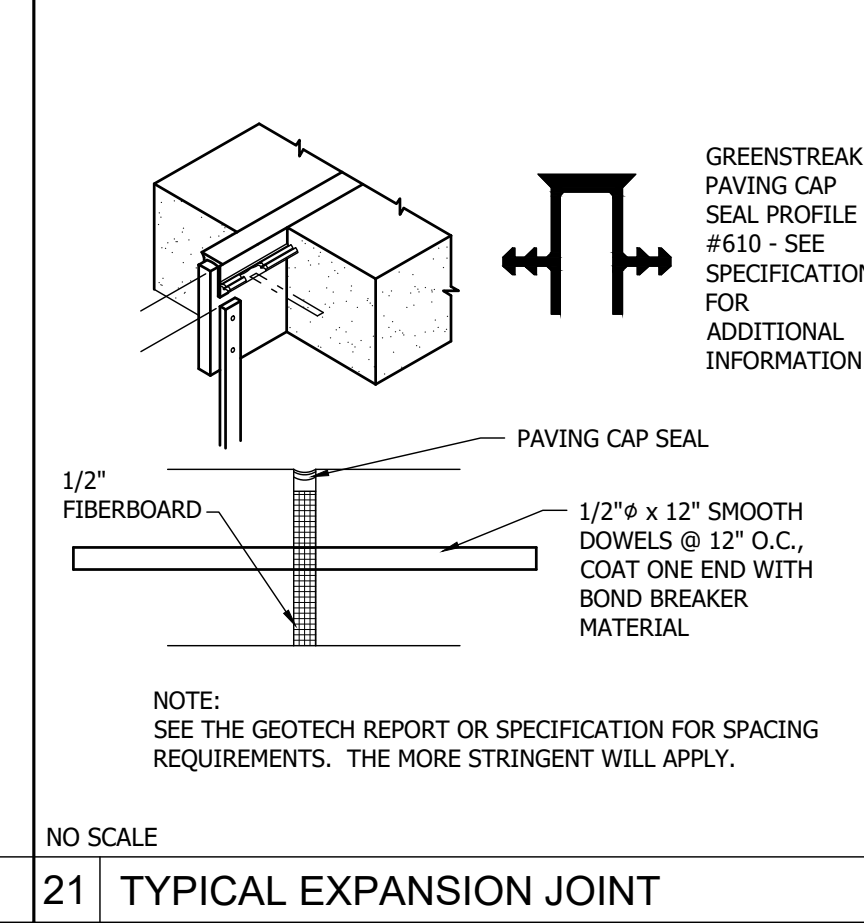
18 CONCRETE SPLASH BLOCK



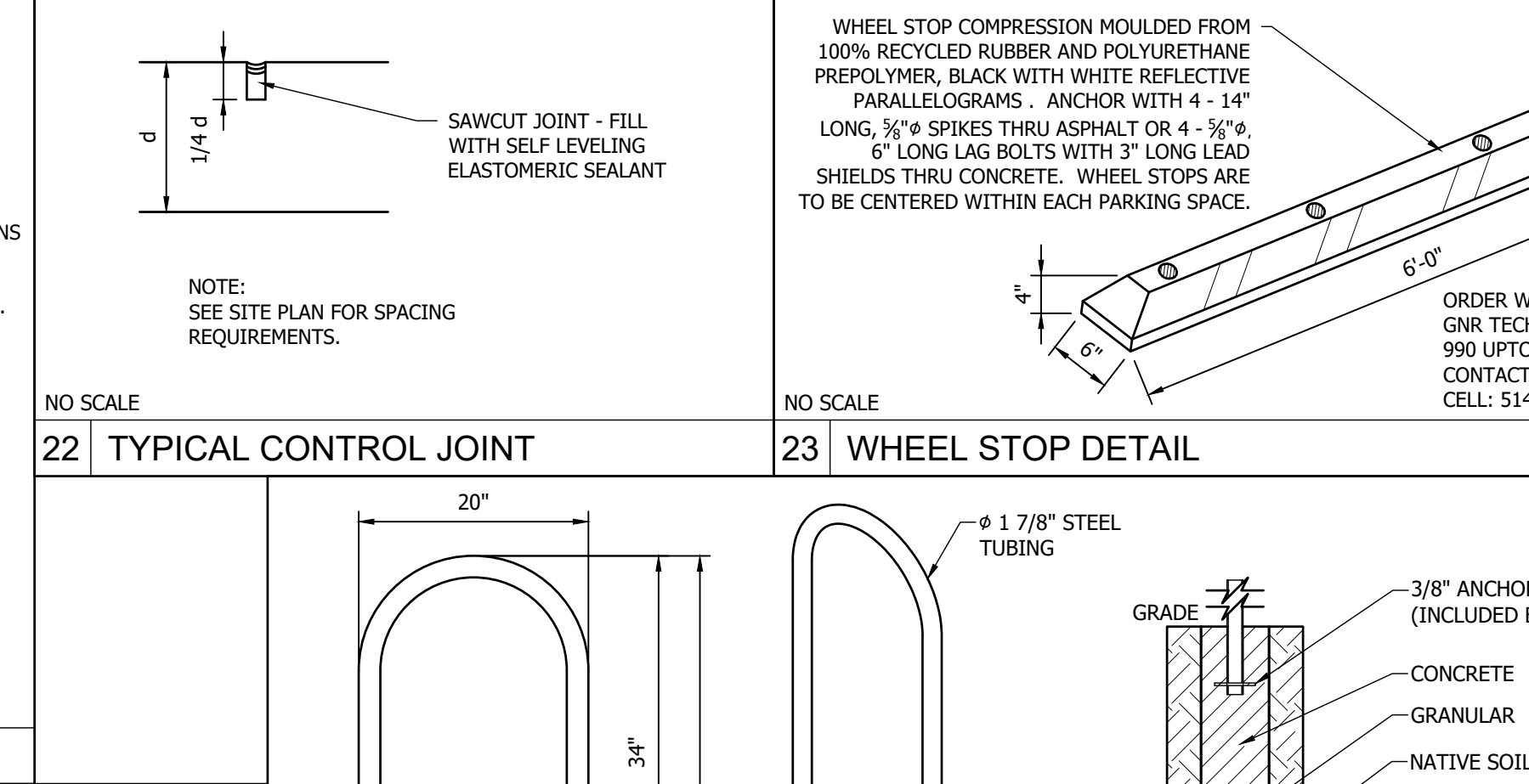
19 WALK AT DOORS FROST DEPTH 24\"/>



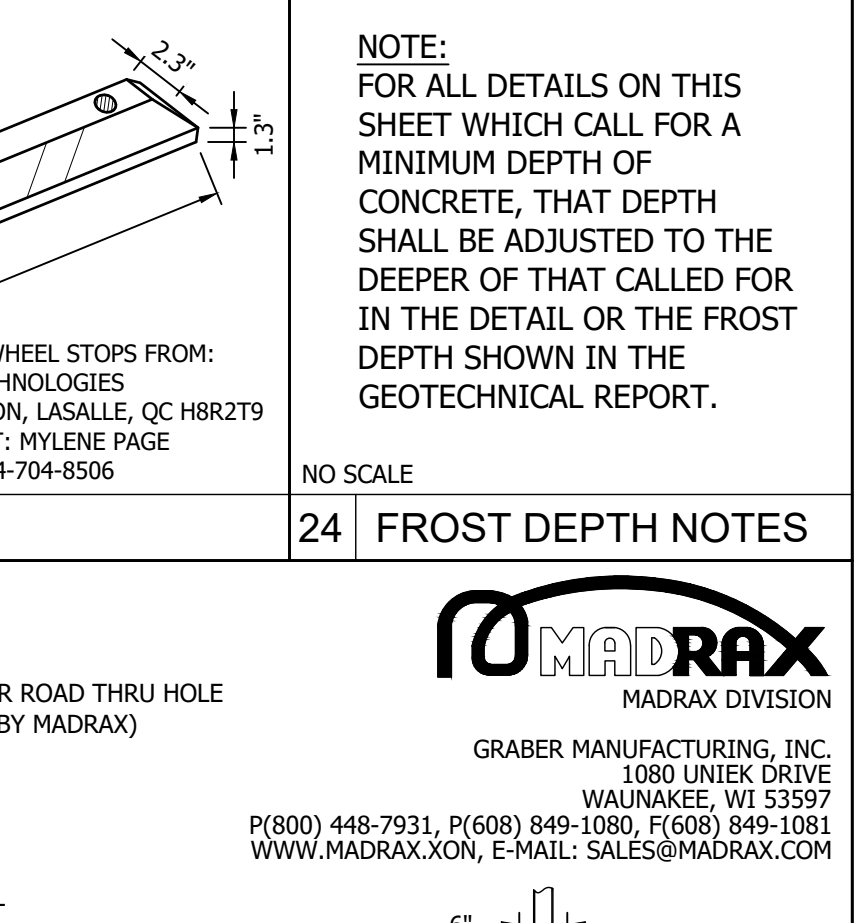
20 TYPICAL WALK SECTION



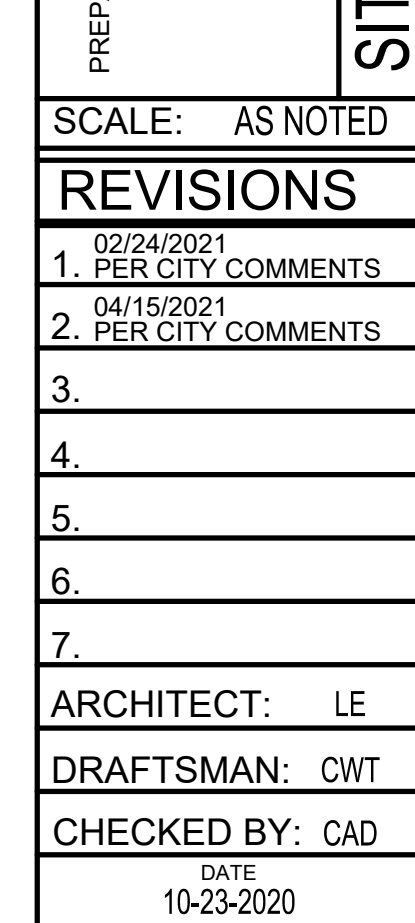
21 TYPICAL EXPANSION JOINT



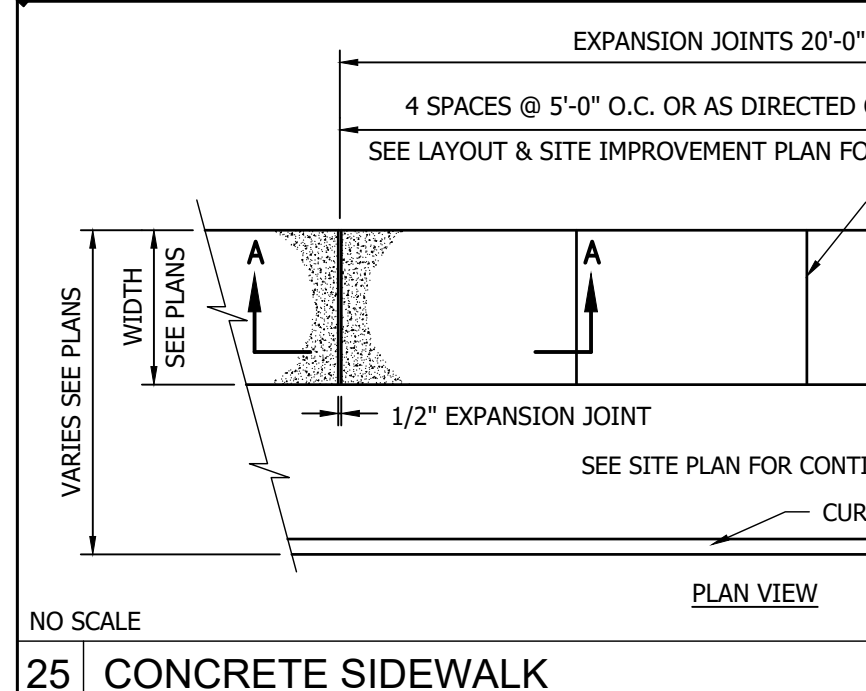
22 TYPICAL CONTROL JOINT



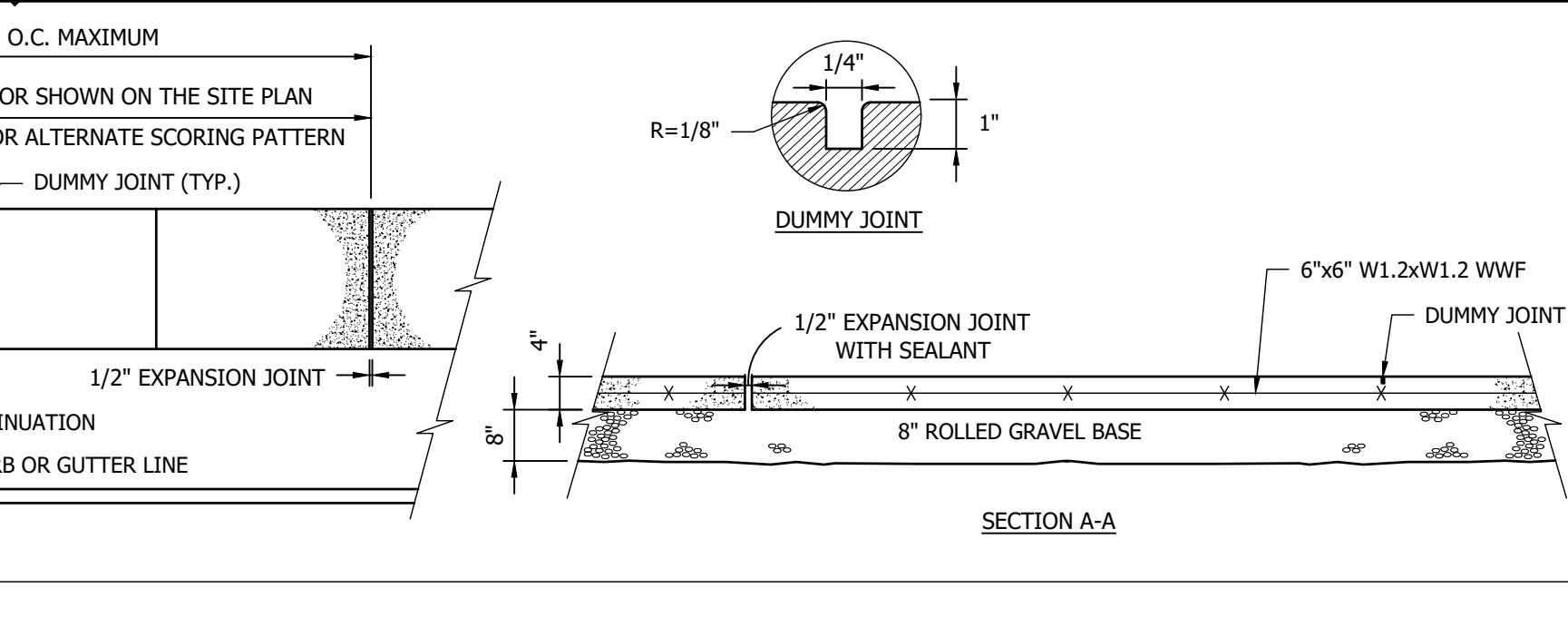
23 WHEEL STOP DETAIL



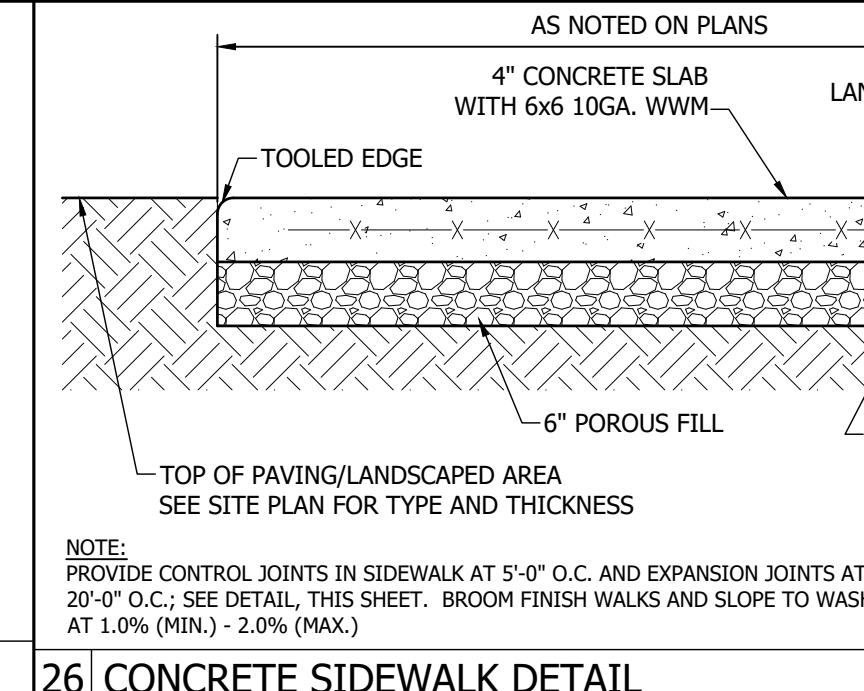
24 FROST DEPTH NOTES



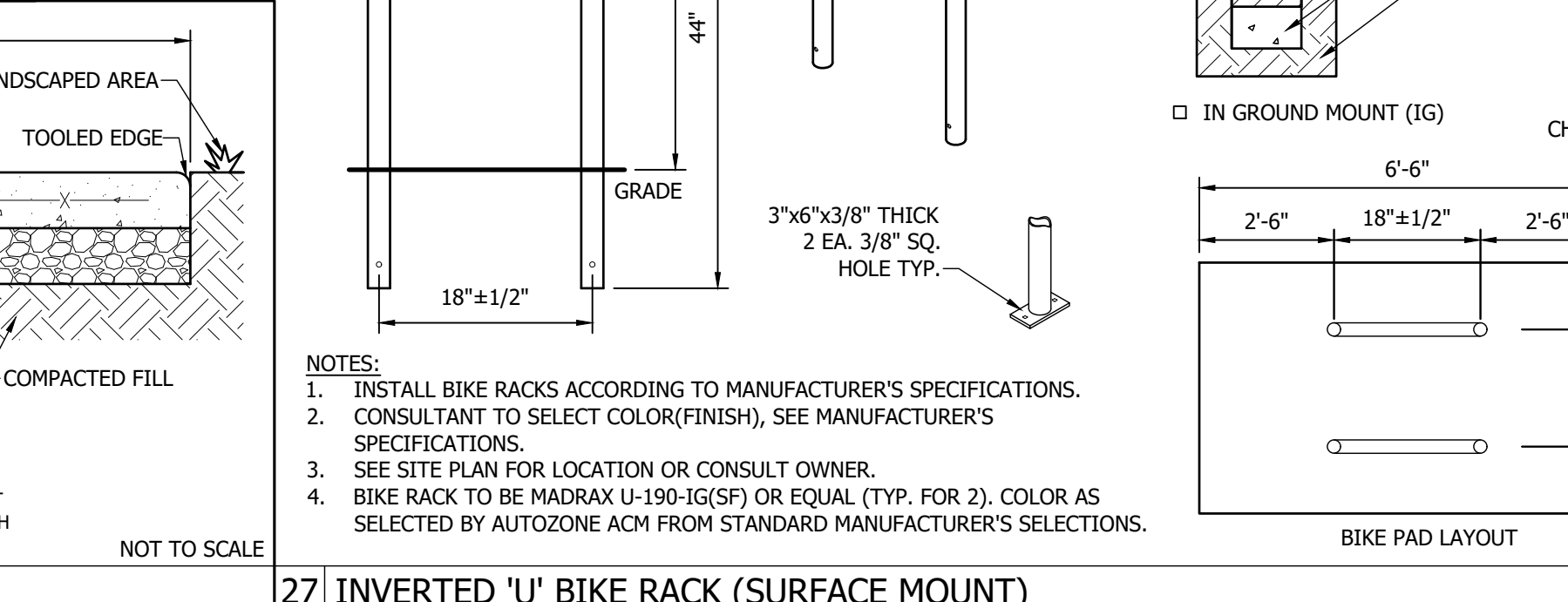
25 CONCRETE SIDEWALK



26 CONCRETE SIDEWALK DETAIL



27 INVERTED 'U' BIKE RACK (SURFACE MOUNT)



28 INVERTED 'U' BIKE RACK (SURFACE MOUNT) - BIKE PAD LAYOUT

MADRAX
MADRAX DIVISION
GRABER MANUFACTURING, INC.
1080 UNIEK DRIVE
WAUNAKEE, WI 53597
P(800) 448-7931, P(608) 849-1080, F(608) 849-1081
WWW.MADRAX.COM, E-MAIL: SALES@MADRAX.COM

PRODUCT: U190-IG(SF)
DESCRIPTION: 'U' BIKE RACK
DATE: 6-2-17
ENG: SMC

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Owner / Developer:
AZ Bethlehem, LLC
P.O. BOX 1908
MEDIA, PA 19063

PREPARED FOR:
AutoZone
Store No.: 1400
501 WYANDOTTE STREET
CITY OF BETHLEHEM, COUNTY OF NORTHAMPTON
COMMONWEALTH OF PENNSYLVANIA

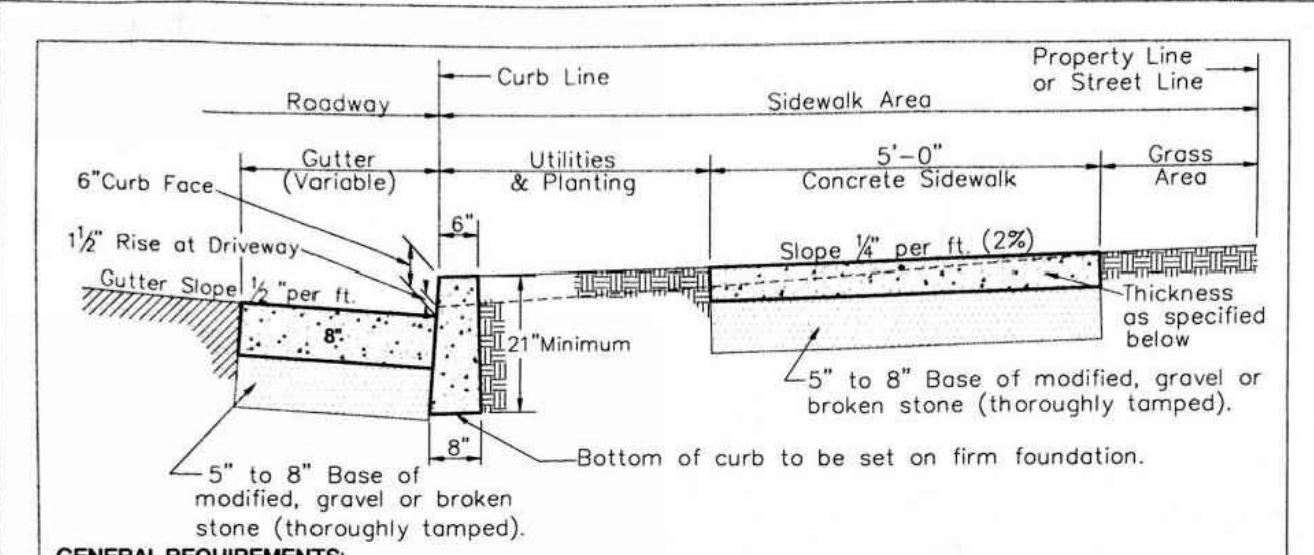
SCALE: AS NOTED

REVISIONS

02/24/2021	1. PER CITY COMMENTS
04/15/2021	2. PER CITY COMMENTS
	3.
	4.
	5.
	6.

ARCHITECT: LE
DRAFTSMAN: CWT
CHECKED BY: CAD
DATE: 10-23-2020
PROTOTYPE SIZE: 6w2

C1.A



GENERAL REQUIREMENTS:
One Course (Monolithic) Construction for all Curb, Gutter and Sidewalk.
 Concrete Mix: To be Class A Concrete 3300# 6 Bag Mix - 5.6 Gal. Water per bag throughout; use power batch mixer. No slag.
 Curb: 21\"/>

ORDINANCE REQUIREMENTS:
 Warrant of Survey - Procured from the City Engineer's Office; provides for establishing Line & Grades; Stakes to be protected by applicant and used within 30 days.
 Excavation Permit - Procured from the City Engineer's Office; for Sidewalk and driveway construction.

DETAIL REQUIREMENTS:
 For further details and other requirements see the following documents on file in the Office of the City Engineer:
 "Standard Specifications for the Construction of Concrete Curb, Gutter and Sidewalk"
 Codified Ordinances of the City of Bethlehem, Articles 903 and 909.

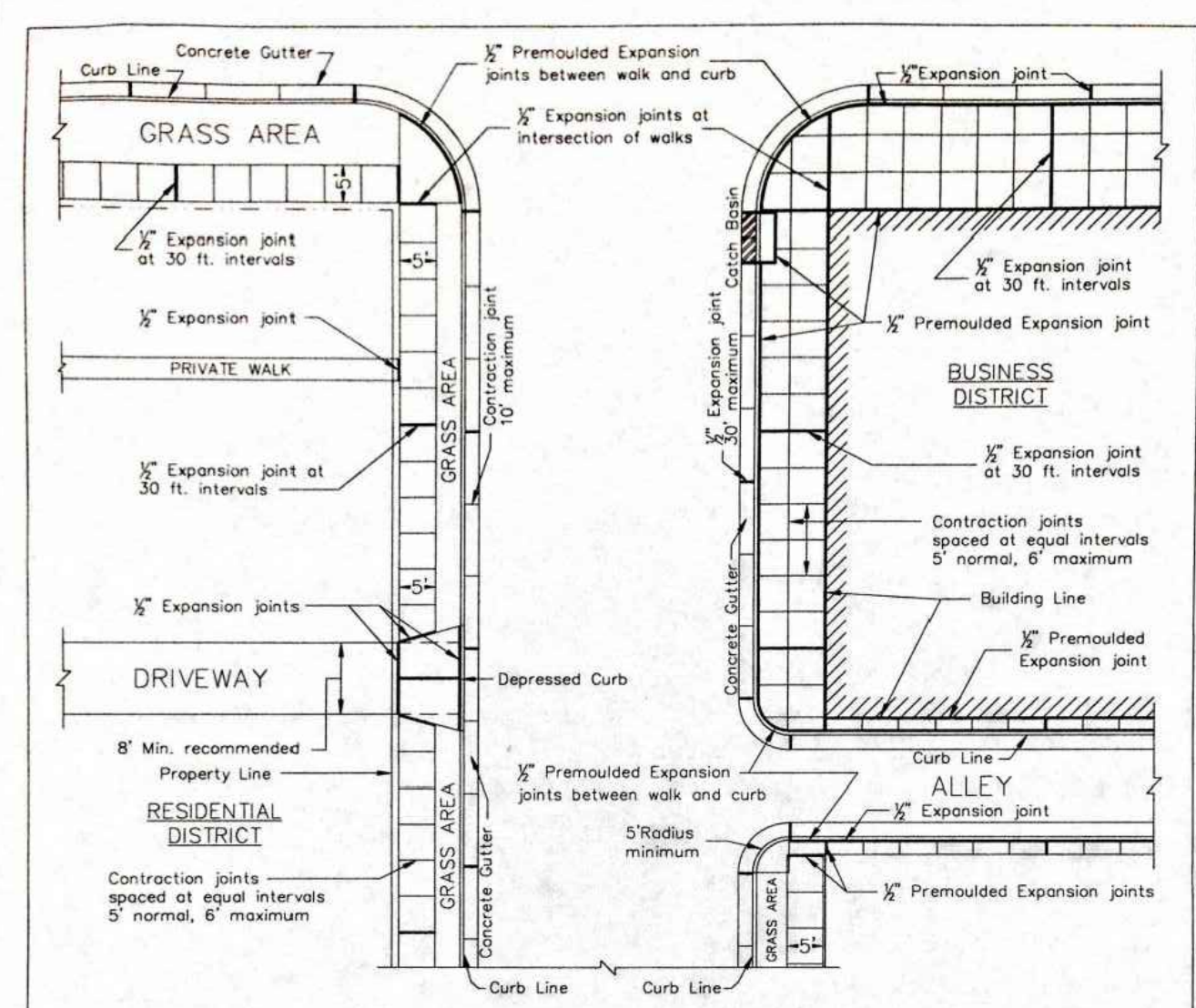
NOTES:
 * Whenever a curb, gutter and/or sidewalk is located in a Historic District, special requirements may apply.
 * Changes to dimensional requirements may be considered in cases where obstructions or encroachments exist. Any exceptions must be approved by the City Engineer. Current ADA requirements must be met in all cases.

CITY OF BETHLEHEM, PA
 BUREAU OF ENGINEERING

CONSTRUCTION STANDARD NO. 1
 for CONCRETE CURB, GUTTER and SIDEWALK

FEBRUARY 7, 2001
 REVISED APRIL 4, 2015

Christopher M. Peters
 CITY ENGINEER



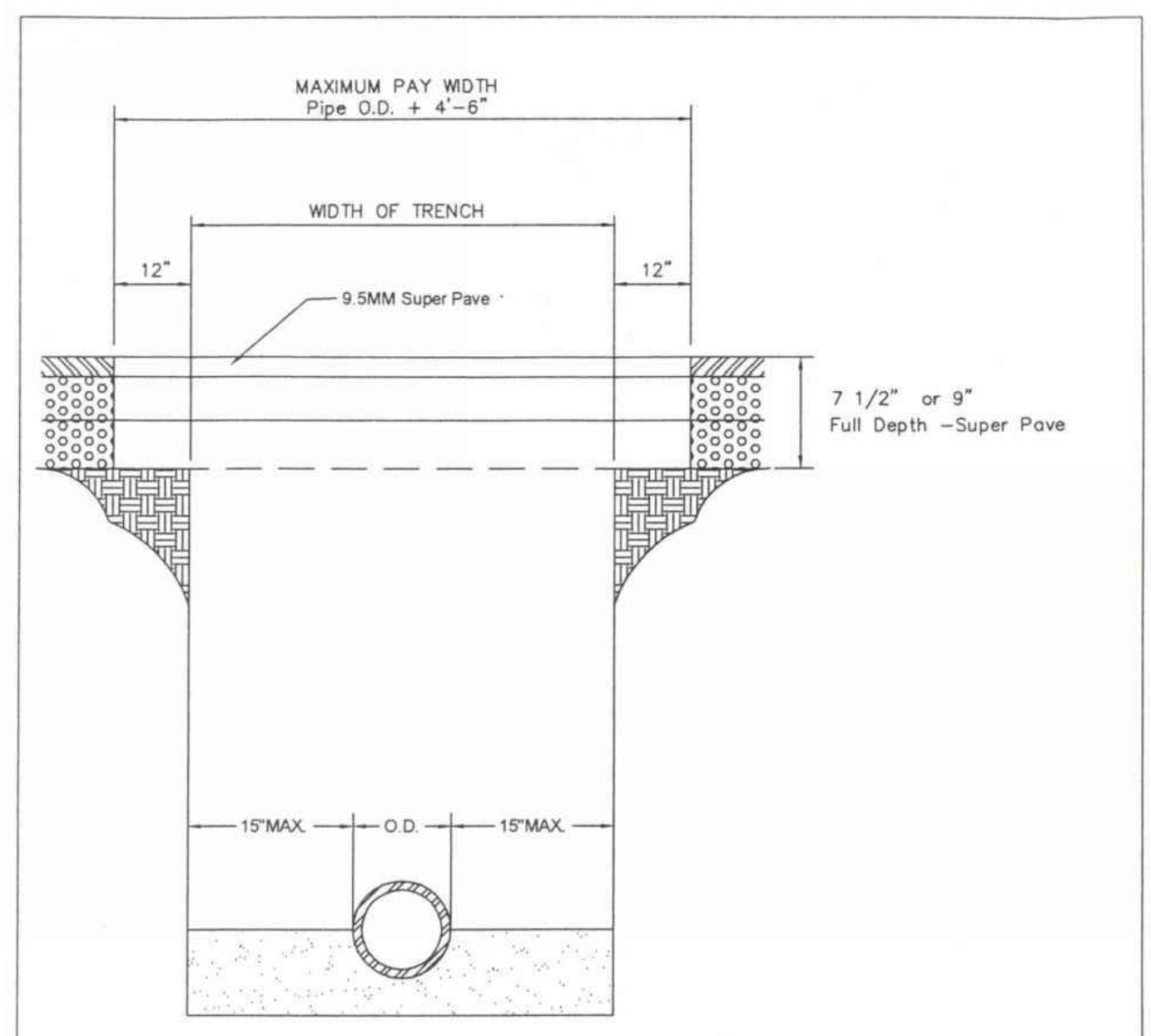
NOTES:
 1. Contractor shall place appropriately sized plastic sleeves (usually 4-inch) in any sidewalk area requiring placement or replacement of signposts or other similar items that penetrate through any newly placed concrete structure. Posts or other items that are replaced shall be located at the same location they were originally, unless otherwise specified by the City Engineer or his designee.
 2. Large items, such as utility poles and foundations of traffic signal posts, penetrating any newly placed concrete structure shall be properly isolated and boxed out with a 1/2-inch expansion joint.
 3. Whenever a curb, gutter and/or sidewalk is located in the Historical Area, special requirements apply.
 4. Changes to dimensional requirements may be considered in cases where obstructions or encroachments exist. Any exceptions must be approved by the City Engineer. Current ADA requirements must be met in all cases.

CITY OF BETHLEHEM, PA
 BUREAU OF ENGINEERING

CONSTRUCTION STANDARD NO. 1A
 CONCRETE CURB, GUTTER AND SIDEWALK EXPANSION AND CONTRACTION JOINT DETAIL

FEBRUARY 7, 2001
 REVISED APRIL 4, 2015

Christopher M. Peters
 CITY ENGINEER



Residential Streets - 7 1/2\"/>

CITY OF BETHLEHEM, PA
 BUREAU OF ENGINEERING

FULL DEPTH-SUPER PAVE PAVEMENT REPLACEMENT

SCALE: NTS DATE: FEBRUARY 28, 2006

Christopher M. Peters
 CITY ENGINEER

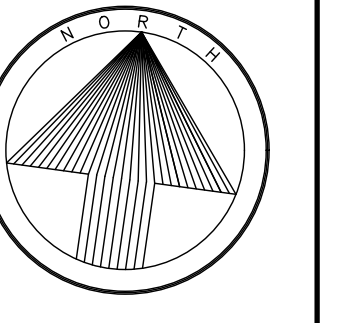
NO SCALE
 1 CONSTRUCTION STANDARDS No. 1 FOR CONCRETE CURB, GUTTER & SIDEWALK

NO SCALE
 2 CONSTRUCTION STANDARDS No. 1A CONCRETE CURB, GUTTER & SIDEWALK EXPANSIONS AND CONTRACTION JOINT DETAIL

NO SCALE
 3 FULL DEPTH-SUPER PAVE PAVEMENT REPLACEMENT

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Owner/Developer:
AZ Bethlehem, LLC
 P.O. BOX 1908
 MEDIA, PA 19063



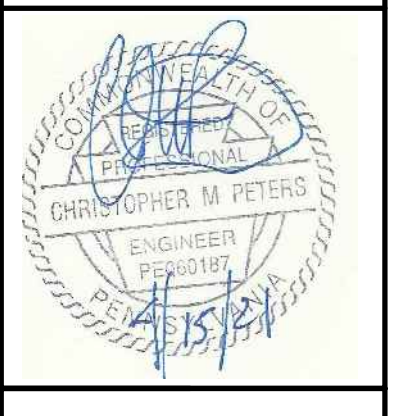
PREPARED FOR:
AutoZone
 Store No.: 1400
 501 WYANDOTTE STREET
 CITY OF BETHLEHEM, COUNTY OF NORTHAMPTON
 COMMONWEALTH OF PENNSYLVANIA

CITY SITE DETAILS

SCALE: AS NOTED

REVISIONS	
02/24/2021	1. PER CITY COMMENTS
04/15/2021	2. PER CITY COMMENTS
3.	
4.	
5.	
6.	
7.	

ARCHITECT: LE
 DRAFTSMAN: CWT
 CHECKED BY: CAD
 DATE: 10-23-2020
 PROTOTYPE SIZE: 6w2



C1.B



SITE LOCATION MAP
SCALE: 1" = 2,000'

GENERAL NOTES

- IN ORDER TO MAINTAIN CONTINUITY BETWEEN PLAN REVISIONS, ANY CHANGES TO PREVIOUS PLAN SUBMISSIONS SHALL BE FLAGGED WITH A TRIANGLE. ANY CHANGES NOT FLAGGED MAY BE CONSIDERED NOT APPROVED. FLAGGED CHANGES SHALL BE REFERENCED TO THE APPROPRIATE REVISION DATE IN THE REVISIONS BLOCK.
- PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY, PERMITS MUST BE OBTAINED FROM CITY ENGINEERING OFFICE.
- THE MAINTENANCE OF STORM WATER FACILITIES SHALL BE THE OWNER'S RESPONSIBILITY. THE OWNER'S DEED, AND THE DEED TO ANY SUBSEQUENT OWNER, SHALL NOTE THAT THE OWNER SHALL ACCEPT THE MAINTENANCE RESPONSIBILITIES. THE CITY OF BETHLEHEM SHALL BE PERMITTED TO INSPECT THE STORM WATER FACILITIES ON AT LEAST AN ANNUAL SCHEDULE TO ENSURE THAT ANY NECESSARY CORRECTIVE WORK IS PERFORMED IN A TIMELY MANNER.

LEGEND OF SYMBOLS

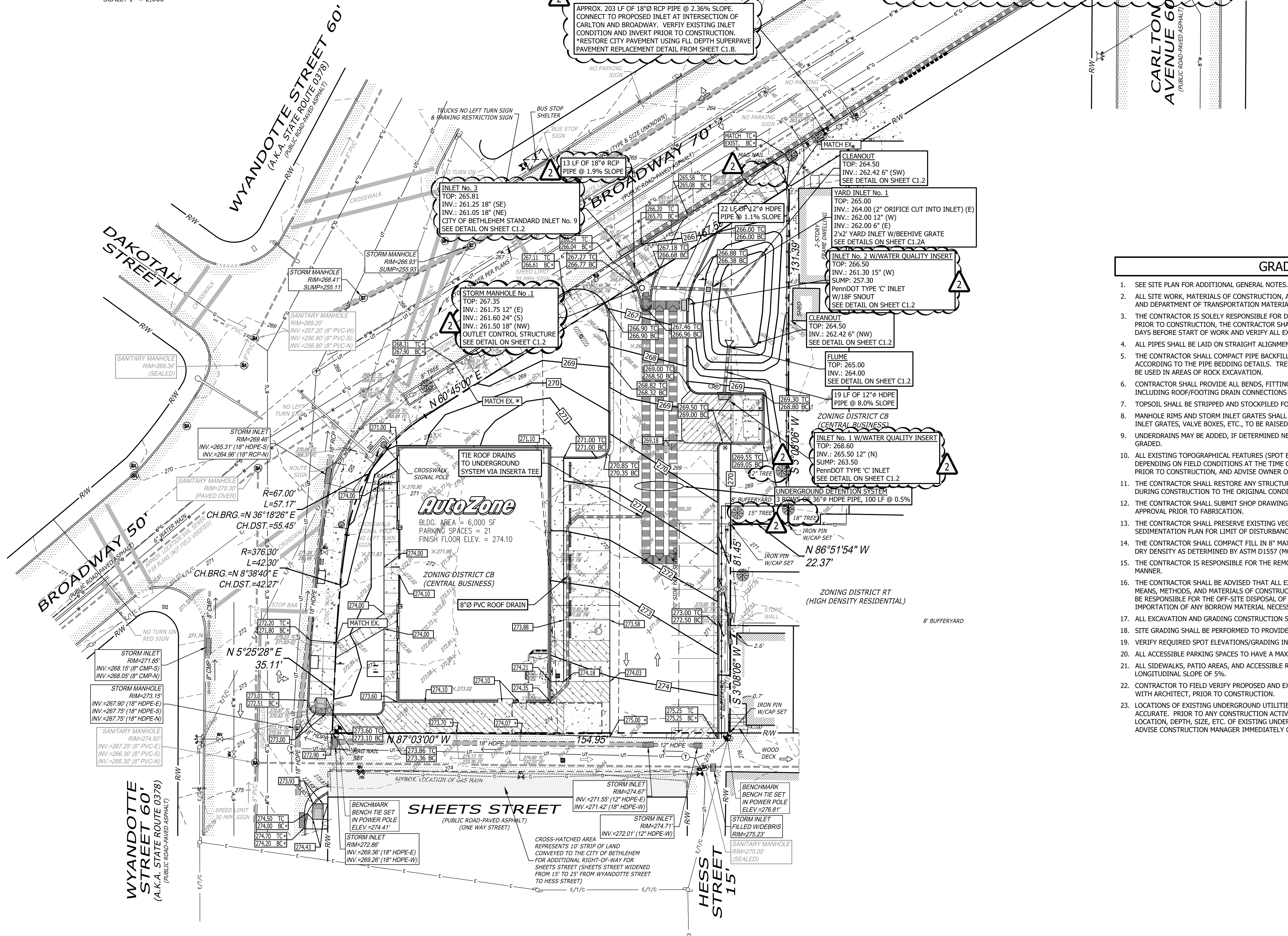
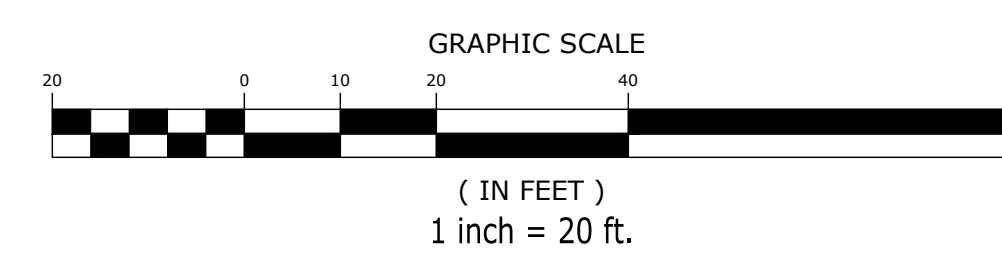
Proposed Contour Line	275	TOP OF CURB	274.50 TC
Proposed Elevation	274.00 BC	BOTTOM OF CURB	274.00 BC
Proposed Storm Inlet	[Symbol]	Water Line	W-W-W-W
Existing Contour Line	270	Gas Line	G-G-G-G
Overhead Electric, Telephone & Cable Line	E, T, C	Overhead Electric Line	E-E-E-E
Underground Telephone Line	UT-UT-UT	Sanitary Sewer	S-S-S-S
Storm Sewer	[Symbol]	Depressed Curb	[Symbol]
Sanitary Sewer	[Symbol]	Chain Link Fence	X-X-X-X
Depressed Curb	[Symbol]	Wooden/Vinyl Fence	[Symbol]
Chain Link Fence	X-X-X-X	Traffic Signal Pole	[Symbol]
Wooden/Vinyl Fence	[Symbol]	Street Light	[Symbol]
Traffic Signal Pole	[Symbol]	Iron pin w/cap set (Unless otherwise noted)	[Symbol]
Street Light	[Symbol]	Traffic Flow Arrow	[Symbol]
Iron pin w/cap set (Unless otherwise noted)	[Symbol]	Storm Manhole	[Symbol]
Traffic Flow Arrow	[Symbol]	Sanitary Manhole	[Symbol]
Storm Manhole	[Symbol]	Cleanout	[Symbol]
Sanitary Manhole	[Symbol]	Telephone Manhole	[Symbol]
Cleanout	[Symbol]	Right-of-Way	RW
Telephone Manhole	[Symbol]	Spot Elevation	+272.00
Right-of-Way	RW	Existing Curb Elevations:	TC=Top of Curb
Spot Elevation	+272.00	FC=Bottom of Curb	FC=Bottom of Curb
Existing Curb Elevations:	TC=Top of Curb	Finished Floor Elevation	F.F.E.
FC=Bottom of Curb	FC=Bottom of Curb	High Density Polyethylene	HDPE
Finished Floor Elevation	F.F.E.	Polyvinyl Chloride	PVC
High Density Polyethylene	HDPE	Reinforced Concrete Pipe	RCP
Polyvinyl Chloride	PVC	Trees	[Symbol]
Reinforced Concrete Pipe	RCP	Asphalt	[Symbol]
Trees	[Symbol]	Concrete	[Symbol]
Asphalt	[Symbol]		
Concrete	[Symbol]		

GRADING & DRAINAGE NOTES

- SEE SITE PLAN FOR ADDITIONAL GENERAL NOTES.
- ALL SITE WORK, MATERIALS OF CONSTRUCTION, AND CONSTRUCTION METHODS SHALL COMPLY WITH LOCAL MUNICIPALITY, LOCAL COUNTY, AND DEPARTMENT OF TRANSPORTATION MATERIAL AND CONSTRUCTION SPECIFICATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE PA ONE CALL SYSTEM AT 1-800-242-1776 AT LEAST THREE (3) WORKING DAYS BEFORE START OF WORK AND VERIFY ALL EXISTING UTILITY LOCATIONS.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- THE CONTRACTOR SHALL COMPACT PIPE BACKFILL IN MAX. 8" LOOSE LIFTS TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557, ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION.
- CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING/CANOPY STUB-OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
- MANHOLE RIMS AND STORM INLET GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND COVERS, STORM INLET GRATES, VALVE BOXES, ETC., TO BE RAISED OR LOWERED, TO PROPOSED FINISHED GRADE, FLUSH WITH THE ADJACENT GRADE.
- UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE ENGINEER OR CONSTRUCTION MANAGER, AFTER SUBGRADE IS ROUGH GRADED.
- ALL EXISTING TOPOGRAPHICAL FEATURES (SPOT ELEVATIONS, CONTOURS, INVERTS, ETC.) CAN HAVE A TOLERANCE DIFFERENCE OF 6"± DEPENDING ON FIELD CONDITIONS AT THE TIME OF THE FIELD SURVEY. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHICAL FEATURES PRIOR TO CONSTRUCTION, AND ADVISE OWNER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL RESTORE ANY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. DISTURBED DURING CONSTRUCTION TO THE ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MATERIALS AND STRUCTURES TO THE CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION AND SEDIMENTATION PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
- THE CONTRACTOR SHALL COMPACT FILL IN 8" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LAWFUL MANNER.
- THE CONTRACTOR SHALL BE ADVISED THAT ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THAT IT SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE CONSTRUCTION AS DESIGNED. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL UNABLE TO BE PLACED ON SITE AND THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE JOB.
- ALL EXCAVATION AND GRADING CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT.
- SITE GRADING SHALL BE PERFORMED TO PROVIDE POSITIVE DRAINAGE TO STORM INLETS AND TO PRECLUDE THE PONDING OF WATER ON SITE.
- VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDINGS WITH THE ARCHITECTURAL PLANS.
- ALL ACCESSIBLE PARKING SPACES TO HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
- ALL SIDEWALKS, PATIO AREAS, AND ACCESSIBLE ROUTES TO THE BUILDING ARE TO HAVE A MAXIMUM CROSS SLOPE OF 2%, AND A MAXIMUM LONGITUDINAL SLOPE OF 5%.
- CONTRACTOR TO FIELD VERIFY PROPOSED AND EXISTING GRADES, SLOPES, ETC., FOR PROPOSED ACCESSIBLE PARKING AREAS, RAMPS, ETC., WITH ARCHITECT, PRIOR TO CONSTRUCTION.
- LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE TAKEN FROM FIELD OBSERVATION, UTILITY MAPS, ETC., AND ARE NOT ASSUMED TO BE ACCURATE. PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTRACTOR TO FIELD VERIFY ALL PROPOSED UTILITY CROSSINGS, TO VERIFY LOCATION, DEPTH, SIZE, ETC. OF EXISTING UNDERGROUND UTILITIES, AND CONFIRM NEW UTILITY LINES CAN BE INSTALLED AS PROPOSED. ADVISE CONSTRUCTION MANAGER IMMEDIATELY OF ANY CONFLICTS OR DISCREPANCIES.

SERIAL NO.: 2020092063 (DIG)
SERIAL NO.: 2020092076 (DESIGN)

CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE - STOP CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776



Copyright 2020
 Owner / Developer: **AZ Bethlehem, LLC**
 P.O. BOX 1908
 MEDIA, PA 19063
 PREPARED FOR: **AutoZone**
 Store No.: 1400
 501 WYANDOTTE STREET
 CITY OF BETHLEHEM, COUNTY OF NORTHAMPTON
 COMMONWEALTH OF PENNSYLVANIA
 ARCHITECT: LE
 DRAFTSMAN: CWT
 CHECKED BY: CAD
 DATE: 10-23-2020
 PROTOTYPE SIZE: 6w2
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 3 WORKING DAYS NOTICE FOR
 CONSTRUCTION PHASE AND 10 WORKING
 DAYS IN DESIGN STAGE - STOP CALL
 PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776
 GRAPHIC SCALE
 0 10 20 30 40 50 60 70 80
 (IN FEET)
 1 inch = 20 ft.
C1.1

